

HISTORIC AND DESIGN REVIEW COMMISSION

January 17, 2024

HDRC CASE NO: 2024-018
ADDRESS: 312 MISSION ST
LEGAL DESCRIPTION: NCB 943 BLK 1 LOT 30 & S 25FT OF 29
ZONING: RM-4, H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
APPLICANT: Charles Riley
OWNER: Charles Riley
TYPE OF WORK: Historic Tax Verification
APPLICATION RECEIVED: January 09, 2024
60-DAY REVIEW: February 19, 2024
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting Historic Tax Certification and Historic Tax Verification for the property at 312 Mission.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualification.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

UDC Section 35-618 Tax Exemption Qualifications:

(e) *Verification of Completion.* Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.

FINDINGS:

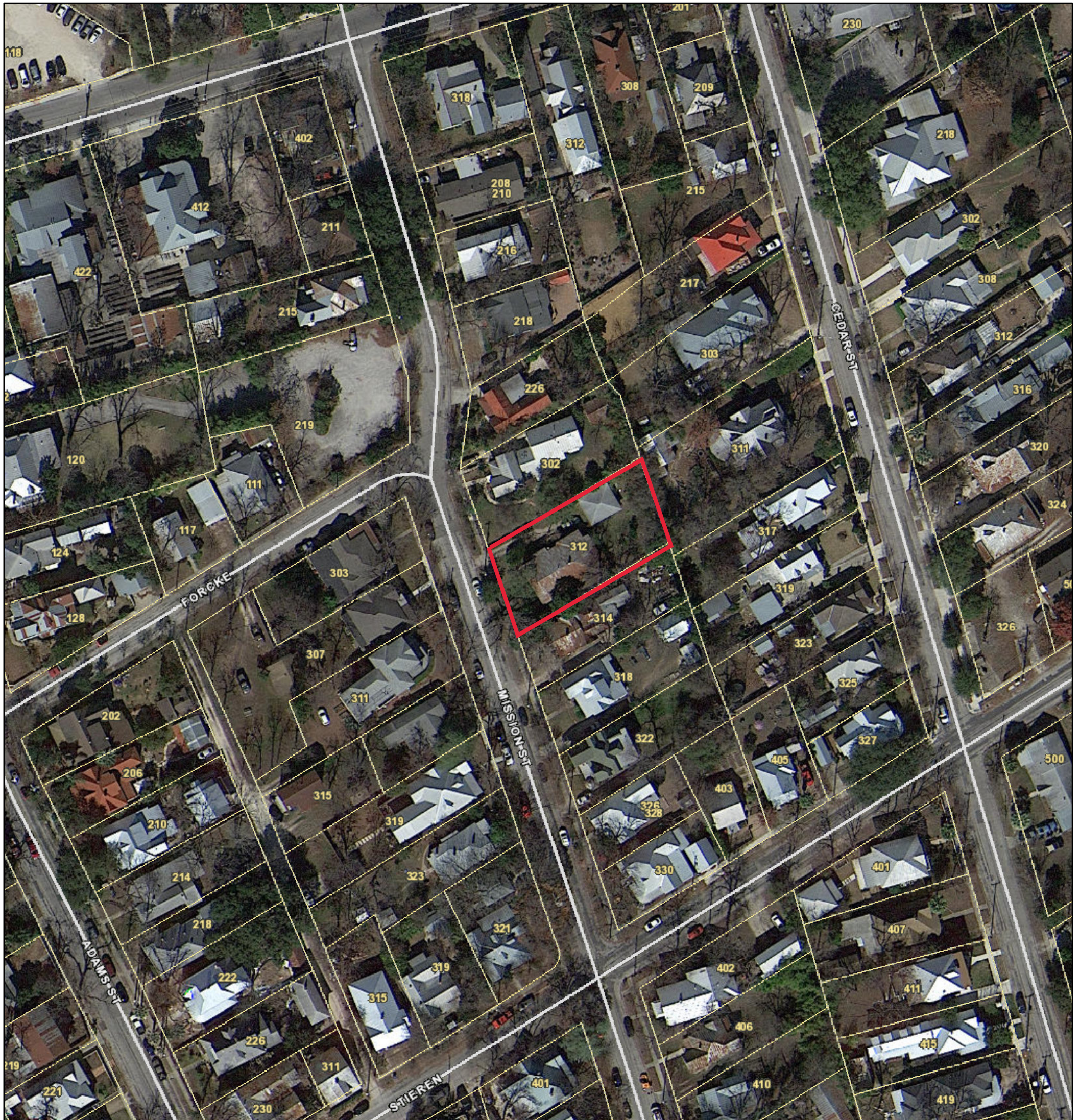
- a. The primary structure located at 312 Mission is a residential structure constructed circa 1925 in the Craftsman style. The structure features a symmetrical front façade with two front doors, a cross gable configuration with a standing seam metal roof, and original one-over-one windows with screens. The property is contributing to the King William Historic District. The applicant is requesting Historic Tax Certification and Historic Tax Verification.
- b. The scope of work includes a comprehensive interior remodel, mechanical, electrical, and plumbing upgrades, foundation repair, fireplace installation, window repair, door and window installation, porch repair and installation, exterior repairs and repainting, site work and landscaping modifications.
- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

- d. Staff conducted a site visit on January 10, 2024, to examine the conditions of the property. Staff verifies that all work used to qualify for the Substantial Rehabilitation Tax Incentive has been completed and that there are no outstanding violations on the property. While roof replacement is included in the submitted contractor's narrative, the existing standing seam metal roof was installed circa 2018 by the previous property owner and is outside of OHP's enforcement window.
- e. The applicant has met all requirements of the City's tax verification process as described in Section 35-618 of the UDC and has furnished evidence to that effect to the Historic Preservation Officer, including the submission of an itemized list of costs that meets the threshold to be eligible for the Substantial Rehabilitation Tax Incentive.
- f. Approval of Tax Verification by the HDRC means that the property owner will be eligible for the Substantial Rehabilitation Tax Incentive beginning in 2024. The Substantial Rehabilitation Tax Incentive applies to the City of San Antonio tax entity line only.

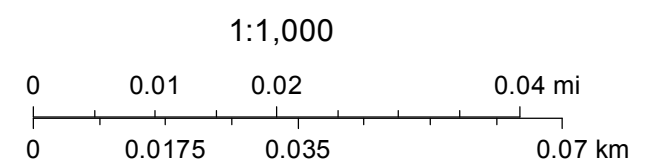
RECOMMENDATION:

Staff recommends approval based on findings a through f.

City of San Antonio One Stop



April 15, 2021



357

S E E U O I U M E T H R E E

S. PRESA

S. ST. MARYS

PRVD

360

351

PEREIDA

STIEREN

CEDAR

MICROHIMIZED

MISSION

MISSION

Scale of Feet.

FORCKEST

358

359

Timeline of Renovations

312 Mission St., San Antonio, TX 78210

2/23/2021 – Property Purchased

3/9/2021 – Informal review of renovation plans with Stephanie Phillips, Office of Historic Preservation

3/12/2021 – Informal review of renovation plans with Mickey Conrad, King William Association

4/21/2021 – receive certificate of appropriateness from Office of Historic Preservation

5/14/2021 – apply for building permit with Development Services

5/18/2021 – foundation work performed by Alpha Hi-Tech Foundations

5/26/2021 – demolition and initial structural support work begins

6/18/2021 – demolition and initial structural support work complete

6/28/2021 – reframing of home begins

7/19/2021 – reframing of home complete

7/23/2021 – work on interior build out/rough in of utilities begins

August – October 2021 – delays due to supply chain issues (back windows not arriving on time) – some interior buildout/framing work continues

10/14/2021 – additional work on interior build back/framing and begin working on back porch

11/3/21 – foundation/framing for back porch

11/19/23 – install fireplace

12/1/2021 – electrical rough in begins

12/14/23 – begin installing doors/windows at rear of house; continue work on back porch

1/18/22 – work on subfloor and exterior siding at rear of house begins

1/20/2022 – cabinets ordered

1/26/2022 – rough in of HVAC begins

2/25/2022 – utilities rough in complete

3/25/22 – grading work and preparation for flatwork begins; side porch renovated

4/4/2022 – work on exterior windows begins

5/25/22 – additional interior buildout; replace front stairs

6/20/22 – repairs to exterior (soffits, fascia, eaves, trim, etc.); paint exterior

7/14/22 – begin installing insulation, sheetrock and interior trim out

8/1/22 – sheetrock complete, work begins on trim out of plumbing and electrical

8/4/22 – work begins on backyard landscaping and pool

8/18/22 – cabinet installation begins; interior trim out continues; installation of plumbing fixtures begins

8/31/22 – cabinets painted; guest bathtub/shower installed

9/8/22 – drywall is taped/floated/textured; master shower installed

9/12/22 – begin installing tile in bathrooms

9/15/22 – countertops installed

9/22/22 – back deck ceiling installed

9/23/22 – closets installed

10/6/22 – additional tile work in master bath

10/21/22 – back deck completed; siding at back of house stained

11/2/22 – flooring installed

11/3/22 – electrical fixtured installed

12/2/22 – final trim out of electrical and plumbing fixtures; interior painted

12/13/22 – appliances installed

12/14/22 – exterior cabinets/sink installed

12/16/22 – installation of flatwork begins

12/28/22 – flatwork poured

1/10/23 – master shower and mirror and toilet installed

1/12/23 – flatwork poured

1/15/23 – final cleanup and finishing touches

February 2023 – CofO issued, move in

Christopher Stein
Stein Developments, LLC
18245 Bandera Rd.
Helotes, TX 78023
Csteindevelopment@gmail.com
Phone : (210) 573-6043

October 30, 2023

City of San Antonio
Office of Historic Preservation
1901 S. Alamo,
San Antonio, TX 78204

Via Email: Info@sapreservation.com

Re: Charles Riley; 312 Mission St., San Antonio, TX 78210

**Confirmation and Narrative of Complete Restoration and Renovation of
312 Mission St., San Antonio, TX 78210**

To Whom It May Concern:

I am the president and general manager of Stein Developments, LLC and personally led the project referenced above as the general contractor. With over 30 years of experience as a general contractor, specializing in building custom homes, I was entrusted by Mr. Riley to completely renovate his home.

The scope of the project included the replacement of all existing pipes, installation of new fixtures, water lines, and water heaters, and updating all plumbing infrastructure to meet the current building and safety codes. All plumbing infrastructure has been tested to ensure optimal performance with the help of licensed plumbers/sub-contractors.

The exterior roof was also replaced with a durable and brand-new metal roof, replacing the original shingle roofing system. This new roof ensures greater longevity and resilience.

The interior of the house underwent a complete overhaul. We framed new interior walls throughout the house to accommodate the redesigned layout. Exquisite woodwork details were added throughout the home, providing both structural support and aesthetic enhancement.

The kitchen also was entirely revamped. This included the installation of a new kitchen package, complemented by contemporary countertops and fixtures. All appliances were upgraded to the latest models, ensuring the kitchen is both functional and elegant.

Each bedroom in the home went through a remodeling process. We incorporated modern designs while preserving the architectural integrity of the original structure.

A new HVAC system was installed ensuring the home would have efficient heating, ventilation, and air conditioning.

All existing windows were carefully removed, repaired where needed, and then meticulously reinstalled, preserving the original charm while ensuring modern efficiency and safety standards.

My company ensured that every detail, no matter how minute, was addressed with the utmost care and precision. Our primary goal was to preserve the essence of the original historic nature of the home while updating it to meet today's more modern standard of living.

We ensured that all work was conducted in strict adherence to the city of San Antonio's codes and regulations. All necessary building permits were obtained and our client, Mr. Riley, obtained all necessary certificates of appropriateness in relation to this project.

If you require any further details or have any questions regarding the restoration process for the project, please do not hesitate to reach out to me. I am committed to ensuring full transparency.

Thank you for your attention to this matter. Please call with questions.

Sincerely,

A handwritten signature in black ink, appearing to be 'CJ Stein', written in a cursive style.

Christopher J. Stein

Date:	Paid To:	Check No.:	Acct No.:	\$ Amount:
5/6/2021	Laura Fuentes	951	N/A	\$ [REDACTED]
5/18/2021	Alpha Hitech Foundations	939	N/A	\$ [REDACTED]
5/19/2021	Juan Estrada	1019	N/A	\$ [REDACTED]
5/19/2021	Laura Fuentes	1020	N/A	\$ [REDACTED]
5/26/2021	Laura Fuentes	229	N/A	\$ [REDACTED]
5/26/2021	Juan Martinez	230	N/A	\$ [REDACTED]
5/28/2021	Daniel Garza	231	N/A	\$ [REDACTED]
6/1/2021	Laura Fuentes	232	N/A	\$ [REDACTED]
6/1/2021	Juan Martinez	233	N/A	\$ [REDACTED]
6/5/2021	Alpha Hitech Foundations	235	N/A	\$ [REDACTED]
6/9/2021	Daniel Garza	236	N/A	\$ [REDACTED]
6/10/2021	Laura Fuentes	193	N/A	\$ [REDACTED]
6/10/2021	Juan Martinez	194	N/A	\$ [REDACTED]
6/18/2021	Laura Fuentes	228	N/A	\$ [REDACTED]
6/28/2021	Laura Fuentes	203	N/A	\$ [REDACTED]
7/1/2021	Laura Fuentes	205	N/A	\$ [REDACTED]
7/7/2021	William Cruz	941	N/A	\$ [REDACTED]
7/13/2021	William Cruz	940	N/A	\$ [REDACTED]
7/15/2021	Laura Fuentes	206	N/A	\$ [REDACTED]
7/15/2021	Juan Martinez	210	N/A	\$ [REDACTED] 0
7/19/2021	Daniel Garza	211	N/A	\$ [REDACTED]
7/19/2021	Samantha Salais	227	N/A	\$ [REDACTED]
7/23/2021	Laura Fuentes	212	N/A	\$ [REDACTED]
7/23/2021	Juan Martinez	213	N/A	\$ [REDACTED]
7/30/2021	Daniel Garza	216	N/A	\$ [REDACTED]
8/14/2021	William Cruz	217	N/A	\$ [REDACTED] 0
8/16/2021	Daniel Garza	243	N/A	\$ [REDACTED]
8/16/2021	William Cruz	242	N/A	\$ [REDACTED]
8/19/2021	Laura Fuentes	214	N/A	\$ [REDACTED]
8/20/2021	Juan Estrada	245	N/A	\$ [REDACTED]
8/20/2021	Joe Guerrero	244	N/A	\$ [REDACTED]
8/27/2021	Laura Fuentes	246	N/A	\$ [REDACTED]
8/27/2021	Juan Martinez	215	N/A	\$ [REDACTED] 0
9/3/2021	Juan Martinez	247	N/A	\$ [REDACTED]
9/3/2021	Laura Fuentes	248	N/A	\$ [REDACTED]
9/10/2021	Laura Fuentes	256	N/A	\$ [REDACTED]
9/16/2021	Laura Fuentes	249	N/A	\$ [REDACTED]
9/27/2021	Laura Fuentes	257	N/A	\$ [REDACTED]
9/27/2021	Daniel Garza	288	N/A	\$ [REDACTED]
9/29/2021	Laura Fuentes	258	N/A	\$ [REDACTED]
9/29/2021	Chris Stein	259	N/A	\$ [REDACTED]
9/29/2021	Angie Stein	260	N/A	\$ [REDACTED]
10/8/2021	Laura Fuentes	250	N/A	\$ [REDACTED]
10/8/2021	Chris Stein	251	N/A	\$ [REDACTED]
10/15/2021	Laura Fuentes	252	N/A	\$ [REDACTED]
10/16/2021	Adrian Galvan	261	N/A	\$ [REDACTED]

10/29/2021 Laura Fuentes

11/3/2021 Laura Fuentes

253 N/A

254 N/A

\$

\$

6/13/2022 Marshall Electric, LLC

[REDACTED]

912 N/A

[REDACTED]

\$

[REDACTED]

9/8/2022 Laura Fuentes

384 N/A

\$

[REDACTED]

[REDACTED]

[REDACTED]

12/25/2022	Ricardo Medina	1101	N/A	\$	
6/9/2023	Northstar Fencing	1045	N/A	\$	
6/14/2023	Andy's Backyard Irrigation	1140	N/A	\$	

Total Expenses	\$	
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Mission
Remodel

312 Mission St.
San Antonio, TX 78210

Charles & Christine
Riley

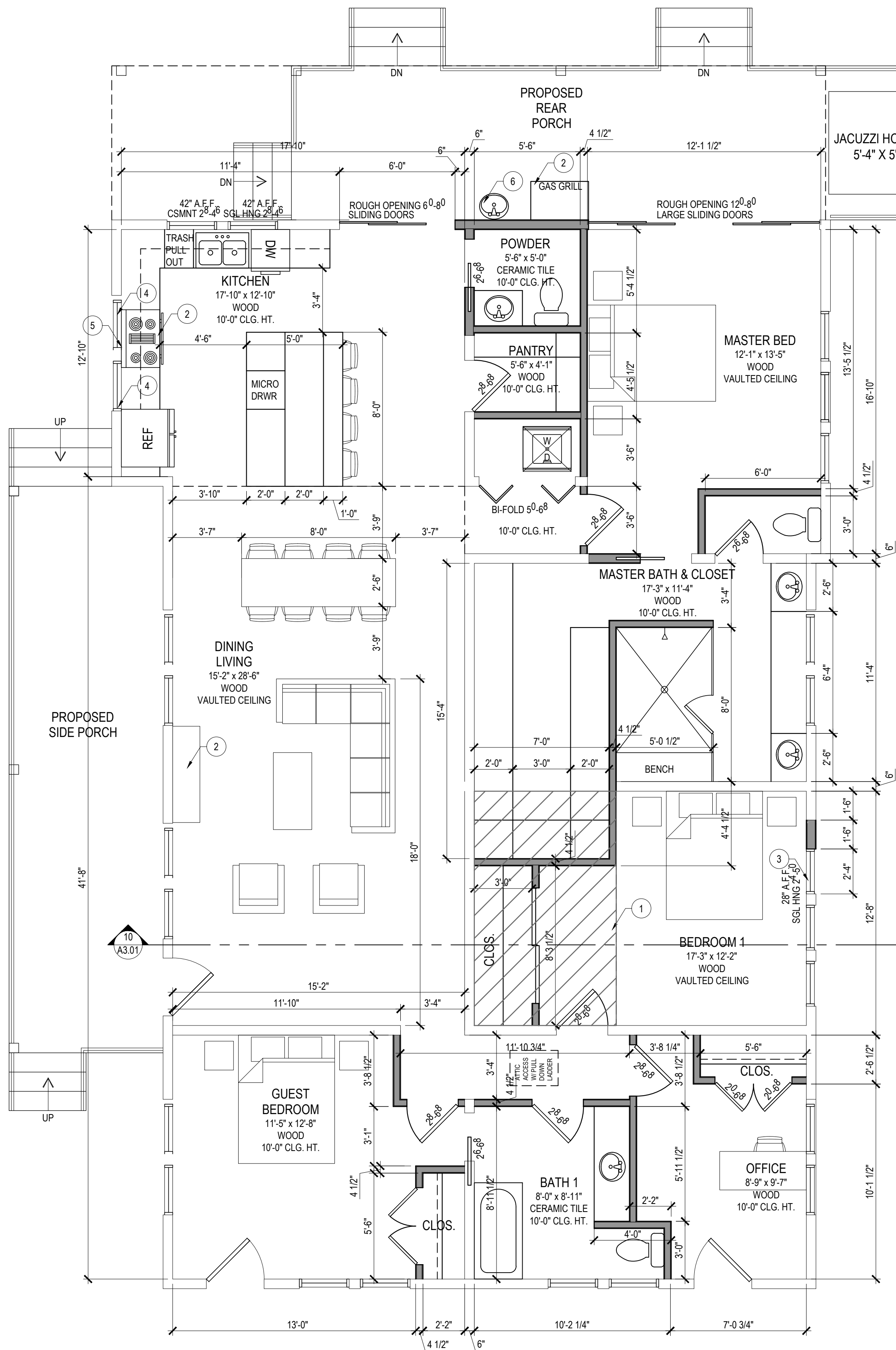
312 Mission St.
San Antonio, TX 78210

20-Mission312

CONSTRUCTION DOCS

Floor Plan
Electrical Plan

1 March 2021



KEYNOTES

- DASH LINE INDICATES FRAMED LOFT SPACE ABOVE @ 8'-0" A.F.F. (CEILING IN BEDROOM TO BE VAULTED)
- PROVIDE GAS TO STOVE, FIRE PLACE, GRILL, AREA BEHIND GARAGE AND POOL. REF. SITE PLAN
- REMOVE DOOR AND FRAME NEW WINDOW TO MATCH ADJACENT WINDOW SIZE, SHAPE AND MATERIAL
- WINDOW TO BE CONCEALED WITH GYPSUM ON THE INTERIOR FACE
- POT FILLER TO BE INSTALLED ABOVE STOVE
- RUN A WATER LINE NEXT TO GAS GRILL

LEGEND

2X4 NON RATED PARTITION
EXISTING WALLS TO REMAIN
WALLS TO BE REMOVED

GENERAL NOTES

- ALL NEW WALL TO MATCH EXISTING FRAMING
- ESCAPE / RESCUE WINDOWS FROM SLEEPING AREAS SHALL HAVE MINIMUM 5.7 SQUARE FEET CLEAR NET OPENING AND MINIMUM CLEAR OPENING WIDTH OF 20". FINISHED SILL HEIGHT SHALL BE MAXIMUM 44" ABOVE FINISH FLOOR
- ELECTRICAL CONTRACTOR TO LOCATE 110V GFI OUTLET WITHIN 25'-0" OF A/C COMPRESSOR
- BALUSTERS AT 4" ON CENTER MAX SPACING
- INSTALL LIGHT SWITCHES AND ELECTRICAL CONTROLS NO HIGHER THAN 48" AND ELECTRICAL OUTLETS NO LOWER THAN 15" ABOVE FINISH FLOOR
- SMOKE ALARMS SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER I.R.C. SEC. R317
- PROVIDE HANDRAILS ON ALL STAIRS / STEPS WITH AT LEAST 2 RISERS PER I.R.C. SEC. R315
- INSTALL LEVER HANDLES ON ALL DOORS AND PLUMBING FIXTURES
- EACH ELECTRICAL PANEL, LIGHT SWITCH AND THERMOSTAT SHALL BE MOUNTED NO HIGHER THAN 48" AFF. EACH ELECTRICAL OUTLET OR OTHER RECEPTACLE SHALL BE AT LEAST 15" AFF.
- EXTERIOR ELECTRICAL PANEL MUST BE MOUNTED BETWEEN 18" AND 42" ABOVE FINISHED GRADE AND SERVICED BY AN ACCESSIBLE ROUTE
- SECURITY CAMERA AND SYSTEM TO BE COORDINATED WITH OWNER
- LOCATE WATER HEATER AND AC SYSTEM IN ATTIC
- ALL WINDOWS TO BE REMOVED AND REPLACED PER EXISTING SIZE, SHAPE, MATERIAL PER HISTORIC PRESERVATION APPROVAL
-

2 ELECTRICAL PLAN
1/4" = 1'-0"

KEYNOTES

- DOUBLE DUPLEX RECEPTACLE OUTLET (QUAD)
- OUTLET TO HAVE USB PORT

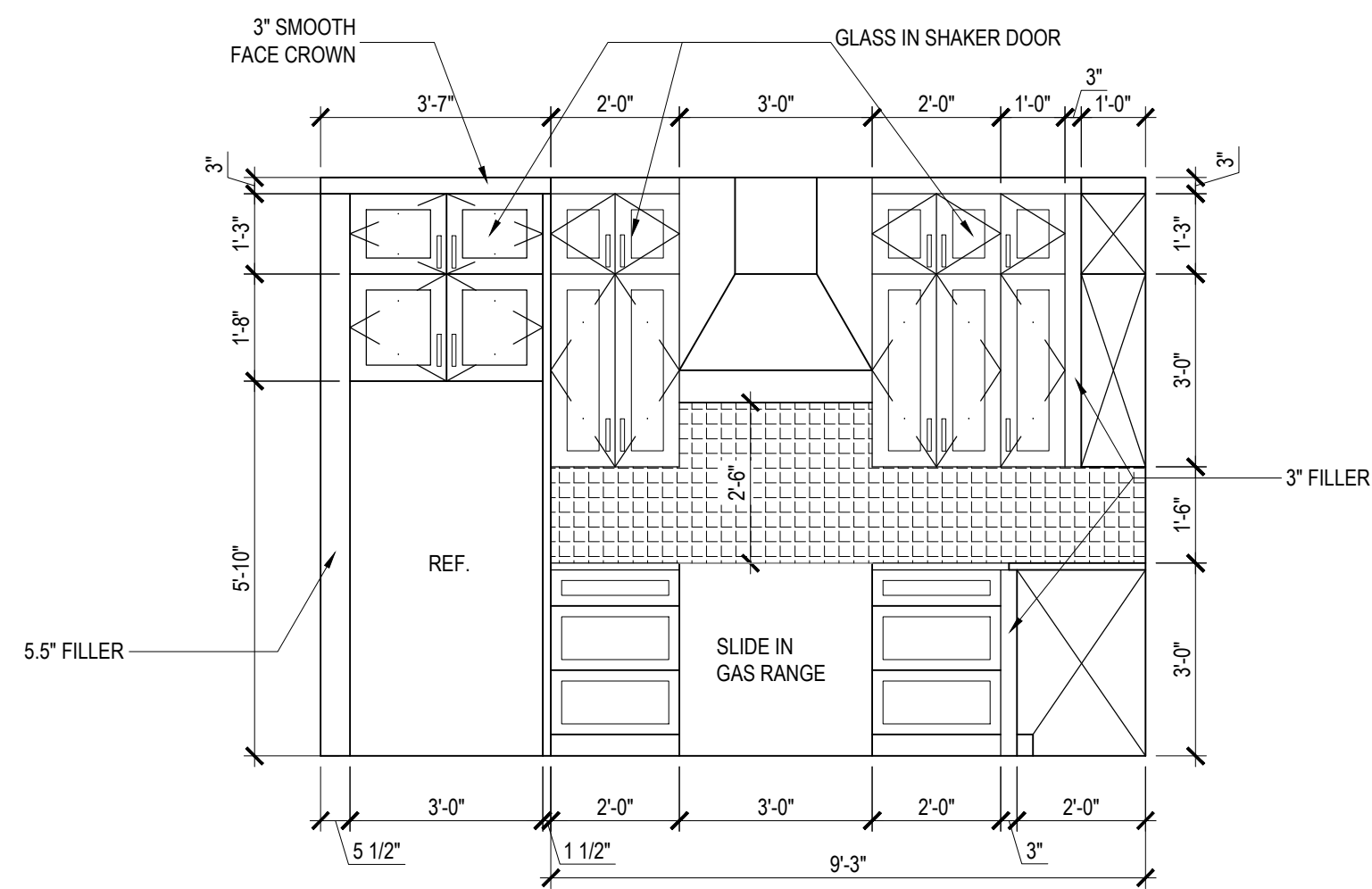
ELECTRICAL LEGEND

REFER TO ELECTRICAL AND MECHANICAL DRAWINGS

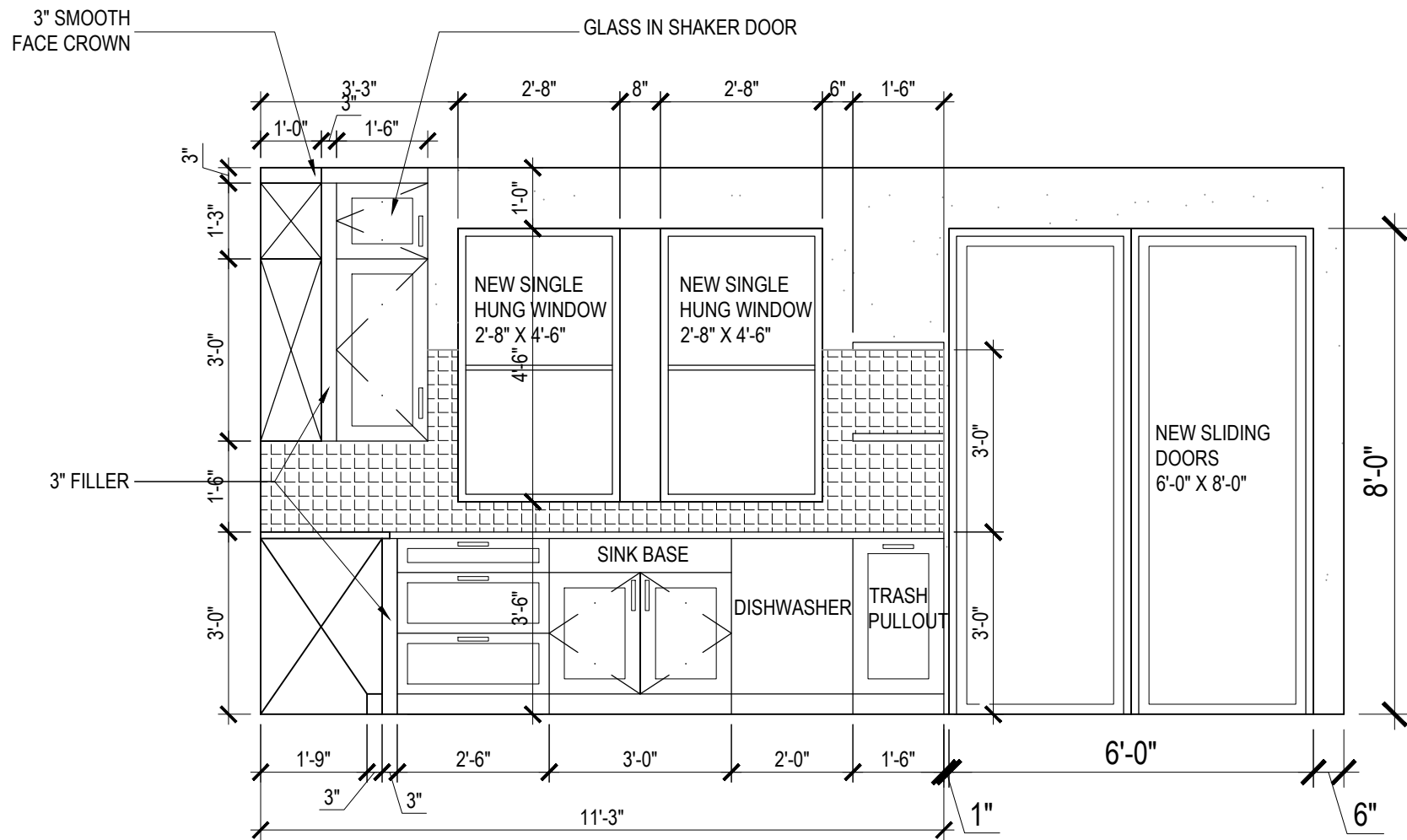
- CABLE TELEVISION / SATELLITE OUTLET
- 30 AMP, 120V, SINGLE PHASE DUPLEX RECEPTACLE 1P4-3W
- 220V, SINGLE PHASE DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE / GROUND FAULT INTERRUPTING
- GFI
- LIGHT / POWER SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- CURRENT LINE

- WALL SCONCE / USE EXTERIOR FIXTURE OUTSIDE AND AT MEET AREAS
- DECORATIVE SUSPENDED LIGHT FIXTURE
- DOOR BELL
- SMOKE DETECTOR/CARBON MONOXIDE COMBO
- VENT
- 6" RECESSED LED CAN LIGHT / USE EXTERIOR FIXTURE OUTSIDE AND AT MEET AREAS
- LED STRIP LIGHT UNDER CABINET WITH ON/OFF SWITCH
- CEILING FAN WITH LIGHT

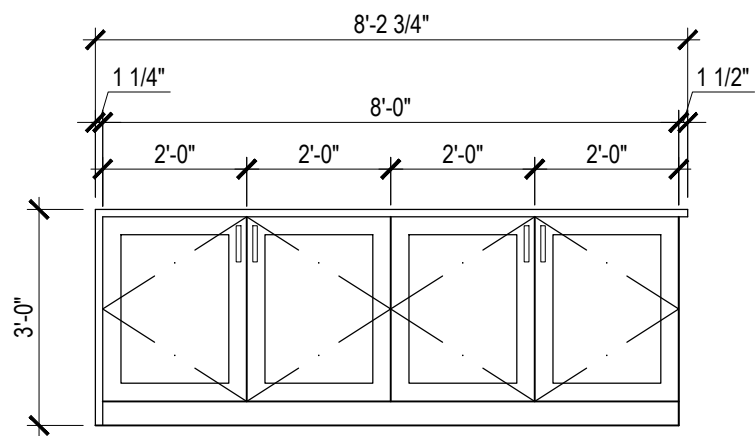
STAFF NOTE: OPTION 1



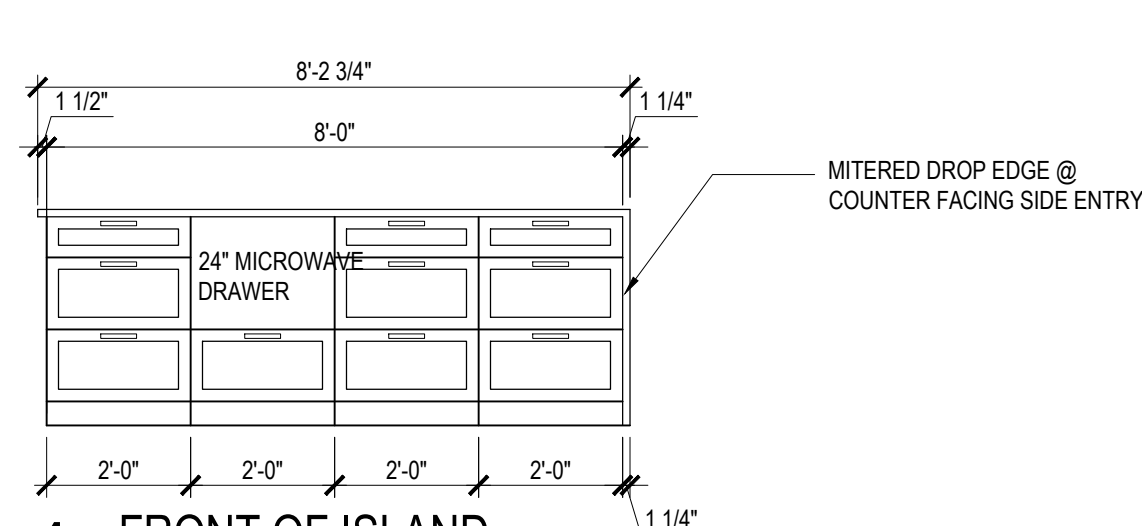
1 KITCHEN STOVE ELEVATION
3/8" = 1'-0"



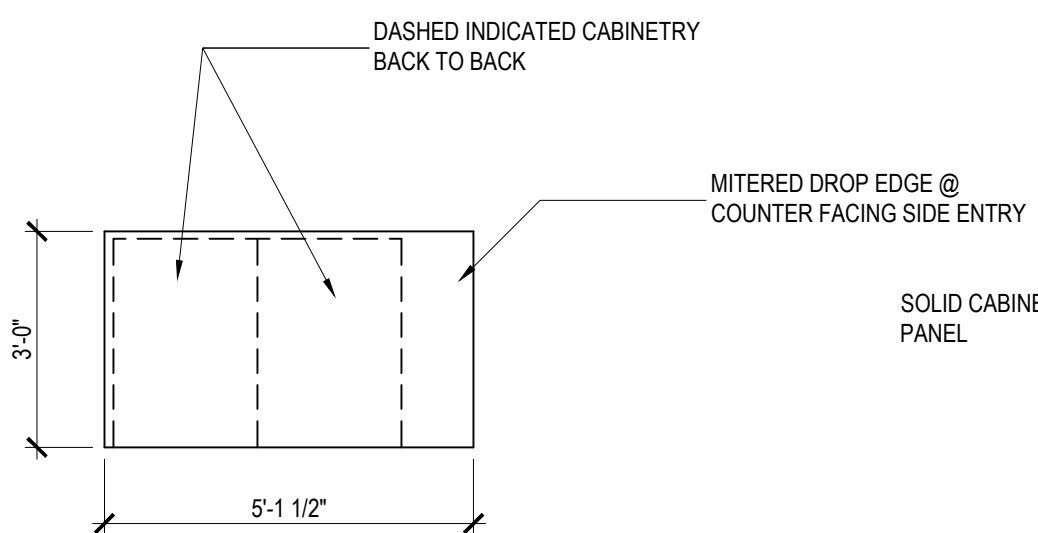
2 KITCHEN SINK ELEVATION
3/8" = 1'-0"



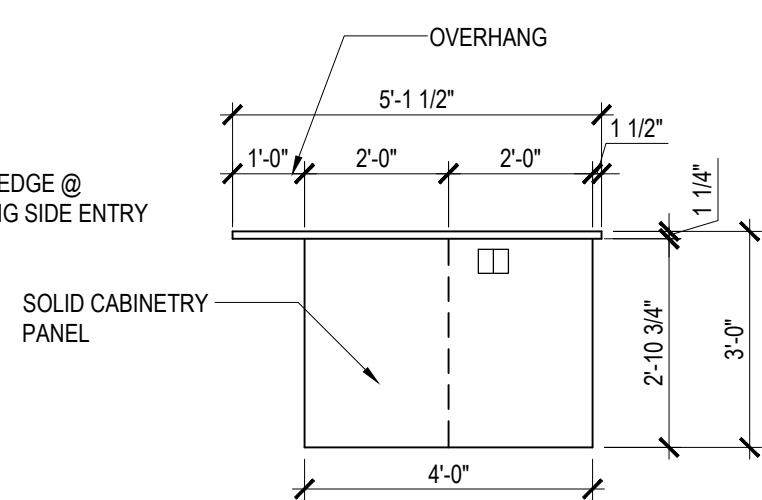
3 BACK OF ISLAND
3/8" = 1'-0"



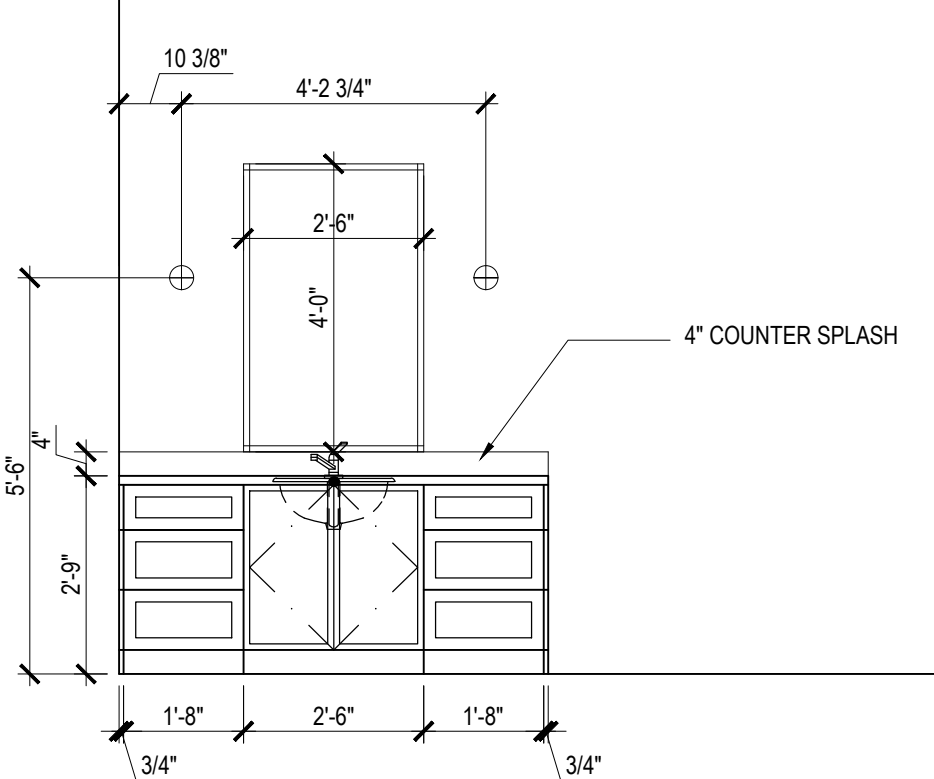
4 FRONT OF ISLAND
3/8" = 1'-0"



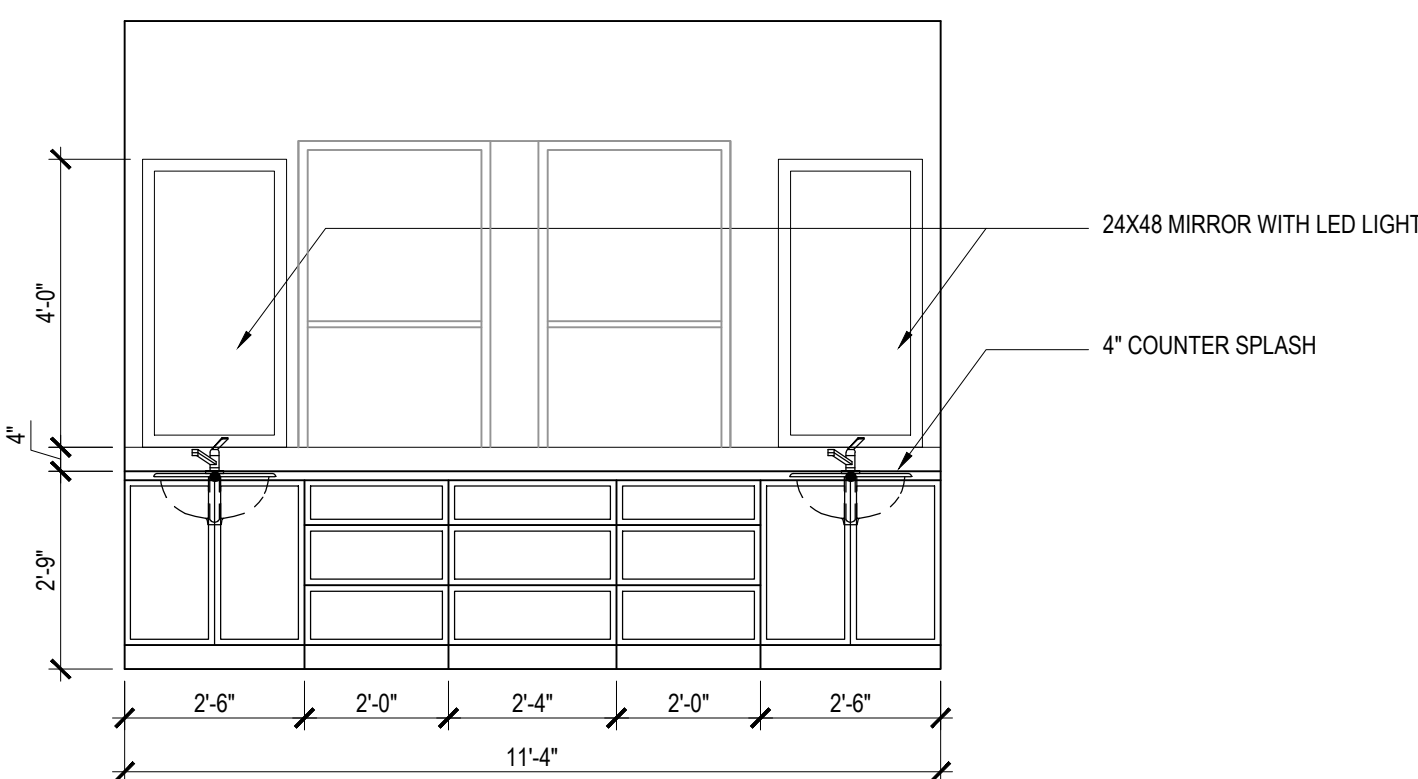
5 SIDE OF ISLAND FACING LIVING
3/8" = 1'-0"



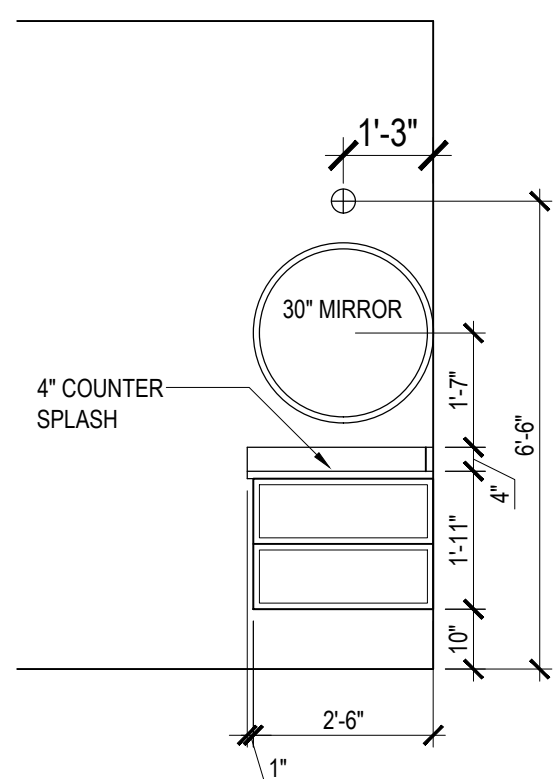
6 SIDE OF ISLAND FACING SINK
3/8" = 1'-0"



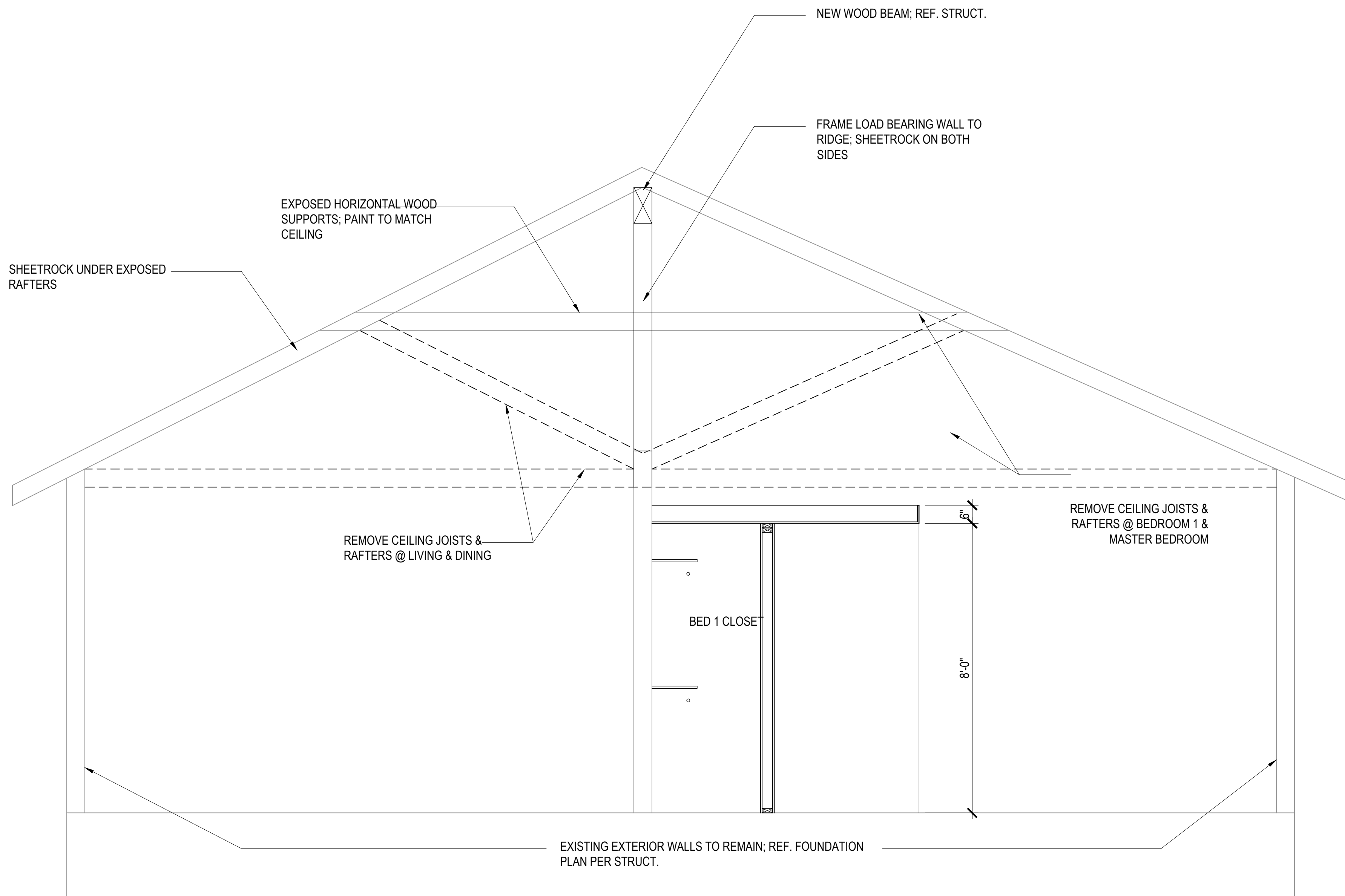
7 BATH 1
3/8" = 1'-0"



8 MASTER BATH
3/8" = 1'-0"



9 POWDER BATH
3/8" = 1'-0"



10 CROSS SECTION @ VAULTED CEILING
1/2" = 1'-0"

Mission
Remodel

312 Mission St.
San Antonio, TX 78210

Charles & Christine
Riley

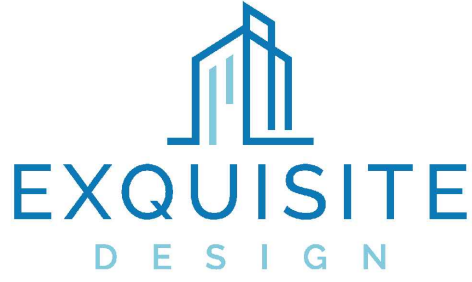
312 Mission St.
San Antonio, TX 78210

20-Mission312

CONSTRUCTION DOCS

Cross Section
Cabinetry Elevations

1 March 2021



DATE: 12/20/2021
EXP. DATE: 12/20/2022
EXQUISITE DESIGN
1270 N LOOP 1604 E #1206
SAN ANTONIO, TEXAS 78232
VOICE: (210) 421-8890
GENEVIE@MYSAPROPERTIES.COM

THIS PLAN AND THE DESIGNS CONTAINED HEREIN ARE THE PROPERTY OF EXQUISITE DESIGN AND MAY NOT BE REPRODUCED, ALL OR IN PART, WITHOUT WRITTEN CONSENT FROM EXQUISITE DESIGN.
EXQUISITE DESIGN IS A DESIGN COMPANY, NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE NOR ARE WE LICENSED TO DESIGN STRUCTURAL, FRAMING, WINDBRACING OR FOUNDATIONS. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "SIGNATURE OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. EXQUISITE DESIGN IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY MATTER OR FORM IF ANY ISSUES OR PROBLEMS ARISE.

PROJECT

Mission Remodel

312 Mission St.
San Antonio, TX 78210

OWNER

Charles & Christine Riley

312 Mission St.
San Antonio, TX 78210

PROJECT NUMBER

20-Mission312

CONSTRUCTION DOCS

NO.	DATE	DESCRIPTION OF ISSUE
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CONSULTANT

SHEET TITLE

Exterior Elevations

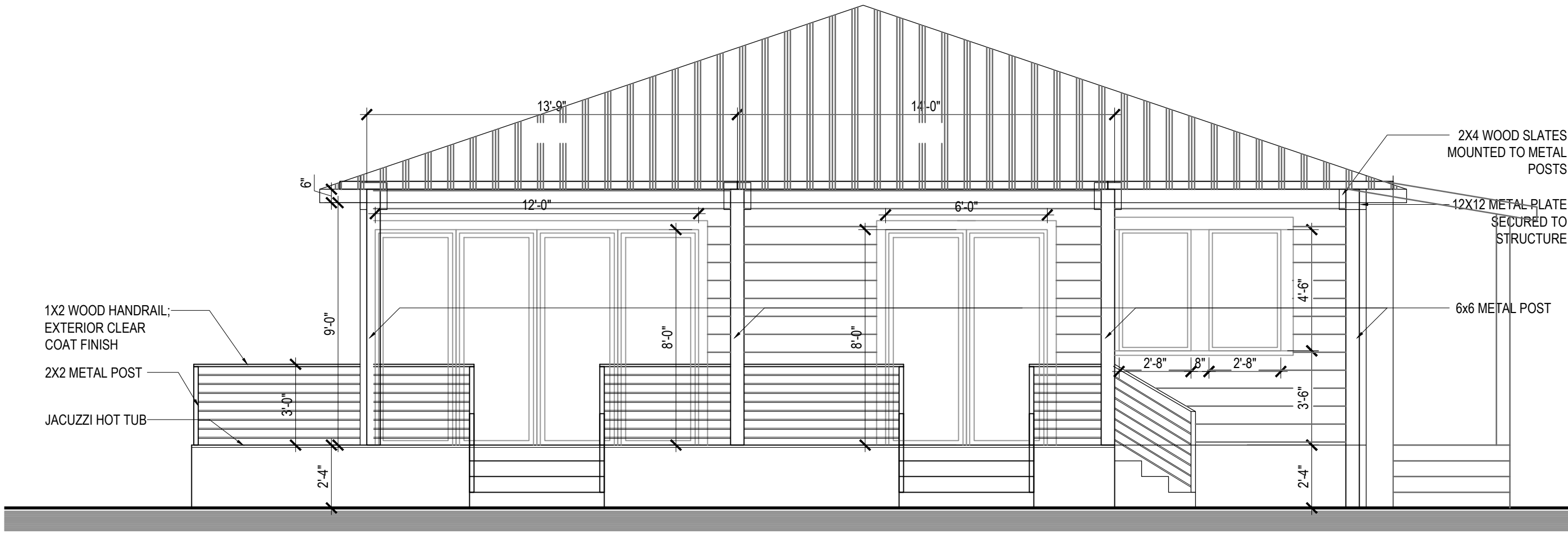
DATE

1 March 2021

SHEET NUMBER

BAR LENGTH ON ORIGINAL
DRAWING EQUALS 1 INCH

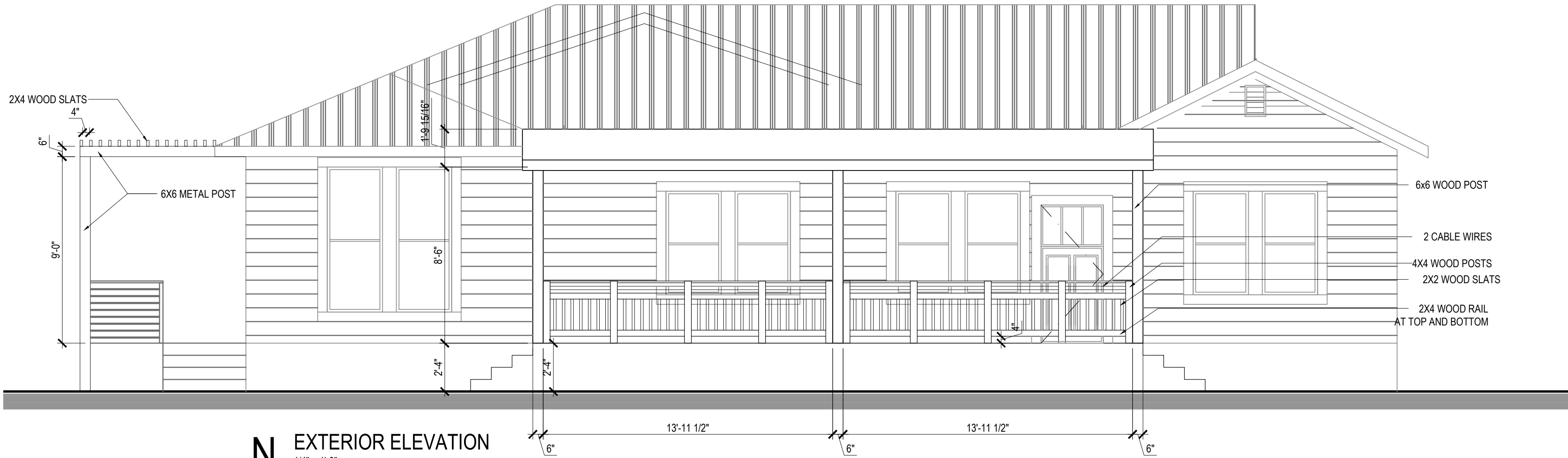
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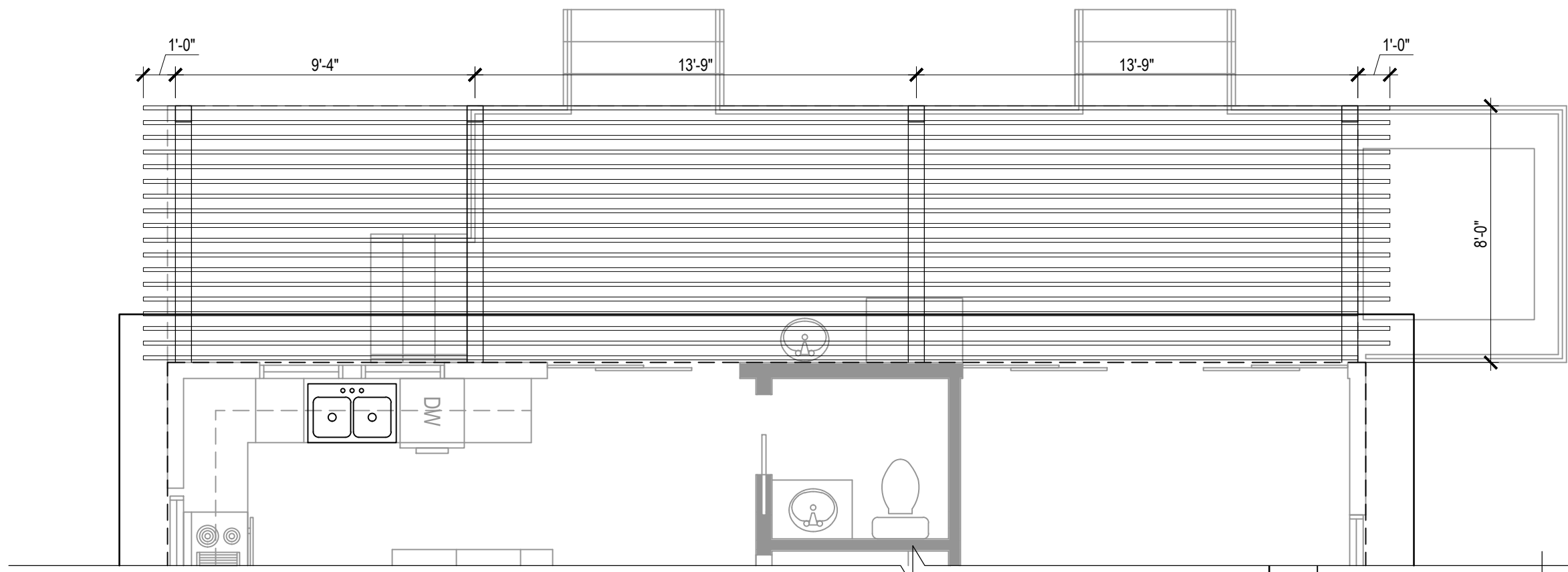
E EXTERIOR ELEVATION
1/4" = 1'-0"



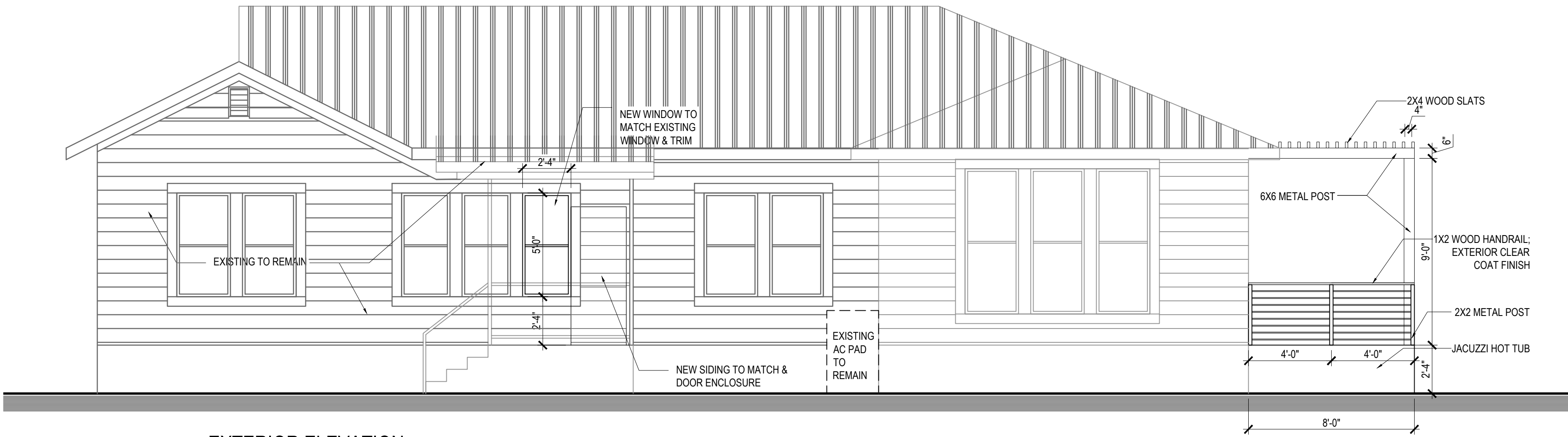
W EXTERIOR ELEVATION
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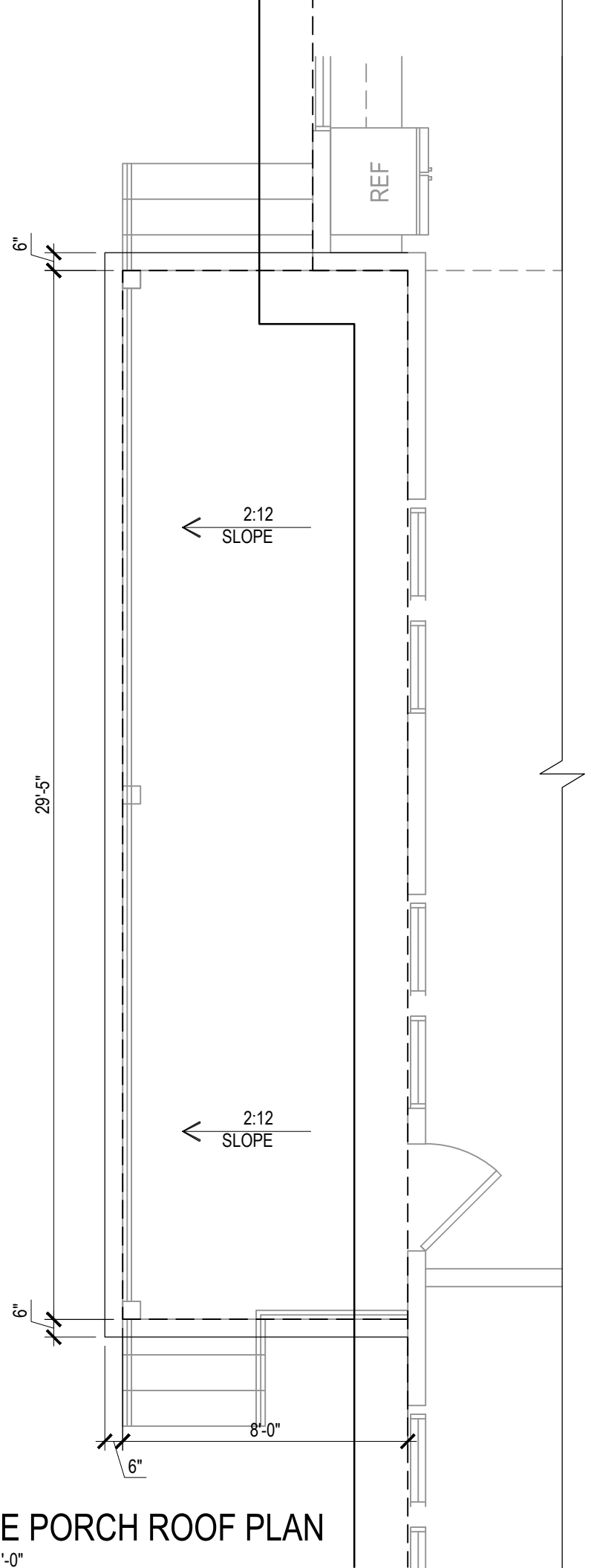
N EXTERIOR ELEVATION
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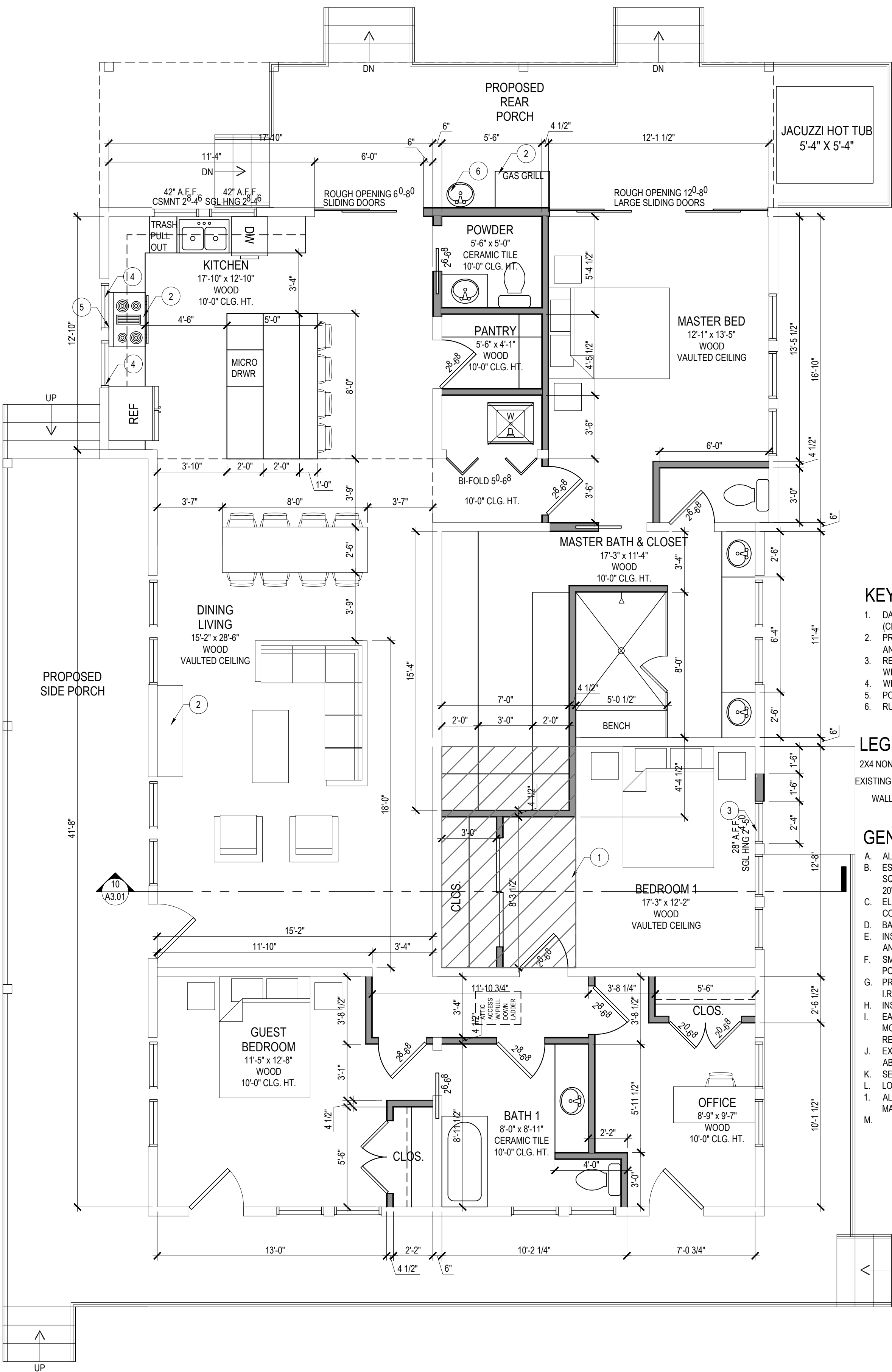
1 PERGOLA ROOF PLAN
1/4" = 1'-0"



S EXTERIOR ELEVATION
1/4" = 1'-0"



2 SIDE PORCH ROOF PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

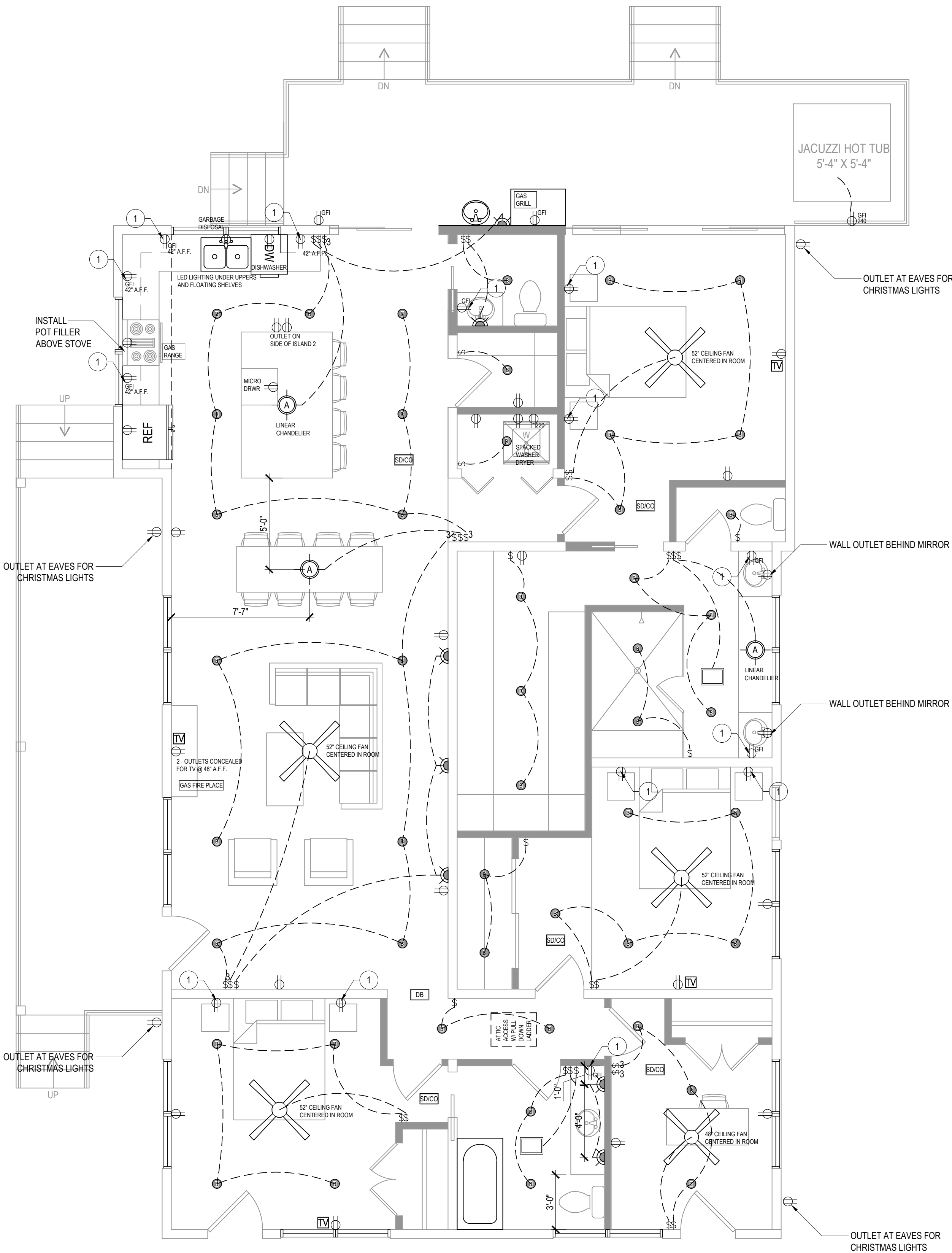
- DASH LINE INDICATES FRAMED LOFT SPACE ABOVE @ 8'-0" A.F.F. (CEILING IN BEDROOM TO BE VAULTED)
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- RUN A WATER LINE NEXT TO GAS GRILL

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EXISTING WALLS TO REMAIN
WALLS TO BE REMOVED

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- BALUSTERS AT 4" ON CENTER MAX SPACING
- INSTALL LIGHT SWITCHES AND ELECTRICAL CONTROLS NO HIGHER THAN 48" AND ELECTRICAL OUTLETS NO LOWER THAN 15" ABOVE FINISH FLOOR
- SMOKE ALARMS SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER I.R.C. SEC. R317
- PROVIDE HANDRAILS ON ALL STAIRS / STEPS WITH AT LEAST 2 RISERS PER I.R.C. SEC. R315
- INSTALL LEVER HANDLES ON ALL DOORS AND PLUMBING FIXTURES
- EACH ELECTRICAL PANEL, LIGHT SWITCH AND THERMOSTAT SHALL BE MOUNTED NO HIGHER THAN 48" AFF. EACH ELECTRICAL OUTLET OR OTHER RECEPTACLE SHALL BE AT LEAST 15" AFF.
- EXTERIOR ELECTRICAL PANEL MUST BE MOUNTED BETWEEN 18" AND 42" ABOVE FINISHED GRADE AND SERVICED BY AN ACCESSIBLE ROUTE
- SECURITY CAMERA AND SYSTEM TO BE COORDINATED WITH OWNER
- LOCATE WATER HEATER AND A/C SYSTEM IN ATTIC
- ALL WINDOWS TO BE REMOVED AND REPLACED PER EXISTING SIZE, SHAPE, MATERIAL PER HISTORIC PRESERVATION APPROVAL
-



2 ELECTRICAL PLAN
1/4" = 1'-0"

KEYNOTES

- DOUBLE DUPLEX RECEPTACLE OUTLET (QUAD)
- OUTLET TO HAVE USB PORT

ELECTRICAL LEGEND

- TV CABLE TELEVISION / SATELLITE OUTLET
20 AMP, 120V, SINGLE PHASE DUPLEX RECEPTACLE 1PH-3W
220V, SINGLE PHASE DUPLEX RECEPTACLE
DUPLEX RECEPTACLE / GROUND FAULT INTERRUPTING
GFI
LIGHT / POWER SWITCH
3-WAY SWITCH
4-WAY SWITCH
CURRENT LINE
- WALL SOURCE / USE EXTERIOR FIXTURE OUTSIDE AND AT VET AREAS
DECORATIVE SUSPENDED LIGHT FIXTURE
DOOR BELL
SMOKE DETECTOR/CARBON MONOXIDE COMBO
VENT
6" RECESSED LED CAN LIGHT / USE EXTERIOR FIXTURE OUTSIDE AND AT VET AREAS
LED STRIP LIGHT UNDER CABINET WITH ON/OFF SWITCH
- CEILING FAN WITH LIGHT



