

# HISTORIC AND DESIGN REVIEW COMMISSION

January 17, 2024

**HDRC CASE NO:** 2024-018  
**ADDRESS:** 312 MISSION ST  
**LEGAL DESCRIPTION:** NCB 943 BLK 1 LOT 30 & S 25FT OF 29  
**ZONING:** RM-4, H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** King William Historic District  
**APPLICANT:** Charles Riley  
**OWNER:** Charles Riley  
**TYPE OF WORK:** Historic Tax Verification  
**APPLICATION RECEIVED:** January 09, 2024  
**60-DAY REVIEW:** February 19, 2024  
**CASE MANAGER:** Rachel Rettaliata

## REQUEST:

The applicant is requesting Historic Tax Certification and Historic Tax Verification for the property at 312 Mission.

## APPLICABLE CITATIONS:

*UDC Section 35-618. Tax Exemption Qualification.*

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

*UDC Section 35-618 Tax Exemption Qualifications:*

*(e) Verification of Completion.* Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.

## FINDINGS:

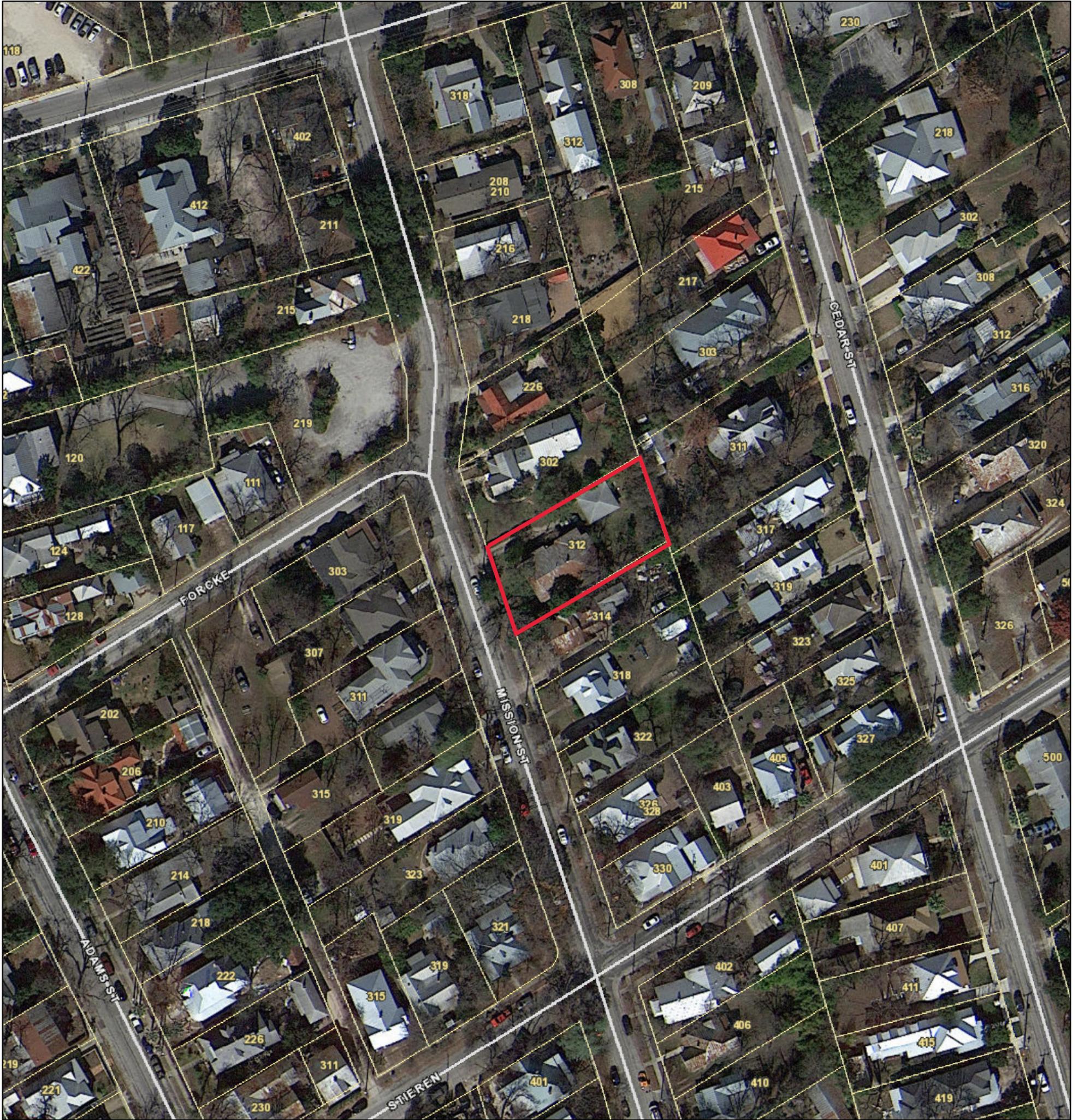
- a. The primary structure located at 312 Mission is a residential structure constructed circa 1925 in the Craftsman style. The structure features a symmetrical front façade with two front doors, a cross gable configuration with a standing seam metal roof, and original one-over-one windows with screens. The property is contributing to the King William Historic District. The applicant is requesting Historic Tax Certification and Historic Tax Verification.
- b. The scope of work includes a comprehensive interior remodel, mechanical, electrical, and plumbing upgrades, foundation repair, fireplace installation, window repair, door and window installation, porch repair and installation, exterior repairs and repainting, site work and landscaping modifications.
- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

- d. Staff conducted a site visit on January 10, 2024, to examine the conditions of the property. Staff verifies that all work used to qualify for the Substantial Rehabilitation Tax Incentive has been completed and that there are no outstanding violations on the property. While roof replacement is included in the submitted contractor's narrative, the existing standing seam metal roof was installed circa 2018 by the previous property owner and is outside of OHP's enforcement window.
- e. The applicant has met all requirements of the City's tax verification process as described in Section 35-618 of the UDC and has furnished evidence to that effect to the Historic Preservation Officer, including the submission of an itemized list of costs that meets the threshold to be eligible for the Substantial Rehabilitation Tax Incentive.
- f. Approval of Tax Verification by the HDRC means that the property owner will be eligible for the Substantial Rehabilitation Tax Incentive beginning in 2024. The Substantial Rehabilitation Tax Incentive applies to the City of San Antonio tax entity line only.

**RECOMMENDATION:**

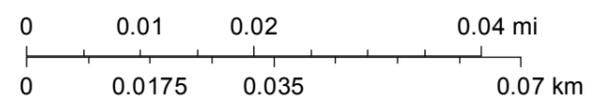
Staff recommends approval based on findings a through f.

# City of San Antonio One Stop

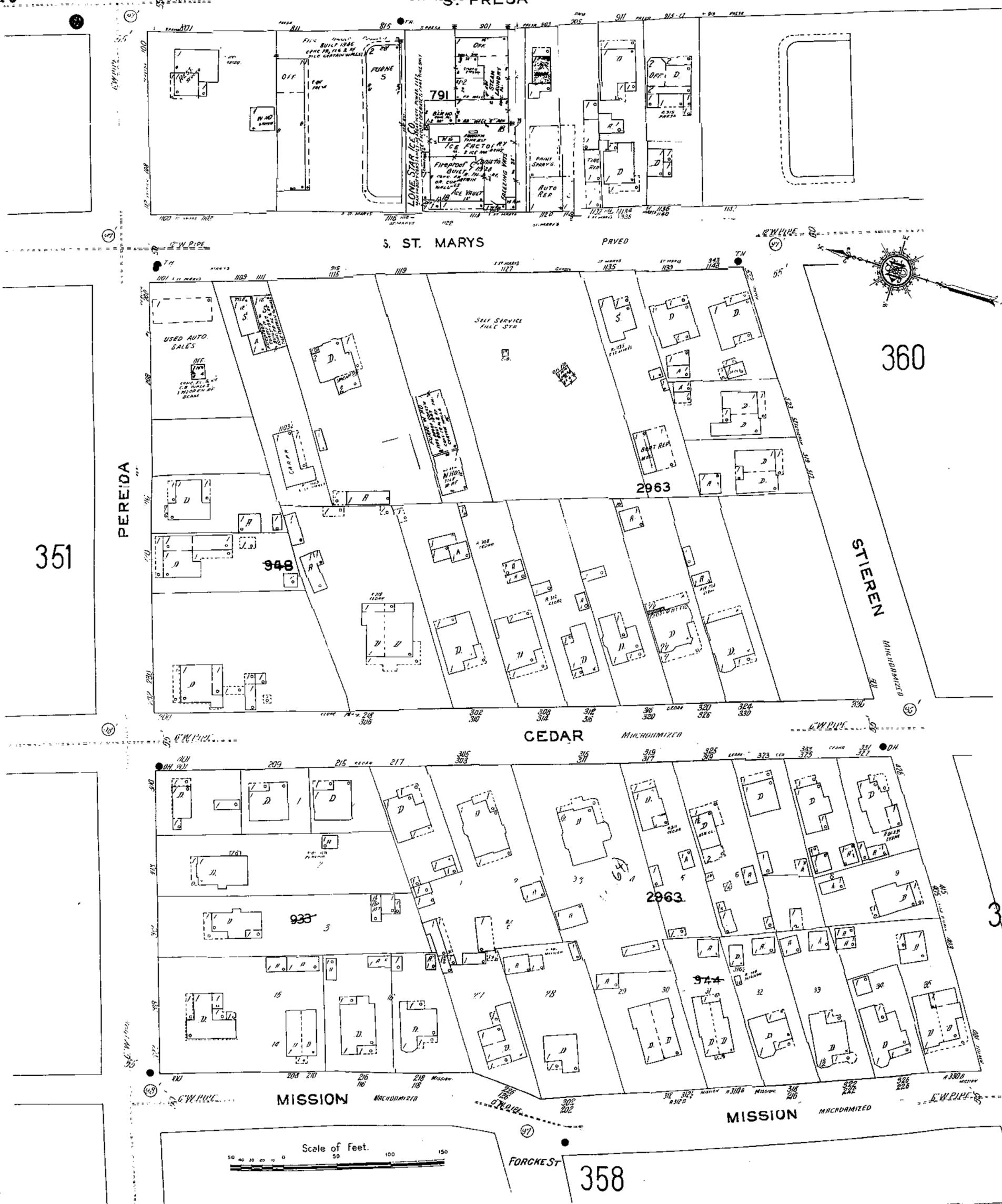


April 15, 2021

1:1,000



TRY 040



351

360

359

358

## Timeline of Renovations

312 Mission St., San Antonio, TX 78210

2/23/2021 – Property Purchased

3/9/2021 – Informal review of renovation plans with Stephanie Phillips, Office of Historic Preservation

3/12/2021 – Informal review of renovation plans with Mickey Conrad, King William Association

4/21/2021 – receive certificate of appropriateness from Office of Historic Preservation

5/14/2021 – apply for building permit with Development Services

5/18/2021 – foundation work performed by Alpha Hi-Tech Foundations

5/26/2021 – demolition and initial structural support work begins

6/18/2021 – demolition and initial structural support work complete

6/28/2021 – reframing of home begins

7/19/2021 – reframing of home complete

7/23/2021 – work on interior build out/rough in of utilities begins

August – October 2021 – delays due to supply chain issues (back windows not arriving on time) – some interior buildout/framing work continues

10/14/2021 – additional work on interior build back/framing and begin working on back porch

11/3/21 – foundation/framing for back porch

11/19/23 – install fireplace

12/1/2021 – electrical rough in begins

12/14/23 – begin installing doors/windows at rear of house; continue work on back porch

1/18/22 – work on subfloor and exterior siding at rear of house begins

1/20/2022 – cabinets ordered

1/26/2022 – rough in of HVAC begins

2/25/2022 – utilities rough in complete

3/25/22 – grading work and preparation for flatwork begins; side porch renovated

4/4/2022 – work on exterior windows begins

5/25/22 – additional interior buildout; replace front stairs

6/20/22 – repairs to exterior (soffits, fascia, eaves, trim, etc.); paint exterior

7/14/22 – begin installing insulation, sheetrock and interior trim out

8/1/22 – sheetrock complete, work begins on trim out of plumbing and electrical

8/4/22 – work begins on backyard landscaping and pool

8/18/22 – cabinet installation begins; interior trim out continues; installation of plumbing fixtures begins

8/31/22 – cabinets painted; guest bathtub/shower installed

9/8/22 – drywall is taped/floated/textured; master shower installed

9/12/22 – begin installing tile in bathrooms

9/15/22 – countertops installed

9/22/22 – back deck ceiling installed

9/23/22 – closets installed

10/6/22 – additional tile work in master bath

10/21/22 – back deck completed; siding at back of house stained

11/2/22 – flooring installed

11/3/22 – electrical fixtured installed

12/2/22 – final trim out of electrical and plumbing fixtures; interior painted

12/13/22 – appliances installed

12/14/22 – exterior cabinets/sink installed

12/16/22 – installation of flatwork begins

12/28/22 – flatwork poured

1/10/23 – master shower and mirror and toilet installed

1/12/23 – flatwork poured

1/15/23 – final cleanup and finishing touches

February 2023 – CofO issued, move in

**Christopher Stein**  
**Stein Developments, LLC**  
18245 Bandera Rd.  
Helotes, TX 78023  
**Csteindevelopment@gmail.com**  
Phone : (210) 573-6043

October 30, 2023

City of San Antonio  
Office of Historic Preservation  
1901 S. Alamo,  
San Antonio, TX 78204

Via Email: [Info@sapreservation.com](mailto:Info@sapreservation.com)

Re: Charles Riley; 312 Mission St., San Antonio, TX 78210

**Confirmation and Narrative of Complete Restoration and Renovation of  
312 Mission St., San Antonio, TX 78210**

To Whom It May Concern:

I am the president and general manager of Stein Developments, LLC and personally led the project referenced above as the general contractor. With over 30 years of experience as a general contractor, specializing in building custom homes, I was entrusted by Mr. Riley to completely renovate his home.

The scope of the project included the replacement of all existing pipes, installation of new fixtures, water lines, and water heaters, and updating all plumbing infrastructure to meet the current building and safety codes. All plumbing infrastructure has been tested to ensure optimal performance with the help of licensed plumbers/sub-contractors.

The exterior roof was also replaced with a durable and brand-new metal roof, replacing the original shingle roofing system. This new roof ensures greater longevity and resilience.

The interior of the house underwent a complete overhaul. We framed new interior walls throughout the house to accommodate the redesigned layout. Exquisite woodwork details were added throughout the home, providing both structural support and aesthetic enhancement.

The kitchen also was entirely revamped. This included the installation of a new kitchen package, complemented by contemporary countertops and fixtures. All appliances were upgraded to the latest models, ensuring the kitchen is both functional and elegant.

Each bedroom in the home went through a remodeling process. We incorporated modern designs while preserving the architectural integrity of the original structure.

A new HVAC system was installed ensuring the home would have efficient heating, ventilation, and air conditioning.

All existing windows were carefully removed, repaired where needed, and then meticulously reinstalled, preserving the original charm while ensuring modern efficiency and safety standards.

My company ensured that every detail, no matter how minute, was addressed with the utmost care and precision. Our primary goal was to preserve the essence of the original historic nature of the home while updating it to meet today's more modern standard of living.

We ensured that all work was conducted in strict adherence to the city of San Antonio's codes and regulations. All necessary building permits were obtained and our client, Mr. Riley, obtained all necessary certificates of appropriateness in relation to this project.

If you require any further details or have any questions regarding the restoration process for the project, please do not hesitate to reach out to me. I am committed to ensuring full transparency.

Thank you for your attention to this matter. Please call with questions.

Sincerely,

A handwritten signature in black ink, appearing to be 'CJ Stein', written in a cursive style.

Christopher J. Stein

| Date:      | Paid To:                 | Check No.: | Acct No.: | \$ Amount:      |
|------------|--------------------------|------------|-----------|-----------------|
| 5/6/2021   | Laura Fuentes            | 951        | N/A       | \$ [REDACTED]   |
| 5/18/2021  | Alpha Hitech Foundations | 939        | N/A       | \$ [REDACTED]   |
| 5/19/2021  | Juan Estrada             | 1019       | N/A       | \$ [REDACTED]   |
| 5/19/2021  | Laura Fuentes            | 1020       | N/A       | \$ [REDACTED]   |
| 5/26/2021  | Laura Fuentes            | 229        | N/A       | \$ [REDACTED]   |
| 5/26/2021  | Juan Martinez            | 230        | N/A       | \$ [REDACTED]   |
| 5/28/2021  | Daniel Garza             | 231        | N/A       | \$ [REDACTED]   |
| 6/1/2021   | Laura Fuentes            | 232        | N/A       | \$ [REDACTED]   |
| 6/1/2021   | Juan Martinez            | 233        | N/A       | \$ [REDACTED]   |
| 6/5/2021   | Alpha Hitech Foundations | 235        | N/A       | \$ [REDACTED]   |
| 6/9/2021   | Daniel Garza             | 236        | N/A       | \$ [REDACTED]   |
| 6/10/2021  | Laura Fuentes            | 193        | N/A       | \$ [REDACTED]   |
| 6/10/2021  | Juan Martinez            | 194        | N/A       | \$ [REDACTED]   |
| 6/18/2021  | Laura Fuentes            | 228        | N/A       | \$ [REDACTED]   |
| 6/28/2021  | Laura Fuentes            | 203        | N/A       | \$ [REDACTED]   |
| 7/1/2021   | Laura Fuentes            | 205        | N/A       | \$ [REDACTED]   |
| 7/7/2021   | William Cruz             | 941        | N/A       | \$ [REDACTED]   |
| 7/13/2021  | William Cruz             | 940        | N/A       | \$ [REDACTED]   |
| 7/15/2021  | Laura Fuentes            | 206        | N/A       | \$ [REDACTED]   |
| 7/15/2021  | Juan Martinez            | 210        | N/A       | \$ [REDACTED] 0 |
| 7/19/2021  | Daniel Garza             | 211        | N/A       | \$ [REDACTED]   |
| 7/19/2021  | Samantha Salais          | 227        | N/A       | \$ [REDACTED]   |
| 7/23/2021  | Laura Fuentes            | 212        | N/A       | \$ [REDACTED]   |
| 7/23/2021  | Juan Martinez            | 213        | N/A       | \$ [REDACTED]   |
| 7/30/2021  | Daniel Garza             | 216        | N/A       | \$ [REDACTED]   |
| 8/14/2021  | William Cruz             | 217        | N/A       | \$ [REDACTED] 0 |
| 8/16/2021  | Daniel Garza             | 243        | N/A       | \$ [REDACTED]   |
| 8/16/2021  | William Cruz             | 242        | N/A       | \$ [REDACTED]   |
| 8/19/2021  | Laura Fuentes            | 214        | N/A       | \$ [REDACTED]   |
| 8/20/2021  | Juan Estrada             | 245        | N/A       | \$ [REDACTED]   |
| 8/20/2021  | Joe Guerrero             | 244        | N/A       | \$ [REDACTED]   |
| 8/27/2021  | Laura Fuentes            | 246        | N/A       | \$ [REDACTED]   |
| 8/27/2021  | Juan Martinez            | 215        | N/A       | \$ [REDACTED] 0 |
| 9/3/2021   | Juan Martinez            | 247        | N/A       | \$ [REDACTED]   |
| 9/3/2021   | Laura Fuentes            | 248        | N/A       | \$ [REDACTED]   |
| 9/10/2021  | Laura Fuentes            | 256        | N/A       | \$ [REDACTED]   |
| 9/16/2021  | Laura Fuentes            | 249        | N/A       | \$ [REDACTED]   |
| 9/27/2021  | Laura Fuentes            | 257        | N/A       | \$ [REDACTED]   |
| 9/27/2021  | Daniel Garza             | 288        | N/A       | \$ [REDACTED]   |
| 9/29/2021  | Laura Fuentes            | 258        | N/A       | \$ [REDACTED]   |
| 9/29/2021  | Chris Stein              | 259        | N/A       | \$ [REDACTED]   |
| 9/29/2021  | Angie Stein              | 260        | N/A       | \$ [REDACTED]   |
| 10/8/2021  | Laura Fuentes            | 250        | N/A       | \$ [REDACTED]   |
| 10/8/2021  | Chris Stein              | 251        | N/A       | \$ [REDACTED]   |
| 10/15/2021 | Laura Fuentes            | 252        | N/A       | \$ [REDACTED]   |
| 10/16/2021 | Adrian Galvan            | 261        | N/A       | \$ [REDACTED]   |

10/29/2021 Laura Fuentes  
11/3/2021 Laura Fuentes

[REDACTED]

253 N/A  
254 N/A

[REDACTED]

\$  
\$

[REDACTED]

6/13/2022 Marshall Electric, LLC

912 N/A

\$

[REDACTED]

[REDACTED]

[REDACTED]

9/8/2022 Laura Fuentes

384 N/A

\$

[REDACTED]

[REDACTED]

[REDACTED]

12/25/2022 Ricardo Medina

1101 N/A

\$

6/9/2023 Northstar Fencing

1045 N/A

\$

6/14/2023 Andy's Backyard Irrigation

1140 N/A

\$

[REDACTED]

[REDACTED]

[REDACTED]

Total Expenses \$ [REDACTED]





312





































# CODE REVIEW SUMMARY

LOCATION: 312 Mission San Antonio, Texas 78204

|  |                              |
|--|------------------------------|
| OCCUPANCY CLASSIFICATION                       |                              |
| BUILDING TYPE:<br>Residential Interior Remodel | BUILDING AREA:<br>1,933 S.F. |

## DRAWING INDEX

- GENERAL**
- A0.01 COVER SHEET / SITE PLAN DEMO PLAN
- ARCHITECTURAL**
- A2.01 FLOOR PLAN / ELECTRICAL PLAN
  - A3.01 CROSS SECTION CABINETS ELEVATIONS
  - A4.01 EXTERIOR ELEVATIONS ROOF PLAN

# Mission Remodel

312 Mission  
San Antonio, TX 78204

## DESIGN TEAM

EXQUISITE DESIGN  
1270 N LOOP 1604 E #1201  
SAN ANTONIO, TEXAS 78232  
210.421.8890

## STRUCTURAL ENGINEER

HQ ENGINEERING  
210.378.6000  
HUGOQ01@YAHOO.COM

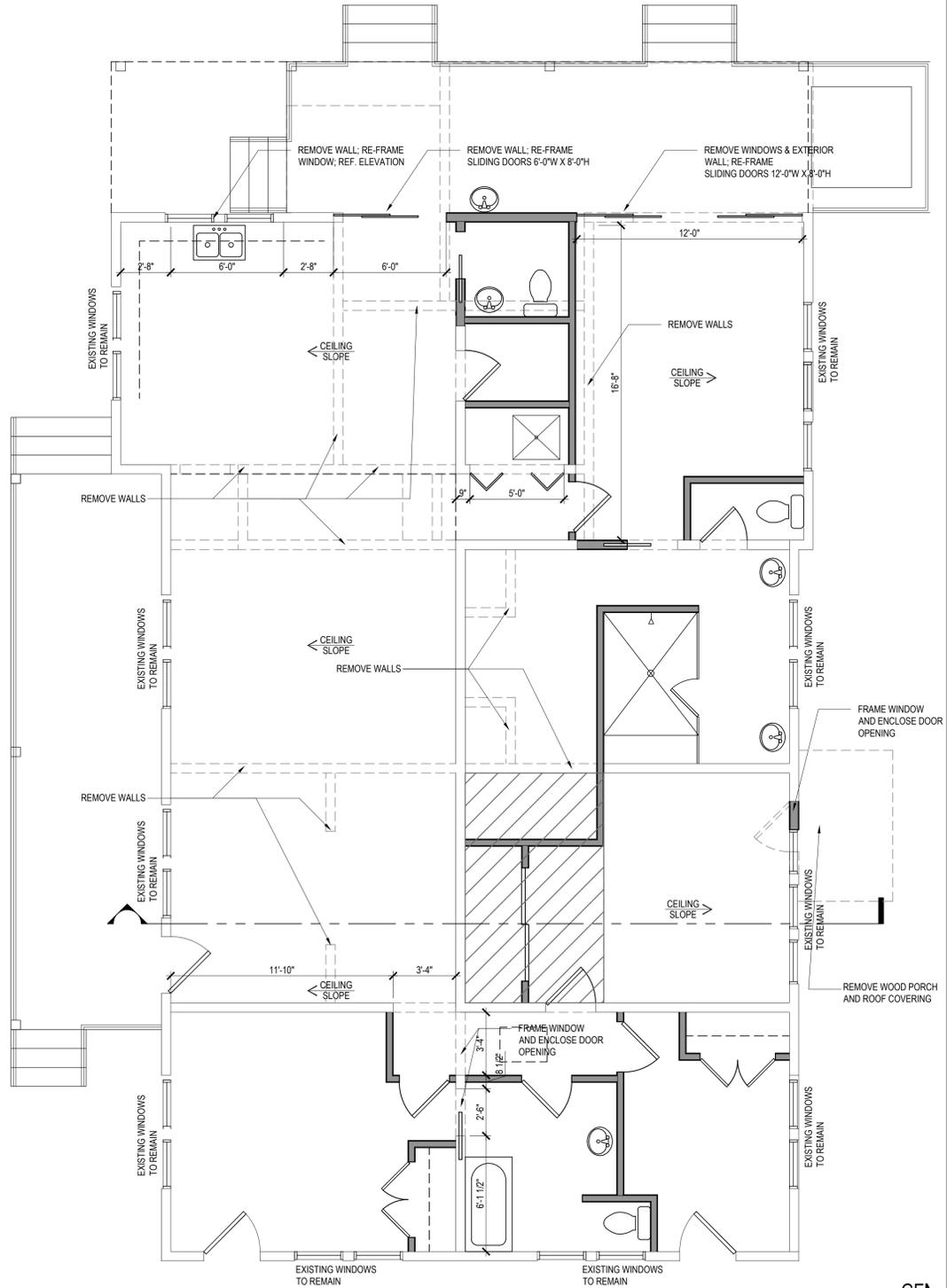
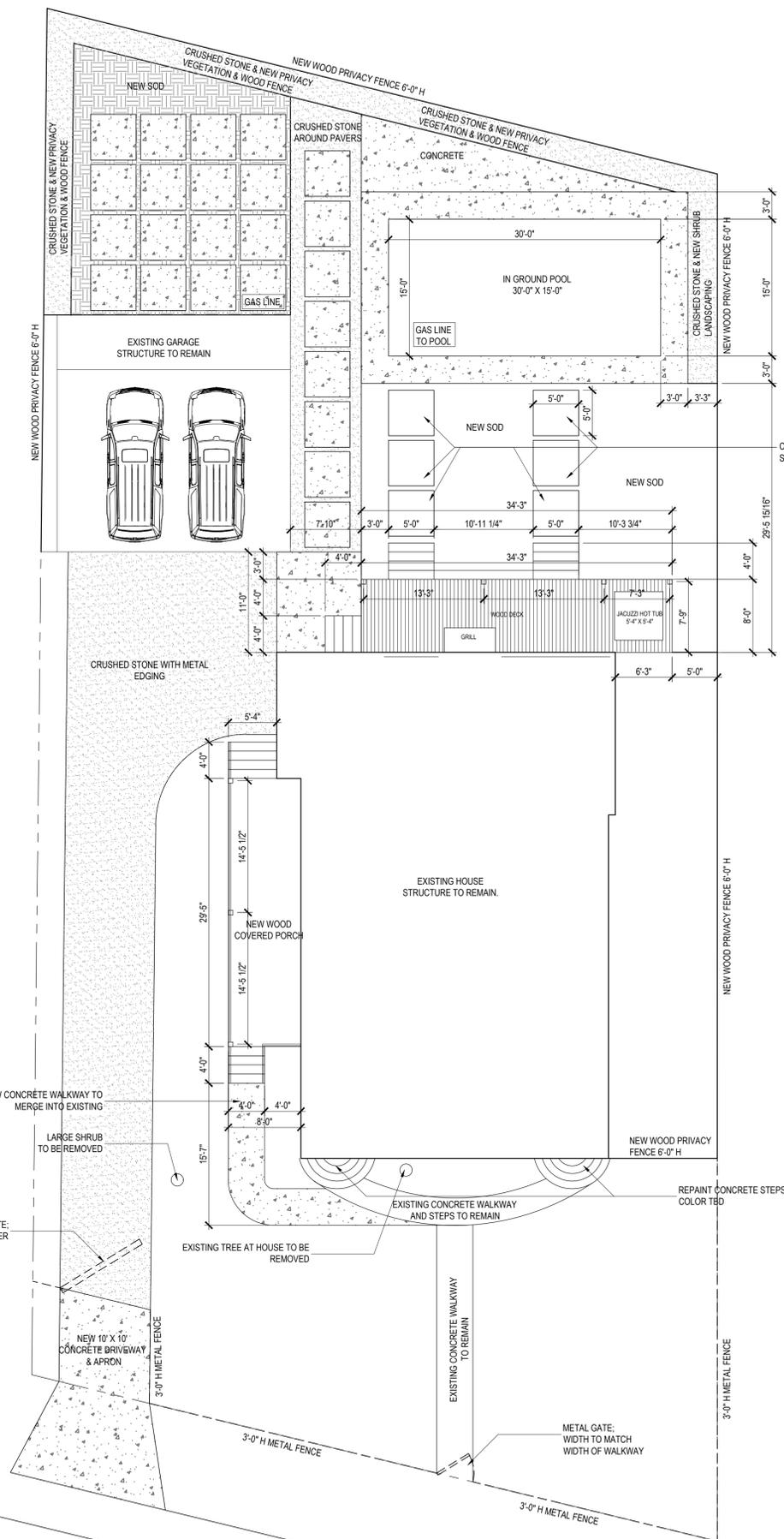
## LEGEND

|  |   |  |                               |
|--|---|--|-------------------------------|
|  | SECTION IDENTIFICATION NUMBER             |  | EXISTING CONST. TO REMAIN     |
|  | NUMBER OF SHEET IN WHICH SECTION IS DRAWN |  | NEW CONSTRUCTION              |
|  | MILL SECTION NUMBER                       |  | 1 HR. SEPARATION              |
|  | FINISH MARKER                             |  | 2 HR. SEPARATION              |
|  | EQUIPMENT NUMBER                          |  | 3 HR. SEPARATION              |
|  | NORTH INDICATOR                           |  | DETAIL NUMBER                 |
|  | COLUMN GRID NUMBER                        |  | SHEET NUMBER OF DETAIL        |
|  | KEYNOTE IDENTIFICATION NUMBER             |  | EXISTING ELEVATION            |
|  | REVISION NOTE                             |  | NEW ELEVATION                 |
|  | PARTITION TYPE                            |  | LEVEL DESCRIPTION             |
|  | DEMOLITION KEYNOTE                        |  | FLOOR ELEVATION               |
|  | WINDOW NUMBER                             |  | FLOOR CHANGE AMOUNT           |
|  | ROOM NAME                                 |  | FLOOR CHANGE                  |
|  | ROOM NUMBER                               |  | CENTERLINE                    |
|  | DOOR NUMBER                               |  | DRAWING IDENTIFICATION NUMBER |
|  | ELEVATION IDENTIFICATION                  |  | DRAWING TITLE                 |
|  |   |  | SCALE OF DRAWING              |

**APPLICABLE BUILDING CODES & AUTHORITIES**

- 2018 International Building Code
- 2018 International Residential Code
- 2018 International Existing Building Code
- 2018 International Mechanical Code
- 2018 International Plumbing Code
- 2018 International Fuel Gas Code
- 2018 International Fire Code
- 2018 International Energy Conservation Code
- 2017 National Electric Code

Local amendments to the above-listed codes may be viewed on the Development Services Department website: [www.sanantonio.gov/dsd](http://www.sanantonio.gov/dsd)



**2 DEMO PLAN**  
1/4" = 1'-0"

### LEGEND

- 2X4 NON RATED PARTITION
- EXISTING WALLS TO REMAIN
- WALLS TO BE REMOVED

### GENERAL NOTES

- DAMAGED WINDOWS TO BE REPAIRED
- EXISTING WINDOW TRIM TO REMAIN
- ALL EXTERIOR SIDING AND ROOF MATERIAL WILL REMAIN
- FRONT FACADE TO REMAIN

**STAFF NOTE: OPTION 1**



DATE: 1 MARCH 2021  
EXP. DATE:  
EXQUISITE DESIGN  
1270 N LOOP 1604 E #1201  
SAN ANTONIO, TEXAS 78232  
VOICE: (210) 421-8890  
GENEVE@MYSAPROPERTIES.COM

THIS PLAN AND THE DESIGNS CONTAINED HEREIN ARE THE PROPERTY OF EXQUISITE DESIGN AND MAY NOT BE REPRODUCED, ALL OR IN PART, WITHOUT WRITTEN CONSENT FROM EXQUISITE DESIGN.  
EXQUISITE DESIGN IS A DESIGN COMPANY, NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE NOR ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATIONS. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. EXQUISITE DESIGN IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY MATTER OR FORM IF ANY ISSUES OR PROBLEMS ARISE.

**PROJECT**  
**Mission Remodel**  
312 Mission St.  
San Antonio, TX 78210

**OWNER**  
**Charles & Christine Riley**  
312 Mission St.  
San Antonio, TX 78210

**PROJECT NUMBER**  
20-Mission312

**CONSTRUCTION DOCS**

| NO. | DATE | DESCRIPTION OF ISSUE |
|-----|------|----------------------|
|     |      |                      |

**CONSULTANT**

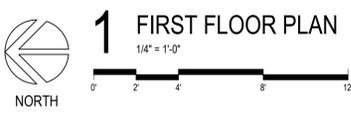
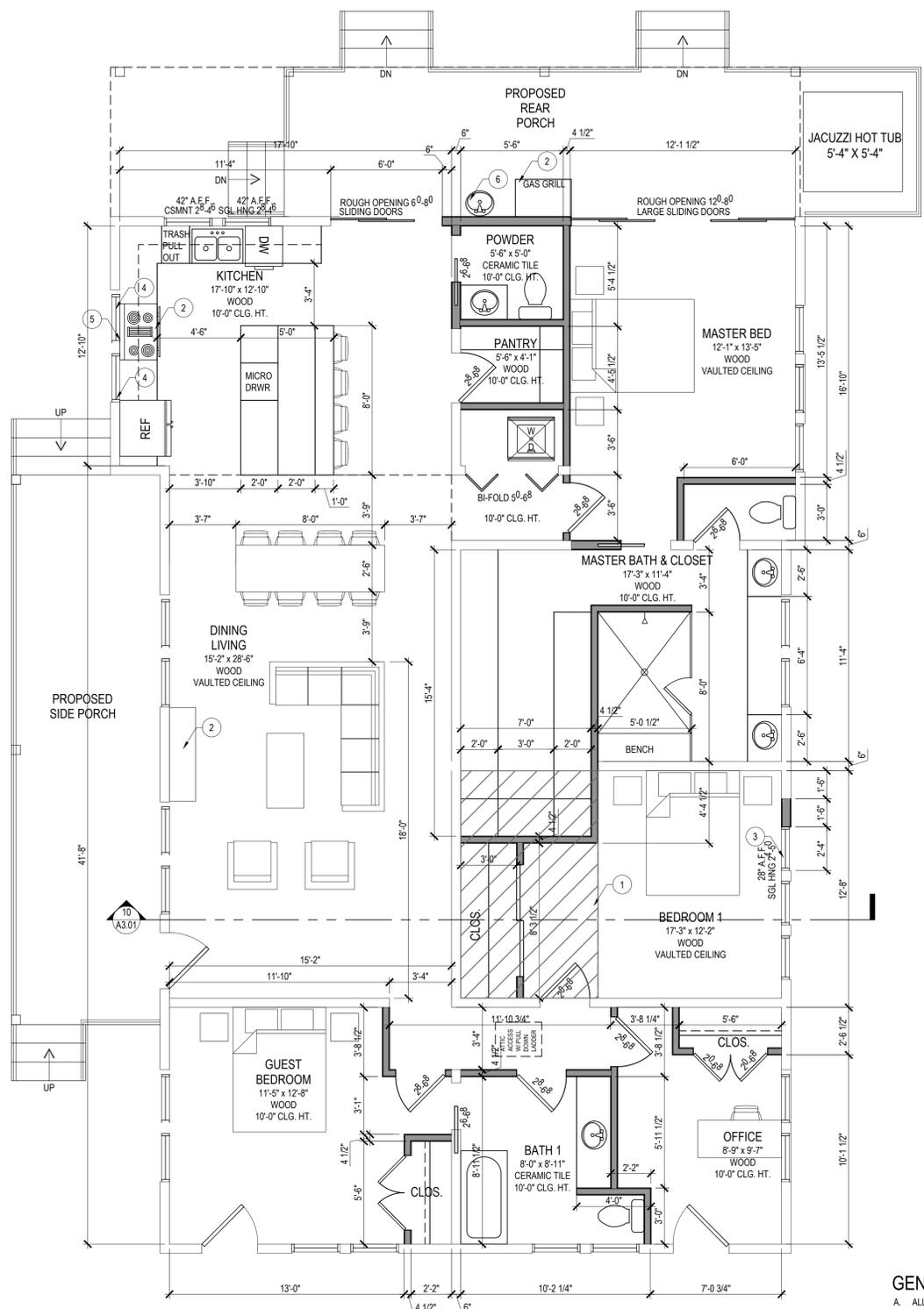
**SHEET TITLE**  
Cover Sheet / Index  
Site Plan  
Electrical Plan

**DATE**  
1 March 2021

**SHEET NUMBER**

Set #

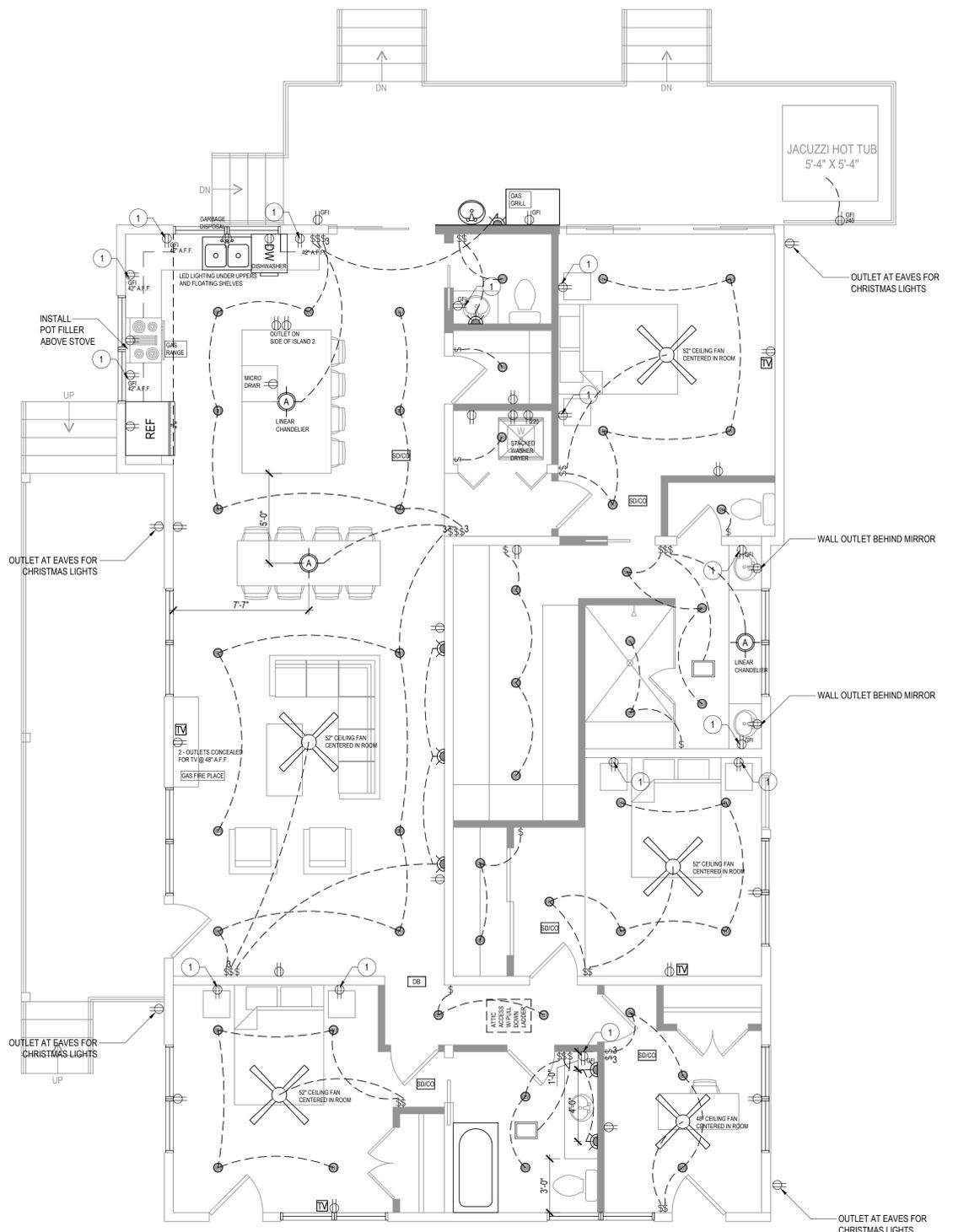
A0.01



- KEYNOTES**
- DASH LINE INDICATES FRAMED LOFT SPACE ABOVE @ 8'-0" A.F.F. (CEILING IN BEDROOM TO BE VAULTED)
  - PROVIDE GAS TO STOVE, FIRE PLACE, GRILL, AREA BEHIND GARAGE AND POOL. REF. SITE PLAN
  - REMOVE DOOR AND FRAME NEW WINDOW TO MATCH ADJACENT WINDOW SIZE, SHAPE AND MATERIAL
  - WINDOW TO BE CONCEALED WITH GYPSUM ON THE INTERIOR FACE
  - POT FILLER TO BE INSTALLED ABOVE STOVE
  - RUN A WATER LINE NEXT TO GAS GRILL



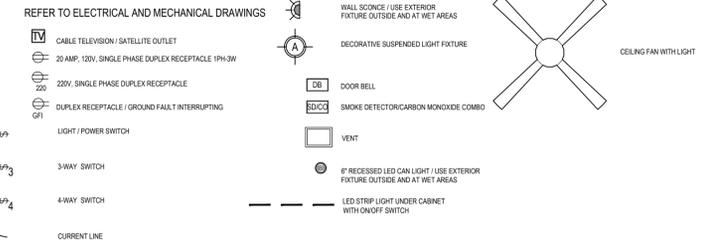
- GENERAL NOTES**
- ALL NEW WALL TO MATCH EXISTING FRAMING
  - ESCAPE / RESCUE WINDOWS FROM SLEEPING AREAS SHALL HAVE MINIMUM 5.7 SQUARE FEET CLEAR NET OPENING AND MINIMUM CLEAR OPENING WIDTH OF 20" / FINISHED SILL HEIGHT SHALL BE MAXIMUM 44" ABOVE FINISH FLOOR
  - ELECTRICAL CONTRACTOR TO LOCATE 110V GFI OUTLET WITHIN 25'-0" OF A/C COMPRESSOR
  - BALUSTERS AT 4" ON CENTER MAX SPACING
  - INSTALL LIGHT SWITCHES AND ELECTRICAL CONTROLS NO HIGHER THAN 48" AND ELECTRICAL OUTLETS NO LOWER THAN 15" ABOVE FINISH FLOOR
  - SMOKE ALARMS SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER I.R.C. SEC. R317
  - PROVIDE HANDRAILS ON ALL STAIRS / STEPS WITH AT LEAST 2 RISERS PER I.R.C. SEC. R315
  - INSTALL LEVER HANDLES ON ALL DOORS AND PLUMBING FIXTURES
  - EACH ELECTRICAL PANEL, LIGHT SWITCH AND THERMOSTAT SHALL BE MOUNTED NO HIGHER THAN 48" AFF. EACH ELECTRICAL OUTLET OR OTHER RECEPTACLE SHALL BE AT LEAST 15" AFF.
  - EXTERIOR ELECTRICAL PANEL MUST BE MOUNTED BETWEEN 18" AND 42" ABOVE FINISHED GRADE AND SERVICED BY AN ACCESSIBLE ROUTE
  - SECURITY CAMERA AND SYSTEM TO BE COORDINATED WITH OWNER
  - LOCATE WATER HEATER AND AC SYSTEM IN ATTIC
  - ALL WINDOWS TO BE REMOVED AND REPLACED PER EXISTING SIZE, SHAPE, MATERIAL PER HISTORIC PRESERVATION APPROVAL
  -



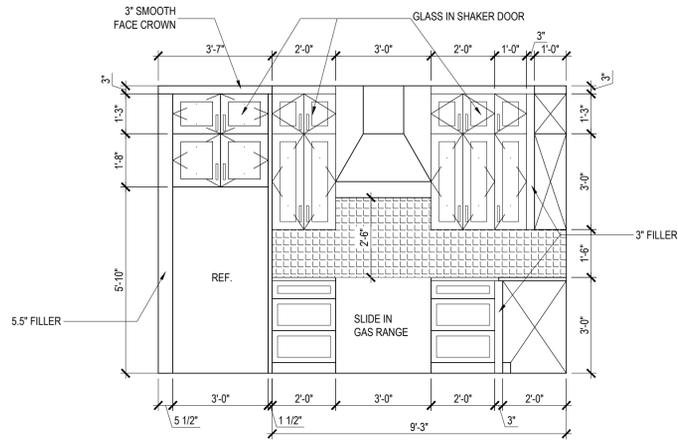
**2 ELECTRICAL PLAN**  
1/4" = 1'-0"

- KEYNOTES**
- DOUBLE DUPLEX RECEPTACLE OUTLET (QUAD)
  - OUTLET TO HAVE USB PORT

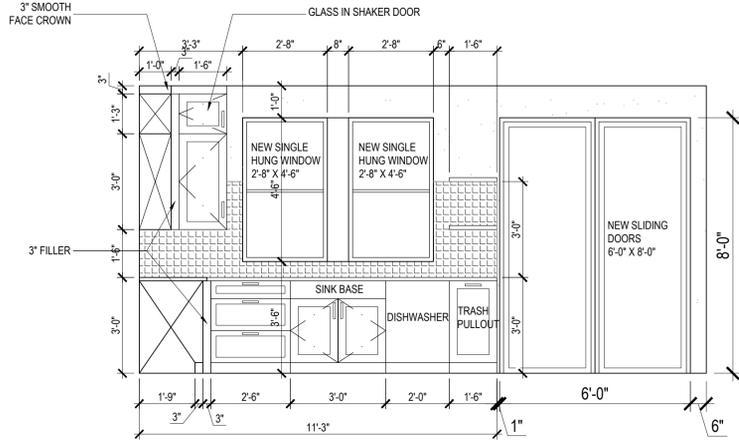
**ELECTRICAL LEGEND**



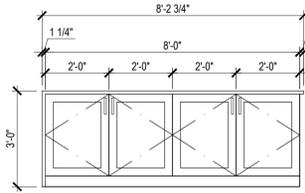
STAFF NOTE: OPTION 1



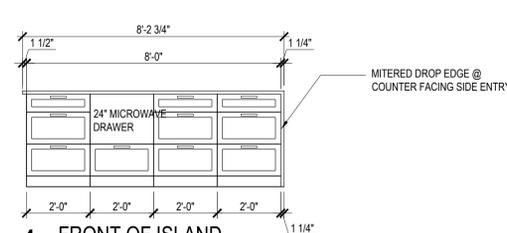
1 KITCHEN STOVE ELEVATION  
3/8" = 1'-0"



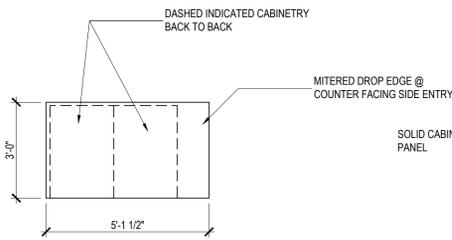
2 KITCHEN SINK ELEVATION  
3/8" = 1'-0"



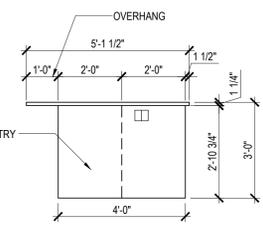
3 BACK OF ISLAND  
3/8" = 1'-0"



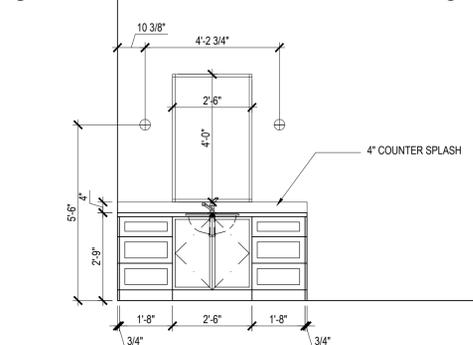
4 FRONT OF ISLAND  
3/8" = 1'-0"



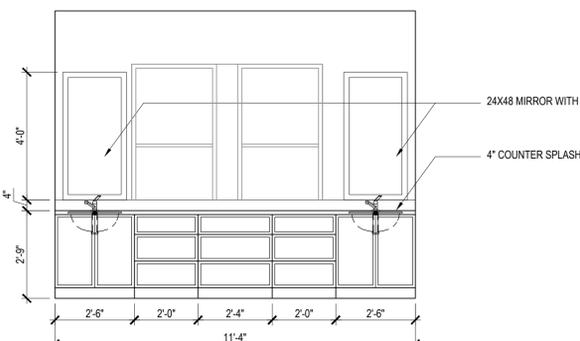
5 SIDE OF ISLAND FACING LIVING  
3/8" = 1'-0"



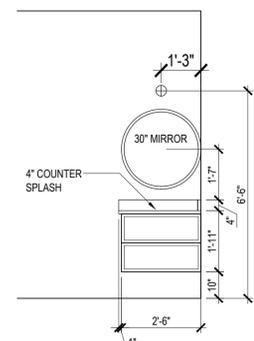
6 SIDE OF ISLAND FACING SINK  
3/8" = 1'-0"



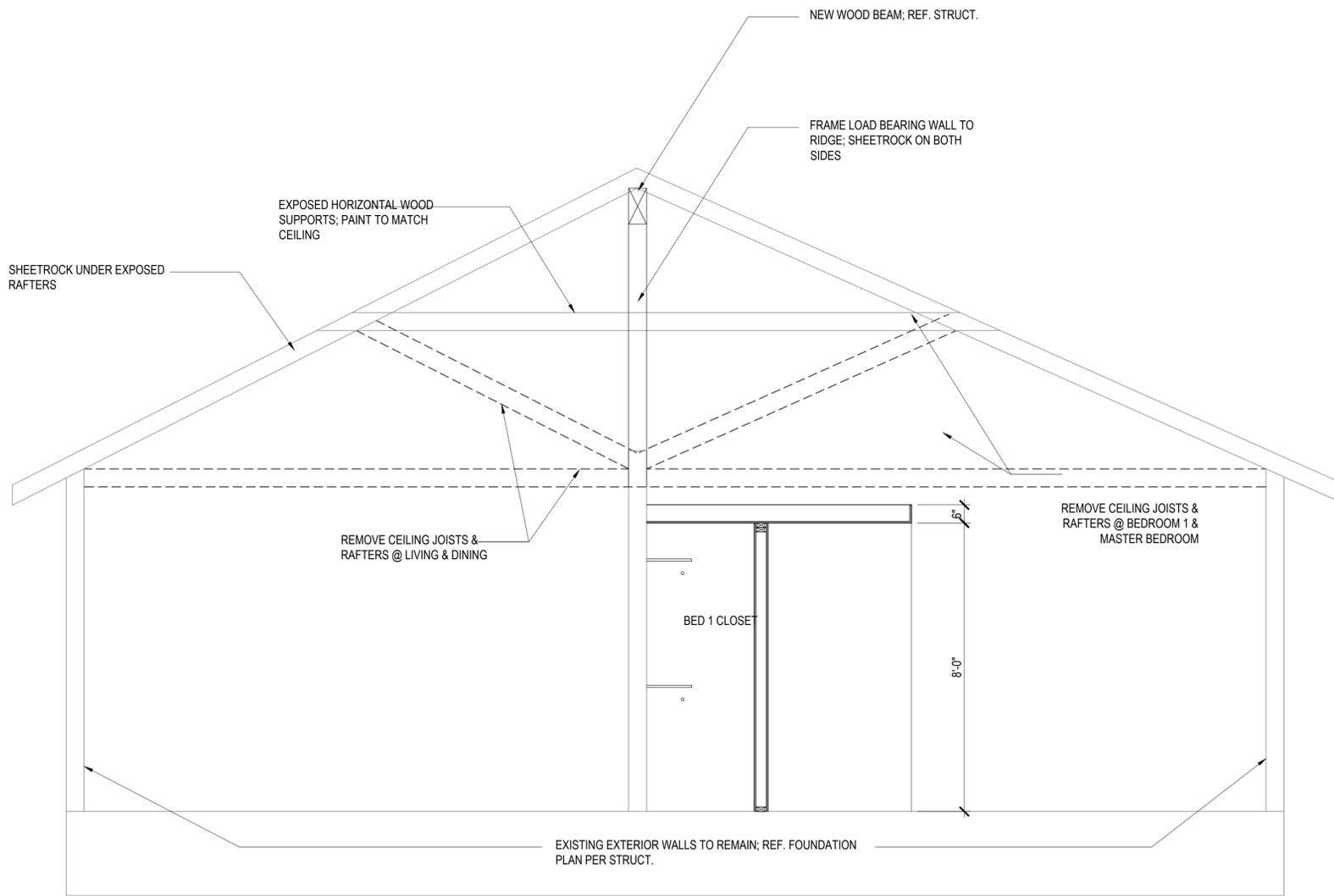
7 BATH 1  
3/8" = 1'-0"



8 MASTER BATH  
3/8" = 1'-0"



9 POWDER BATH  
3/8" = 1'-0"



10 CROSS SECTION @ VAULTED CEILING  
1/2" = 1'-0"



DATE: EXP. DATE:  
EXQUISITE DESIGN  
1270 N LOOP 1604 E #1206  
SAN ANTONIO, TEXAS 78232  
VOICE: (210) 421-8890  
GENEVIE@MYSAPROPERTIES.COM

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EXQUISITE DESIGN IS A DESIGN COMPANY, NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE NOR ARE WE LICENSED TO DESIGN STRUCTURAL, FRAMING, WINDBRACING OR FOUNDATIONS. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. EXQUISITE DESIGN IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY MATTER OR FORM IF ANY ISSUES OR PROBLEMS ARISE.

PROJECT  
**Mission Remodel**  
312 Mission St.  
San Antonio, TX 78210

OWNER  
**Charles & Christine Riley**  
312 Mission St.  
San Antonio, TX 78210

PROJECT NUMBER  
20-Mission312

CONSTRUCTION DOCS

| NO. | DATE | DESCRIPTION OF ISSUE |
|-----|------|----------------------|
|     |      |                      |
|     |      |                      |
|     |      |                      |

CONSULTANT

SHEET TITLE  
**Cross Section Cabinetry Elevations**

DATE  
1 March 2021

SHEET NUMBER

A3.01

Mission Remodel

312 Mission St.  
 San Antonio, TX 78210

Charles & Christine Riley

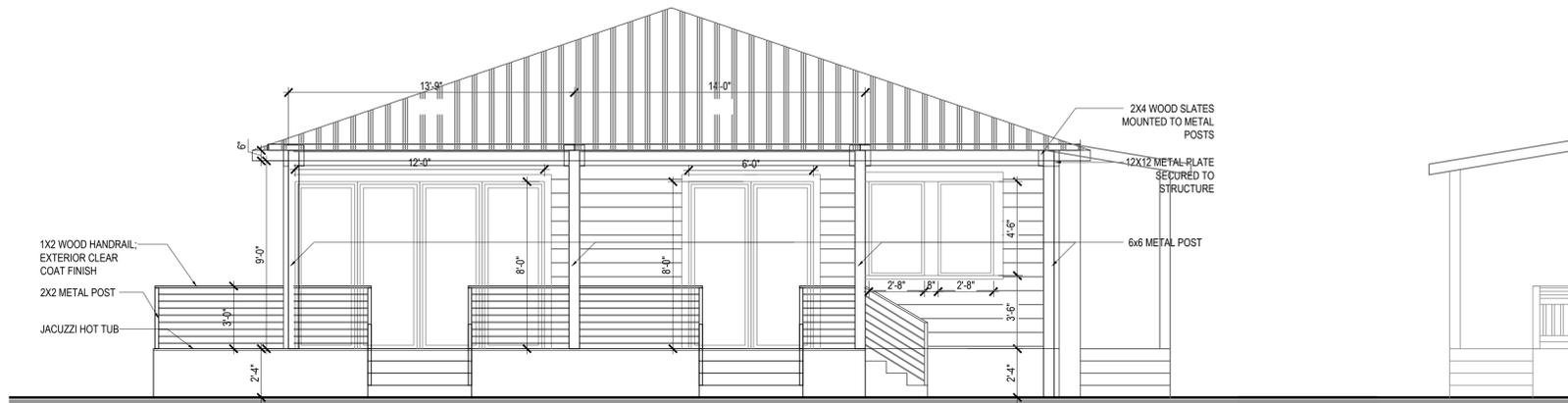
312 Mission St.  
 San Antonio, TX 78210

20-Mission312

CONSTRUCTION DOCS

Exterior Elevations

1 March 2021



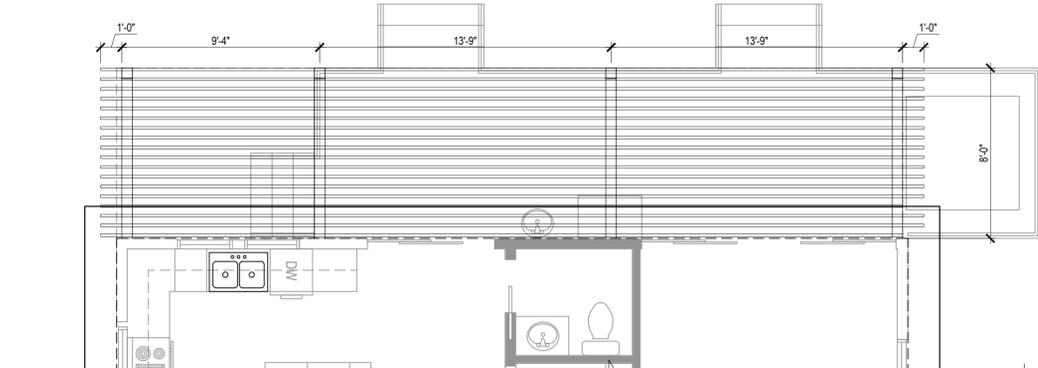
**E** EXTERIOR ELEVATION  
 1/4" = 1'-0"



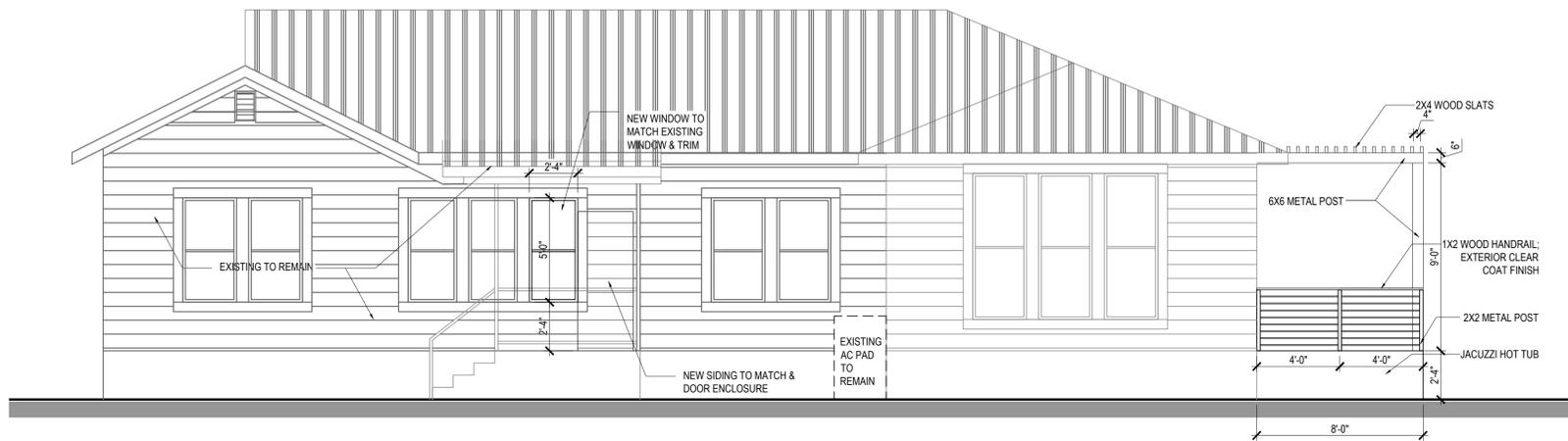
**W** EXTERIOR ELEVATION  
 1/4" = 1'-0"



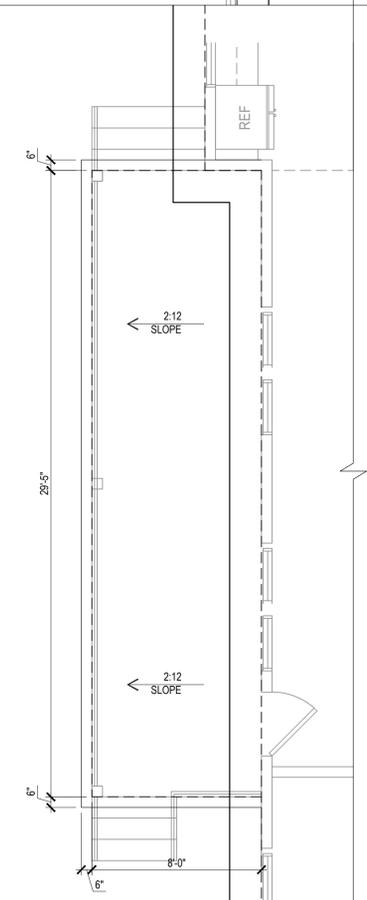
**N** EXTERIOR ELEVATION  
 1/4" = 1'-0"



**1** PERGOLA ROOF PLAN  
 1/4" = 1'-0"



**S** EXTERIOR ELEVATION  
 1/4" = 1'-0"



**2** SIDE PORCH ROOF PLAN  
 1/4" = 1'-0"



Mission Remodel

312 Mission St.  
 San Antonio, TX 78210

Charles & Christine Riley

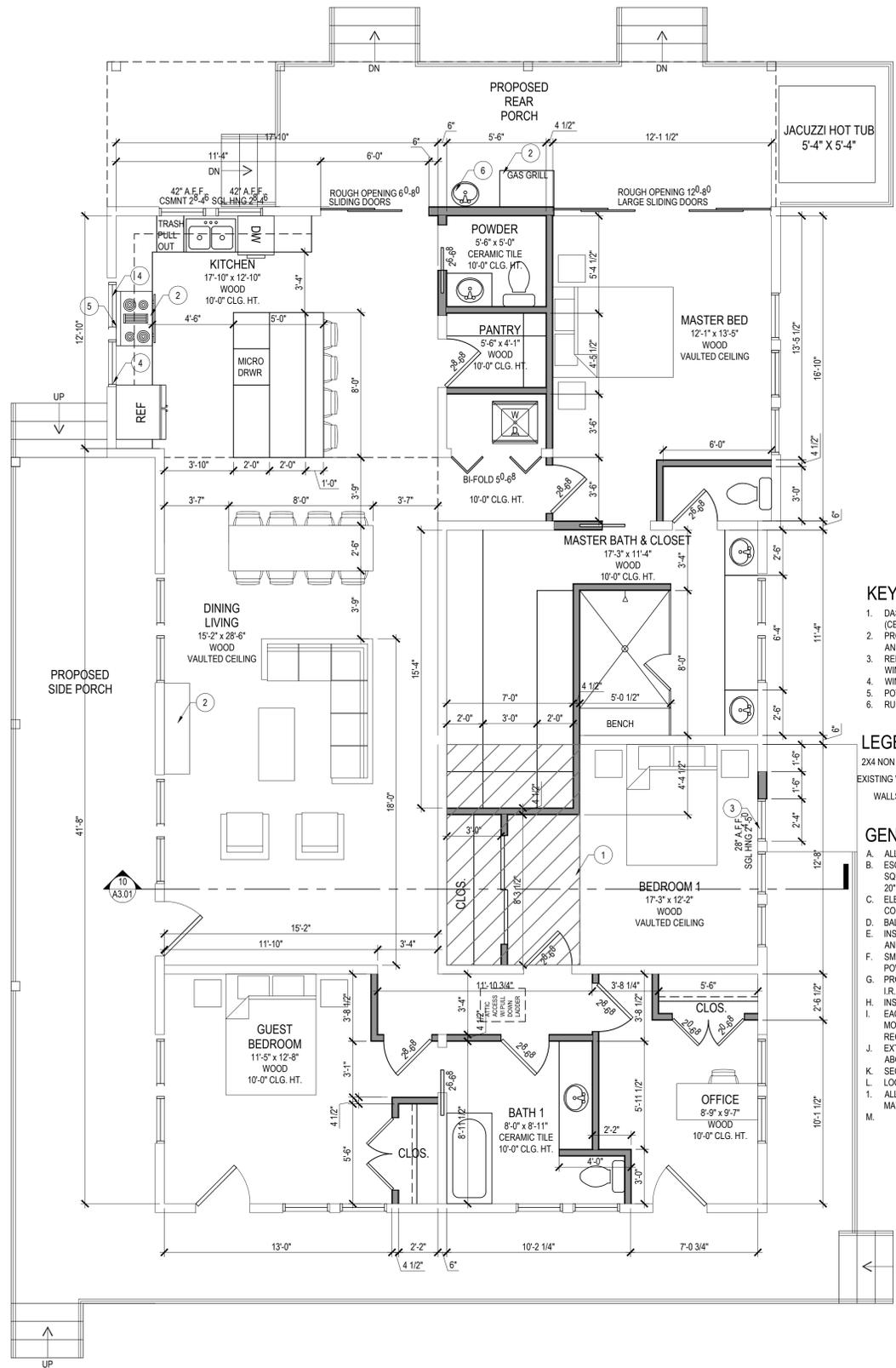
312 Mission St.  
 San Antonio, TX 78210

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CONSTRUCTION DOCS

Floor Plan Electrical Plan

1 March 2021



KEYNOTES

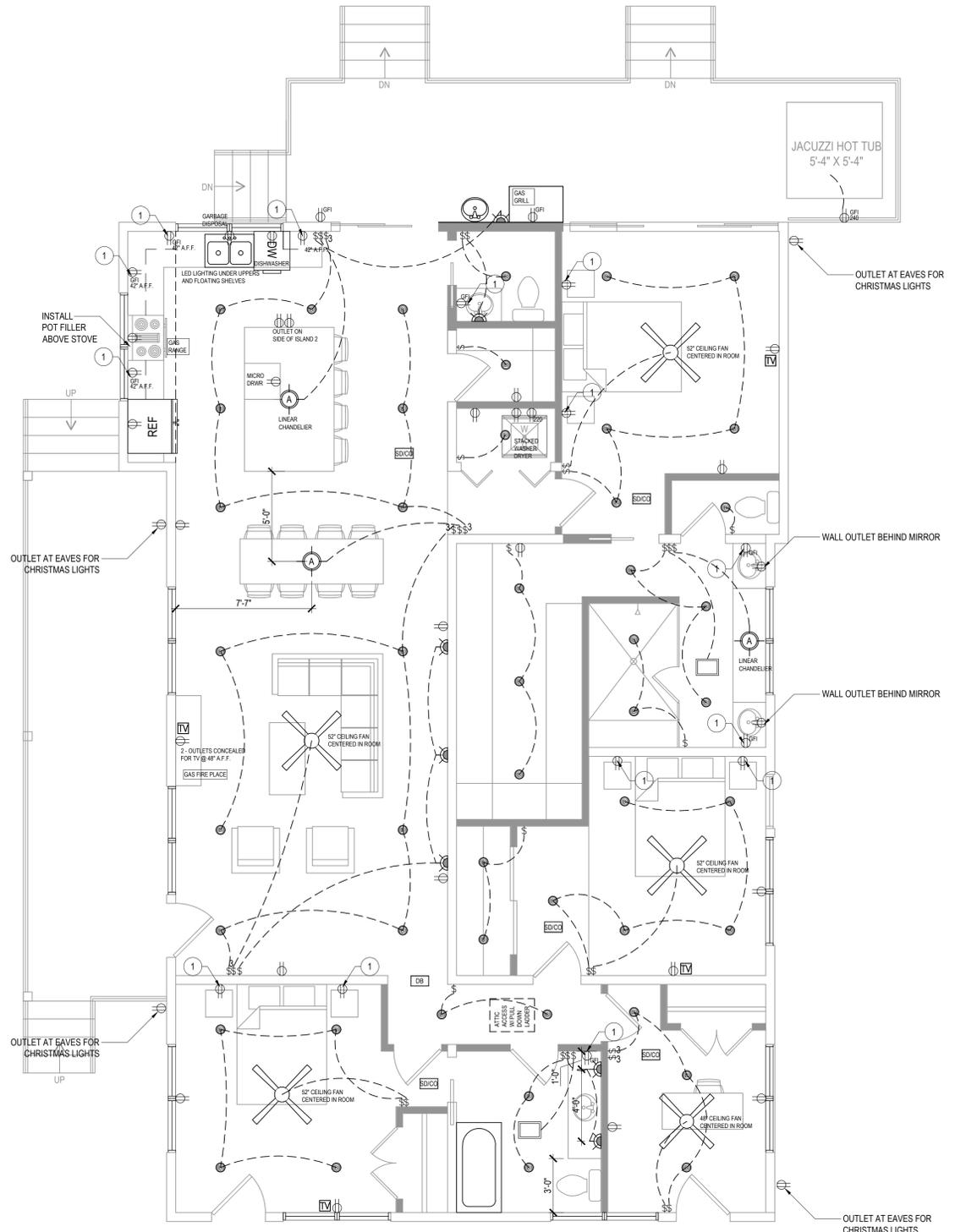
- DASH LINE INDICATES FRAMED LOFT SPACE ABOVE @ 8'-0" A.F.F. (CEILING IN BEDROOM TO BE VAULTED)
- PROVIDE GAS TO STOVE, FIRE PLACE, GRILL, AREA BEHIND GARAGE AND POOL. REF. SITE PLAN
- REMOVE DOOR AND FRAME NEW WINDOW TO MATCH ADJACENT WINDOW SIZE, SHAPE AND MATERIAL
- WINDOW TO BE CONCEALED WITH GYPSUM ON THE INTERIOR FACE
- POT FILLER TO BE INSTALLED ABOVE STOVE
- RUN A WATER LINE NEXT TO GAS GRILL

LEGEND

- 2X4 NON RATED PARTITION
- EXISTING WALLS TO REMAIN
- WALLS TO BE REMOVED

GENERAL NOTES

- ALL NEW WALL TO MATCH EXISTING FRAMING
- ESCAPE / RESCUE WINDOWS FROM SLEEPING AREAS SHALL HAVE MINIMUM 5.7 SQUARE FEET CLEAR NET OPENING AND MINIMUM CLEAR OPENING WIDTH OF 20" / FINISHED SILL HEIGHT SHALL BE MAXIMUM 44" ABOVE FINISH FLOOR
- ELECTRICAL CONTRACTOR TO LOCATE 110V GFI OUTLET WITHIN 25'-0" OF A/C COMPRESSOR
- BALUSTERS AT 4" ON CENTER MAX SPACING
- INSTALL LIGHT SWITCHES AND ELECTRICAL CONTROLS NO HIGHER THAN 48" AND ELECTRICAL OUTLETS NO LOWER THAN 15" ABOVE FINISH FLOOR
- SMOKE ALARMS SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER I.R.C. SEC. R317
- PROVIDE HANDRAILS ON ALL STAIRS / STEPS WITH AT LEAST 2 RISERS PER I.R.C. SEC. R315
- INSTALL LEVER HANDLES ON ALL DOORS AND PLUMBING FIXTURES
- EACH ELECTRICAL PANEL, LIGHT SWITCH AND THERMOSTAT SHALL BE MOUNTED NO HIGHER THAN 48" AFF. EACH ELECTRICAL OUTLET OR OTHER RECEPTACLE SHALL BE AT LEAST 15" AFF.
- EXTERIOR ELECTRICAL PANEL MUST BE MOUNTED BETWEEN 18" AND 42" ABOVE FINISHED GRADE AND SERVICED BY AN ACCESSIBLE ROUTE
- SECURITY CAMERA AND SYSTEM TO BE COORDINATED WITH OWNER
- LOCATE WATER HEATER AND A/C SYSTEM IN ATTIC
- ALL WINDOWS TO BE REMOVED AND REPLACED PER EXISTING SIZE, SHAPE, MATERIAL PER HISTORIC PRESERVATION APPROVAL
- 



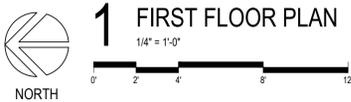
2 ELECTRICAL PLAN  
 1/4" = 1'-0"

KEYNOTES

- DOUBLE DUPLEX RECEPTACLE OUTLET (QUAD)
- OUTLET TO HAVE USB PORT

ELECTRICAL LEGEND

- CABLE TELEVISION / SATELLITE OUTLET
- 20 AMP, 120V, SINGLE PHASE DUPLEX RECEPTACLE 1PH-3W
- 220V, SINGLE PHASE DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE / GROUND FAULT INTERRUPTING
- GFI
- LIGHT / POWER SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- CURRENT LINE
- WALL SOURCE / USE EXTERIOR FIXTURE OUTSIDE AND AT MET AREAS
- DECORATIVE SUSPENDED LIGHT FIXTURE
- DOOR BELL
- SMOKE DETECTOR/CARBON MONOXIDE COMBO
- VENT
- 6" RECESSED LED CAN LIGHT / USE EXTERIOR FIXTURE OUTSIDE AND AT MET AREAS
- LED STRIP LIGHT UNDER CABINET WITH ON/OFF SWITCH
- CEILING FAN WITH LIGHT



1 FIRST FLOOR PLAN  
 1/4" = 1'-0"

STAFF NOTE: OPTION 2



