

HISTORIC AND DESIGN REVIEW COMMISSION

March 06, 2024

HDRC CASE NO: 2024-079
ADDRESS: 2218 ORR DR
LEGAL DESCRIPTION: NCB 16524 BLK 14 LOT 10 & 11
ZONING: R-6
CITY COUNCIL DIST.: 6
DISTRICT: Public Property
APPLICANT: Alaina B Parker | MP Studio Landscape Architecture LLC
OWNER: Arthur M Rossman | COSA
TYPE OF WORK: Park construction
APPLICATION RECEIVED: February 16, 2024
60-DAY REVIEW: April 16, 2024
CASE MANAGER: Bryan Morales

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a new park at 2218 Orr Dr.

APPLICABLE CITATIONS:

UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The Historic and Design Review Commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

UDC Sec 35-642. – New Construction of Buildings and Facilities:

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the

identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

FINDINGS:

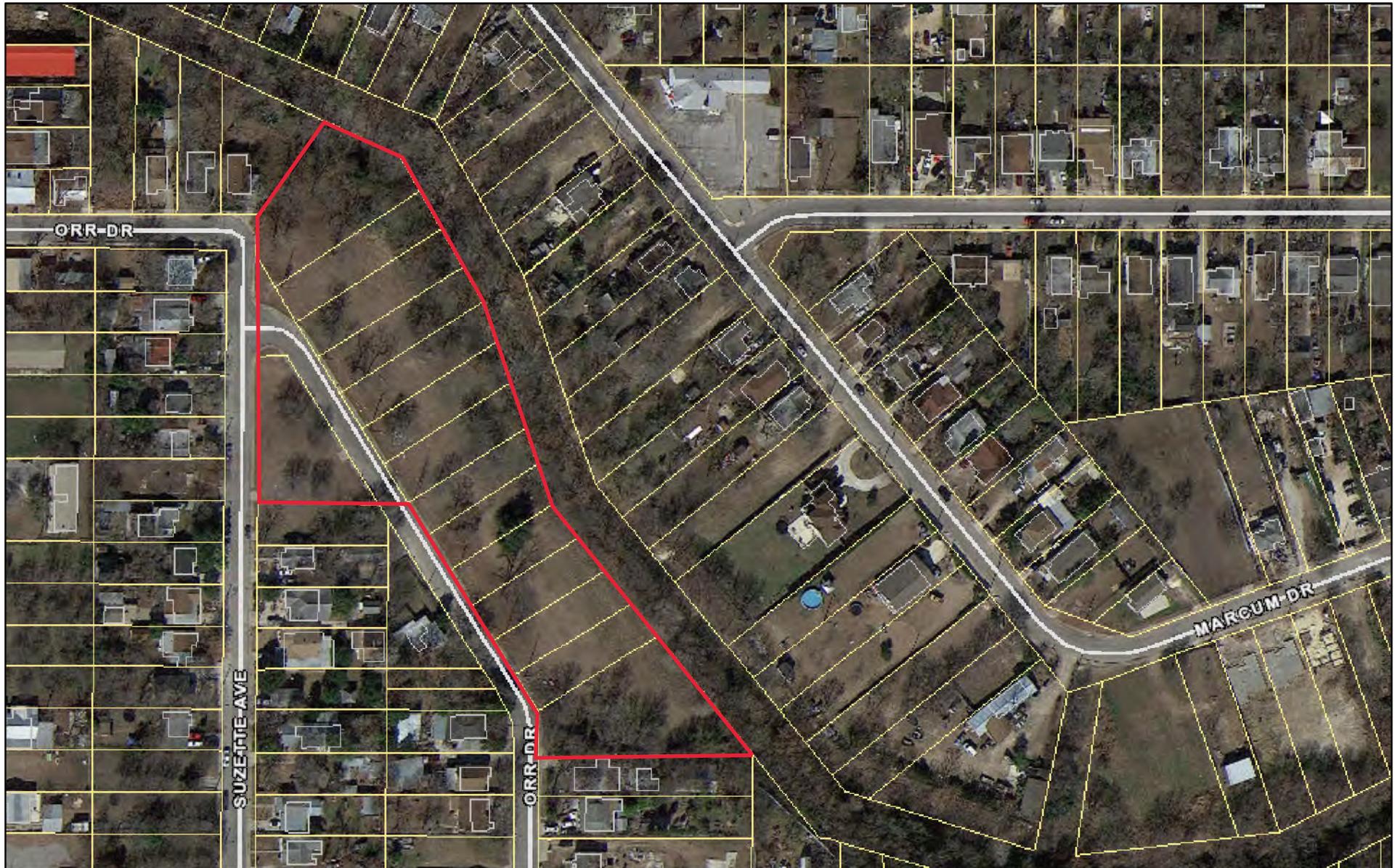
- a. The site currently proposed for the new Cable Westwood Park is located east of Orr Drive and Suzette Avenue. The new park will be situated west of Leon Creek and will feature concrete sidewalks, two playgrounds, a port-o-let restroom enclosure, off-street parking spaces with an ADA parking stall, a water drinking fountain, a shade structure picnic area, and a walking concrete loop trail.
- b. PARK AMENITIES – The applicant is requesting approval to construct a park with the following amenities: concrete sidewalks, two playgrounds, a port-o-let restroom enclosure, off-street parking spaces with an ADA parking stall, a water drinking fountain, a shade structure picnic area, a small children's stage, and a walking concrete loop trail. Staff finds the proposal generally consistent with UDC Sec. 35-642.
- c. RESTROOM FACILITY – The applicant is requesting approval to construct a port-o-let restroom enclosure. Staff finds the proposed port-o-let restroom enclosure consistent with the UDC.
- d. WALKWAYS – The applicant has proposed to install a multi-use trail with lighting throughout the proposed park, ADA accessible sidewalks, and a 4-parking space parking lot. UDC Sec. 35-642(b)(8) states that the site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places. Staff finds the proposal generally consistent with the UDC Sec. 35-642.
- e. FENCING – The applicant has proposed to install four feet tall alternating wood picket fencing with square steel posts to run parallel along the walkway plan north of the proposed parking spots. Staff finds the proposal generally consistent with the UDC.
- f. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

RECOMMENDATION:

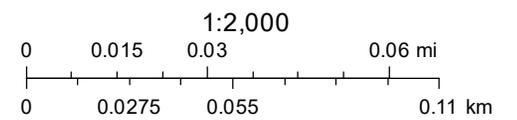
Staff recommends approval of the proposal to develop Cable Westwood Park as a new public park based on findings a through f with the following stipulation:

- i. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

City of San Antonio One Stop



February 29, 2024





CABLE WESTWOOD PARK
(NEW PARK AT ORR DRIVE AND SUZETTE AVENUE)

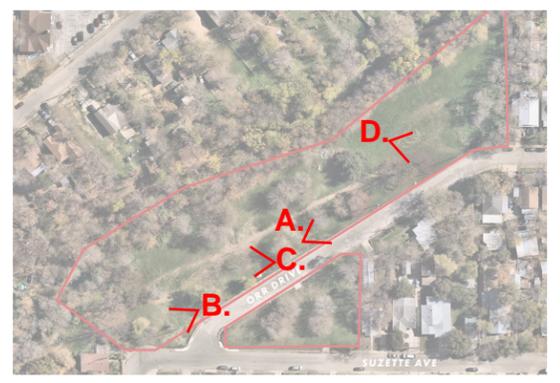
Scope of work to include the addition of concrete sidewalks, 5-12 and 2-5 playgrounds, port-o-let restroom enclosure, off-street parking spaces with ADA parking stall, water drinking fountain, shade structure picnic area, and a walking concrete loop trail.



A.



B.



KEY MAP



C.



D.

CABLE WESTWOOD PARK
(NEW PARK AT ORR DRIVE AND SUZETTE AVENUE)

**75% CD
REVIEW SET**

FOR REVIEW ONLY
Not for regulatory approval,
permitting or construction

PROJECT

**CABLE-
WESTWOOD
PARK**

(NEW PARK AT ORR DRIVE
AND SUZETTE AVENUE)

PROJECT ADDRESS

ORR DRIVE
SAN ANTONIO, TX 78227

OWNER | CLIENT

CITY OF SAN ANTONIO
100 WEST HOUSTON ST
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

ARTHUR ROSSMAN
210.207.3392
arthur.rossman@sanantonio.gov

GENERAL LEGEND	
ABBREVIATIONS	
SYMBOL	DESCRIPTION
AD	AREA DRAIN
BC	BOTTOM OF CURB
BOC	BACK OF CURB
BW	BOTTOM OF WALL
CL	CENTER LINE
ESMT	EASEMENT
EOP	EDGE OF PAVEMENT
EJ	EXPANSION JOINT
FOC	FACE OF CURB
FFE	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
HP	HIGH POINT
INV	INVERT OF PIPE
L.O.C.	LIMITS OF CONSTRUCTION
N.I.C.	NOT IN CONTRACT
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHE	OVERHEAD ELECTRIC
PD	PLANTER DRAIN
PA	PLANTING AREA
PP	POWER POLE
POB	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
TAN	POINT OF TANGENCY
SD	STORM DRAIN
SS	SANITARY SEWER
TD	TOP OF DRAIN
TPC	TOP OF POOL COPING
TC	TOP OF CURB
TF	TOP OF FOOTING
TW	TOP OF WALL
UGE	UNDERGROUND ELECTRIC
U.N.O.	UNLESS NOTED OTHERWISE
WD	WATER DEPTH
WL	WATER LEVEL

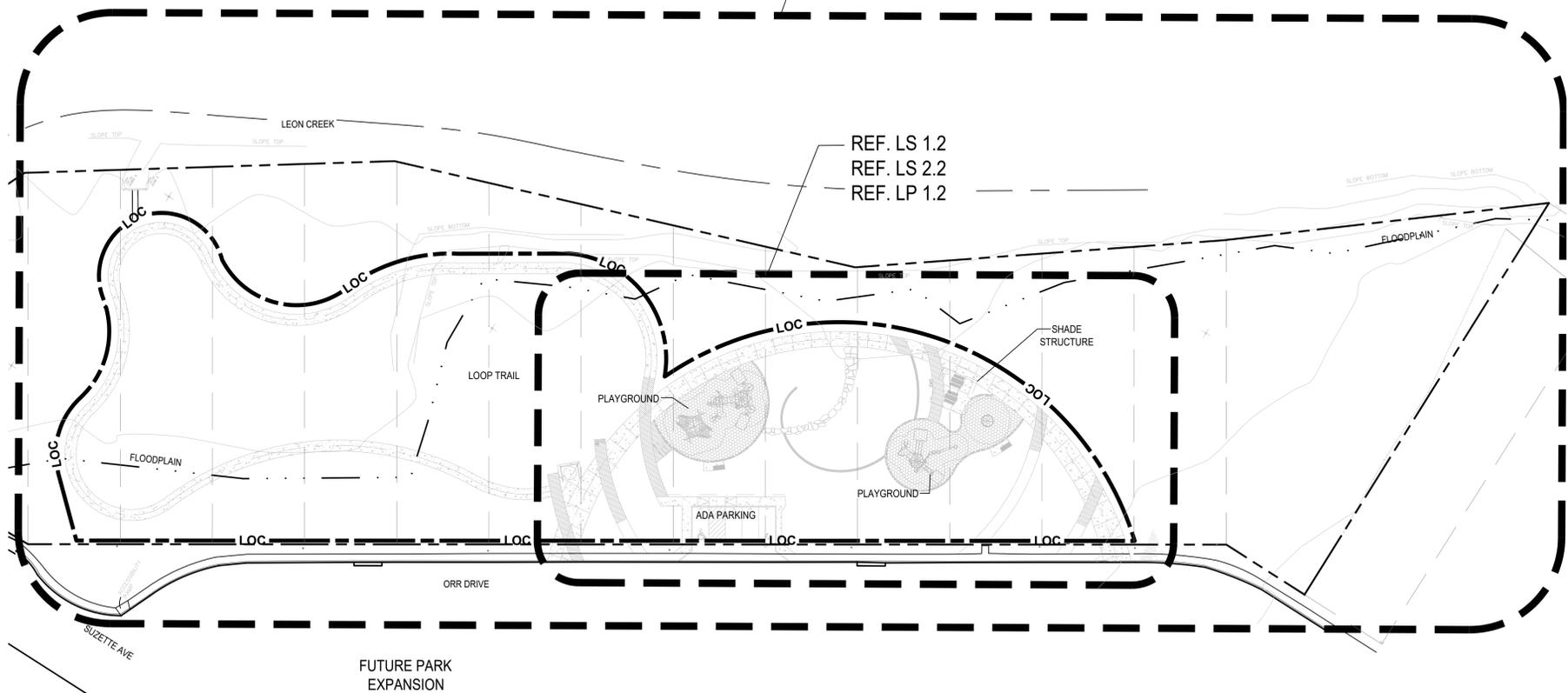
GENERAL LEGEND	
SYMBOLS & LINE TYPES	
SYMBOL	DESCRIPTION
REF:	ENLARGEMENT AREA W/ CALLOUT
X	DETAIL CALLOUT
LS.XX	MATERIALS & FINISHES CALLOUT
X.X XXX	SECTION CALLOUT
1 LS2.X	ELEVATION CALLOUT
XXXX	SITework LABEL
QTY-XXX	PLANTING LABEL
--- XXX ---	EXISTING TOPOGRAPHY - MINOR
--- XXX ---	EXISTING TOPOGRAPHY - MAJOR
--- XXX ---	PROPOSED TOPOGRAPHY - MINOR
--- XXX ---	PROPOSED TOPOGRAPHY - MAJOR
XXX.XX	PROPOSED SPOT ELEVATION
T.O. XXXX XXXX.XX	PROPOSED DATUM ELEVATION
X"	PIPE SIZE
---<	WATER FLOW / SWALE DIRECTION
M	ELECTRICAL METER
J	JUNCTION BOX
---	CONDUIT
	HOME RUN
==	SIGN LIGHT
⊖	TREE OR SIGN BULLET UPLIGHT
⊙	POLE LIGHT
⬮	GFI ELECTRICAL OUTLET

GENERAL NOTES:

- CONTRACTOR SHALL LOCATE AND VERIFY THE CONDITION OF ALL EXISTING UTILITIES, INCLUDING CONTACTING LINE LOCATION SERVICES, PRIOR TO ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR ANY COSTS INCURRED FOR BODILY INJURY AND/OR DAMAGE TO THE OWNER'S PROPERTY OR SAID UTILITIES.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ASPECTS OF A SAFE WORK SITE INCLUDING, BUT NOT LIMITED TO, PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION AND COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS ON, OR ADJACENT TO, THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS CAUSED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK REQUIRING INSPECTION IN COORDINATING THE PROJECT SCHEDULE.
- ANY PROPOSED ALTERNATES OR SUBSTITUTIONS TO THE WORK BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND/OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF TRASH ON A DAILY BASIS AND MAINTAINING A CLEAN JOBSITE.
- CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVICING TEMPORARY TOILET FACILITIES.
- UNLESS SPECIFIED OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYMENT OF ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT WITH COSTS INCLUDED IN THE BID. (PLAN REVIEW FEES ARE PAID BY OWNER.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME AWARE OF REQUIRED INSPECTIONS THAT ARE ASSOCIATED WITH PERMITS ISSUED FOR THE WORK AND TO SCHEDULE THESE INSPECTIONS AT THE APPROPRIATE STAGE OF CONSTRUCTION. (EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, ROUGH-IN ELECTRICAL, ROUGH-IN PLUMBING, IRRIGATION PIPING, FOUNDATION STEEL FOR STRUCTURES, INCLUDING WALLS, FIRE INSPECTIONS RELATED TO ENTRY GATES AND STRUCTURES, AND OTHER INSPECTIONS AS THEY MAY APPLY.)
- CONTRACTOR SHALL COORDINATE THE WORK OF SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS COORDINATE CONSTRUCTION ACTIVITIES WITH OTHER CONTRACTORS WORKING ON THE SITE.
- CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK ANY VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO APPROVAL, CONTRACTOR SHALL PROVIDE PROTECTION OF ALL FINISHED WORK IN PLACE, THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH AND CONSTRUCTION DEBRIS AND REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTLING OR EROSION THAT HAS OCCURRED DUE TO CONSTRUCTION ACTIVITIES.
- UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR SUBSTANTIAL COMPLETION INSPECTION TO THE OWNER AND LANDSCAPE ARCHITECT TO DETERMINE ACCEPTABILITY. WHERE INSPECTED WORK DOES NOT COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL REPLACE REJECTED WORK AND NOTIFY THE OWNER OR LANDSCAPE ARCHITECT FOR REINSPECTION AS APPROPRIATE FOR ACCEPTANCE AND PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.

END OF NOTES

REF. 1/TP 1.1
REF. 1/LD 1.1
REF. 1/LS 1.1
REF. 1/LS 2.1
REF. 1/LP 1.1
REF. 1/LL 1.1



REF. LS 1.2
REF. LS 2.2
REF. LP 1.2

**1 OVERALL REFERENCE
PLAN**



REVISIONS

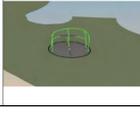
NO.	DATE	DESCRIPTION
1	01.31.24	75% CD SET

SHEET INFORMATION

PROJECT NO.	23022
DATE ISSUED	JANUARY 31, 2024
SHEET NAME	OVERALL REFERENCE PLAN
SHEET NUMBER	LC 1.1

LC 1.1

MATERIALS SCHEDULE

03 00 00 - CONCRETE						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
C.1		BOARD FORMED CONCRETE size: 2'W X 16' HT. MAX XL VARIES BOARD FORMED CONCRETE ROUGH SAWS THE FORM BOARDS USING THE TYP. 1X2 MEMBERS IN 4", 6" OR 8" HT. WITH VARYING LENGTHS.	GREY	BOARD FORMED	co: LOCAL SOURCE	<ul style="list-style-type: none"> CONTRACTOR TO PROVIDE UP TO (4) 2' X 8' MOCK-UPS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. BOARD FORMED CONCRETE IS INTENDED TO SUBTLY DISPLAY THE WOOD GRAIN AND JOINTING OF THE BOARDS.
04 00 00 - MASONRY						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
M.1		LIMESTONE LEUDERS STONE EDGE GRANDURRY CHOPPED size: 4" - 6" - 8"	N/A	SAWN SIDE/BOTTOM, NATURAL TOP/SIDE	co: BIG TEX STONE phone: 817.293.4477 <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> SUBMIT SAMPLE AND PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION INSTALL PER MANUFACTURER'S RECOMMENDATION. EMBED STONE 2" BELOW FINISH GRADE
05 00 00 - METALS						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
T.1		SHADE STRUCTURE perforated panel DESIGN PANEL (JUNGLE VINES) TBD 5X8 post: TUBULAR POST 4" DIA frame: TUBULAR FRAME 4"X9"	POST/PANNEL- CORTEN STEEL FRAME CARBON	WEATHERING STEEL	co: ARTISAN PANELS phone: 714.351.3234 email: sales@artisanpanels.com <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> CONTRACTOR TO PROVIDE SAMPLES AND SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION OR INSTALLATION.
T.2		PORT-O-LET ENCLOSURE posts: 5" DIA. X 3/8" STEEL PIPE mesh: WELDED WIRE CLOTH 3 GA 1-1/4" OPENING frame: 1-1/2" X 2-5/8" X 3/8" TUBULAR STEEL FRAME graphic silhouette: STEEL DESIGN FILE TO BE PROVIDED BY LANDSCAPE ARCHITECT	POSTS/FRAME MESH SILVER	POST/FRAME/ MESH GALVANIZED	co: LOCAL SOURCE	
06 00 00 - WOODS, PLASTICS AND COMPOSITES						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
W.1		RECYCLED PLASTIC SEAT PLANKS line: TRANSCEND LINEAGE size: 2X6 MEMBERS	BISCAYNE	COMPOSITE	co: TREX phone: 1-800.289.8739 <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> CONTRACTOR TO SUBMIT PRODUCT DATA AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION INSTALL PER MANUFACTURER'S RECOMMENDATIONS OR SUPPLY SPECS FOR APPROVED OTHER
W.2		WOOD FENCE RAW CEDAR PICKET 3" DIA FENCE MOUNTED BOTH SIDES 42" HT. FROM FINISHED GRADE	RAW CEDAR	NATURAL	co: LOCAL SOURCE	<ul style="list-style-type: none"> CONTRACTOR TO SUBMIT PRODUCT DATA AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION INSTALL PER MANUFACTURER'S RECOMMENDATIONS OR SUPPLY SPECS FOR APPROVED OTHER
08 00 00 - OPENINGS						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
Y.1		POLY CARBONATED PANEL size: 8MM MOUNT TO TOP OF SHADE STRUCTURE	TBD	TBD	co: GALLINA USA, LLC contact: AUSTIN DUSEK NATIONAL PROJECT MANAGER phone: 210.599.8291 email: adusek@coveryourpergol a.com <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> SUBMIT SAMPLE AND PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION INSTALL PER MANUFACTURER'S RECOMMENDATIONS
09 96 23 - GRAFFITI RESISTING COATING						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
P.1		ANTI GRAFFITI CLEAR COAT REMARKABLE ANTI-GRAFFITI PROTECTIVE COATING-CLEAR model: SI-COAT 531AG REF. DRAWING: #R0306-45315501058-02	N/A	SATIN	co: HD SUPPLY CONSTRUCTION & INDUSTRIAL contact: TOMAS NAVARRO phone: 210.212.4880 email: <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> SUBMIT SAMPLE AND PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION INSTALL PER MANUFACTURER'S RECOMMENDATION. CONTRACTOR TO APPLY TWO COATINGS TO ALL ABOVE GROUND SURFACE STRUCTURES.
11 68 13 - PLAYGROUND EQUIPMENT						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
G.1		5-12 PLAY STRUCTURE model: GSX-202023663 REF. DRAWING: #R0306-45315501058-02	TBD	POWDER COATED	co: LITTLE TIKES COMMERCIAL contact: JONATHAN MCJUNKIN phone: 830.302.6938 email: jonathan@leaparka ndplay.com <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> CONTRACTOR TO PROVIDE SAMPLES, PRODUCT DATA, AND SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION OR INSTALLATION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
G.2		2-5 PLAY STRUCTURE model: NE23-73437 REF. DRAWING: #R0306-45315501058-02	TBD	POWDER COATED		
G.3		2-5 PLAY STRUCTURE SURFACE SPINNER # 200203873	TBD	POWDER COATED		

MATERIALS SCHEDULE

26 56 00 - EXTERIOR LIGHTING						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
L.1		PEDESTRIAN POLE LIGHT mtt PERFORMANCE IN LIGHTING model: AMON MAXI TYPE V pole height: 12' HT.	IRON GREY	POWDER COATED	co: 2M LIGHTING contact: ZACK MERRILL phone: 210.599.4040 email: zack@2mll.com <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> SUBMIT PRODUCT DATA & SAMPLES FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
L.2		DOWNLIGHT @ SHADE STRUCTURE mtt LISMAN LIGHTING model: JET-41 CYLINDRICAL UJE-80052 SURFACE EXTERIOR size: 6.3"-5.5"	BLACK	POWDER COATED		
L.3		ACCENT DOWNLIGHT @ LANDSCAPE mtt WAC LIGHTING model: INTER BEAM ACCENT 12V 3000K WITH MOUNTING STAKE	BLACK	POWDER COATED		
32 00 00 - RECOMMENDED SITE FURNISHING						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
SF.1		LITTER RECEPTACLE model: COSA PARKS MODEL ZE-TRR200-DUAL TRASH RECEPTACLE	trash: RAL 154, 186, 37 recycle: BLUE	POWDER COATED	co: ZAMORANO ENTERPRISES phone: 210.924.2320	<ul style="list-style-type: none"> SUBMIT PRODUCT DATA AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION INSTALL PER MANUFACTURER'S RECOMMENDATIONS OR SUPPLY SPECS FOR APPROVED OTHER.
SF.2		PICNIC TABLE model: COSA PARKS MODEL ZE-PPT500-PICNIC TABLE	RAL 154, 186, 37			
SF.3		DRINKING FOUNTAIN model: 493 SM OR SMISS DRINKING FOUNTAIN WITH BOTTLE FILLING STATION, ADA ACCESSIBLE		STANDARD	co: MOST DEPENDABLE FOUNTAINS INC. phone: 901.887.0039	
32 10 00 - BASES, BALLASTS, AND PAVING						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
B.1		STANDARD CONCRETE SALT ROCK FINISH 3000 PSI MINIMUM SIDEWALK	GREY	SALT ROCK FINISH	co: LOCAL SOURCE	<ul style="list-style-type: none"> 3000 PSI MINIMUM REF. CONCRETE SPECS REF. CIVIL DRAWINGS FOR DETAILS.
B.2		DECORATIVE CONCRETE EDGE INTEGRAL COLOR CONCRETE WITH EXPOSED AGGREGATE	TBD	EXPOSED AGGREGATE	LOCAL SOURCE	<ul style="list-style-type: none"> SUBMIT SAMPLE AND PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
B.3		ACCENT CONCRETE ACID ETCH TOP SURFACE RETARDER	OMAHA TAN	ACID ETCH	co: BUTTERFIELD COLOR phone: 800.282.3388 <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> SUBMIT SAMPLE AND PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
B.4		POUR IN PLACE RUBBERIZED PLAY SURFACING pattern: DESIGN FILE TO BE PROVIDED BY LANDSCAPE ARCHITECT	TBD	STANDARD	co: LITTLE TIKES COMMERCIAL contact: JONATHAN MCJUNKIN phone: 830.302.6938 email: jonathan@leaparka dplay.com <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> SUBMIT SAMPLE AND PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
B.5		FLAGSTONE STEPPERS AUTUMN FLAGSTONE 2'X2'X3" THICK	AUTUMN FLAGSTONE	SAWN TOP	co: COBRA STONE phone: 512.748.5900 <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> SUBMIT SAMPLE AND PRODUCT DATA PRIOR TO ORDERING OR INSTALLATION. ALL JOINTS TO BE SPACED DIFFERENCE REF. TO SITE DETAILS PROVIDE 4'X4' MOCK UP FOR APPROVAL PRIOR TO INSTALLATION IN SELECTED COLOR CONTRACTOR TO PROVIDE FLUSH AND LEVEL SURFACE FOR STONE PAVERS, SURFACE VARIATION TO NOT EXCEED 1/4" IN VERTICAL ELEVATION.
B.6		HARDWOOD MULCH PREMIUM NATIVE MULCH	DARK BROWN	DOUBLE SHREDDED	co: SITEONE LANDSCAPE phone: 210.656.8100 <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> CONTRACTOR TO SUBMIT PRODUCT DATA AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION INSTALL 4" DEPTH PROVIDE GEO-FABRIK WEED BARRIER FABRIC

MATERIALS SCHEDULE

32 94 00 - PLANTING ACCESSORIES						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
A.1		STEEL EDGING model: BORDER STRETCH size: 1/8" THK.	CORTEN STEEL	N/A	co: BORDER CONCEPTS contact: TOM DECKER phone: 800.818.7009 email: tom@borderconcepts.com <i>Or Approved Substitute</i>	<ul style="list-style-type: none"> CONTRACTOR TO SUBMIT PRODUCT DATA AND SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING OR INSTALLATION INSTALL PER MANUFACTURER'S RECOMMENDATIONS
33 46 00 - SUBDRAINAGE						
KEY	DESIGN INTENT	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
D.1		PLAYGROUND/SUBSURFACE DRAIN 4" PERFORATED PIPE DRAIN	N/A	STANDARD	co: NDS web: NDSPRO.COM	<ul style="list-style-type: none"> CONTRACTOR TO SUBMIT PRODUCT DATA & SAMPLES FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ORDERING AND INSTALLATION INSTALL PER MANUFACTURER'S RECOMMENDATIONS



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

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permitting or construction

PROJECT

**CABLE-
WESTWOOD
PARK**

(NEW PARK AT ORR DRIVE
AND SUZETTE AVENUE)

PROJECT ADDRESS

ORR DRIVE
SAN ANTONIO, TX 78227

OWNER | CLIENT

CITY OF SAN ANTONIO
100 WEST HOUSTON ST
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

ARTHUR ROSSMAN
210.207.3392
arthur.rossman@sanantonio.gov

REVISIONS		
NO.	DATE	DESCRIPTION
1	01.31.24	75% CD SET

ISSUE SETS

NO.	DATE	DESCRIPTION
1	01.31.24	75% CD SET

SHEET INFORMATION

PROJECT NO.
23022

DATE ISSUED
JANUARY 31, 2024

SHEET NAME
MATERIALS
SCHEDULE

SHEET NUMBER

LC 1.2

TREE CANOPY ORDINANCE

SITE AREA = 85,895.09 SF X 38% =	32,640 SF TREE CANOPY REQUIRED
EXISTING TREES:	
(1) LIVE OAK - 875 SF @ 100%	875 SF
(3) PECAN - 1200 SF @ 100%	3,600 SF
(14) HACKBERRY - 875 SF @ 100%	12,250 SF
(3) BOX ELDER - 875 SF @ 100%	2,625 SF
(1) MESQUITE - 550 SF @ 100%	550 SF
PROPOSED TREES: REF. LANDSCAPE PLAN FOR TREE SPECIES	
(3) MONTEREY OAK - 875 SF @ 90%	2,625 SF
(3) LIVE OAK - 875 SF @ 90%	2,625 SF
(3) TEXAS ASH - 875 SF @ 90%	2,625 SF
(3) CEDAR ELM - 875 SF @ 90%	2,625 SF
(3) CHINKAPIN OAK - 875 SF @ 90%	2,625 SF
(2) TEXAS REDBUD - 275 SF @ 90%	550 SF
(4) DESERT WILLOW - 275 SF @ 90%	1,100 SF
(3) TX. MOUNT. LAUREL - 275 SF @ 90%	825 SF
(2) YAUPON HOLLY - 275 SF @ 90%	550 SF
TOTAL TREE CANOPY COVERAGE	36,050 SF (41.9%)

TREE PRESERVATION - L.O.C

TREE PRESERVATION: (Tree Survey Method)

TREES SURVEYED	
SIGNIFICANT TREE: 266 TOTAL INCHES X 35% REQ. PRESERVED:	93 INCH. (35%)
SIGNIFICANT TREE INCH. PRESERVED:	249 INCH. (90%)
REQUIRED SIGNIFICANT MITIGATION:	0" REQ. MITIGATION
HERITAGE TREE: 266 TOTAL INCHES X 100% REQ. PRESERVED:	266 INCH. (100%)
HERITAGE TREE INCH. PRESERVED:	266 INCH. (100%)
REQUIRED HERITAGE MITIGATION:	0 INCH. REQUIRED MITIGATION
TOTAL REQUIRED MITIGATION:	0 INCHES REQUIRED

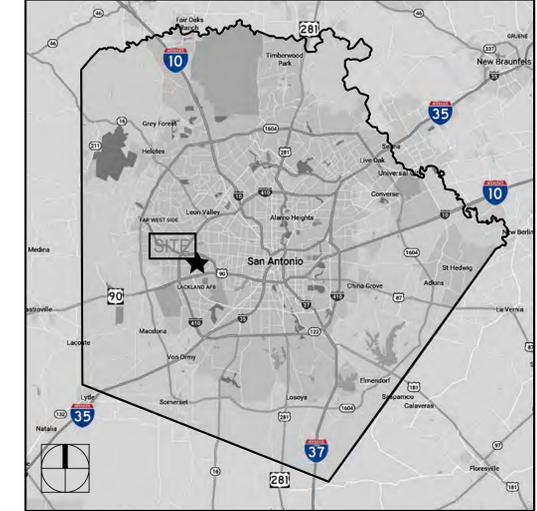


PRESERVED TREES

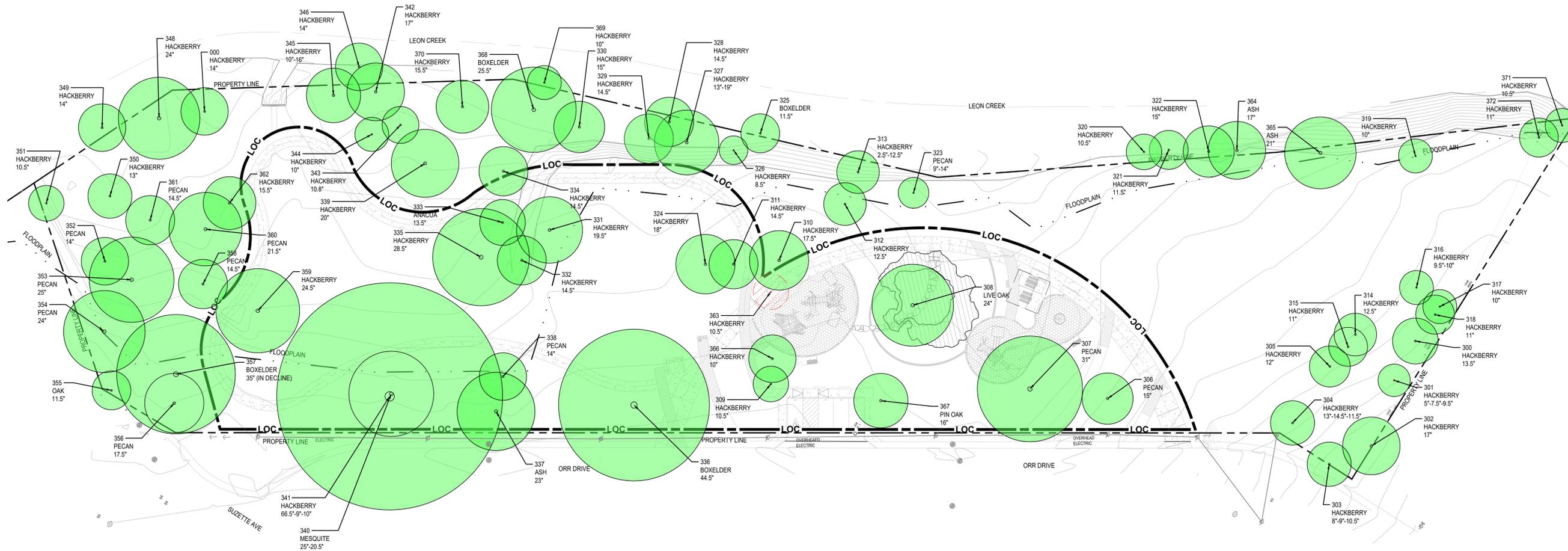
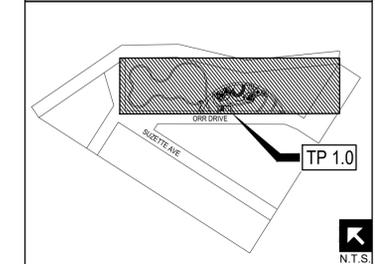


REMOVED TREES

BEXAR COUNTY MAP



KEY MAP



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SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

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PROJECT NO.

23022

DATE ISSUED

JANUARY 31, 2024

SHEET NAME

TREE PRESERVATION PLAN

SHEET NUMBER

TP 1.0

CABLE WESTWOOD PROJECT TREE INVENTORY													
Tag #	Species	Tree Caliper	Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Additional Inches Preserved for Mitigation ***
			Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	
307	Pecan	31								31			
308	LiveOak	24								24			
309	Hackberry	10.5						10.5					
311	Hackberry	14.5								14.5			
327	Hackberry	19						19					
328	Hackberry	14.5						14.5					
329	Hackberry	14.5						14.5					
330	Hackberry	15						15					
331	Hackberry	19.5						19.5					
332	Hackberry	14.5						14.5					
333	Anacua	13.5								13.5			
334	Hackberry	14.5						14.5					
335	Hackberry	28.5								28.5			
336	Boxelder	44.5								44.5			
337	Ash	23						23					
339	Pecan	14						14					
340	Mesquite	25								25			
341	Hackberry	10						10		35			
357	Boxelder	35											
358	pecan	17.5						17.5					
359	Hackberry	24.5								24.5			
360	Pecan	21.5								21.5			
362	Hackberry	15.5						15.5					
363	Hackberry	10.5					10.5						
366	Hackberry	10						10					
367	pin oak	16						16					
368	Boxelder	25.5								25.5			
Sub. Tot. Inches=			0	0	0	0	10.5	249.5	0	266	0	0	0
Total inches by category=			0	0	0	0	0	260	0	266	0	0	0
Preservation percentage=			#DIV/0!				Significant 96%		Heritage Preservation= 100%				
Mitigation required (Commercial) =			0				Commercial (inches)= -158.5		Heritage Mitigation (inches)= 0				
Mitigation required (Residential) =							Residential (inches)=						

EXISTING TREE NOTES

- ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE PROTECTION AS SHOWN ON TREE PROTECTION DETAIL ON THIS SHEET.
- ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
- NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY CITY INSPECTOR.
- TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
- THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
- THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS 1 FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE WOULD HAVE A 5-FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEARLY ACCORDING TO PROPER PRUNING METHODS. LIVE OAK WOUNDS SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT OAK WILT.
- ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.
- GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.
- TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.
- TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION.
- EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.



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PROJECT

CABLE-WESTWOOD PARK

(NEW PARK AT ORR DRIVE AND SUZETTE AVENUE)

PROJECT ADDRESS

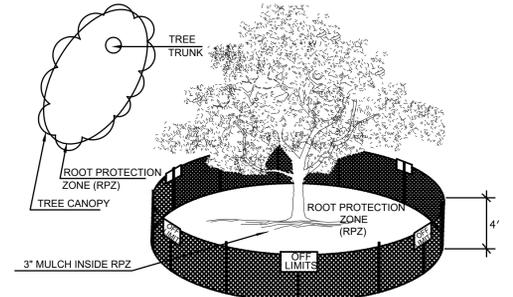
ORR DRIVE
SAN ANTONIO, TX 78227

OWNER | CLIENT

CITY OF SAN ANTONIO
100 WEST HOUSTON ST
SAN ANTONIO, TX 78283

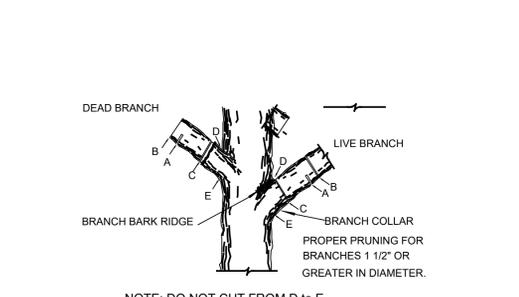
OWNER'S REPRESENTATIVE

ARTHUR ROSSMAN
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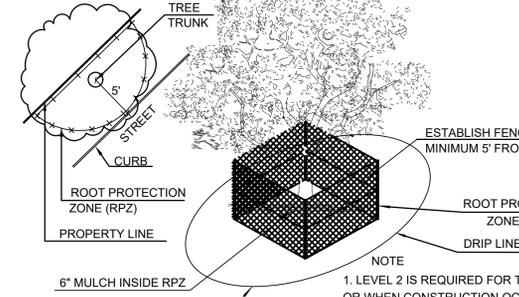
NOTE:
1. THE FENCING SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND LIMITED TO PROJECT BOUNDARY.
2. ACCEPTABLE FENCING MATERIALS INCLUDE: 4 FT HEIGHT ORANGE SAFETY FENCE WITH T-POST SUPPORTS. REFERENCE SPECIFICATIONS.

1 EXISTING I-A TREE PROTECTION
ELEVATION - PLAN - 3D VIEW NOT TO SCALE



NOTE: DO NOT CUT FROM D to E.
A. FIRST CUT - TO PREVENT THE BARK FROM BEING PEELED WHEN THE BRANCH FALLS.
B. SECOND CUT - TO REDUCE THE WEIGHT OF BRANCH.
C. FINAL CUT - ALLOW FOR HEALING COLLAR BUT NO STUBS
D. BRANCH RIDGES - IDENT PROPERLY BRANCH RIDGES WHICH ARE SITE FOR DECAY.
FOR OAKS ONLY: PAINT ALL WOUNDS OR CUTS WITH PRUNING PAINT WITHIN 20 MIN TO PREVENT THE SPREAD OF OAK WILT.

2 TREE BRANCH PRUNING
ELEVATION NOT TO SCALE

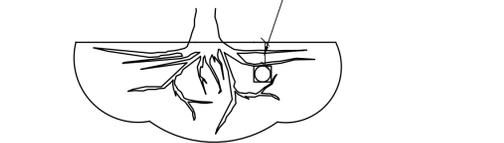


NOTE:
1. LEVEL 2 IS REQUIRED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
2. ACCEPTABLE FENCING MATERIALS INCLUDE: 4 FT HEIGHT ORANGE SAFETY FENCE WITH T-POST SUPPORTS. REFERENCE SPECIFICATIONS.

3 LEVEL II A TREE PROTECTION
ELEVATION NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5\"/>



NOTE: WRAP TREE TRUNK WITH 2\"/>

4 BORING THROUGH TREE ROOT (RPZ)
SECTION NOT TO SCALE

5 LEVEL II B TREE PROTECTION
ELEVATION NOT TO SCALE

REVISIONS

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SHEET INFORMATION

PROJECT NO.	23022
DATE ISSUED	JANUARY 31, 2024
SHEET NAME	
DETAILS & NOTES	
SHEET NUMBER	

TP 2.1

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PROJECT

**CABLE-
WESTWOOD
PARK**

(NEW PARK AT ORR DRIVE
AND SUZETTE AVENUE)

PROJECT ADDRESS

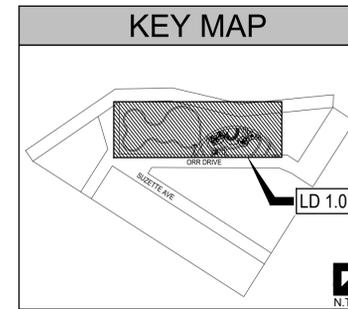
ORR DRIVE
SAN ANTONIO, TX 78227

OWNER | CLIENT

CITY OF SAN ANTONIO
100 WEST HOUSTON ST
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

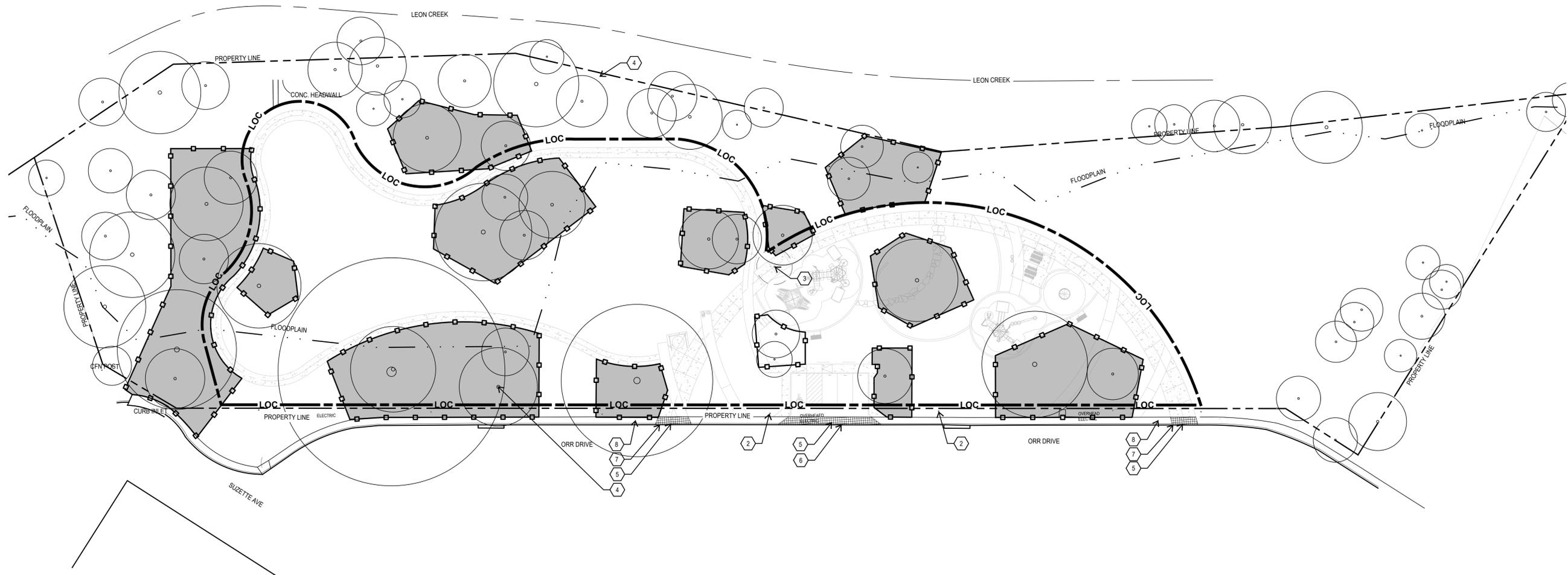
ARTHUR ROSSMAN
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arthur.rossman@sanantonio.gov



KEYED NOTES

- 1 CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY EXCAVATION.
- 2 EXISTING OVERHEAD ELECTRICAL POLES TO REMAIN UNDISTURBED
- 3 EXISTING TREE TO BE REMOVED, REFERENCE TREE PRESERVATION PLAN FOR TREE TAG NUMBER.
- 4 EXISTING TREE TO REMAIN UNDISTURBED, REFERENCE DASHED LINES FOR TREE PROTECTION FENCING.
- 5 SAWCUT, REMOVE, AND DISPOSE EXISTING CONCRETE WALK.
- 6 SAWCUT, REMOVE, AND DISPOSE EXISTING CONCRETE CURB.
- 7 CONTRACTOR TO MINIMIZE ANY DAMAGE TO EXISTING RAISED CONCRETE CURB ALONG SIDEWALK AND AVOID VEHICLES MOUNTING CURB. CONTRACTOR TO REPLACE/REPAIR ANY DAMAGE TO RAISED CURB.
- 8 EXISTING PARK SIDEWALKS TO REMAIN UNDISTURBED
- 9 PARK STAGING SIDEWALKS TO REMAIN UNDISTURBED
- 10 TEMPORARY BULL ROCK PLACEMENT FOR CONSTRUCTION ENTRANCE TO SITE

NOTE: ALL DISTURBED AREAS TO BE LEVELED AND RAKED OUT. G.C. WILL CALL AND ARRANGE FOR UTILITY LOCATING WITH THE PUBLIC ENTITIES STAKE OUT PROVIDERS. ALL PUBLIC UTILITIES TO BE STAKED OUT PRIOR TO GROUNDBREAKING. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION (LOC) TO BE CLEANED AND SMOOTHED FOR FINISH GRADE. APPLY HYDROMULCH AS NOTED ON PLANS. ALL DISTURBED AREAS FOR SITE WORK AND UTILITY TRENCHING SHALL BE CONSIDERED AS PART OF SCOPE AND RE-ESTABLISHED WITH TEMP. IRRIGATION BY G.C. PRIOR TO FINAL APPROVAL.



REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

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SHEET INFORMATION

PROJECT NO.

23022

DATE ISSUED

JANUARY 31, 2024

SHEET NAME

**DEMOLITION
PLAN**

SHEET NUMBER

LD 1.0

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PROJECT

**CABLE-
WESTWOOD
PARK**

(NEW PARK AT ORR DRIVE
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SAN ANTONIO, TX 78227

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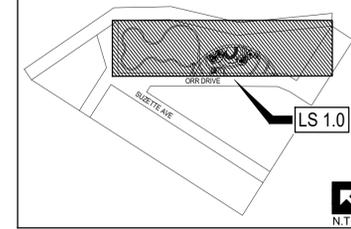
OWNER'S REPRESENTATIVE

ARTHUR ROSSMAN
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FLATWORK LEGEND

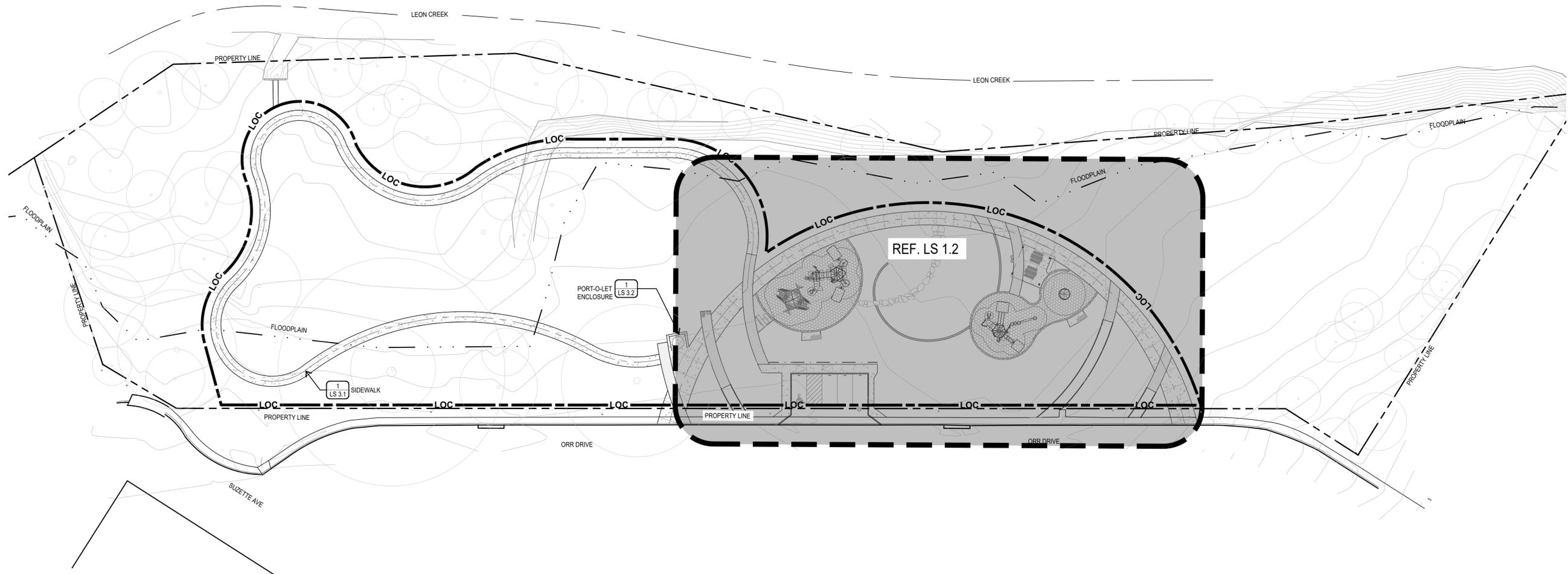
-  B.1 | STANDARD CONCRETE
REF. 1/LS 3.1
-  B.2 | DECORATIVE CURB
REF. 8/LS 3.1
-  B.3 | ACCENT CONCRETE
REF. 1/LS 3.1
-  B.4 | POURED IN PLACE RUBBERIZED
PLAY SURFACING
REF. 8/LS 3.1, 9/LS 3.1, 10/LS 3.1
-  B.5 | FLAGSTONE PAVING
REF. 7/LS 3.1
-  M.1 | LIMESTONE LEUDERS
REF. 11/LS 3.1

KEY MAP



NOTE: CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY EXCAVATION. ALL NEW SITWORK, STRUCTURES, & UTILITY LINES (GAS, ELECTRIC, WATER, SEWER, COMMUNICATION, ETC.) TO AVOID IMPACTS/TRENCHING TO TREES IDENTIFIED TO BE PRESERVED INCLUDING THEIR INDIVIDUAL TREE CRITICAL ROOT PROTECTION OR OUTLINE OF TREE.

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SHEET INFORMATION

PROJECT NO.

23022

DATE ISSUED

JANUARY 31, 2024

SHEET NAME

OVERALL SITE PLAN

SHEET NUMBER

LS 1.1



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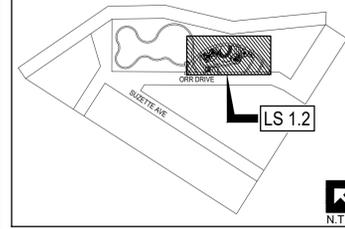
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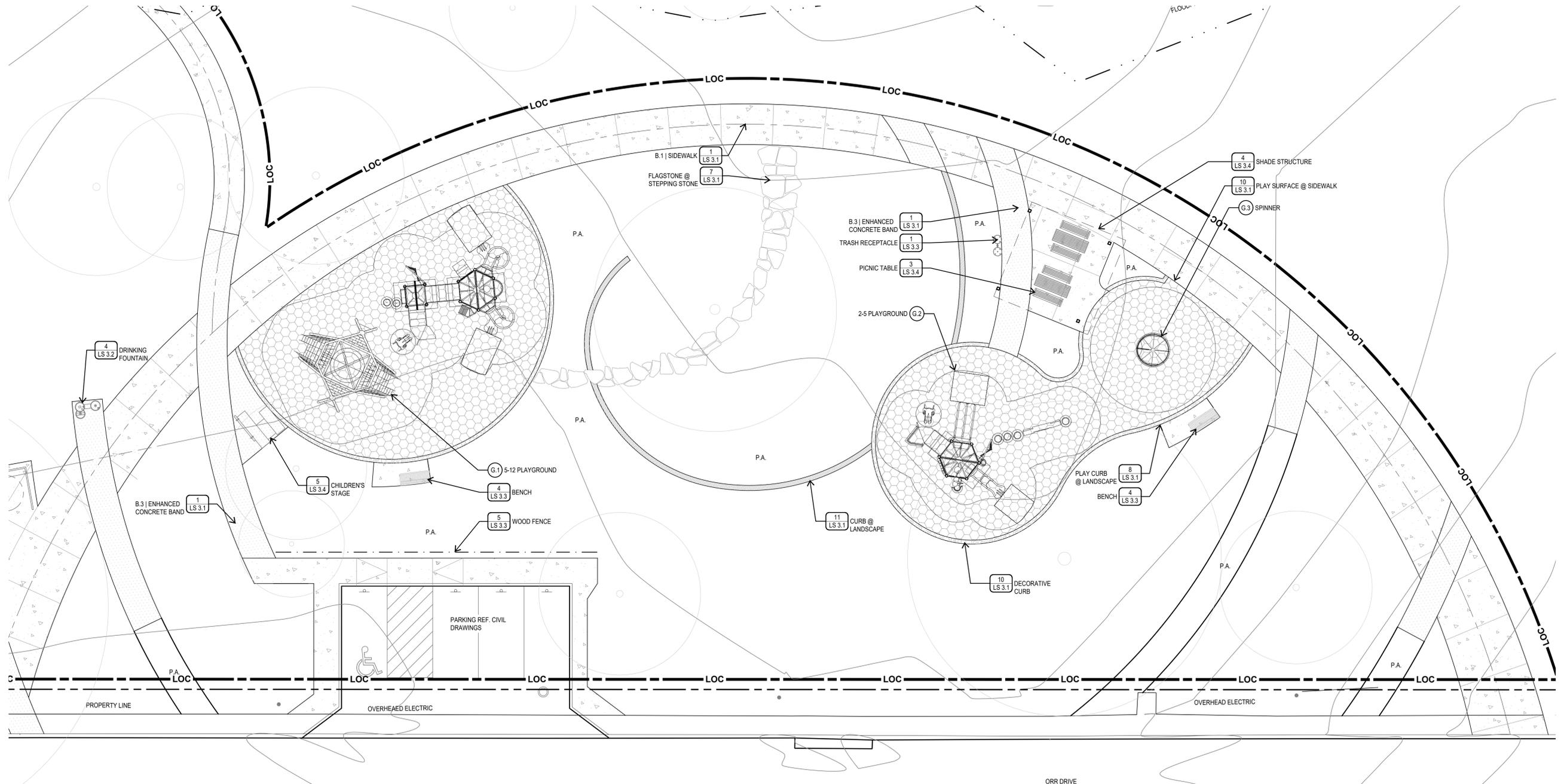
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PLAY SURFACING
REF. 8/LS 3.1, 9/LS 3.1, 10/LS 3.1
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REF. 7/LS 3.1
-  M.1 | LIMESTONE LEUDERS
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KEY MAP



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SHEET INFORMATION

PROJECT NO.	23022
DATE ISSUED	JANUARY 31, 2024
SHEET NAME	PLAYGROUND ENLARGEMENT PLAN
SHEET NUMBER	LS 1.2

**1 PLAYGROUND ENLARGEMENT
PLAN**

SCALE: 1"=10'

LS 1.2

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PROJECT

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PARK**

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PROJECT ADDRESS

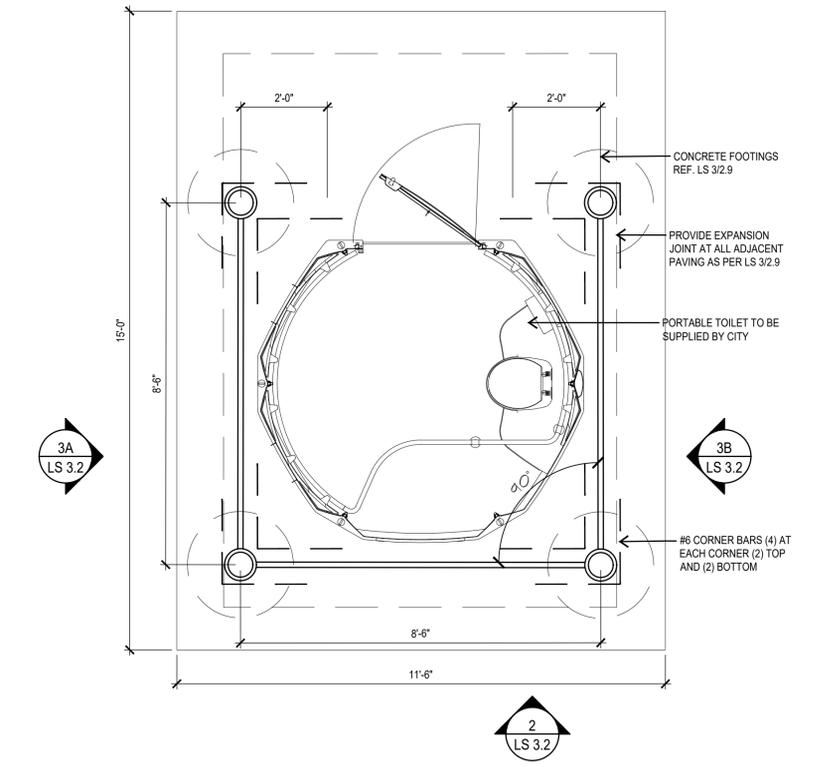
ORR DRIVE
SAN ANTONIO, TX 78227

OWNER | CLIENT

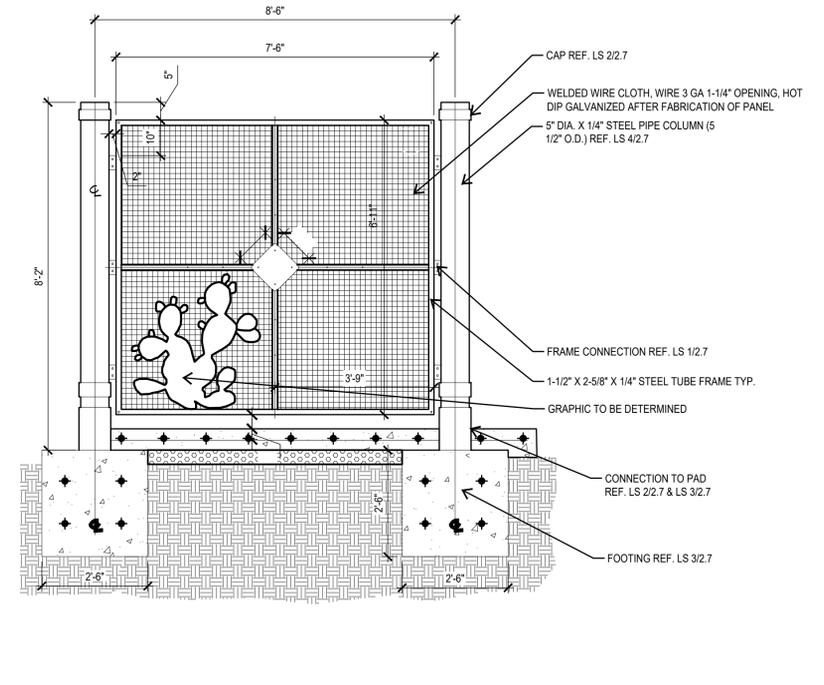
CITY OF SAN ANTONIO
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OWNER'S REPRESENTATIVE

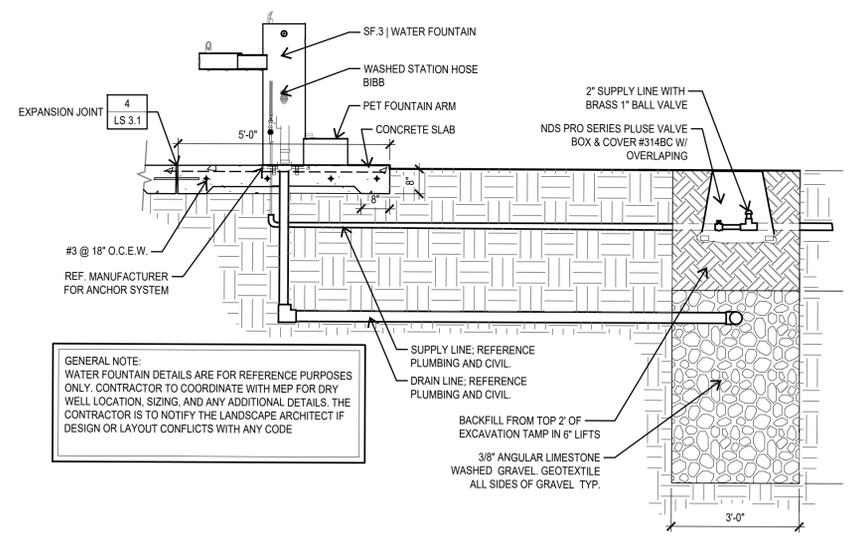
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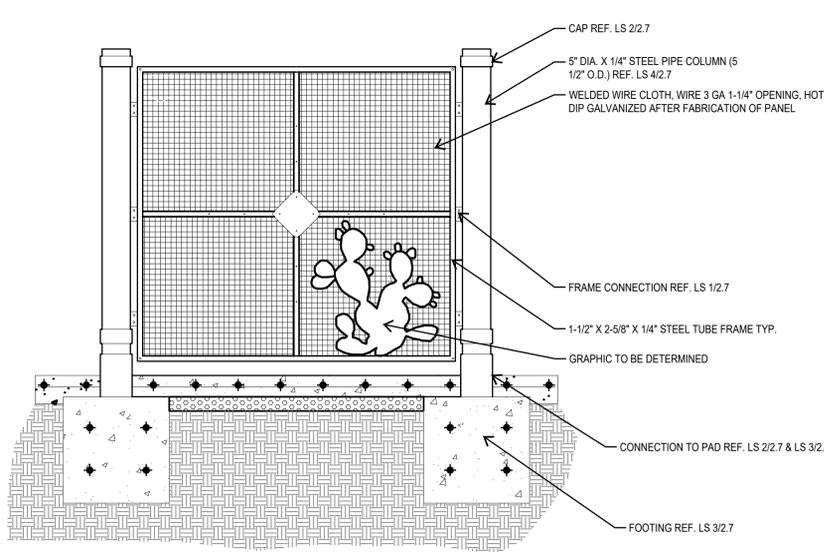
1 SINGLE TOILET ENCLOSURE
SECTION SCALE: 3/8"=1'-0"



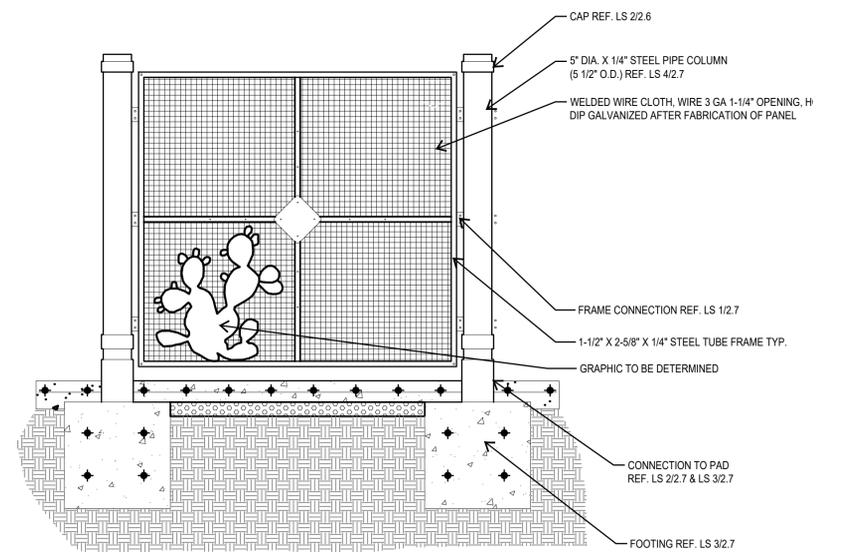
2 SINGLE TOILET ENCLOSURE
SECTION SCALE: 1/2"=1'-0"



4 DRINKING FOUNTAIN
SECTION SCALE: 1/2"=1'-0"



3 SINGLE TOILET ENCLOSURE
ELEVATION SCALE: 1/2"=1'-0"



3 SINGLE TOILET ENCLOSURE
ELEVATION SCALE: 1/2"=1'-0"

REVISIONS

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SHEET INFORMATION

PROJECT NO.	23022
DATE ISSUED	JANUARY 31, 2024
SHEET NAME	

SITE DETAILS

SHEET NUMBER	
---------------------	--

LS 3.2

**75% CD
REVIEW SET**

FOR REVIEW ONLY
Not for regulatory approval,
permitting or construction

PROJECT

**CABLE-
WESTWOOD
PARK**

(NEW PARK AT ORR DRIVE
AND SUZETTE AVENUE)

PROJECT ADDRESS

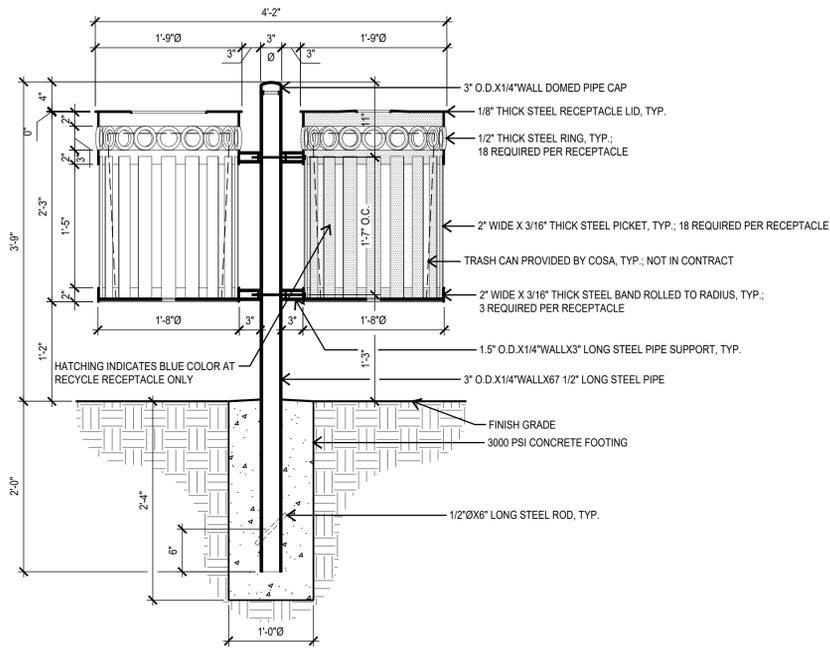
ORR DRIVE
SAN ANTONIO, TX 78227

OWNER | CLIENT

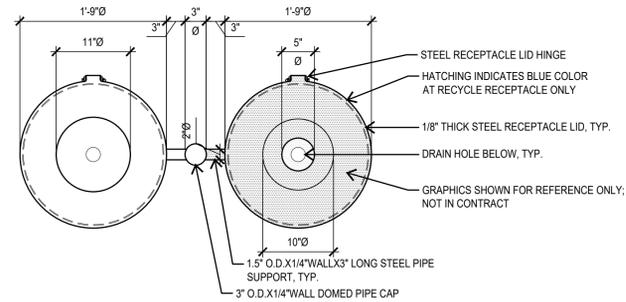
CITY OF SAN ANTONIO
100 WEST HOUSTON ST
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

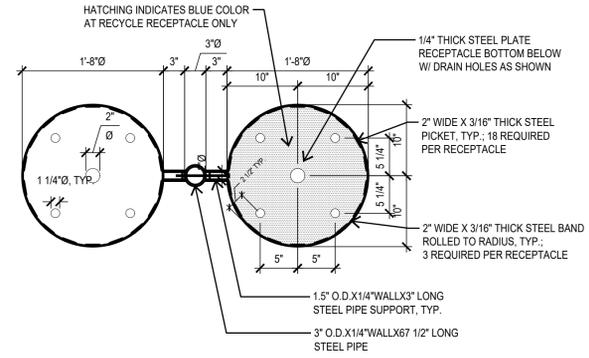
ARTHUR ROSSMAN
210.207.3392
arthur.rossman@sanantonio.gov



1 TRASH RECEPTACLE
SIDE SECTION
SCALE: 1"=1'-0"

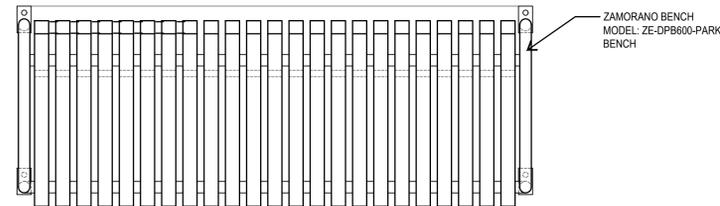


2 TRASH RECEPTACLE
PLAN VIEW
SCALE: 1"=1'-0"

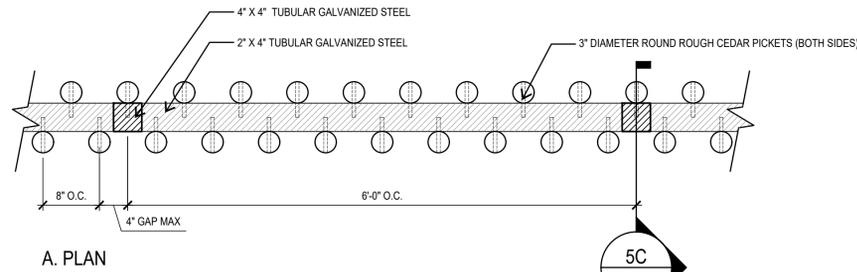


3 TRASH RECEPTACLE @ RINGS
PLAN SECTION
SCALE: 1"=1'-0"

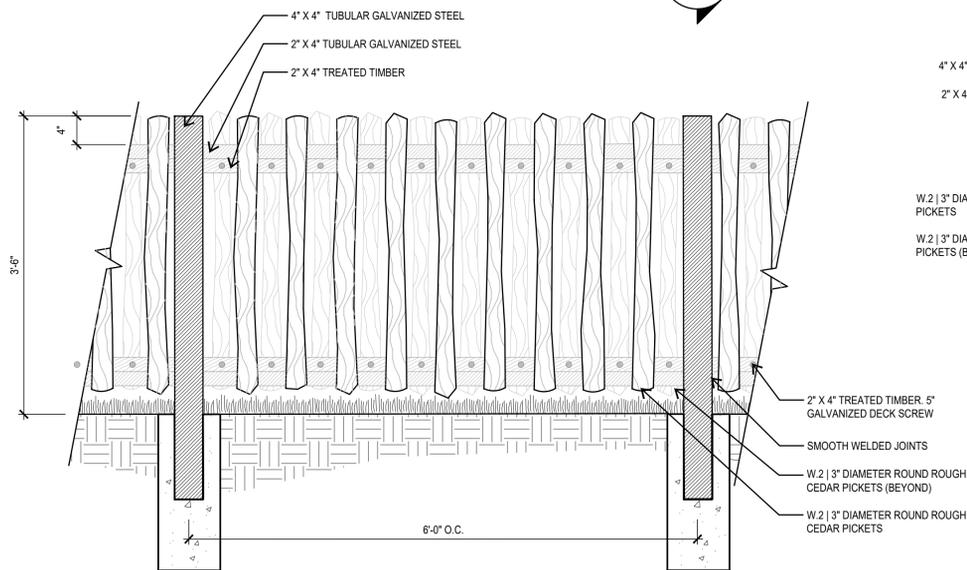
NOTE: CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO FABRICATION



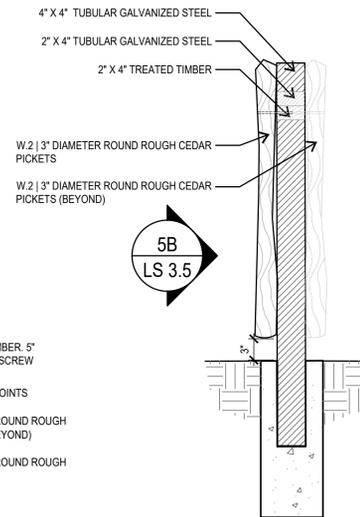
4 BENCH
PLAN
SCALE: 1"=1'-0"



A. PLAN



B. ELEVATION



C. SECTION

5 WOOD FENCE
SIDE SECTION
SCALE: 1"=1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

NO.	DATE	DESCRIPTION
1	01.31.24	75% CD SET

SHEET INFORMATION

PROJECT NO.	23022
DATE ISSUED	JANUARY 31, 2024
SHEET NAME	

SITE DETAILS

SHEET NUMBER

LS 3.3

**75% CD
REVIEW SET**

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PROJECT

**CABLE-
WESTWOOD
PARK**

(NEW PARK AT ORR DRIVE
AND SUZETTE AVENUE)

PROJECT ADDRESS

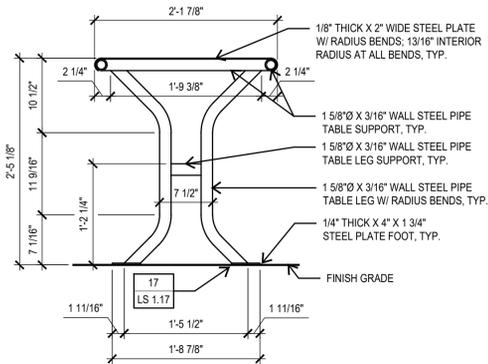
ORR DRIVE
SAN ANTONIO, TX 78227

OWNER | CLIENT

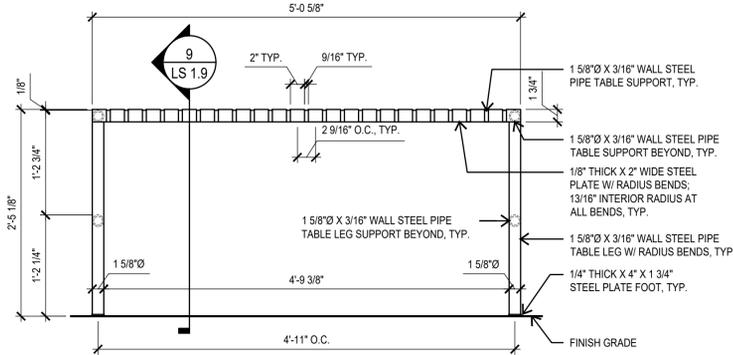
CITY OF SAN ANTONIO
100 WEST HOUSTON ST
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

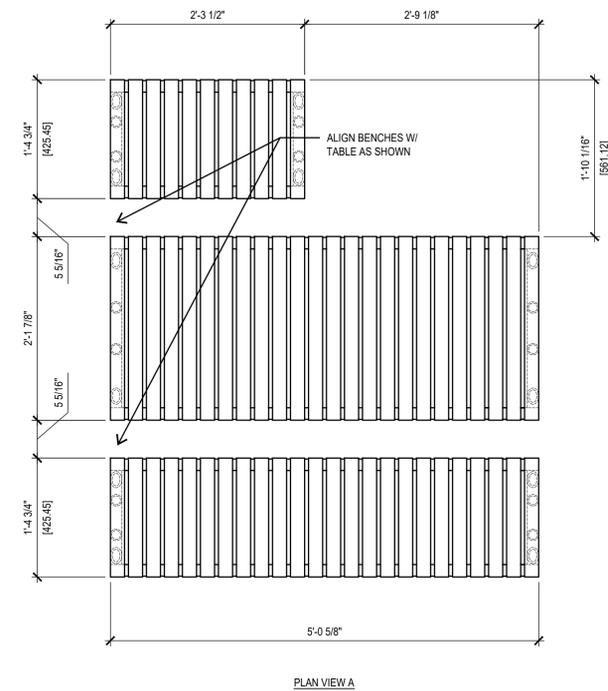
ARTHUR ROSSMAN
210.207.3392
arthur.rossman@sanantonio.gov



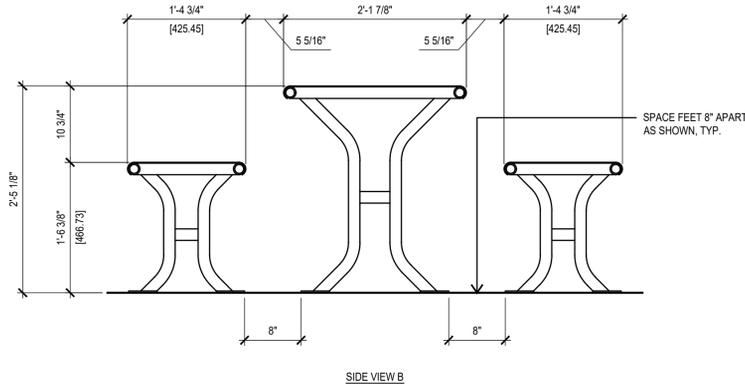
**1 TABLE SIDE
ELEVATION** SCALE: 1"=1'-0"



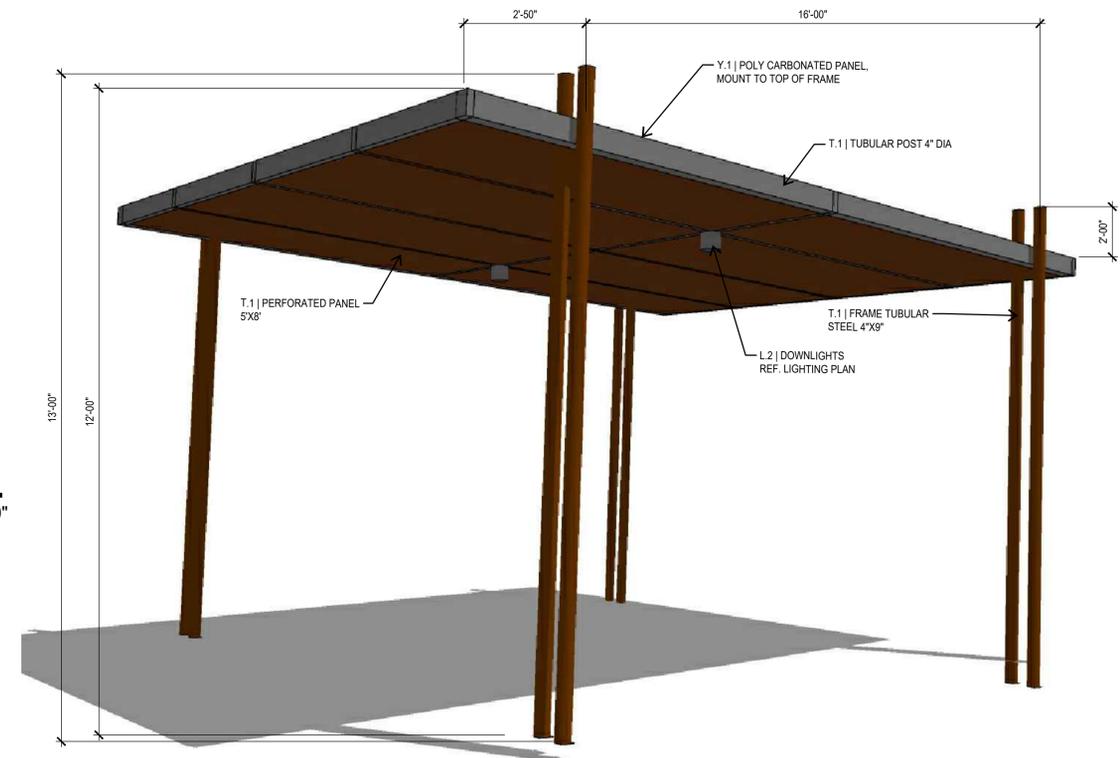
**2 TABLE FRONT
ELEVATION** SCALE: 1"=1'-0"



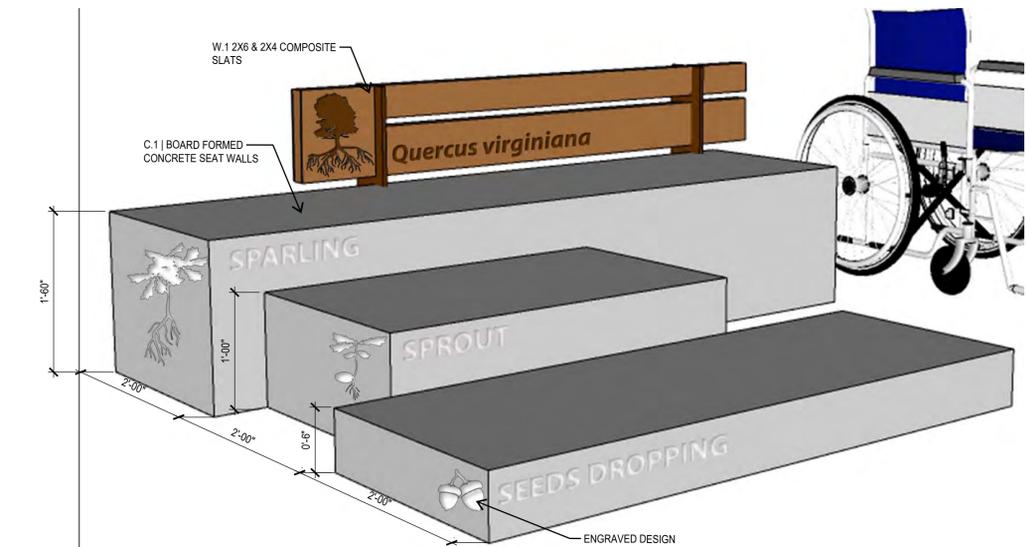
3 TABLE/BENCH LAYOUTS SCALE: 1"=1'-0"



**4 SHADE STRUCTURE
PERSPECTIVE** SCALE: 1/4"=1'-0"



**4 SHADE STRUCTURE
PERSPECTIVE** SCALE: 1/4"=1'-0"



**5 ADD ALT. SITE ELEMENT/ CHILDREN'S STAGE
PERSPECTIVE** SCALE: 1/4"=1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	01.31.24	75% CD SET

ISSUE SETS

NO.	DATE	DESCRIPTION
1	01.31.24	75% CD SET

SHEET INFORMATION

PROJECT NO.	23022
DATE ISSUED	JANUARY 31, 2024
SHEET NAME	

SITE DETAILS

SHEET NUMBER	LS 3.4
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**75% CD
REVIEW SET**

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PROJECT

**CABLE-
WESTWOOD
PARK**

(NEW PARK AT ORR DRIVE
AND SUZETTE AVENUE)

PROJECT ADDRESS

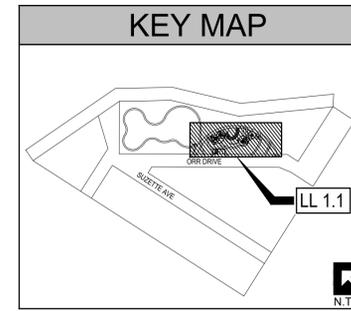
ORR DRIVE
SAN ANTONIO, TX 78227

OWNER | CLIENT

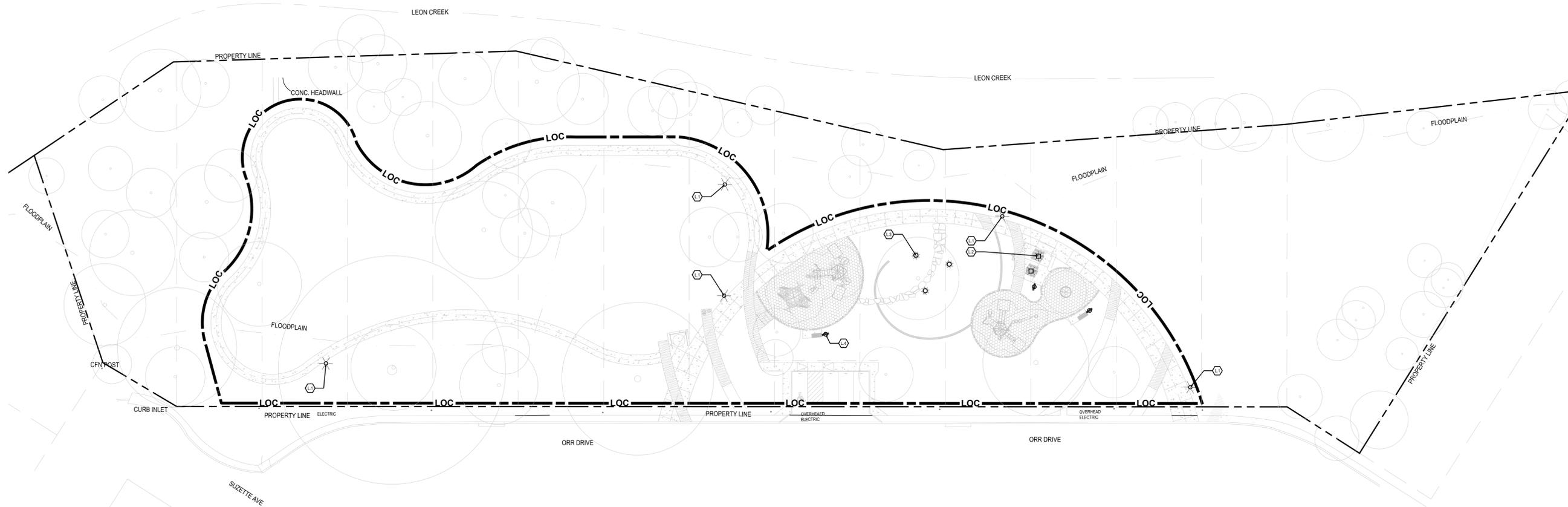
CITY OF SAN ANTONIO
100 WEST HOUSTON ST
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

ARTHUR ROSSMAN
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arthur.rossman@sanantonio.gov



LIGHTING LEGEND	
	L1 POLE LIGHT QTY: 5
	L2 DOWNLIGHT @ SHADE STRUCTURE QTY: 2
	L3 DOWNLIGHT @ TREE QTY: 3
	L4 GRC1 QTY: 3



REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

NO.	DATE	DESCRIPTION
1	01.31.24	75% CD SET

SHEET INFORMATION

PROJECT NO.	23022
DATE ISSUED	JANUARY 31, 2024
SHEET NAME	LIGHTING PLAN
SHEET NUMBER	LL 1.0