

HISTORIC AND DESIGN REVIEW COMMISSION

February 21, 2024

HDRC CASE NO: 2024-069
ADDRESS: 603 BARBE ST
LEGAL DESCRIPTION: NCB 2877 BLK 2 LOT 18 W 10 FT OF 17
ZONING: RM-4 CD, H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
APPLICANT: Gino Lutz
OWNER: Gino Lutz
TYPE OF WORK: Historic Tax Verification
APPLICATION RECEIVED: February 13, 2024
60-DAY REVIEW: March 21, 2024
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting Historic Tax Verification for the property at 603 Barbe.

APPLICABLE CITATIONS:

UDC Section 35-618 Tax Exemption Qualifications:

(e) Verification of Completion. Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.

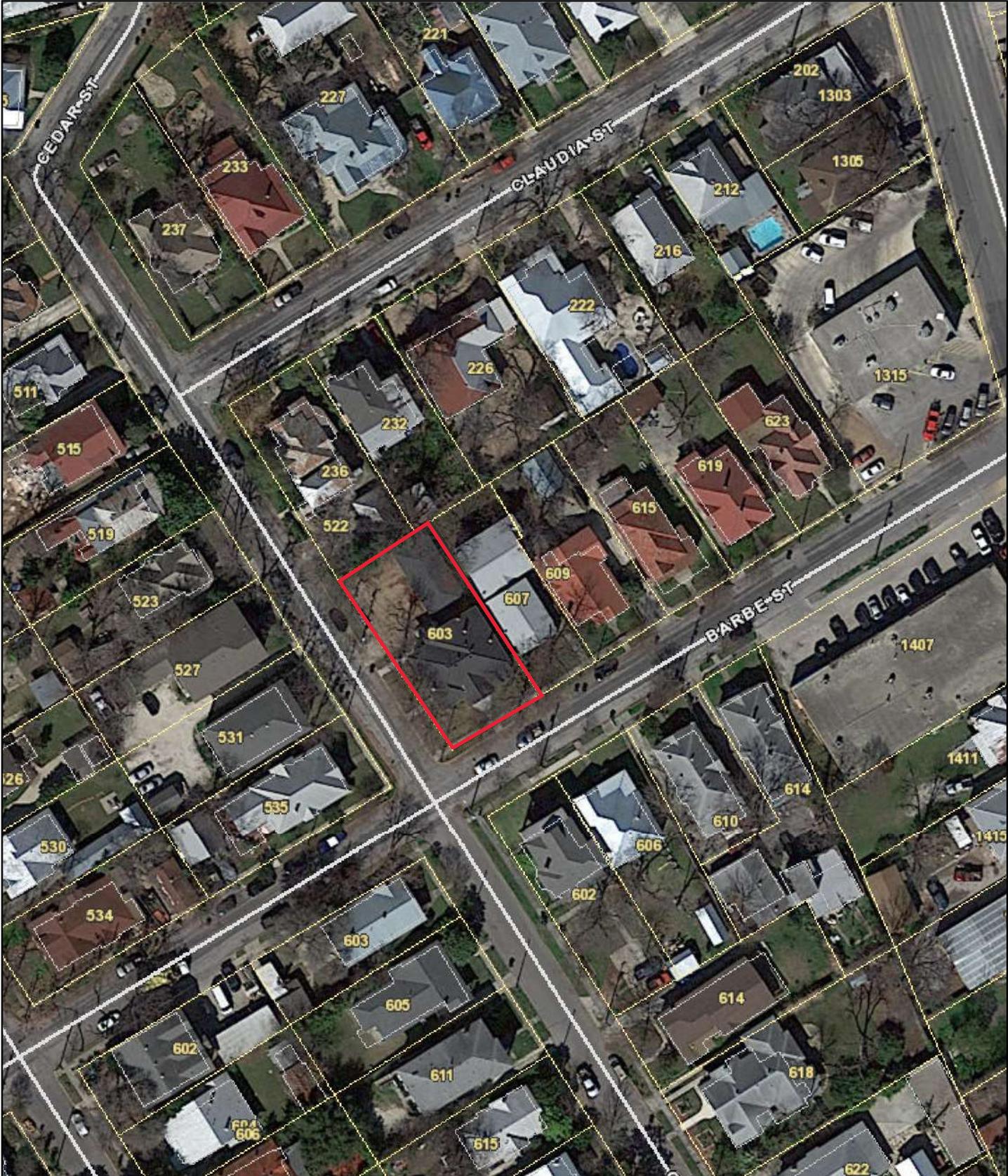
FINDINGS:

- a. The structure located at 603 Barbe is a 2-story, single-family structure constructed in the Craftsman style circa 1910. The primary structure first appears on the 1912 Sanborn Map. The structure features a composition shingle hip roof with a front gable over the deep-set front porch, decorative wood columns with brick bases, wood siding, and wood windows with divided lite transoms. The Sanborn Maps show that this property originally featured a metal or slate roof. The property is contributing to the King William Historic District. The applicant is requesting Historic Tax Verification.
- b. The scope of work includes exterior repairs and painting of the primary and accessory structures.
- c. Staff completed a site visit on February 15, 2024, and verifies that the scope of work has been completed and there are no existing violations on the property.
- d. The applicant has met all requirements of the City's tax verification process as described in Section 35-618 of the UDC and has furnished evidence to that effect to the Historic Preservation Officer, including the submission of an itemized list of costs that meets the threshold to be eligible for the Substantial Rehabilitation Tax Incentive.
- e. Approval of Tax Verification by the HDRC for work completed in 2023 means that the property owner will be eligible for the Substantial Rehabilitation Tax Incentive beginning in 2024. The Substantial Rehabilitation Tax Incentive applies to the City of San Antonio tax entity line only.

RECOMMENDATION:

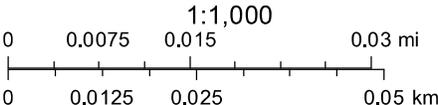
Staff recommends approval based on findings a through e.

City of San Antonio One Stop



September 29, 2022

 User drawn lines



Office of Historic Preservation

1/24/2024

1901 S. Alamo St

San Antonio, TX 78204

Re: 603 Barbe St

I have owned this property since 2014 and at the time it needed a new paint job and has gotten progressively worse over the years, to include areas of wood rot. I hired a color specialist, Jim Smith to design a color scheme using historic colors. The work commenced on 12/23/2023 and was completed on 1/18/2024. The entire building and garage were professionally painted using 6 different colors of high grade paint intended to last many years. Along the way, the painters repaired areas of rotted wood to include soffit/eaves and some lower areas.

Costs outlined below:

-Materials = [REDACTED]

-Labor = \$ [REDACTED]

TOTAL = \$ [REDACTED]

Sincerely,

Gino Lutz



603

2

Security 24/7
Camera & Bell



3333398










**TOWING ENFORCED
AT ALL TIMES**
RESIDENTS & GUESTS
IN DESIGNATED
SPACES ONLY
UNAUTHORIZED VEHICLES WILL BE TOWED
AT PERMANENT RISK TO OPERATOR
BEXAR TOW
210-590-6

















CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

August 30, 2023

ADDRESS: 603 BARBE ST
LEGAL DESCRIPTION: NCB 2877 BLK 2 LOT 18 W 10 FT OF 17
HISTORIC DISTRICT: King William
PUBLIC PROPERTY: No
RIVER IMPROVEMENT OVERLAY: No
APPLICANT: GINO LUTZ/LUTZ GINO J - 129 WICKES ST
OWNER: GINO LUTZ/LUTZ GINO J - 129 WICKES ST
TYPE OF WORK: Painting

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to: (1)repaint the exterior siding, and (2)repair wood elements as needed.

**CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION**

DATE: 8/30/2023 11:28:26 AM

ADMINISTRATIVE APPROVAL TO:

1. Repaint the exterior siding.
2. Repair wood elements as needed.

Any elements that are deteriorated beyond repair may be replaced to match existing in material, profile, dimension, texture, and finish.

The wholesale replacement of siding or any decorative features is not requested or approved at this time.

APPROVED BY: Rachel Rettaliata

Shanon Shea Miller
Historic Preservation Officer

A Certificate of Appropriateness (COA) serves as a record of design approval and is valid for 180 days. Work that is not completed in accordance with this certificate may be subject to correction orders and other penalties.

A COA does not take the place of any required building permits nor does it authorize the use of a property beyond what is allowed by the Unified Development Code. Prior to beginning your construction project, please contact the Development Services Department at (210) 207-1111 to ensure that,all requirements have been met.

This Certificate must remain posted on the job site for the duration of your project. Modifications to an approved design or an expired approval will require a re-issue of your Certificate of Appropriateness by OHP staff. Please contact OHP Staff at (210) 207-0035 with