

**HISTORIC AND DESIGN REVIEW
COMPLIANCE AND TECHNICAL ADVISORY BOARD
March 22, 2024**

HDRC CASE NO: 2024-103
ADDRESS: 515 WICKES
LEGAL DESCRIPTION: NCB 2916 BLK 5 LOT 16
ZONING: RM-4, H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
APPLICANT: Rebecca Clausewitz
OWNER: CLAUSEWITZ REBECCA
TYPE OF WORK: Retaining wall installation, landscape modifications, and steps replacement
APPLICATION RECEIVED: March 1, 2024
60-DAY REVIEW: April 30, 2024

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Construct a limestone retaining wall.
2. Regrade the front yard; create level surface at top of new wall.
3. Replace the concrete porch steps with stone.
4. Replace the concrete walkway steps with stone.
5. Construct limestone planters along the southern and eastern façade's foundation skirting.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

1. Materials: Woodwork

A. MAINTENANCE (PRESERVATION)

- i. *Inspections*—Conduct semi-annual inspections of all exterior wood elements to verify condition and determine maintenance needs.
- ii. *Cleaning*—Clean exterior surfaces annually with mild household cleaners and water. Avoid using high pressure power washing and any abrasive cleaning or striping methods that can damage the historic wood siding and detailing.
- iii. *Paint preparation*—Remove peeling, flaking, or failing paint surfaces from historic woodwork using the gentlest means possible to protect the integrity of the historic wood surface. Acceptable methods for paint removal include scraping and sanding, thermal removal, and when necessary, mild chemical strippers. Sand blasting and water blasting should never be used to remove paint from any surface. Sand only to the next sound level of paint, not all the way to the wood, and address any moisture and deterioration issues before repainting.
- iv. *Repainting*—Paint once the surface is clean and dry using a paint type that will adhere to the surface properly. See *General Paint Type Recommendations* in Preservation Brief #10 listed under Additional Resources for more information.
- v. *Repair*—Repair deteriorated areas or refasten loose elements with an exterior wood filler, epoxy, or glue.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Façade materials*—Avoid removing materials that are in good condition or that can be repaired in place. Consider exposing original wood siding if it is currently covered with vinyl or aluminum siding, stucco, or other materials that have not achieved historic significance.
- ii. *Materials*— Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardboard and other cementitious materials are not recommended.
- iii. *Replacement elements*—Replace wood elements in-kind as a replacement for existing wood siding, matching in profile, dimensions, material, and finish, when beyond repair.

2. Materials: Masonry and Stucco

A. MAINTENANCE (PRESERVATION)

- i. *Paint*— Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
 - ii. *Clear area*—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
 - iii. *Vegetation*—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
 - iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.
- B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)**

- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
- ii. *Repainting*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.
- iii. *Removing paint*—Take care when removing paint from masonry as the paint may be providing a protectant layer or hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry.
- iv. *Removing stucco*—Remove stucco from masonry surfaces where it is historically inappropriate. Prepare a test panel to ensure that underlying masonry has not been irreversibly damaged before proceeding.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

8. Architectural Features: Foundations

A. MAINTENANCE (PRESERVATION)

- i. *Details*—Preserve the height, proportion, exposure, form, and details of a foundation such as decorative vents, grilles, and lattice work.
- ii. *Ventilation*—Ensure foundations are vented to control moisture underneath the dwelling, preventing deterioration.
- iii. *Drainage*—Ensure downspouts are directed away and soil is sloped away from the foundation to avoid moisture collection near the foundation.
- iv. *Repair*—Inspect foundations regularly for sufficient drainage and ventilation, keeping it clear of vegetation. Also inspect for deteriorated materials such as limestone and repair accordingly. Refer to maintenance and alteration of applicable materials, for additional guidelines.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement features*—Ensure that features such as decorative vents and grilles and lattice panels are replaced in-kind when deteriorated beyond repair. When in-kind replacement is not possible, use features matching in size, material, and design. Replacement skirting should consist of durable, proven materials, and should either match the existing siding or be applied to have minimal visual impact.
- ii. *Alternative materials*—Cedar piers may be replaced with concrete piers if they are deteriorated beyond repair.
- iii. *Shoring*—Provide proper support of the structure while the foundation is rebuilt or repaired.
- iv. *New utilities*—Avoid placing new utility and mechanical connections through the foundation along the primary façade or where visible from the public right-of-way.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

1. Topography

A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

2. Fences and Walls

A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

C. PRIVACY FENCES AND WALLS

- i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.
- ii. *Location*—Do not use privacy fences in front yards.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. *Width and alignment*— Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

- i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.
- ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

FINDINGS:

- a. The primacy structure located at 515 Wickes is a 2-story, single-family residence constructed circa 1919 in the Craftsman style and first appears on the 1931 Sanborn map. The building features a standing seam metal roof with a prominent front-facing gable, a brick chimney, and decorative wood window screens. This property contributes to the King William Historic District.
- b. VIOLATION – On March 1, 2024, staff observed work occurring on the property without a Certificate of Appropriateness. Staff discussed the project with the driveway contractor onsite and he stated that the property owner, had all COAs and permits for the scopes of work observed. Staff contacted the property owner via phone call and let her know of the violations observed and issued a Stop Work Order the same day. Violations include planter box construction; porch steps and walkway steps replacement; and retaining wall construction.
- c. CASE HISTORY – This property received final approval from the Historic and Design Review Commission (HDRC) on April 7, 2021, for the construction of a second-story addition and rear garage, porch repair, and walkway replacement.
- d. NEIGHBORHOOD CONTEXT – The structures located at 515 Wickes, 511 Wickes, 509 Wickes, 505 Wickes, and 501 Wickes within the King William Historic District are all similar in design and have historically featured four-foot-wide concrete walkways, concrete walkway steps from the public sidewalk, and berms without retaining walls.
- e. RETAINING WALL CONSTRUCTION – The applicant is requesting approval to construct a twenty-four to thirty-inch tall limestone retaining wall at the front yard. Site Elements 2.B.i. states new fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character and that the design of the fence or wall should respond to the design and materials of the house or main structure. Site Elements 2.B.ii. states to avoid installing a fence or wall where one did not historically exist, particularly within the front yard; however, the appropriateness of a front yard fence or wall is dependent on conditions within a specific district. Site Elements 2.B.iii. states to limit the height of new fences and walls within the front yard to a maximum of four feet and the height of a new retaining wall should not exceed the height of the slope it retains. There are no other retaining walls found on this block of Wickes and the type of construction is suburban in nature and not compatible with the historic development pattern found in the King William Historic District. Staff finds the construction of the proposed retaining wall does not conform to guidelines and is not architecturally appropriate for the site.
- f. REGRADING – The applicant is requesting to regrade the front yard to create a level surface with the retaining wall. Site Elements 1.A.i. states to avoid significantly altering the topography of a property, to not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way, and to maintain the established lawn to prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-

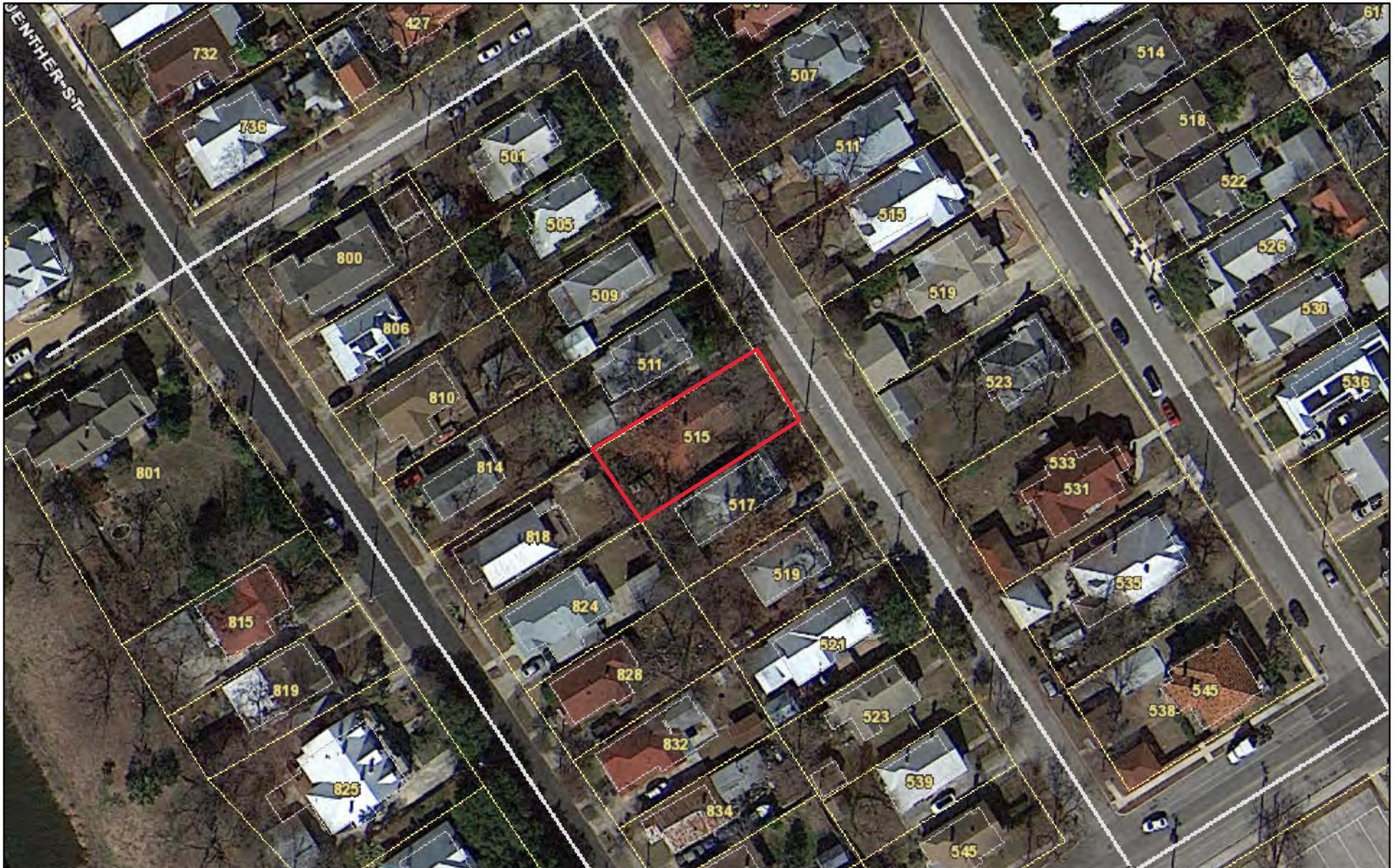
growing and suitable for the prevention of erosion. Staff finds the regrading of the front yard does not conform to guidelines.

- g. **PORCH STEPS REPLACEMENT** – The applicant is requesting approval to replace the concrete porch steps with limestone-lined concrete porch steps. The Historic Design Guidelines for Exterior Maintenance and Alterations 7.B.iii. states to replace in-kind porches and related elements when such features are deteriorated beyond repair, and when in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish. Exterior Maintenance and Alterations 7.B.iv. states to design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building and to not add new elements and details that create a false historic appearance. Staff finds the replacement of concrete porch steps with limestone-lined concrete porch steps does not conform to guidelines. Staff recommends the applicant install fully concrete steps.
- h. **WALKWAY STEPS REPLACEMENT** – The applicant is requesting approval to replace the concrete walkway steps with limestone-lined concrete walkway steps. The Historic Design Guidelines for Site Elements 5.A.i. states to repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces and to retain and repair historic sidewalk and walkway paving materials in-place. Site Elements 5.A.ii. states to replace those portions of sidewalks or walkways that are deteriorated beyond repair and every effort should be made to match existing sidewalk color and material. Site Elements 5.A.iii. states to follow the historic alignment, configuration, and width of sidewalks and walkways and to alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree. Staff finds the replacement of the walkway steps with the proposed limestone-lined concrete walkway steps does not conform to guidelines.
- i. **PLANTER BOX CONSTRUCTION** – The applicant is requesting approval to construct limestone planters along the eastern and southern façade’s foundation skirting measuring between eighteen to thirty-six inches in height. The applicant has noted in their request language that the planters are detached; however, closer examination of the submitted post-work photos show mortar between the planters and skirting trim piece. The Historic Design Guidelines for Exterior Maintenance and Alterations 8.A.iv. states to inspect foundations regularly for sufficient drainage and ventilation, keeping it clear of vegetation. Exterior Maintenance and Alterations 8.B.i. states to ensure features such as decorative vents and grills and lattice panels are replaced in-kind when deteriorated beyond repair and, when in-kind replacement is not possible, to use features matching in size, material, and design. The introduction of the stone material is suburban in nature and obscures the original skirting detail. Staff finds the construction of limestone planters along the structure’s foundation skirting does not conform to guidelines.

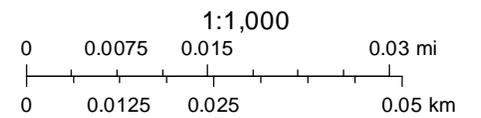
RECOMMENDATION:

Staff does not recommend approval of items 1 through 5, based on findings a through i. Staff recommends the applicant work with staff to return the modifications to their previous configurations.

City of San Antonio One Stop



March 14, 2024



The work at 515 Wickes includes:

1. Creation of a 2' to 2.5' high retaining wall made of cut limestone at the sidewalk to prevent further erosion and degradation of the soil in the front of the home. During construction and rehabilitation of the home, the soil routinely ended up on the sidewalk, especially after a large rain event. This would cause an overgrowth of weeds and coverage of the public sidewalk by vegetation and soil as well as degradation to the front yard. The cut rock wall prevents runoff, maintains the soil around the city's water meter, allows the meter to sit flush with the ground, and stabilizes the soil. Additionally, the stone wall is lower than fencing used by others in the area and is visually more welcoming from an aesthetic standpoint.
2. Creation of new concrete steps from the public sidewalk to the front yard. The retaining wall is tied into concrete steps from the public sidewalk to the private sidewalk in the front yard. The prior concrete steps were in poor shape, cracked and unsafe, and required replacement. The newly created steps are also made of concrete but additionally have a decorative cut stone trim to match the look of the retaining walls and create a cohesive look to the home. The steps are safer, not as steep for those with limited mobility, and are more aesthetically pleasing than the ugly, cracked concrete that was previously present.
3. Creation of cut limestone 1.5' to 3' high (depending on the slope) detached planters in front and south side of the home skirting to allow for plantings that will retain soil and moisture, require less irrigation, and prevent wood destroying insects from being attracted to the home's skirting, which is in contact with the soil. The planters are made from cut limestone to match the other landscape items and give a cohesive look to the front yard. It is important to note that the skirting (siding) on the home has not been removed or modified in any way to construct these planters. The planters were created to allow the planting soil to be retained and not affect the home or foundation, to prevent wood rot of the skirting and siding, and prevent wood destroying insects from being attracted to the home due to moisture caused by drip irrigation for plantings around the home. The planters will be filled with low growing, native, drought resistant vegetation which will drape over the planter walls to retain the welcoming look to the home and not hide the homes' façade. Lantana, rosemary, and dichondra are some of the plants that will be used.
4. Creation of a new sidewalk and front steps up to the front porch of the home. The sidewalk will transect the front yard from the bottom set of steps to the steps leading into the home. This new sidewalk will be concrete and will replace the previous concrete sidewalk that was in the same location and was in pieces. The prior steps leading into the home were concrete that slanted in an unsafe manner, were no longer connected to the structure of the home, and were not original to the home, having been replaced in the late 1990s. A piece of pipe cemented into the ground served as a handrail. Both the steps and the sidewalk had to be removed to complete the rehabilitation of the home. The new steps are also concrete and like the lower steps to the yard, they are trimmed in cut limestone to retain the aesthetic of the landscaping. The new steps also have a lower rise and allow for those with limited mobility to gain entry into the home.

5. Installation of an irrigation system for the front and southeast sides of the home. A combination of drip, bubbling and spray irrigation is needed to allow for irrigation of all current and new plantings. The retaining wall area will have drip irrigation for all new plantings, the flat area of the front yard will have spray over newly planted Zoysia grass, and the front and side planters next to the home will have drip irrigation only. A bubbler will be added to irrigate the current crepe myrtle on the southeast side of the home. Landscape fabric and mulch will allow for all non-grassy areas to retain moisture. Please note that no landscaping or irrigation will be added to the northwest side of the home.

Finally, let me state that this restoration and remodeling project has not been undertaken to flip, rent or sell in the immediate future. This was originally my great grandmother's home which was purchased for her by my grandmother and her sister in the 1950s. I have attempted to lovingly restore and remodel it to bring it back to its glory while allowing for modern conveniences and needed space. When I came into possession of this home, my cousin had left it in a deplorable state, with trash and hoarding throughout the home and yard, rotting siding covered by vinyl, rotting windows, a leaking roof, holes in the floor, knob and tube wiring, cedar stump foundation, bug and rodent infestations and no landscaping at all. It took two 40-yard dumpsters just to clean the home out before construction even started. Most original elements of the home had been eliminated before I obtained it, and I have diligently done the best I can to recreate them from old photos. I have never tried to skirt the rules or work around the system. I have always had the best interest of the home foremost in my mind because it is a part of my and my family's history. I want the best for this home and my investment.

To date, I have spent over \$800,000 getting this home back to a livable state with no expense being spared to make it an enhancement to the neighborhood. I feel my efforts will allow other homes to have the same investment made by their owners at much less of a financial risk because I took the rehabilitation risk first. At this point, the money well has run dry. I have spent my last \$40,000 to finish the landscaping so that this home could be ready to be moved into before the end of the spring and plants can get established before the triple-digit temperatures hit. All landscaping done was only to enhance the appeal and presence of the home. Native limestone was used to stabilize the front yard and protect the home, water saving irrigation will be installed, and only drought tolerant species will be planted. If any major modifications are demanded of this home at this point, there is no money to undertake these modifications and the landscaping will be sitting unfinished until more money can be raised to complete it. I implore you to consider these factors when decisions are made.

INTERIOR & EXTERIOR RENOVATION

WICKES HOUSE

CONSTRUCTION DOCUMENTS



05/14/2021

Please note construction hours have now been set to the following:
7:00 AM – 8:00 PM Monday – Friday
8:00 AM – 8:00 PM Saturday
9:00 AM – 5:00 PM Sundays
Hours of construction must comply with IB 244 – Construction Noise Ordinance.
Concrete pours may occur outside construction hours provided the notification process in IB 244 is followed.

Previous Approval Drawings (HDRC - 4/7/2021):



PROJECT: WICKES HOUSE
SHEET TITLE: TITLE SHEET

PROJECT NO: 2014 A1

△ REVISIONS DATE

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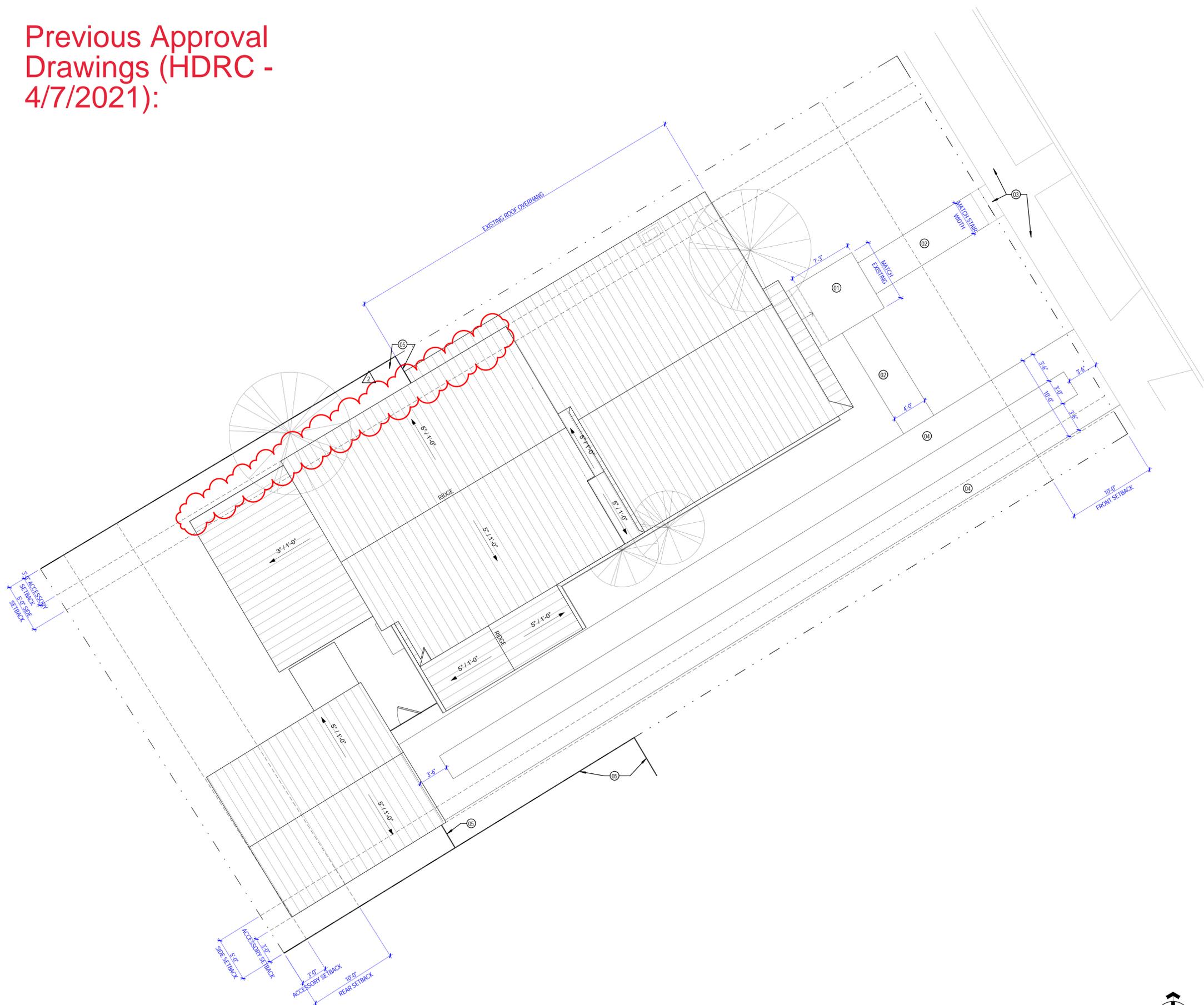
CIVIL ENGINEER
N/A

LANDSCAPE ARCHITECT
N/A

SHEET NO:
G-100

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Previous Approval Drawings (HDRC - 4/7/2021):



GENERAL NOTES

1. ALL EXISTING ROOF MATERIAL SHALL BE DEMOLISHED. EXISTING DECKING SHALL BE INSPECTED AND ANY DAMAGED BOARDS ARE TO BE REPLACED IN KIND. TAPE ALL SEAMS WITH ZIP-SYSTEM TAPE PRIOR TO INSTALLING A SELF-ADHERED ICE AND WATER SHIELD MEMBRANE ON ENTIRE ROOF SURFACE.
2. THE NEW ROOF SHALL BE A STANDING SEAM METAL ROOF WITH CRIMPED SEAMS AND A SMOOTH GALVALUME FINISH AND NO RIDGE VENT. ALL SEAMS AND RIDGES SHALL BE CRIMPED.
3. TRIM ALL TREES AS REQUIRED THAT ARE NON-THREATENING TO THE STRUCTURAL INTEGRITY OF THE HOUSE.

KEYNOTES

- 01 CONCRETE LANDING
- 02 PAVER SIDEWALK
- 03 PRESSURE WASH EXISTING CONCRETE STEPS AND SIDEWALK
- 04 CONCRETE DRIVEWAY
- 05 6H CEDAR PICKET FENCE WITH METAL POSTS



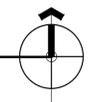
05/14/2021

PROJECT: **WICKES HOUSE**
SHEET TITLE: **SITE PLAN**

PROJECT NO: 2014 A1

REVISIONS	DATE
2 COSA	5/14/2021

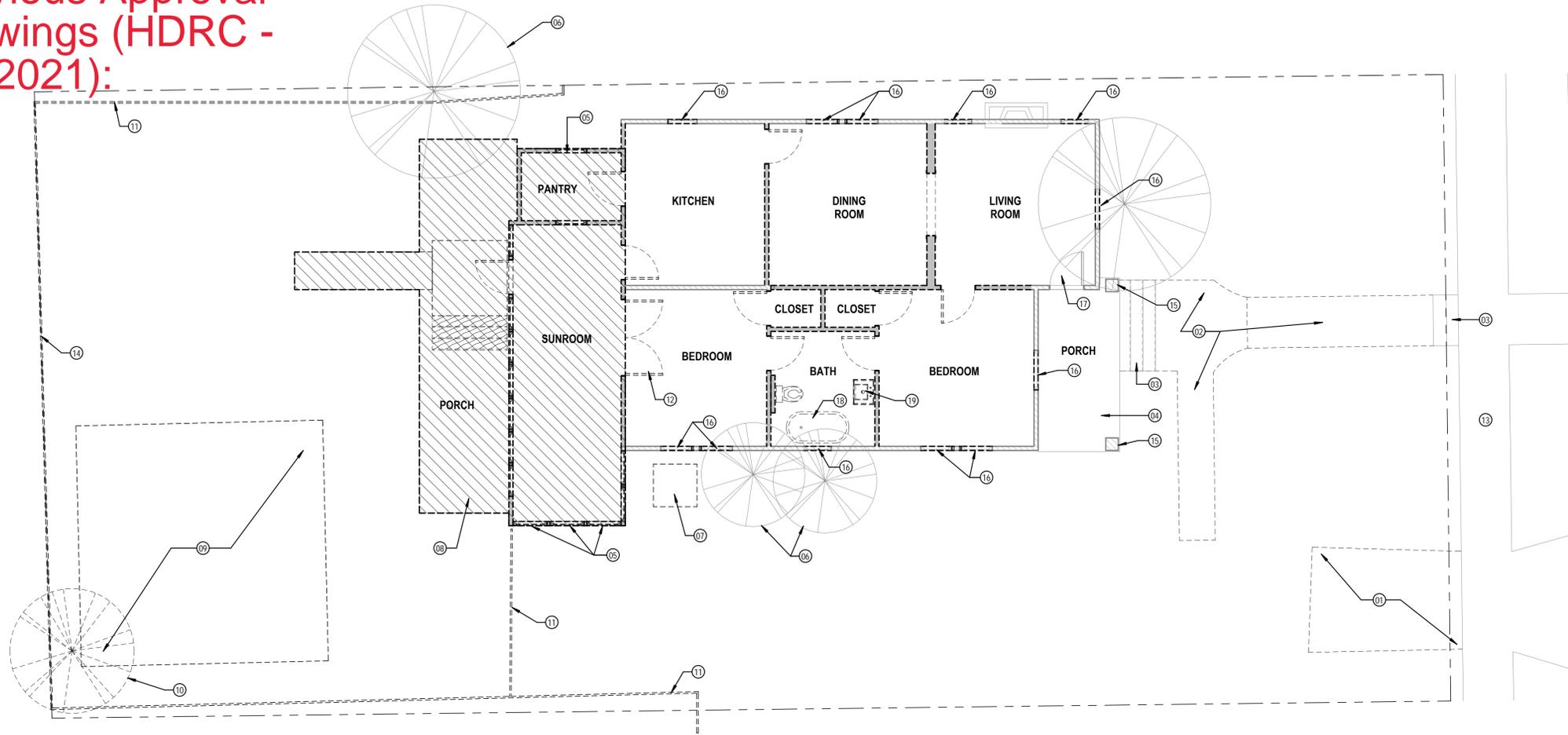
1 SITE PLAN
3/16" = 1'-0"



7/6/2021 9:57:08 AM

SHEET NO:
A-100

Previous Approval Drawings (HDRC - 4/7/2021):



1 LEVEL 01 - DEMOLITION PLAN
3/16" = 1'-0"

GENERAL NOTES

1. DEMO ALL ROOF SOFFITS AND REPAIR EXISTING ROOF RAFTERS AS REQUIRED IN PREPARATION TO BE PAINTED.
2. CAREFULLY REMOVE AND SALVAGE EXISTING WOOD FLOOR TO BE REUSED. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER ONCE BOARDS ARE REMOVED AND THE FLOOR JOISTS AND CAN BE INSPECTED AND REPAIRED AS NEEDED.
3. CONSULT WITH NEIGHBORS PRIOR TO REMOVAL AND INSTALLATION OF FENCING.

KEYNOTES

- 01 DEMO EXISTING CONCRETE DRIVE
- 02 DEMO EXISTING CONCRETE SIDEWALK
- 03 EXISTING CONCRETE STEPS TO REMAIN
- 04 DEMO EXISTING WOOD PORCH FLOOR BOARDS. REPAIR EXISTING PORCH FRAMING AS REQUIRED IN PREP FOR NEW FLOOR BOARDS
- 05 DEMO EXISTING NON-HISTORIC WINDOW AND FRAME
- 06 EXISTING TREES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- 07 DEMO EXISTING A/C PAD AND UNIT
- 08 DEMO HATCHED AREA OF EXISTING HOUSE AND PREP TO RECEIVE NEW ADDITION
- 09 DEMO EXISTING GARAGE SLAB AND PREP GROUND FOR NEW GARAGE FOUNDATION PER STRUCTURAL
- 10 DEMO EXISTING TREE AND GRIND STUMP AS REQUIRED
- 11 DEMO EXISTING FENCE AND PREP TO INSTALL NEW WOOD FENCE AT PROPERTY LINE
- 12 CAREFULLY REMOVE AND SALVAGE EXISTING DOORS TO BE REUSED
- 13 EXISTING CONCRETE SIDEWALK AND DRIVE APPROACH TO REMAIN
- 14 DEMO EXISTING METAL FENCE AND RANDOM FENCE BOARDS
- 15 EXISTING COLUMN TO REMAIN AND BE REPAIRED IN PREPARATION TO BE REFINISHED
- 16 EXISTING WINDOW TO REMAIN AND BE REPAIRED AS REQUIRED IN PREPARATION TO BE REFINISHED
- 17 EXISTING ENTRY DOOR TO REMAIN AND BE REPAIRED AS REQUIRED IN PREPARATION TO BE REFINISHED.
- 18 EXISTING BATHTUB TO CAREFULLY REMOVED AND REFINISHED
- 19 EXISTING PEDISTAL SINK AND MEDICINE CABINET TO BE CAREFULLY REMOVED AND SALVAGED. REFINISH AND REINSTALL PER NEW CONSTRUCTION PLANS



05/14/2021

PROJECT: **WICKES HOUSE**
SHEET TITLE: **DEMOLITION PLANS**

PROJECT NO: 2014 A1

△ REVISIONS	DATE

SHEET NO:
D-100

515 Wickes St

← 515 Wickes St
San Antonio, Texas
Google Street View
Dec 2017 See latest date



2017 - Street View Image

Previous condition





WEDA
REMODELING
General Contractor
Painting - Carpentry
Cabinets - Fencing
JOELLASERLL.JW@GMAIL.COM
210-834-3190

Previous condition



Previous condition





Fisher Heck
ARCHITECTS
fisherheck.com 210.299.1500

WEDA
REMODELING
General Contracting
Painting - Carpentry
Cabinets - Fencing
JOELLASERLLJW@GMAIL.COM
210-834-3190

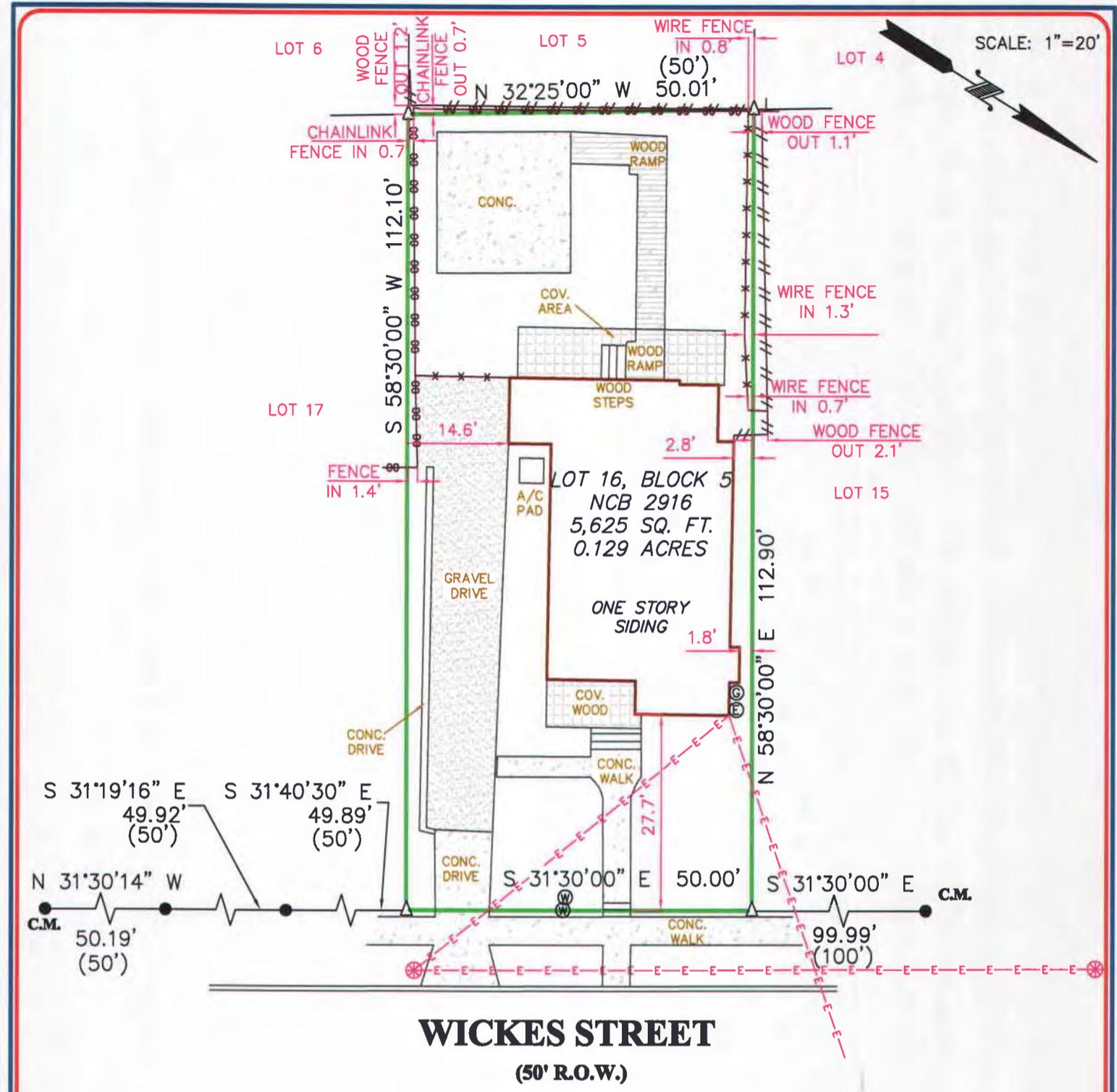
ADOCK
ELECTRICAL
214-386-1111







SAN ANTONIO
MASONRY
SAN ANTONIO (210) 691-1111
CONVERSE (210) 681-1111



WICKES STREET
(50' R.O.W.)

NOTE: NO RESTRICTIVE COVENANTS OF RECORD WERE FOUND.

NOTE:
ASSUMED BEARING BASIS (N 31°30'00"E 299.99') BEING THE THEORETICAL LINE BETWEEN THE NW CORNER OF LOT 14, BLOCK 5 AND THE SE CORNER OF LOT 19, BLOCK 5.

NOTE:
THE ORIGINAL PLAT OF RECORD IS WITHOUT BEARINGS. THIS IS REPRESENTATION OF THIS SURVEYORS BEST INTERPRETATION OF RECORD INFORMATION.

NOTE:
BEARINGS SHOWN HEREON ARE ASSUMED.

THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 48029C, Panel No. 0415 G, which is Dated 09/29/2010. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) X. Because this is a boundary survey, the survey did not take any actions to determine the Flood Zone status of the surveyed property other than to interpret the information set out on FEMA's FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or state or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <http://www.fema.gov/index.shtml>.



Property Address:
515 WICKES STREET

Property Description:
LOT 16, BLOCK 5, NEW CITY BLOCK 2916, BEXAR COUNTY, TEXAS, OTHERWISE KNOWN AS 515 WICKES, SAN ANTONIO, BEXAR COUNTY, TEXAS.

Owner:
REBECCA CLAUSEWITZ

FIRM REGISTRATION NO.
10111700

Westar Alamo
LAND SURVEYORS, LLC.

P.O. BOX 1036 HELOTES, TEXAS 78023-1036
PHONE (210) 372-8500 FAX (210) 372-8999

- LEGEND**
- ▲ = CALCULATED POINT
 - = FND 1/2" IRON ROD
 - () = RECORD INFORMATION
 - B.S. = BUILDING SETBACK
 - C.M. = CONTROLLING MONUMENT
 - ⊙ = POWER POLE
 - ⊕ = ELECTRIC METER
 - ⊗ = GAS METER
 - ⊖ = WATER METER
 - ⊚ = OVERHEAD ELECTRIC
 - ⊛ = WIRE FENCE
 - ⊜ = WOOD FENCE
 - ⊝ = CHAIN LINK FENCE
 - ⊞ = OVERHEAD COMMUNICATIONS LINE
- DRAWN BY: JS



I, MARK J. EWALD, Registered Professional Land Surveyor, State of Texas, do hereby certify that the above plat represents an actual survey made on the ground under my supervision, and there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachment or overlapping of improvements, to the best of my knowledge and belief, except as shown herein.

Mark J. Ewald

MARK J. EWALD
Registered Professional Land Surveyor
Texas Registration No. 5095



Investigation Report

Property

Address	515 Wickes
District/Overlay	King William
Owner Information	Rebecca Clausewitz

Site Visit

Date	03/01/2024
Time	08:00 AM (-6 GMT)
Context	drive-by
Present Staff	Claudia Espinosa
Present Individuals	Contractor(s)
Contractor/Realtor Companies	Mike
Types of Work Observed	Exterior Maintenance and Alterations
Amount of Work Completed	Completed
Description of work	Addition of limestone retaining walls, introduction of sidewalk, limestone skirting and stairs
Description of interaction	Spoke to the contractor, Mike, for the driveway. He stated that the property owner, Rebecca Clausewitz, had all the COAs and permits for the scopes of work listed. He stated he was not the contractor for those completed scopes of work and didn't have any information for those contractors but provided the property owners phone number. Staff contacted the property owner via phone and let her know that the scopes of work listed require a COA. Additionally let the property owner know of the violation. The property owner has been notified of the deadline of Friday, March 1, 2024, to be considered for the upcoming CTAB agenda.

Action Taken

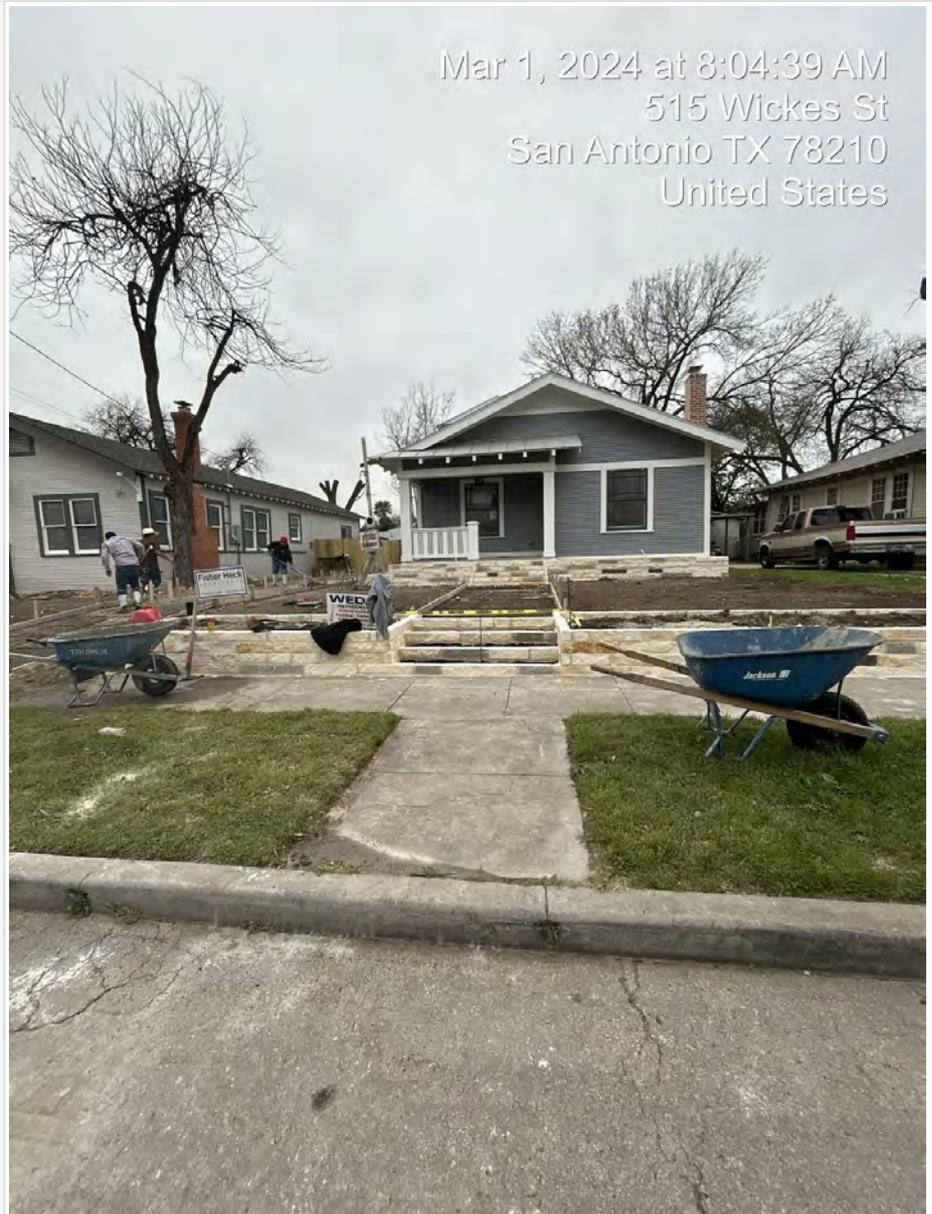
Violation Type	No Certificate of Appropriateness (Code 35-451a)
OHP Action	Spoke with property owner, Spoke with contractor(s)
Will post-work application fee apply?	To be determined

Documentation



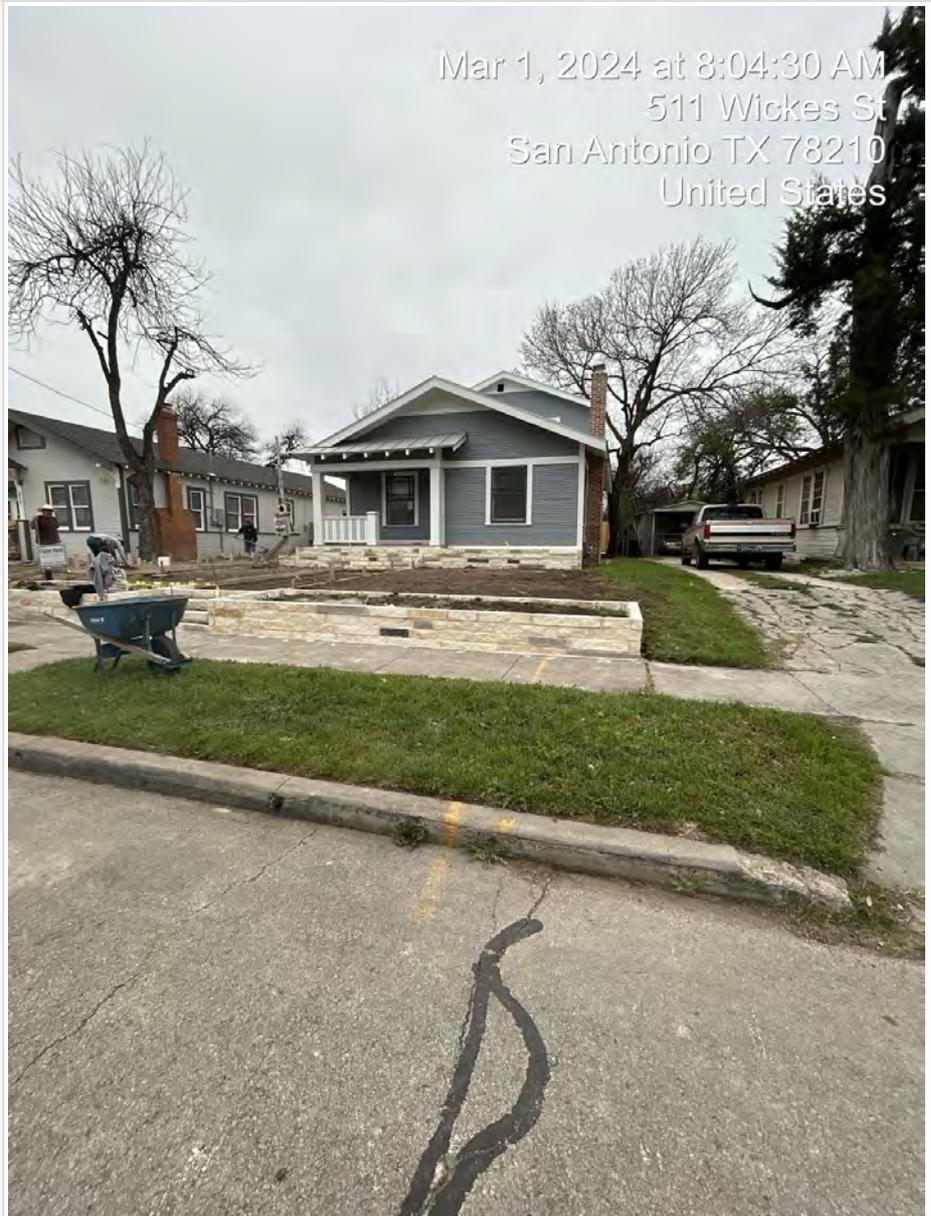
Investigation Report

Photographs



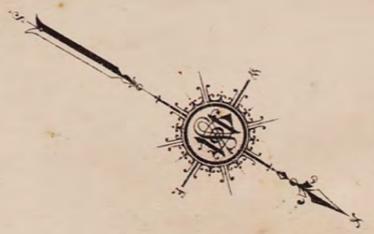


Investigation Report



Mar 1, 2024 at 8:04:30 AM
511 Wickes St
San Antonio TX 78210
United States

03/01/2024 01:42 PM



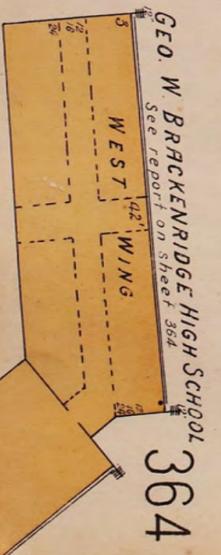
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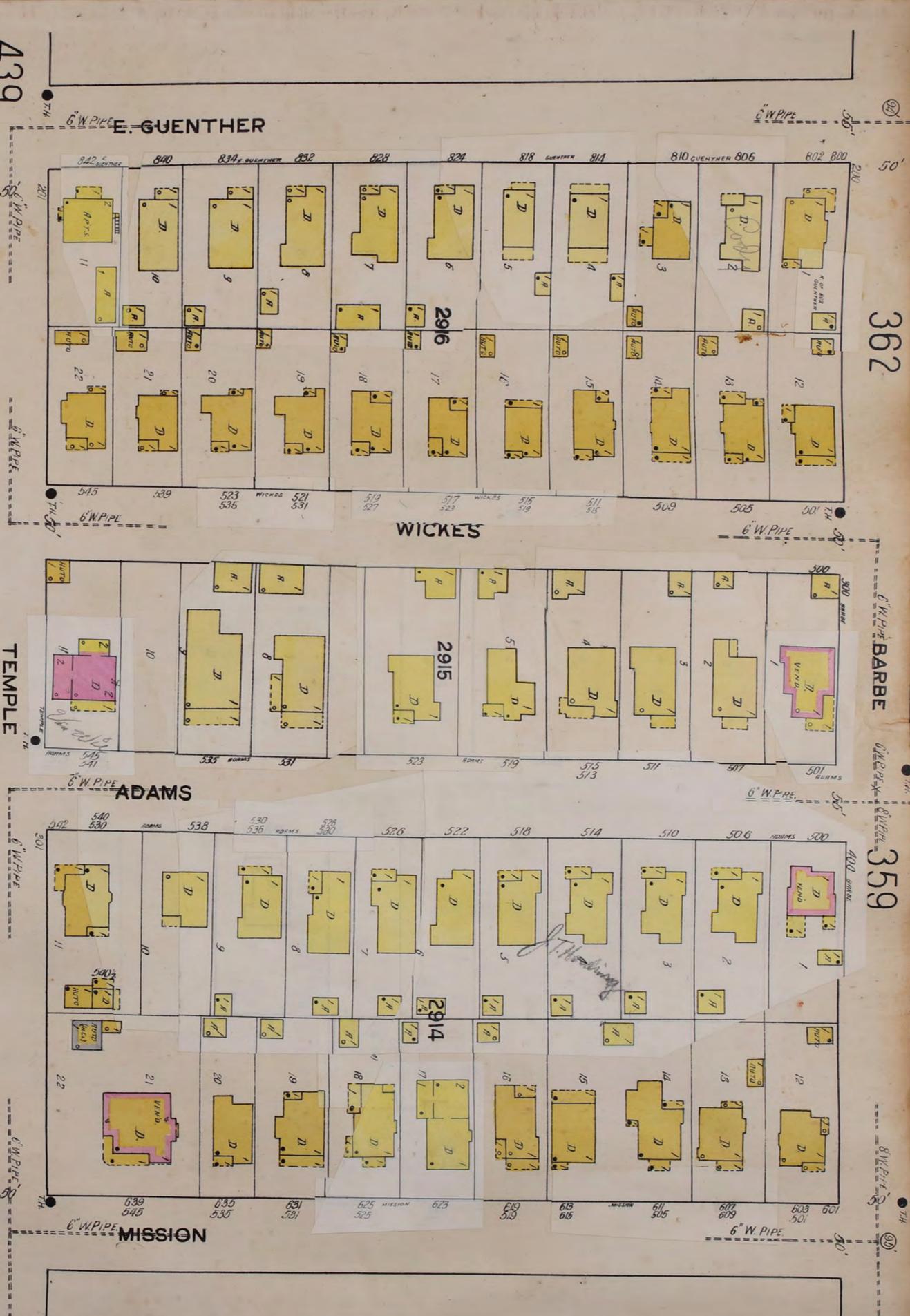
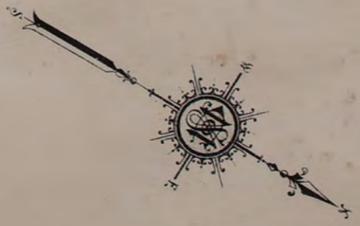


Scale of Feet.
0 50 100 150 200

Copyright, 1919 by the Shannon Map Co.



Original located at San Antonio Public Library Special Collections

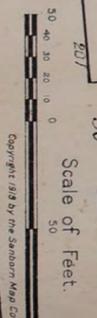


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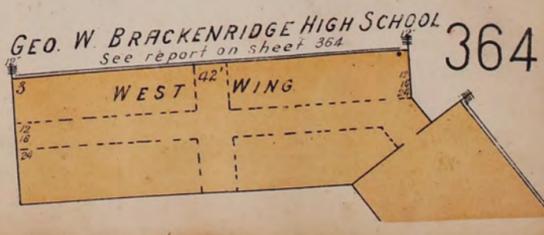
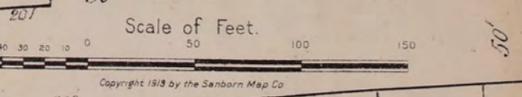
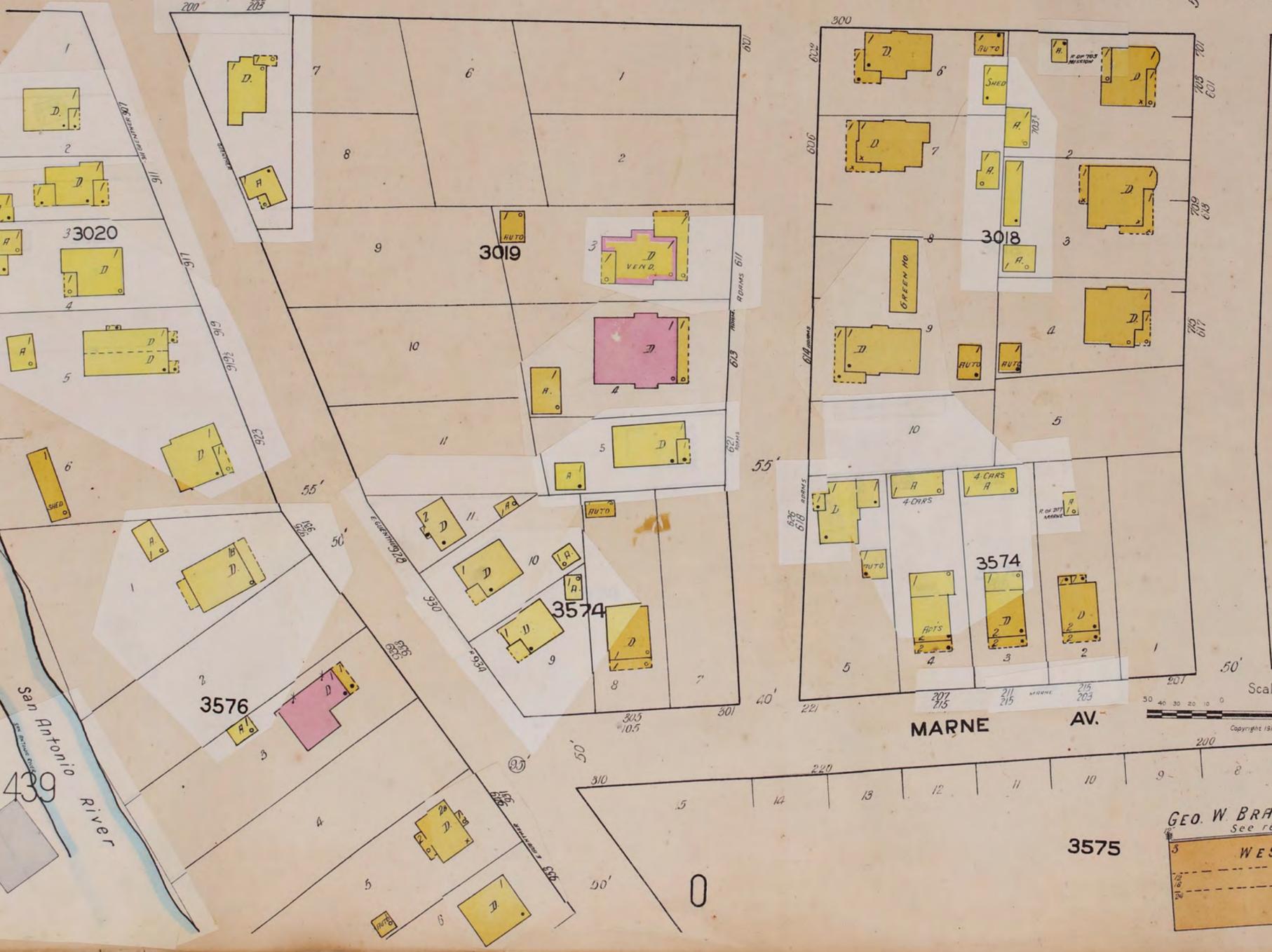
Original located at University of Texas at San Antonio Special Collections

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State: Texas

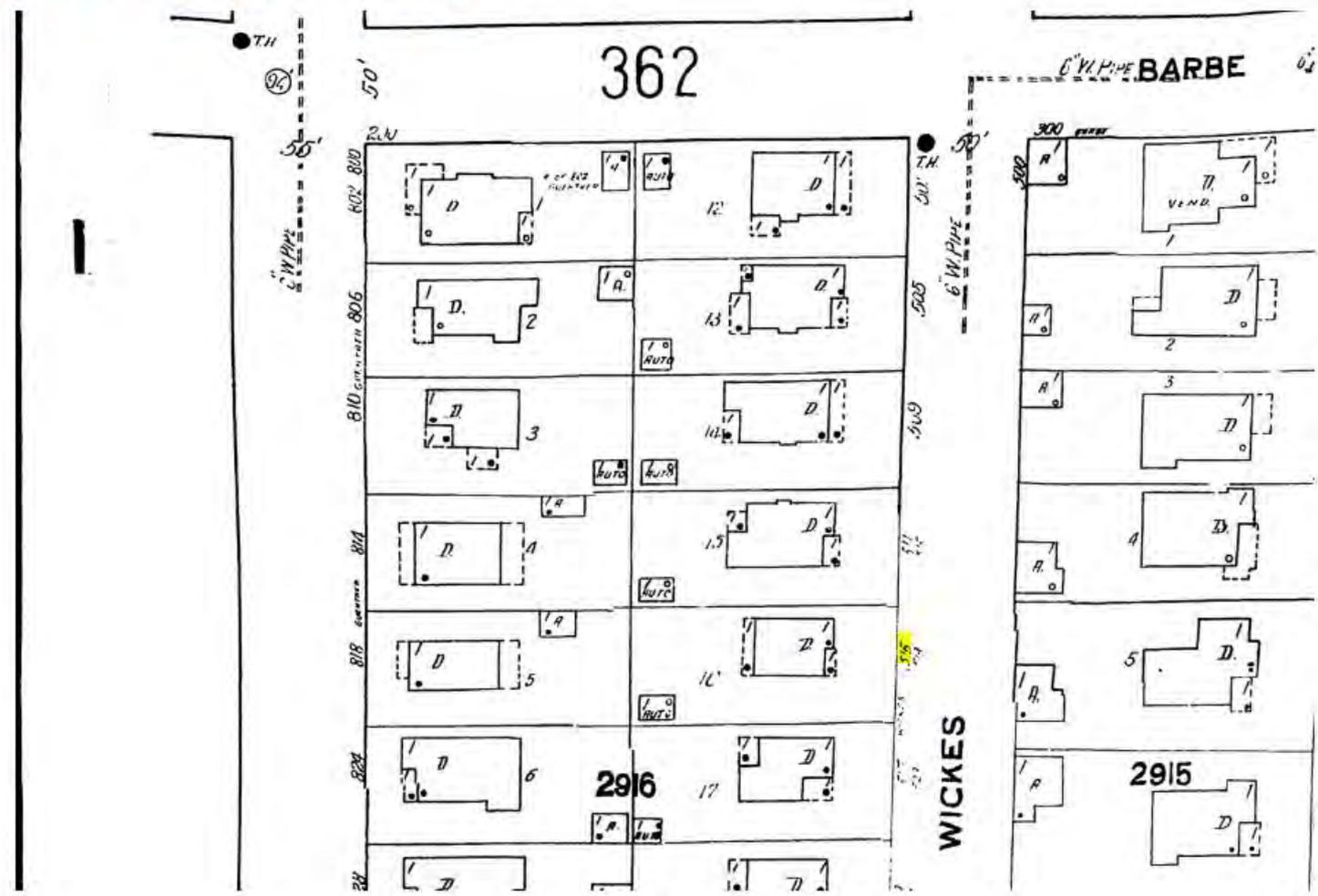
City: San Antonio

Date: 1911-Mar. 1951 *

Volume: vol. 4, 1912-Mar. 1951



< Previous Next >



ASK THE CUSTOMERS

JULES A APPLER'S CITY DIRECTORY OF GREATER SAN ANTONIO

190

AR COUNTY MAP shows owners & No. acres; 50c; Book stores

- 725—C W & Ella Rossy (r)
- 729—Vacant
- 747—M A & Eddie Davis (h); M920
- 749—J A & Maggie Davis (h)
- 751—Mrs Fannie E Anderson (h)
- 903—P & Pearl Kahn (h); M292
- 907—P J & Mary Beresford (h); M822
- 1027—F M & Louise Mitchell (h); M1037
- 1041—H O & Catherine Neal (r); M2547
- 1101—Thomas Lorillard (h)
- 1105—C E & Lula Hays (h); M2270
- 1181—A & Katie Franklin (r)
- 1188—Mrs Eura C Pope (h); M700
- 1187—W E & Lorah Grisham (h)
- 1141—G & Vallie Deters (h); M1001
- 1145—T L Ingram (r)
- 1149—F R & Minta Mosher (r)
- 1400—F & Flora Bernhardt (r)
- 1409—A & Tillie Duffee (h)
- 1415—Otto & Rosie Geyer (h)
- 1419—Vacant
- 1428—M & Felice Jiminez (h)
- 1428, rear—G & Maria Pinto (r)

WEST 19TH, N

(3w) b 4201 W Commerce, ext n to Culebra ave

WEST 19TH, S

b 4200 W Commerce, ext s to city limits (Get Appler new map)

- G & Louisa Persyn (r)
- Mrs Paralee Stephens (r)
- B & Adele Roggeman (r)
- 600—E C & Emma Boden (h)
- 605—L Q & Ada Sutherland (h)
- 620—S P & Emilie Grant (h)
- 820—Vacant

WEST 20TH

In Lake View add

WEST 21ST

In Lake View add

- A J & Anna Weigand (h)

WEST 22d N

In Lake View add

- Wiley & Annie Parkhill (r)

WEST 23RD

In Lake View add

WEST 24TH, N

In Lake View add

WEST 24TH, S

In Lake View add

- Our Lady of the Lake
- J J & Aggie Gallagher (h)
- H & Elizabeth Hoffmann (h)
- R W & Janet Gewalt (h)

WEST 25TH

In Lake View add

- Vacant house
- H & Edith Elkins (r)

WEST 26TH

In Lake View add

WESTOVER ROAD

(Alamo Hts) (formerly Lincoln av

- 145—E W & Bessie Kullman (h); C7092
- 146—R & Etta Parker (h); T9485
- 149—F G & Mary E Hill (h); C3359
- 150—Z P & Minnie Lee (h); T6047
- 158—O W & Bridget Busche (h)
- 154—A & Effie Blumrich (h); T5903

WHARTON

(8w), b 3503 S Presa, ext w 2 blks, crossing Naylor

- 100—Mrs Byrd L Kimbrough (h); M1129
- 115—S L & Tillie Lewis (h); M176
- 126—J & Annie Ploiser (h); M929
- 127—W F & Willie Crutcher (r)
- 128—H T & Lissie Smith (h); M1808
- 129—Mrs Eliza B McCulloch (h); M403
- 130—Martha A Abbott (r); M852
- 131—F & Edna Krisch (h); M381
- 132—J F & Cora E Montgomery (h); M1045
- 134—Mary Hargrave (r); M1772
- 202—Vacant
- 206—H L & Rhoda Moths (h); M646
- 400—A H & Mary Branham (r)
- 408—Mrs T E Richie (h)
- 407—Mrs Belle Seale (r)
- 415—R J & Grace Holmgreen (r); M1561

WHEELER

(6w) (formerly Marion), b 1221 E Crockett, ext n to Dawson

WHITE AVE

(2w) (In City View add) 2 blks w Sommerset rd, b Culberson ave, ext s to Malvern ave

- P & Francisca Gonzales (h)
- P & Gregoria Huerta (r)
- J & Juliana Socorro (r)
- P & Lupe Aranda (h)
- T & Andrea Tafolla (r)
- R & Gracia Dominguez (r)
- F & Antonia Lujan (r)
- J & Maria Medrano (h)
- N & Maria Garcia (h)
- A & Brijida Villarreal (r)
- A & Buena Juarez (r)
- S & Maria Paiz (r)
- A & Suzana Florin (r)
- A & Modesta Saucedo (r)
- G & Paula Huerta (h)
- F & Sevia Jiminez (h)
- L & Anita Lujan (h)
- A & Angelita Sulaica (h)

WHITING AVE

(8w) b 400 School, ext s to Fair Grounds (Get Appler new map)

- 802—H J & Loula Shearer (h)
- 606—H W & Elizabeth Weber (h); M702
- 610—J K & Rosella Nelson (h)

WHITTIER

(8w) b 2300 Garden, ext e to 2200 S Presa (Get Appler map)

- Garden 100 S Presa
- Hunstock ave 200
- 109—J M117
- R 96 of 415

WHITTIER, E

(7w) b 2100 S Presa, ext e to York

- 311—J B & Sevia Herbert (r); M46
- 314—D H & Lillian Adams (h); M1920
- 315—H & Lena Schreiber (r)
- 316—T J & Josephine Richardson (h); M1768
- 318—Vacant
- 322—T F & Lizzie Hogan (h)

WICKES

(8w) b 1200 S Alamo, at E Johnson, ext s to Temple

- S Alamo 100 Barbe ... 500
- Forcke .. 200 Temple
- Stieren .. 300

—Alamo Street Methodist Church

- 100—C M & Martha Rabe (r); T6445
- 101—C D & Tillie B Wyse (h); T1406
- 111—E L & Sallie Burks (r); C8050
- 117—R R & Florence Harvin (r)
- 118—J J & Melahie Hein (r)
- 121—P W & Minnie Smith (h); T6729
- 122—H H Schrader (h); T4015
- 126—C F & Mary A Gerhardt (r); T973
- 129—A & Bertha Hays (h); C6842
- 130—E E & Leona Reeves (r)
- 131—L E & Ella C Campbell (r); T5778
- 134—E V & Mathilda Gerhardt (r); T4597
- 135—B E & Hazel House (r); C4780
- 201—T A & Bessie Binford (r)
- 207—A H & Helen Hansen (h); T2543
- 210—C E & Nettie Naylor (r); T4510
- 211—F A & Susie Carver (h); C4286
- 215—Margaret A Dimaline (r); T422
- 222—I & Esther Nevelow (r)
- 225—Mrs Edna Gill (r); T2175
- 226—M H & Mary Carter (r)
- 227—A G & Alice Hart (r); T4817
- 301—St Clair & Mattie MacVicar (h); C5633
- 311—Wallace Mitchell (h); C6346
- 312—Vacant
- 317—P P & Mercedes Garcia (h); T5653
- 319—P W & Lella Everitt (h)
- 323—G D & Marie Eitt (h)
- 327—Mrs Johanna Hager (r); C8554
- 329—F & Susie Scherwitz (h); M1114
- 337—R L & Emma Calhoun (r); M1672
- 407—O A Johannes (h)
- 415—H B & Agnes Black (h)
- 419—C J & Lucille Schleuning (h); M10
- 423—W B & Nettie Weininger (h); M1708
- 501—F V & Mary Weise (r); M1091
- 505—S & Mary Turner (r); M232
- 509—R M & Katie Sparks (h); M654
- 511—J S Rothschnitt (h); M25
- 515—W F & Clara Deeth sr (h); M1832
- 517—M H & Myrta Langford (h); M239
- 519—O V & Nellie Lamb (h); M29
- 531—Vacant
- 535—Vacant
- 539—Mrs Tomasa G Mayen (h); M1853
- 545—R L & Sallie Glascock (r); M1180

WILBUR

(4w) ext e 1 blk from 1302 Fred rd (Buy Appler's city map)

WILKENS AVE

(8 w), b 2801 S Presa, ext w to Roosevelt ave

- 112—A B & Isabel Lafon (r); M2091



P.O. Box 1036
Helotes, TX 78023-1036

210•372•9500
Fax: 210•372•9999
Toll Free: 1•877•372•9500
Toll Free Fax: 1•877•372•0400

Invoice

Invoice No.: 78067
Invoice Date: 8/8/2017 10:08:17 AM

GF Number

Buyer

515 Wickes Street

Title Company

Ordered By

Rebecca Clausewitz
Rebecca Clausewitz
210-473-9787

DESCRIPTION	AMOUNT
Land Survey	[REDACTED]
Tax	[REDACTED]
Total	[REDACTED]
Paid 8/5/2017 (Master Card)	
Total Due	[REDACTED]