

HISTORIC AND DESIGN REVIEW COMMISSION

February 07, 2024

HDRC CASE NO: 2024-055
ADDRESS: 237 CLAUDIA ST
LEGAL DESCRIPTION: NCB 2876 BLK 1 LOT 1 EXC NW TRI 23 FT
ZONING: RM-4, H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
APPLICANT: Scott Cummings
OWNER: SCHC Properties LLC
TYPE OF WORK: Historic Tax Verification
APPLICATION RECEIVED: January 31, 2024
60-DAY REVIEW: March 11, 2024
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting Historic Tax Verification for the property at 237 Claudia.

APPLICABLE CITATIONS:

UDC Section 35-618 Tax Exemption Qualifications:

(e) Verification of Completion. Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption

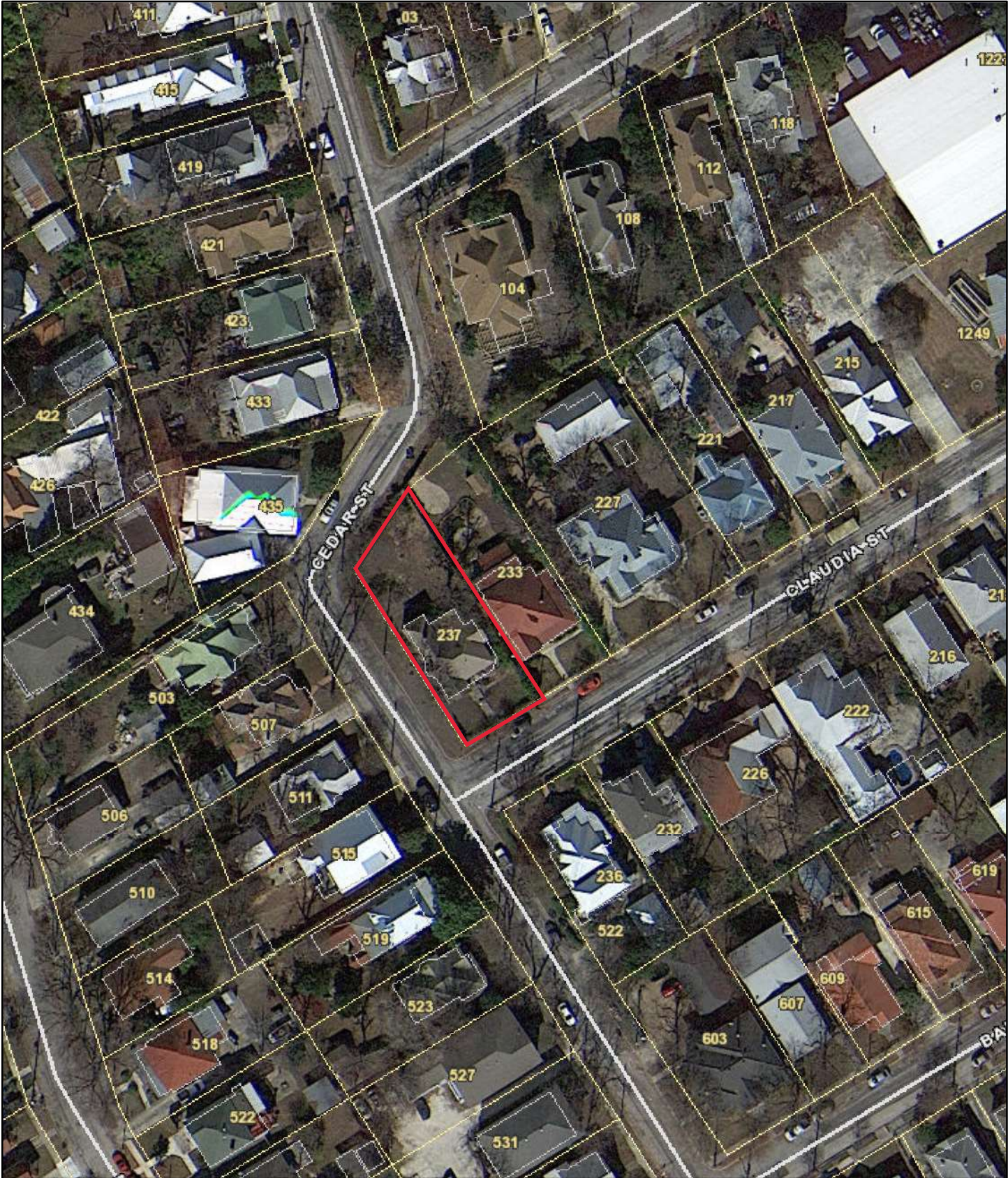
FINDINGS:

- a. The structure located at 237 Claudia is a 1-story, single-family structure constructed in the Folk Victorian style circa 1910. The structure features a standing seam metal hip roof with a prominent front gable, wood siding, one-over-one wood windows, and a wraparound front porch. The property is contributing to the King William Historic District. The applicant is requesting Historic Tax Verification.
- b. The scope of work includes a comprehensive interior remodel, electrical, mechanical, and plumbing upgrades, foundation repair, roof replacement, window restoration, removal of vinyl siding, wood siding repair, repainting, and front porch reconstruction.
- c. Staff completed a site visit on January 31, 2024, and verifies that the scope of work has been completed and there are no existing violations on the property.
- d. The applicant has met all requirements of the City's tax verification process as described in Section 35-618 of the UDC and has furnished evidence to that effect to the Historic Preservation Officer, including the submission of an itemized list of costs that meets the threshold to be eligible for the Substantial Rehabilitation Tax Incentive.
- e. Approval of Tax Verification by the HDRC means that the property owner will be eligible for the Substantial Rehabilitation Tax Incentive beginning in 2024. The Substantial Rehabilitation Tax Incentive applies to the City of San Antonio tax entity line only.


RECOMMENDATION:

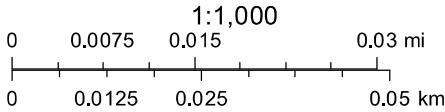
Staff recommends approval based on findings a through e.

City of San Antonio One Stop



February 10, 2023

 User drawn lines





























237

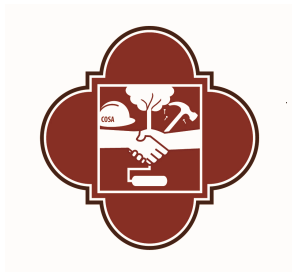




Table 1

Item	Completed Date	Cost			
New Roof	5/30/2023	\$ [REDACTED]			
Foundation Repair and Leveling	4/11/2023	[REDACTED]			
New Electrical	9/19/2023	\$ [REDACTED]			
New Plumbing, including main sewer line	12/28/2023	\$ [REDACTED]			
New HVAC System	12/13/2023	\$ [REDACTED]			
Drywall	8/18/2023	\$ [REDACTED]			
Kitchen Cabinets	12/10/2023	[REDACTED]			
Countertops	12/29/2023	\$ [REDACTED]			
Exterior Paint and Window Repair,	7/3/2023	\$ [REDACTED]			
Wood Floor Refinishing and Installation	11/20/2023	\$ [REDACTED]			
Framing	9/16/2023	\$ [REDACTED]			
Total		\$ [REDACTED]			

Item	
New Roof	
Foundation Repair and Leveling	
New Electrical	
New Plumbing, including main sewer line	
New HVAC System	
Drywall	
Kitchen Cabinets	
Countertops	
Exterior Paint and Window Repair,	
Wood Floor Refinishing and Installation	
Framing	
Total	



City of San Antonio
1901 South Alamo Street
San Antonio, Texas 78204

LETTER OF COMPLETION

We are pleased to inform you that all required reviews and inspections are satisfactorily performed for the following permit

PERMIT NUMBER	RES-ADD-PMT23-32500407
PERMIT NAME	Home Addition Permit
PERMIT ISSUANCE DATE	03/16/2023
LOC ISSUANCE DATE	01/02/2024
ADDRESS	237 CLAUDIA ST City of San Antonio TX 78210
DESCRIPTION OF WORK	<p>224 sq ft addition. Reconstruction of front porch-222 sq ft.</p> <p>***Must comply with UDC and IRC/ Home owner/Contractor aware of inspections required/ What's next handout issued.</p> <p>***Any Electrical, Mechanical, or Plumbing work will require a separate, additional permit by a State Licensed Contractor, complete with inspections.</p> <p>***All permits EXPIRE after 180 days with no activity. Reference IRC Sec. R105.5***</p> <p>***Inspection Scheduling: Please call 210-207-1111, option 0, to schedule inspections (scheduling on the phone or in person will result in a \$3.00 scheduling fee). Or, feel free to schedule inspections online, free of charge, by creating a portal account.</p>

Thank you for your business

The City of San Antonio

Partnering with our community to build and maintain a safer San Antonio



City of San Antonio
1901 South Alamo Street
San Antonio, Texas 78204

LETTER OF COMPLETION

We are pleased to inform you that all required reviews and inspections are satisfactorily performed for the following permit

PERMIT NUMBER	RES-COV-PMT23-32300407
PERMIT NAME	Covered Patio or Porch Permit
PERMIT ISSUANCE DATE	03/16/2023
LOC ISSUANCE DATE	01/02/2024
ADDRESS	237 CLAUDIA ST City of San Antonio TX 78210
DESCRIPTION OF WORK	<p>224 sq ft addition. Reconstruction of front porch-222 sq ft.</p> <p>***Must comply with UDC and IRC/ Home owner/Contractor aware of inspections required/ What's next handout issued.</p> <p>***Any Electrical, Mechanical, or Plumbing work will require a separate, additional permit by a State Licensed Contractor, complete with inspections.</p> <p>***All permits EXPIRE after 180 days with no activity. Reference IRC Sec. R105.5***</p> <p>***Inspection Scheduling: Please call 210-207-1111, option 0, to schedule inspections (scheduling on the phone or in person will result in a \$3.00 scheduling fee). Or, feel free to schedule inspections online, free of charge, by creating a portal account.</p>

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CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

January 17, 2023

ADDRESS: 237 CLAUDIA ST
LEGAL DESCRIPTION: NCB 2876 BLK 1 LOT 1 EXC NW TRI 23 FT
HISTORIC DISTRICT: King William
PUBLIC PROPERTY: No
RIVER IMPROVEMENT OVERLAY: No
APPLICANT: Hoda Cummings - 431 ADAMS ST
OWNER: Hoda Cummings - 431 ADAMS ST
TYPE OF WORK: Repair and Maintenance, Painting

REQUEST:

The applicant requests a Certificate of Appropriateness for approval to:

1. Remove existing vinyl siding.
2. Repair wood siding and replace in-kind as needed.
3. Repair wood windows by re-glazing, replacing weights, and replacing ropes as needed.

**CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION**

DATE: 1/17/2023 6:08:03 PM

ADMINISTRATIVE APPROVAL TO:

1. Remove existing vinyl siding.
2. Repair wood siding and replace in-kind as needed. Any replacement siding must match existing in material and profile.
3. Repair wood windows by re-glazing, replacing weights, and replacing ropes as needed. No modifications to the existing window openings or sashes are to take place. Sashes may be removed from the frames to make repairs; elements such as rails and stiles that are rotten or missing may be replaced with new solid wood elements to match the existing (in kind repairs only). Glass should feature a clarity comparable to the existing (tinted glass should not be used).?

APPROVED BY: Jessica Anderson

Shanon Shea Miller
Historic Preservation Officer

A Certificate of Appropriateness (COA) serves as a record of design approval and is valid for 180 days. Work that is not completed in accordance with this certificate may be subject to correction orders and other penalties.

A COA does not take the place of any required building permits nor does it authorize the use of a property beyond what is allowed by the Unified Development Code. Prior to beginning your construction project, please contact the Development Services Department at (210) 207-1111 to ensure that all requirements have been met.

This Certificate must remain posted on the job site for the duration of your project. Modifications to an approved design or an expired approval will require a re-issue of your Certificate of Appropriateness by OHP staff. Please contact OHP Staff at (210) 207-0035 with



CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

February 3, 2023

ADDRESS: 237 CLAUDIA ST
LEGAL DESCRIPTION: NCB 2876 BLK 1 LOT 1 EXC NW TRI 23 FT
HISTORIC DISTRICT: King William
PUBLIC PROPERTY: No
RIVER IMPROVEMENT OVERLAY: No
APPLICANT: Hoda Cummings - 431 ADAMS ST
OWNER: Hoda Cummings - 431 ADAMS ST
TYPE OF WORK: Foundation/skirting

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to repair the foundation.

**CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION**

DATE: 2/3/2023 3:20:10 PM

ADMINISTRATIVE APPROVAL TO: Repair the foundation.

No skirting modifications are requested or approved at this time. The installation of new skirting will require review by staff prior to approval.

APPROVED BY: Rachel Rettaliata

Shanon Shea Miller
Historic Preservation Officer

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CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

March 13, 2023

ADDRESS: 237 CLAUDIA ST
LEGAL DESCRIPTION: NCB 2876 BLK 1 LOT 1 EXC NW TRI 23 FT
HISTORIC DISTRICT: King William
PUBLIC PROPERTY: No
RIVER IMPROVEMENT OVERLAY: No
APPLICANT: Hoda Cummings - 431 Adams Street
OWNER: SCHC PROPERTIES/GKJK PROPERTIES - 431 Adams
TYPE OF WORK: Addition, Foundation/skirting, Repair and Maintenance

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Construct a single-story addition totaling 224 square feet at the northeast corner of the house.
2. Reconstruct the front porch with the original dimensions and in-kind materials and install replacement columns in-kind to match the original no longer on the property.
3. Reuse the removed siding to be placed on the addition. Any additional siding that might be needed must match the original in-kind and in profile.
4. Repair the original wood windows with in-kind materials.
5. Relocate original windows for use in the addition that would have been covered up by the addition.
6. Replace the composition shingle roof with a galvalume standing seam metal roof and extend the roof over the addition.

**CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION**

DATE: 3/13/2023 3:35:02 PM

ADMINISTRATIVE APPROVAL TO:

Approval to:

1. Construct a single-story addition totaling 224 square feet at the northeast corner of the house.
2. Reconstruct the front porch with the original dimensions and in-kind materials and install replacement columns in-kind to match the original no longer on the property.
3. Reuse the removed siding to be placed on the addition. Any additional siding that might be needed must match the original in-kind and in profile.
4. Repair the original wood windows with in-kind materials.
5. Relocate original windows for use in the addition that would have been covered up by the addition.
6. Replace the composition shingle roof with a galvalume standing seam metal roof and extend the roof over the addition.

The roof must be a standing seam metal roof featuring panels that are 18 to 21 inches wide, seams that are 1 to 2 inches high, a crimped ridge seam, and a standard galvalume finish. Panels should be smooth without striation or corrugation. Ridges are to feature a double-munch or crimped ridge configuration; no vented ridge caps or end caps are allowed. All chimney, flue, and related existing roof details must be preserved. An on-site inspection must be scheduled with OHP staff prior to the start of work to verify that the roofing material matches the approved specifications. No modifications, other than the addition, to the roof form or roof pitch are approved at this time. All chimney, flue, and related existing roof details must be preserved.

APPROVED BY: Bryan Morales



Shanon Shea Miller
Historic Preservation Officer

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CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

September 27, 2023

ADDRESS: 237 CLAUDIA ST
LEGAL DESCRIPTION: NCB 2876 BLK 1 LOT 1 EXC NW TRI 23 FT
HISTORIC DISTRICT: King William
PUBLIC PROPERTY: No
RIVER IMPROVEMENT OVERLAY: No
APPLICANT: Hoda Cummings - 431 Adams Street
OWNER: SCHC PROPERTIES/GKJK PROPERTIES - 431 hoda.helmy@gmail.com
TYPE OF WORK: Fencing

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to remove the existing chain link fencing along the front (south) property line and the side (west) property line.

**CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION**

DATE: 9/27/2023 3:39:58 PM

ADMINISTRATIVE APPROVAL TO: Remove the existing chain link fencing along the front (south) property line and the side (west) property line.

Replacement fencing is not requested or approved at this time.

APPROVED BY: Rachel Rettaliata

**Shanon Shea Miller
Historic Preservation Officer**

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CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

October 2, 2023

ADDRESS: 237 CLAUDIA ST
LEGAL DESCRIPTION: NCB 2876 BLK 1 LOT 1 EXC NW TRI 23 FT
HISTORIC DISTRICT: King William
PUBLIC PROPERTY: No
RIVER IMPROVEMENT OVERLAY: No
APPLICANT: Hoda Cummings - 431 Adams Street
OWNER: SCHC PROPERTIES/GKJK PROPERTIES - 431 hoda.helmy@gmail.com
TYPE OF WORK: Driveway/sidewalk

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to install a concrete walkway leading up to the house from the street with the dimensions as shown by the submitted documents.

**CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION**

DATE: 10/2/2023 9:59:12 AM

ADMINISTRATIVE APPROVAL TO: Approval to install a concrete walkway leading up to the house from the street with the dimensions as shown by the submitted documents.

APPROVED BY: Bryan Morales

Shanon Shea Miller
Historic Preservation Officer

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