

HISTORIC AND DESIGN REVIEW COMMISSION

July 21, 2021

HDRC CASE NO: 2021-324
ADDRESS: 909 N HACKBERRY ST
LEGAL DESCRIPTION: NCB 529 BLK 2 LOT N 92.5 FT OF 13 & 14
ZONING: IDZ-1, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Michael Garansuay/GARANSUAY MICHAEL S & TERESA P
OWNER: Michael Garansuay/GARANSUAY MICHAEL S & TERESA P
TYPE OF WORK: New construction of two, 2-story residential structures and two, 1-story residential structures
APPLICATION RECEIVED: June 30, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct two, 2-story residential structures and two, 1-story residential structures on the vacant lot at 909 N Hackberry, located within the Dignowity Hill Historic District.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

i. Setbacks—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

ii. Orientation—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES

i. Orientation—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS

i. Similar height and scale—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.

ii. Transitions—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.

iii. Foundation and floor heights—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

i. Similar roof forms—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential

building types are more typically flat and screened by an ornamental parapet wall.

ii. Façade configuration—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE

i. Building to lot ratio—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS

i. Complementary materials—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. Alternative use of traditional materials—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. Roof materials—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. Imitation or synthetic materials—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

4. Architectural Details

A. GENERAL

i. Historic context—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. Architectural details—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

v. Garage doors—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

6. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING

i. Visibility—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and

other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.

ii. Service Areas—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

B. SCREENING

i. Building-mounted equipment—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.

ii. Freestanding equipment—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.

iii. Roof-mounted equipment—Screen and set back devices mounted on the roof to avoid view from public right-of-way. Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

B. NEW FENCES AND WALLS

i. Design—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

ii. Location—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.

iii. Height—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

iv. Prohibited materials—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. Appropriate materials—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

3. Landscape Design

A. PLANTINGS

i. Historic Gardens—Maintain front yard gardens when appropriate within a specific historic district.

ii. Historic Lawns—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.

iii. Native xeric plant materials—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.

iv. Plant palettes—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.

v. Maintenance—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

i. Impervious surfaces—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.

ii. Pervious and semi-pervious surfaces—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.

iii. Rock mulch and gravel - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

D. TREES

i. Preservation—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.

ii. New Trees – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

i. Maintenance—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. Replacement materials—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

iii. Width and alignment—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

iv. Stamped concrete—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.

v. ADA compliance—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

i. Driveway configuration—Retain and repair in place historic driveway configurations, such as ribbon drives.

Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site.

Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

ii. Curb cuts and ramps—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

7. Off-Street Parking

A. LOCATION

i. Preferred location—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.

ii. Front—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.

iii. Access—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

B. DESIGN

i. Screening—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.

ii. Materials—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.

iii. Parking structures—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding

historic district when new parking structures are necessary.

Standard Specifications for Windows in Additions and New Construction

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to construct two, 2-story residential structures and two, 1-story residential structures on the vacant lot at 909 N Hackberry, located within the Dignowity Hill Historic District.
- b. **CONCEPTUAL APPROVAL** – The applicant received conceptual approval from the Historic and Design Review Commission hearing on November 18, 2020, to construct two, 2-story residential structures and two, 1-story residential structures on the vacant lot at 909 N Hackberry, with the following stipulations:
 - i. That the setbacks of both primary structures on N Hackberry be increased to be greater than the setback on N Hackberry of the structure at 527 Hays. **This stipulation has not been met.**
 - ii. That the applicant incorporate a foundation height that is consistent with the Guidelines. **Per the submitted construction documents, the applicant has proposed foundation heights that appear consistent with the Guidelines; however, staff finds that foundation heights should be annotated on construction documents.**
 - iii. That the applicant confirm consistency with the Guidelines in regards to lot coverage. **The applicant has not noted lot coverage calculations.**
 - iv. That standing seam metal roofs feature panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, a standard galvalume finish and a crimped ridge seam or a low profile ridge cap. If a ridge cap is used, it must be reviewed and approved prior to installation. Board and batten siding should feature a smooth finish, boards that are 12 inches wide and battens that are approximately 2 inches in width. Columns should be six inches square and feature capital and base trim as well as chamfered corners.
 - v. That both driveways not exceed ten (10) feet in width, per the Guidelines, and that curb cuts be consistent with those found historically within the district. Staff recommends that the curb cut and driveway on Fayn Way be separated through the use of landscaping elements to maintain a ten (10) foot width. **The applicant has not noted curb cut and driveway widths.**
 - vi. That the proposed windows adhere to staff's standards for windows in new construction as noted in findings, and as noted in the applicable citations. **The applicant has submitted a window product that generally meets staff's standards for windows in new construction.**
- c. **PREVIOUS REVIEW** – This request was reviewed by the Historic and Design Review Commission on July 21, 2021. At that hearing, the request was referred to the Design Review Committee.

- d. DESIGN REVIEW COMMITTEE – This request was reviewed by the Design Review Committee on July 27, 2021. At that meeting, the committee discussed the proposed driveway, setbacks and pervious/impervious pavement on site.
- e. CONTEXT & DEVELOPMENT PATTERN – This block on N Hackberry features a commercial structure constructed circa 1960 and one story historic structures. On the west side of N Hackberry, there are currently no residential structures that address N Hackberry.
- f. CURRENT LOT – The current lot is void of any structures, and is bounded to the east by N Hackberry and to the north by Fayn Way, which is used as an alley.
- g. SETBACKS & ORIENTATION – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Additionally, the orientation of new construction should be consistent with the historic examples found on the block. Staff finds that the proposed new construction should feature a setback that is greater than the side setback of the structure to the immediate south, which addresses Hays (527 Hays). Staff finds the proposed orientation to be appropriate and consistent with the Guidelines.
- h. ENTRANCES – According to the Guidelines for New Construction 1.B.i., primary building entrances should be oriented towards the primary street. Per the submitted documents, the entrance of each primary structure will face N Hackberry. This is consistent with the Guidelines.
- i. SCALE, MASS & HEIGHT – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. As noted in finding c, this block features one story structures; however, there are 2-story historic structure in the vicinity, specifically one block to the north. The applicant has noted an overall height of approximately twenty-eight (28) feet in height. Additionally, the applicant has proposed widths that are consistent with those found historically within the district. Generally, staff finds the proposed massing to be appropriate.
- j. FOUNDATION & FLOOR HEIGHTS – Per the Guidelines for New Construction 2.A.iii., applicants should align foundation and floor-to-floor heights within one foot of floor-to-floor heights on adjacent historic structures. Per the submitted construction documents, the applicant has proposed foundation heights that are fourteen (14) inches in height. This is consistent with the Guidelines.
- k. ROOF FORMS – The applicant has proposed for the new construction to feature front facing gabled roofs. Generally, staff finds the proposed primary roof forms to be consistent with the Guidelines.
- l. WINDOW & DOOR OPENINGS – Per the Guidelines for New Construction 2.C.i., window and door openings with similar proportions of wall to window space as typical with nearby historic facades should be incorporated into new construction. Generally, staff finds the proposed window openings to be atypical in size with those found historically within the district. Staff finds that window groupings, heights, and widths should be modified to be consistent with those found historically within the district. As proposed, windows appear to feature widths and overall heights that are smaller in size as those found historically within the district. Additionally, staff finds that façade locations that are void of fenestration should be modified to feature window openings, specifically the south elevation of building A.
- m. PORCHES – The applicant has proposed for both primary structures to feature both front and rear porches that are integral to the massing of both structures. Generally, staff finds the proposed porch depth and massing to be appropriate, as well as porch roof forms.
- n. LOT COVERAGE – Per the submitted construction documents, the applicant has proposed lot coverage that totals 47.8%. This is consistent with the Guidelines.
- o. BUILDING SPACING – The applicant has proposed approximately sixteen (16) feet between the primary structures and approximately thirty-three (33) feet between the primary and rear structures. Generally, staff finds the proposed building spacing to be appropriate; however, an increase in spacing between both primary structures would be appropriate.
- p. MATERIALS – The applicant has proposed materials that include shingle roofs, board and batten siding, and wood columns. Board and batten siding should feature a smooth finish, boards that are 12 inches wide and battens that are approximately 2 inches in width. The applicant has revised the construction document set to note compliance with this requirement. Columns should be six inches square and feature capital and base trim as well as chamfered corners.
- q. WINDOW MATERIALS – The applicant has proposed Jeldwen aluminum clad wood windows. Generally, staff finds the proposed windows to be appropriate and consistent with staff’s standards for windows in new construction.

- r. ARCHITECTURAL DETAILS – Staff finds the proposed architectural details in regards to overall massing and porch forms to be appropriate; however, as noted in finding i, staff finds that window and door openings should be modified to be consistent with those found historically within the district. Additionally, staff finds that additional fenestration should be added to facades that are void of fenestration and that window groupings should be centered under the front facing gables.
- s. PARKING – The applicant has proposed for parking to be located at the rear of each primary structure, with entrances on both N Hackberry and Fayn Way. Generally, staff finds the proposed parking to be appropriate.
- t. DRIVEWAY – The applicant has proposed three driveways, one on N Hackberry and two on Fayn Way. He applicant has noted driveway widths of nine (9) feet and driveway profiles consisting of ribbon strips. Staff finds this to be appropriate.
- u. LANDSCAPING – The applicant has submitted a detailed landscaping plan that notes the installation of site pavers and decomposed granite throughout the site. Generally, staff finds the use of decomposed granite and site pavers to be appropriate; however, staff finds that front yards should feature fifty (50) landscaping ground cover.
- v. FENCING – The applicant has proposed site fencing to include front, side and rear yard fencing. Staff finds the installation of fencing to be appropriate; however, front yard fencing should not exceed four (4) feet in height. Privacy fencing should not exceed six (6) feet in height. In the side yard, adjacent to Fayn Way, staff finds that fencing should not exceed six (6) feet in front of the primary façade of the two story structures. Driveway gates should be set behind the front façade of the two story structures.
- w. MECHANICAL EQUIPMENT – The applicant has noted the location of mechanical equipment. The applicant is responsible from screening all mechanical equipment from view from the public right of way.
- x. REAR ACCESSORY STRUCTURES – The applicant has proposed to construct two, 1-story residential structures on the west side of the lot at the rear of the two, 2-story primary structures. The proposed structures are to feature approximately 625 square feet each. The Guidelines for New Construction 5.A. notes that accessory structures should be designed to be visually subordinate to the principal structures in terms of their height, massing and form; should be no larger in plan than forty (40) percent of the primary structure’s footprint; should feature complementary materials and simplified architectural details; and should feature similar window and door openings. Generally, staff finds the proposed rear structures to be consistent with the Guidelines.
- y. ACCESSORY STRUCTURES – The Guidelines for New Construction 5.B. notes that new accessory structures should match the predominant orientation of accessory structures found along the block, and should follow historic setback patterns of similar structures along the streetscape or within the district. The applicant has proposed to locate the accessory structures at the rear of the lot, a location that is generally appropriate for the Dignowity Hill Historic District.
- z. MATERIALS (Accessory Structures) – The applicant has proposed materials that include shingle roofs and board and batten siding. Board and batten siding should feature a smooth finish, boards that are 12 inches wide and battens that are approximately 2 inches in width.
- aa. WINDOW MATERIALS (Accessory Structures) – The applicant has noted the installation of aluminum clad wood windows. Staff finds this to be appropriate; however, the proposed windows should adhere to staff standards for windows in new construction, as noted in the applicable citations.
- bb. ARCHITECTURAL DETAILS (Accessory Structures) – Staff finds the proposed architectural details in regards to overall massing and porch forms to be appropriate; however, staff finds that window and door openings should be modified to be consistent with those found historically within the district. Additionally, staff finds that additional fenestration should be added to facades that are void of fenestration.
- cc.

RECOMMENDATION:

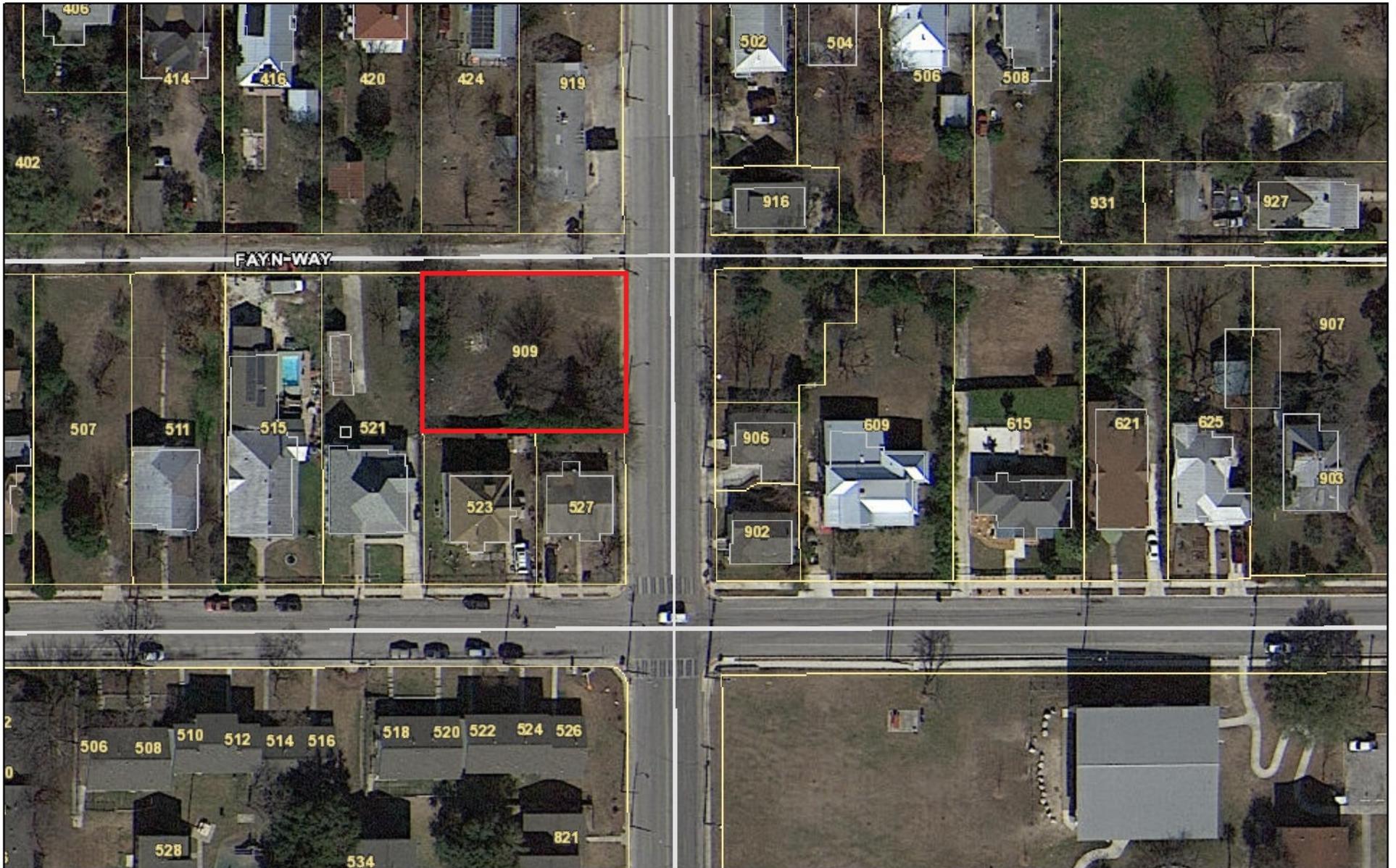
Staff recommends approval based on findings a through z with the following stipulations:

- i. That the setbacks of both primary structures on N Hackberry be increased to be greater than the setback on N Hackberry of the structure at 527 Hays, as noted in finding g.
- ii. That the applicant explore or utilize a lower floor to ceiling plate height to reduce the overall massing.
- iii. That the applicant explore the relationship of solids to voids in regards to window opening sizes and fenestration patterns. As noted in findings l and bb, staff recommends that additional fenestration should be added to facades

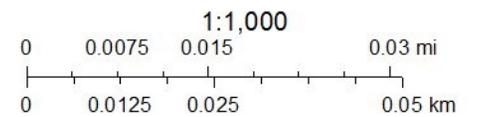
that are void of fenestration, and that that window groupings, heights, and widths should be modified to be consistent with those found historically within the district.

A foundation inspection is to be scheduled with OHP staff to ensure that foundation setbacks and heights are consistent with the approved design. The inspection is to occur after the installation of form work and prior to the installation of foundation materials.

City of San Antonio One Stop



July 12, 2021





CITY OF SAN ANTONIO
**OFFICE OF HISTORIC
PRESERVATION**

Historic and Design Review Commission
Design Review Committee Report

DATE: July 27, 2021

HDRC Case #: 2021-324

Address: 909 N Hackberry

Meeting Location: Webex

APPLICANT: Michael Garansuay

DRC Members present: Jeff Fetzer, Scott Carpenter, Andi Rodriguez (Centro), Monica Savino (Conservation Society)

Staff Present: Edward Hall

Others present: Brian Sowell

REQUEST:

Construction of two, 2-story residential structures and two, 1-story residential structures

COMMENTS/CONCERNS:

BS: Overview of proposed new construction, parking, driveways, etc.

JF: Question regarding the length of the driveway (deep enough for only one vehicle).

MS: Parking for this lot is critical. Designer will need to anticipate where guest parking will be located. Consider tandem parking, etc.

BS: Driveway widths are currently 9 feet wide with 18 inches between each driveway.

JF: Have you explore further separation of the curb cut/driveways on Fayn Way (separating the driveways for the primary and rear structures).

SC: Supportive of either proposal for driveway configurations.

ALL: Discussion regarding driveway and fencing

Questions regarding setbacks

JF: Not certain at the moment on setback. SC: 9 inches is not a dealbreaker; ideally the setback would be increased, but in mind of rear yard space, the proposed setback is okay.

OVERALL COMMENTS:

August 6, 2021

City of San Antonio
Office of Historic Preservation
1901 South Alamo
San Antonio, TX 78204

RE: Office of Historic Preservation Staff Comments for HDRC Application

This letter accompanies new and revised drawings issued in response to HDRC staff comments received on July 15th regarding the application, and additional comments made by the Design Review Commission on July 27th. New and revised drawings have been noted with revision clouds and tagged as revision #2. The following revisions have been made to the drawings:

- G-001 – Impervious cover calculations updated, new sheet added to schedule, and exterior wall type annotations updated to provide clarification of intent.
- C-102 – Incorrect foundation height callouts were removed (this edit not clouded)
- A-050 – New sheet added demonstrating setbacks along N. Hackberry
- A-051 – Driveway design revised, colored view added demonstrating design. Annotations added regarding fences and foundation heights.
- A-611 – Window Section Detail revised to provide set-back of upper sash from face of trim.

Following is a response to the comments received and a description of changes made to accommodate these comments:

Staff Comments

- i. That the setbacks of both primary structures on N Hackberry be increased to be greater than the setback on N Hackberry of the structure at 527 Hays.*

Response: A-050 “setback Comparison” has been produced in response to this comment to demonstrate the setback proposed for 909 N Hackberry. The structures at N. Hackberry are 9” proud of the structure at 527 Hays. This is due to efforts to provide sufficient parking on site with necessary clearances for structures and trees. We are requesting approval of the setbacks for 909 Hackberry as shown.

- ii. That the applicant confirm that foundation heights are consistent with the guidelines*

Response: In previous meetings with Staff, Lique Design Studio was encouraged to place the foundation height at least 12” above grade. The foundation heights and grades for 909 Hackberry have therefore been designed to be 14” above grade. Proposed grades and foundation heights are shown on C-101 “Grading Plan”. In addition, notes have been added to A-051 “architectural site plan” to emphasize that each foundation shall be at least 14” above grade.

- iii. That the applicant confirm consistency with the Guidelines in regards to lot coverage.*

Response: Lot coverage calculations may be found on G-001 “Cover Sheet”. Lot coverage amounts have been slightly adjusted to reflect recent changes to driveway design (discussed

August 6, 2021

later in this letter). The total impervious cover on the site is 47.8%. Code allows up to 50% impervious cover.

- iv. *That board and batten siding feature a smooth finish, boards that are 12 inches wide and battens that are approximately 2 inches in width, and that the proposed aluminum clad windows adhere to staff's standard specifications for windows in new construction, as noted in the applicable citations.*

Response: Details regarding the board and batten may be found on G-001. Notes for the detail have been clarified to demonstrate compliance with the requirements. The window detail on A-611 has been revised to demonstrate a setback of 2 ½" from the face of the trim.

- v. *That both driveways not exceed ten (10) feet in width, per the guidelines, and that curb cuts be consistent with those found historically within the district. Staff recommends that the curb cut and driveway on Fayn Way be separated through the use of landscaping elements to maintain a ten (10) foot width.*

Response: The driveway on Fayn Way has been re-designed to create separation with landscape and compliance with dimensional requirements. A colored portion of the site plan has been added to sheet A-051, and a 3D rendered image has been provided with this application.

PLEASE NOTE: The landscape drawings have not been updated to reflect the proposed driveway design, please see A-051 for proposed driveway design, including materials.

- vi. *That the front yard feature at least fifty (50) percent ground cover, that front yard fencing not exceed four (4) feet in height, that privacy fencing not extend past the front facades of the two story structures, and that driveway gates be setback behind the front façade of the two story structures.*

Response: The front yards consist almost entirely of landscaping and grass. The only impervious portions of the front yards are the narrow sidewalks which connect the front porches to the sidewalk along N. Hackberry. The front yard fencing is intended to be no greater than 4' in height, and notes demonstrating this have been added to sheet A-051. Privacy fence extents have been called out in sheet A-051. The only driveway gates currently intended for the project are along Fayn Way. A driveway gate is not currently intended for the driveway from N. Hackberry. If a gate is added in the future, it will comply with HDRC requirements.

Thank you for your review and consideration of this project. If you have any questions regarding these comment responses or our drawings please do not hesitate to contact me.

Regards,



Brian Sowell, Principal Architect









PROJECT INFORMATION

PROJECT DATA

PROJECT ADDRESS: 909 N HACKBERRY, SAN ANTONIO, TX 78202
 OWNER: MICHAEL GARANSUAY
 ZONING: IDZ-1
AREA & IMPERVIOUS COVER CALCULATIONS:
 LOT AREA: 10,934 SF
 GROSS BUILDING FOOTPRINTS (IMPERVIOUS): 3,630.15 GSF TOTAL
 BUILDING A: 1,199 GSF BUILDING B: 1,197.75 GSF
 ADU 1: 616.7 GSF ADU2: 616.7 GSF

GROSS HEATED SF: 5,148.75 GSF TOTAL
 BUILDING A: 2,044.25 1ST FLOOR: 986 GSF 2ND FLOOR: 1,058.25 GSF
 BUILDING B: 1,987.5 GSF 1ST FLOOR: 985 GSF 2ND FLOOR: 1,002.5 GSF
 ADU 1: 558.5 GSF ADU2: 558.5 GSF

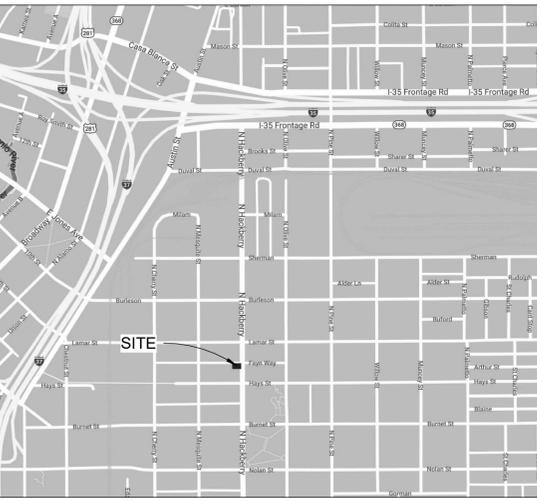
TOTAL IMPERVIOUS COVER: 5229 SF
 IMPERVIOUS COVERAGE AS PERCENTAGE OF LOT AREA: 47.8%
 ADU/PRIMARY BUILDING FOOTPRINT RATIO: 51.4%

BUILDING STORIES: 2 STORY MAX
 CONSTRUCTION TYPE: VB
 FIRE SPRINKLERS: NO
 OCCUPANCY: RESIDENTIAL SINGLE-FAMILY

PROJECT SCOPE

THE PROJECT INCLUDES TWO NEW 3 BED/2 BATH SINGLE FAMILY RESIDENCES, AND TWO NEW 1 BED/1BATH ACCESSORY DWELLING UNITS FOR AN UNIMPROVED LOT IN SAN ANTONIO'S DIGNOWITY HILL NEIGHBORHOOD.

VICINITY MAP



LOCATION MAP



NOTE: PERSPECTIVE RENDERINGS ARE FOR ILLUSTRATION PURPOSES ONLY AND NOT INTENDED FOR REFERENCE DURING CONSTRUCTION.

MIKE GARANSUAY
909 N HACKBERRY

CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW

DRAWING SHEET INDEX

GENERAL

G-001 COVER SHEET
 G-002 PROJECT STANDARDS & LEGENDS

CIVIL

LIQUE DESIGN STUDIO
 816 CAMARON STREET, SUITE 123
 SAN ANTONIO, TX 78212
 DAMAIN ESQUIVEL
 210-549-4207
 DAMIAN@LIQUE.US

C-101 GRADING PLAN
 C-102 UTILITY PLAN

LANDSCAPE

HORIZON DESIGN AND DEVELOPMENT
 14607 SAN PEDRO AVE., SUITE 200
 SAN ANTONIO, TX 78232
 JON ROBINSON
 210-831-8564
 J.ROBINSON@HORIZONDESIGN-SA.COM

TP1.0 TREE PRESERVATION PLAN
 L1.0 LANDSCAPE PLANTING PLAN
 L2.0 LANDSCAPE CONSTRUCTION DETAILS
 L2.1 LANDSCAPE CONSTRUCTION DETAILS

STRUCTURAL

SPB ENGINEERING, LLC
 14439 N.W. MILITARY HWY., STE. 108-417
 SAN ANTONIO, TEXAS 78231
 STEVE P. BOURASSA, P.E.
 SENIOR ENGINEER/PARTNER
 210-273-5293, 210-355-0559

S-101 STRUCTURAL NOTES
 S-102 STRUCTURAL NOTES
 S-103 FASTENING SCHEDULE
 S-200 OVERALL FOUNDATION PLAN
 S-201 FOUNDATION FRAMING PLAN - BUILDING A AND ADU 1
 S-202 FOUNDATION FRAMING PLAN - BUILDING B AND ADU 2
 S-203 SECOND FLOOR FRAMING PLANS - BUILDING A AND BUILDING B
 S-300 OVERALL ROOF PLAN
 S-301 ROOF FRAMING PLANS - BUILDING A AND ADU 1
 S-302 ROOF FRAMING PLANS - BUILDING B AND ADU 2
 S-401 TYPICAL FOUNDATION DETAILS
 S-402 SECTIONS AND DETAILS
 S-501 TYPICAL WOOD FRAMING DETAILS
 S-502 TYPICAL WOOD FRAMING DETAILS
 S-503 SECTIONS AND DETAILS
 S-504 SECTIONS AND DETAILS
 S-505 SECTIONS AND DETAILS
 S-601 TRUSS ELEVATIONS

ARCHITECTURAL

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 816 CAMARON STREET, SUITE 123
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 BRIAN SOWELL
 512-417-3062
 BRIAN@LIQUE.US

A-050 SETBACK COMPARISON
 A-051 ARCHITECTURAL SITE PLAN
 A-111 FIRST FLOOR - BUILDING A
 A-112 SECOND FLOOR - BUILDING A
 A-113 FIRST FLOOR - BUILDING B
 A-114 SECOND FLOOR - BUILDING B
 A-115 FLOOR PLAN - ADU
 A-121 REFLECTED CEILING PLAN BUILDING A
 A-122 REFLECTED CEILING PLAN BUILDING B
 A-123 REFLECTED CEILING PLAN - ADU
 A-151 ROOF PLANS
 A-201 OVERALL ELEVATIONS
 A-202 EXTERIOR ELEVATIONS BUILDING A
 A-203 EXTERIOR ELEVATIONS BUILDING B
 A-204 EXTERIOR ELEVATIONS BUILDING B
 A-205 EXTERIOR ELEVATIONS BUILDING B
 A-206 EXTERIOR ELEVATIONS - ADU
 A-300 BUILDING SECTIONS BUILDING A
 A-301 BUILDING SECTION BUILDING A
 A-302 BUILDING SECTIONS - ADU
 A-351 WALL SECTIONS
 A-411 CASEWORK ELEVATIONS - BUILDING A
 A-412 CASEWORK ELEVATIONS - BUILDING B
 A-413 CASEWORK ELEVATIONS - ADU
 A-451 VERTICAL CIRCULATION
 A-452 VERTICAL CIRCULATION
 A-611 GLAZING ELEVATIONS & DETAILS

CONSTRUCTION OBSERVATION REQUIRED

GENERAL CONTRACTOR IS REQUIRED TO SCHEDULE & COORDINATE THE FOLLOWING MANDATORY CONSTRUCTION OBSERVATION SITE VISITS WITH ARCHITECT PRESENT. PROVIDE NOTICE TO ARCHITECT AT LEAST 48 HOURS PRIOR TO SUCH VISITS. PRIOR TO BEGINNING WORK, PROVIDE ARCHITECT & OWNER WITH A CRITICAL PATH SCHEDULE SHOWING THE FOLLOWING CONSTRUCTION MILESTONES:

- | INITIALS | REQ'D | SITE VISIT / MILESTONE |
|----------|-------------------------------------|--------------------------------------------------|
| _____ | <input checked="" type="checkbox"/> | PRE-CONSTRUCTION SITE MEETING |
| _____ | <input checked="" type="checkbox"/> | CONCRETE FORMWORK, PRIOR TO POURING |
| _____ | <input checked="" type="checkbox"/> | CONCRETE, PRIOR TO FRAMING & MASONRY |
| _____ | <input checked="" type="checkbox"/> | ROUGH MASONRY/FRAMING |
| _____ | <input checked="" type="checkbox"/> | ROUGH ELEC., MOUNTED BOXES PRIOR TO PULLING WIRE |
| _____ | <input checked="" type="checkbox"/> | DRY-IN PRIOR TO INSTALLING CLADDING |
| _____ | <input checked="" type="checkbox"/> | PUNCH LIST REVIEW |
| _____ | <input checked="" type="checkbox"/> | SUBSTANTIAL COMPLETION PRIOR TO C.O. |

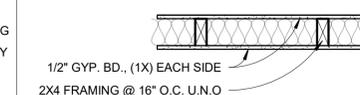
ARCHITECT'S INITIALS ARE REQUIRED TO THE LEFT OF EACH SITE VISIT LISTED PRIOR TO PROCEEDING WITH SUBSEQUENT WORK, AND INDICATE ONLY THAT ARCHITECT WAS PRESENT & PROVIDED WITH THE OPPORTUNITY TO OBSERVE CONSTRUCTION AT THAT PHASE.

TYPICAL WALL TYPES

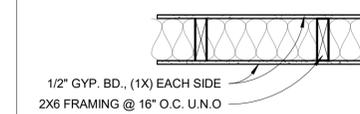
NOTES

- CONSTRUCT ALL WALLS AS LABELED ON FLOOR PLAN(S)
- PLAN GRAPHICS FOR VISUAL REFERENCE ONLY
- PROVIDE INSULATION AT ALL EXTERIOR WALLS PER SPECIFICATIONS.
- PROVIDE INSULATION IN ALL INTERIOR BATHROOM WALLS.

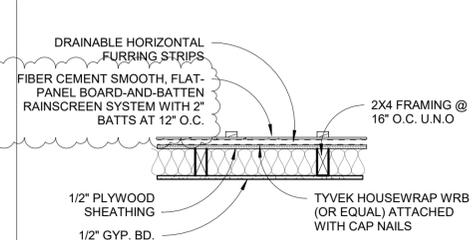
INTERIOR 2X4



INTERIOR 2X6



EXTERIOR 2X6



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MIKE GARANSUAY
909 N HACKBERRY
 909 N HACKBERRY
 SAN ANTONIO, TX 78202

#	DESCRIPTION	DATE
2	DRC REVISIONS FOR HDRC REVIEW	2021.08.06
1	ISSUED FOR HISTORICAL BOARD REVIEW	2021.06.29
A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12

SCHEDULE OF REVISIONS

#	DESCRIPTION	DATE
CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW		
PROJECT NUMBER: 2020132		
PROJECT DATE: 2021.07.19		
PROJECT MANAGER: B. SOWELL		
PROJECT TEAM: S. JURADO, E. SOWELL		

COVER SHEET

G-001

NOTICE:
DO NOT SCALE DRAWINGS, USE DIMENSIONS SHOWN.

GENERAL NOTES

GENERAL

- THIS CONSTRUCTION SET IS PRESENTED ON 22X34 SHEETS.
- ELECTRICAL AND PLUMBING LINES SHALL RUN CONCEALED AND FRAMING SHALL BE OF ADEQUATE DIMENSIONS TO ACCOMMODATE HIS RESULT WITHOUT CHANGES IN THE WALL PLANE OR CEILING PLANE WHEN REFERENCE IS MADE TO A MATERIAL SYSTEM, ALL PARTS AND MATERIALS PERTINENT TO THE MANUFACTURER'S SYSTEM SHALL BE FURNISHED AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL INFORMATION ON EXISTING CONDITIONS WAS SUPPLIED TO THE ARCHITECT BY THE OWNER. CONTRACTOR IS REQUESTED TO VERIFY, ON-SITE, ALL DIMENSIONS & CONDITIONS BEFORE STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
- FINISHES AND TEXTURES ARE TO BE SELECTED BY OWNER.
- REPAIR ANY DAMAGED AREAS PRIOR TO APPLYING FINISHES
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. ALL CONTRACT DOCUMENTS AND ENGINEERING DRAWINGS ARE TO BE USED TOGETHER. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO REVIEW COMPLETE SETS OF DOCUMENTS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A NEAT PREMISE AND SHALL THOROUGHLY CLEAN ALL FINISHED SURFACES INSIDE AND OUTSIDE OF THE PROJECT.
- ALL SUBCONTRACTORS ARE RESPONSIBLE FOR A COMPLETE JOB WITHIN THEIR DISCIPLINES AND SHALL NOTIFY THE CONTRACTOR AND THE OWNER OR HIS AUTHORIZED AGENT OF ANY NORMALLY REQUIRED ITEMS NOT SPECIFICALLY IDENTIFIED IN THE DRAWINGS
- USE NUMERICAL DIMENSIONS SHOWN, DO NOT SCALE THE DRAWINGS
- ALL WORK AND MATERIALS ARE TO COMPLY IN EVERY RESPECT WITH THE LATEST REQUIREMENTS OF ALL APPLICABLE CITY, COUNTY, AND STATE CODES, LOCAL REGULATIONS AND THE DIRECTION OF THE BUILDING INSPECTOR FOR SUCH BUILDING LAWS, REGULATIONS AND DIRECTIONS ARE TO BE CONSIDERED AS PART OF THESE PLANS.
- FOR ANY ITEM IDENTIFIED IN THE CONTRACT DOCUMENTS THAT IS REASONABLY INFERRABLE AS A COMPONENT IN A SYSTEM AND REQUIRED FOR THE PERFORMANCE OF THAT SYSTEM, THE GENERAL CONTRACTOR SHALL INCLUDE ALL OTHER COMPONENTS IN THE WORK WHICH ARE NECESSARY FOR THE COMPLETION AND FULL OPERATIONAL PERFORMANCE OF THAT SYSTEM.
- THE CONTRACT DOCUMENTS INDICATE THE GENERAL DESIGN INTENT, BUT DO NOT NECESSARILY DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION. THE CONTRACTOR SHALL PROVIDE ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE GENERAL CONTRACTOR SHALL VERIFY IN THE FIELD AND COORDINATE BETWEEN THE TRADES, ALL CONDITIONS BOTH NEW AND EXISTING WHICH AFFECT WORK TO BE DONE OR RELEVANT THERETO, INCLUDING BUT NOT LIMITED TO, PROPERTY LINE DIMENSIONS, SETBACKS, EASEMENTS, RESTRICTIONS, EXACT LOCATIONS OF ALL CONSTRUCTION, EXISTING AND NEW, EXISTENCE AND LOCATIONS OF ASBESTOS OR OTHER UNKNOWN TOXIC MATERIALS, DRIVEWAYS, WALKS, APRONS, UTILITIES, GRADES, AND DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR THE DISCOVERY OF ASBESTOS AND OTHER REGULATED TOXIC MATERIALS AND SHALL BEAR ADMINISTRATIVE RESPONSIBILITY FOR CONFORMING TO FEDERAL, STATE, AND LOCAL JURISDICTIONAL REQUIREMENTS REGARDING THE DISPOSITION OF HAZARDOUS MATERIALS.
- SHOULD ANY QUESTIONS ARISE OR DISCREPANCIES ON THE DRAWINGS BE NOTED PRIOR TO BEGINNING OF CONSTRUCTION OR DURING ANY PHASE OF CONSTRUCTION, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR REVIEW AND CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK OR ANY PART RELATED THERETO.
- CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK AND WITHIN SCOPE OF CONTRACT DOCUMENTS INCLUDING BUT NOT LIMITED TO: BUILDING PERMIT FEES, MEP FEES, WATER FEES, SEWER FEES, DRIVEWAY FEES, AND SIDEWALK FEES. THE LOCATION OF UTILITIES SHOWN ON THE SITE PLANS ARE BASED ON INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
- DESIGN AND CONSTRUCTION PROCESSES TO COMPLY WITH HOA, LOCAL AND STATE RESIDENTIAL BUILDING CODE REQUIREMENTS.
- CONTRACTOR SHALL REPORT IMMEDIATELY, TO THE ARCHITECT (IN WRITING) ANY EXISTING CONDITIONS THAT MAY AFFECT PERFORMANCE OF THE EXISTING AND NEW STRUCTURE.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE EXECUTION OF THE PROJECT IN A COMPLETE AND WORKMAN LIKE MANNER, CONFORMING TO THE BEST STANDARDS OF PRACTICE IN VARIOUS TRADES.
- NO VEHICLE IS PERMITTED ON ADJACENT PROPERTY AND ANY DAMAGE DONE TO EXISTING DRIVES AND WALKS OR OTHER STRUCTURES WILL BE REPAIRED OR REPLACED AND CHARGED TO THE PERSON OR COMPANY RESPONSIBLE.
- TRADE NAMES AND BRANDS NOTED ON THE CONTRACT DOCUMENTS ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS OF "EQUAL" PRODUCTS MAY BE MADE WITH THE OWNERS' PERMISSION.

FOUNDATIONS & CONCRETE SLABS

- SLOPE DRAINAGE 6" WITHIN THE FIRST 10 FT. FROM THE FOUNDATION WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT THE 10 FT. DISTANCE, A 2-5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING THE WATER AWAY FROM THE FOUNDATION. IMPERVIOUS SURFACES SHALL ALSO BE SLOPED A MINIMUM OF 2 PERCENT FOR 10 FT. AWAY FROM STRUCTURES TO AN APPROVED DRAINAGE WAY.

TREATMENT FOR WOOD FRAMING

- WEATHER EXPOSED GLU-LAM, BEAMS AND POSTS SHALL BE PRESSURE TREATED OR SHALL BE WOOD OF NATURAL RESISTANCE TO DECAY.
- ALL WOOD FRAMING CONTACTING THE GROUND OR CONCRETE TO BE TREATED.
- ALL WOOD BLOCKING TO BE FIRE RETARDANT.

OPENINGS

- THE FOLLOWING WINDOWS SHOULD BE FULLY TEMPERED:
 - SLIDING/SWINGING GLASS DOORS
 - GLAZING IN WALLS AND ENCLOSURES FACING HOT TUBS, SPAS, WHIRPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE THE GLAZING IS LEES THAN 60 INCHES ABOVE THE STANDING SURFACE WITHIN THE COMPARTMENT AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE.
 - GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60 INCHES ABOVE THE FLOOR. SAFETY GLAZING REQUIRED ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF HINGE SIDE OF AN IN-SWING DOOR.
 - GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9 SQ FT., BOTTOM IS LESS THAN 18 IN. AND AT LEAST 36 IN. ABOVE THE FLOOR, AND ADJACENT TO A WALKING SURFACE.
 - WITHIN 60 IN. OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36 IN. ABOVE THE LANDING.
 - GLAZING IN GUARDS AND RAILINGS
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMP WITHIN 36 IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36 IN. ABOVE THE WALKING SURFACE.
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 57 SOFT TYPICAL NET CLEAR OPENING DIMENSIONS REQUIRED SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WITH SHALL BE NOT LESS THAN 20 INCHES. WHERE A WINDOW IS PROVIDED AS AN EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.

WALLS

- POSITIVE CONNECTION SHALL BE PROVIDED TO ENSURE AGAINST UPLIFT AND LATERAL DISPLACEMENT.
- ALL FASTENERS USED FOR ATTACHMENT OF SIDING & INTO PRESSURE TREATED LMBER SHALL BE OF A CORROSION RESISTANT TYPE.
- FIRE-BLOCK IN CONCEALED SPACES OF STUD WALLS/PARTITIONS, VERTICALLY AT CEILING/FLOOR LEVELS, & HORIZONTALLY AT 10 FT. INTERVALS. FIRE-BLOCK AT SOFFITS, DROP CEILINGS/SIMILAR LOCATIONS & IN CONCEALED SPACES AT THE TOP/BOTTOM OF STAIR STRINGERS.

STAIRWAYS AND RAMPS

- RISE SHALL BE MAXIMUM 7.75"; RUN SHALL BE 10" MINIMUM; HEADROOM 6'-8" MINIMUM; WIDTH 36" MINIMUM, 31.5" BETWEEN A HANDRAIL ON ONE SIDE AND 27" WITH HANDRAILS ON TWO SIDES. VARIATION BETWEEN RISER HEIGHTS 3/8" MAXIMUM. A NOSING NOT LESS THAN .75 INCHES BUT NO MORE THAN 1.25 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11 INCHES. THE LEADING EDGE OF TREADS SHALL PROJECT NO MORE THAN 1.25 INCHES BEYOND THE READ BELOW. OPEN RISERS ARE PERMITTED. PROVIDE THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" SPHERE. (OPENINGS ARE NOT LIMITED WHEN THE STAIR HAS A RISE OF 30" OR LESS)
- STAIRWAYS WITH 4 OR MORE RISERS SHALL HAVE A HANDRAIL ON ONE SIDE 34" TO 38" ABOVE THE TREAD NOSING. CIRCULAR HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF 1.25" A MINIMUM CLEARANCE OF 1.5" SHALL BE MAINTAINED FROM THE WALL OR OTHER SURFACE.
- GUARDS SHALL BE 42" MINIMUM HEIGHT (UNLESS ACTING AS A HANDRAIL/GUARD FOR A STAIRWAY, THE GUARD HEIGHT MAY BE 34"-38" IN HEIGHT), WITH OPENINGS LESS THAN 4" CLEAR. GUARDS ON THE OPEN SIDES OF STAIRS MAY HAVE 4 3/8" OPENINGS)
- USABLE SPACES UNDERNEATH ENCLOSED/UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY A MINIMUM OF 1/2" GYPSUM BOARD.

GARAGE AND CARPORT

- GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT & ATTIC AREA BY 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD. STRUCTURE SHALL BE INSTALLED WITH 20% CRACK ASSEMBLIES USED FOR REQUIRED SEPARATIONS SHALL HAVE 1/2" GYPSUM BOARD INSTALLED MINIMUM. DOOR OPENINGS FROM THE GARAGE TO THE DWELLING SHALL BE SOLID WOOD/STEEL DOORS OR HONEYCOMB STEEL DOORS NO LESS THAN A 3/8" THICK OR A 20-MINUTE RATED FIRE DOOR. DOORS SHALL BE SELF-CLOSING & SELF-LATCHING.

DUCTS PENETRATING THE GARAGE TO DWELLING SEPARATION SHALL BE A MINIMUM OF 26 GAUGE WITH NO OPENINGS INTO THE GARAGE.

- PENETRATIONS THROUGH THE GARAGE TO DWELLING SEPARATION WALL (OTHER THAN DUCTS AS LISTED ABOVE) SHALL BE FIRE-BLOCKED.
- GARAGE AND CARPORT FLOOR SURFACES SHALL BE NON-COMBUSTIBLE MATERIAL AND SLOPE TO DRAIN TOWARDS THE GARAGE DOOR OPENING.
- APPLIANCES AND RECEPTACLES INSTALLED IN GARAGE GENERATING A GLOW, SPARK OR FLAME SHALL BE LOCATED 18" ABOVE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. PROVIDE PROTECTIVE POST OR OTHER IMPACT BARRIER FROM VEHICLES.

ELECTRICAL

- NO ELECTRICAL PANELS IN CLOSETS OF BATHROOMS. MAINTAIN A CLEARANCE OF 36" IN FRONT OF PANELS, 30" WIDE OR WIDTH OF EQUIPMENT AND 6'-6" HIGH FOR HEADROOM.
- PROVIDE A MINIMUM 3 LUG INTERSYSTEM BONDING BUSBAR AT THE MAIN ELECTRICAL SERVICE.
- A CONCRETE-ENCASED ELECTRODE (UFER) CONSISTING OF 20' OF REBAR OR #4 COPPER WIRE PLACED IN THE BOTTOM OF A FOOTING IS REQUIRED FOR ALL NEW CONSTRUCTION. BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS SHALL BE ACCESSIBLE AND OF AN APPROVED TYPE.
- ALL 15/20 AMPERE RECEPTACLES INSTALLED SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- ALL BRANCH CIRCUITS SUPPLYING 15/20 AMPERE OUTLETS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENs, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, KITCHENS, LAUNDRY ROOMS OR SOMILAR ROOMS/AREAS SHALL BE PROTECTED BY A LISTED COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER.
- PROVIDE A MINIMUM OF ONE 20A CIRCUIT TO BE USED FOR THE LAUNDRY RECEPTACLE. PROVIDE A MINIMUM OF ONE 20A CIRCUIT FOR BATHROOM RECEPTACLE OUTLETS.
- PROVIDE AT LEAST 1 OUTLET IN BASEMENT, GARAGES, LAUNDRY ROOMS, DECKS, BALCONIES, PORCHES AND WITHIN 3' OF THE OUTSIDE OF EACH BATHROOM BASIN.
- ALL DWELLINGS MUST HAVE ONE EXTERIOR OUTLET AT THE FRONT AND THE BACK OF THE DWELLING.
- GARAGE RECEPTACLES SHALL NOT SERVE OUTLETS OUTSIDE THE GARAGE. **EXCEPTION: GARAGE CIRCUIT MAY SERVE READILY ACCESSIBLE OUTDOOR RECEPTACLE OUTLETS.** A MINIMUM OF 1 RECEPTACLE SHALL BE PROVIDED FOR EACH CAR SPACE.
- KITCHENS, DINING ROOMS, PANTRIES, BREAKFASTNOOKS, AND SIMILAR AREAS MUST HAVE A MINIMUM OF TWO 20A CIRCUITS. KITCHEN, PANTRY, BREAKFAST NOOKS, DINING ROOMS, WORK SURFACES AND SIMILAR AREAS COUNTER OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" OR WIDER, NOT GREATER THAN 20" ABOVE COUNTER. ISLAND COUNTER SPACES SHALL HAVE AT LEAST 1 RECEPTACLE OUTLET UNLESS A RANGE TOP OR SINK IS INSTALLED THEN 2 RECEPTACLES MAY BE REQUIRED. 1 RECEPTACLE IS REQUIRED FOR PENINSULAR COUNTER SPACES. RECEPTACLES SHALL BE LOCATED BEHIND KITCHEN SINKS IF THE COUNTER AREA DEPTH BEHIND THE SINK IS MORE THAN 12" FOR STRAIGHT COUNTERS AND 18" FOR CORNER INSTALLATIONS.
- RECEPTACLES SHALL BE INSTALLED AT 12" O.C. MAXIMUM IN WALLS STARTING 6" MAXIMUM FROM THE WALL END. WALLS LONGER THAN TWO FEET SHALL HAVE A RECEPTACLE. HALLWAY WALLS NO LONGER THAN 10' SHALL HAVE A RECEPTACLE IN HALLWAY.
- ALL LIGHTING/FIXTURES LOCATED IN WET OR DAMP LOCATIONS SHALL BE RATED FOR THE APPLICATION.
- GFCI OUTLETS ARE REQUIRED: FOR ALL KITCHEN RECEPTACLES THAT ARE DESIGNED TO SERVE COUNTERTOP SURFACES, DISHWASHERS, BATHROOMS, IN UNDER-FLOOR SPACES OR BELOW GRADE LEVEL, IN FINISHED WITHIN 20 FT. CRAWL SPACE LIGHTING OUTLETS, IN EXTERIOR OUTLETS, WITHIN 6' OF A LAUNDRY/UTILITY/WET BAR SINKS, LAUNDRY AREAS, AND IN ALL GARAGE OUTLETS INCLUDING OUTLETS DEDICATED TO A SINGLE DEVICE OR GARAGE DOOR OPENER.
- CARBON-MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL-BURNING APPLIANCES OR WITH ATTACHED GARAGES.
 - OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS
 - ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
 - ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING 1,000 DOLLAS (MAY BE 25% OPERATED)
- SMOKE ALARMS SHALL BE INSTALLED:
 - IN EACH ROOM USED FOR SLEEPING PURPOSES
 - OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS
 - IN EACH STORY, INCLUDING BASEMENTS.
- SMOKE AND CARBON-MONOXIDE ALARMS SHALL BE HARDWIRED WITH A BATTERY BACKUP (SMOKE ALARMS SHALL HAVE A 10-YR SEALED BATTERY)
- SMOKE DETECTORS WITHIN 10 FEET TO 20 FEET OF THE STOVE SHALL BE IONIZATION TYPE WITH ALARM SILENCING SWITCH.
- ALL 15/20 AMPERE RECEPTACLES IN WET LOCATIONS SHALL HAVE IN-USE (BUBBLE) COVERS INSTALLED. ALL RECEPTACLES IN WET LOCATIONS SHALL ALSO BE LISTED WEATHER-RESISTANT TYPE.

PLUMBING

- UNDERFLOOR CLEANOUTS SHALL NOT BE MORE THAN 5' FROM AN UNDERFLOOR ACCESS, ACCESS DOOR OR TRAP DOOR.
- ABS PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINTS.
- PVC PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINT, .04" THICK WRAP OR OTHERWISE PROTECTED FROM UV DEGRADATION.
- UNDERGROUND WATER SUPPLY LINES SHALL HAVE A 14 AWG BLUE TRACER WIRE.
- THE ADJACENT SPACE NEXT TO SHOWERS WITHOUT THRESHOLDS SHALL BE CONSIDERED A "WET LOCATION" WHEN USING THE CRC, CBC AND THE CEC.
- DOMESTIC HOT WATER LINES SHALL BE INSULATED. INSULATION SHALL BE THE THICKNESS OF THE PIPE DIAMETER UP TO 2" IN SIZE AND MINIMUM 2" THICKNESS FOR PIPES LARGER THAN 2" IN DIAMETER.
- PROVIDE ANTI-SIPHON VALVES ON ALL HOSE BIBBS.
- FLOOR DRAINS SHALL BE PROVIDED WITH A TRAP PRIMER.
- PROVIDE BACKFLOW PREVENTION DEVICE ON WATER SUPPLY LINE COMPLYING WITH 2018 IRC AND OTHER REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION

MECHANICAL

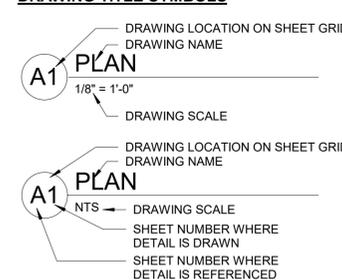
- VENT DRYER TO OUTSIDE OF BUILDING (NOT TO UNDER-FLOOR AREA). VENT LENGTH SHALL BE 14 FT. MAXIMUM. SHALL TERMINATE A MINIMUM OF 3" FROM THE PROPERTY LINE AND ANY OPENING INTO THE BUILDING.

ABBREVIATIONS

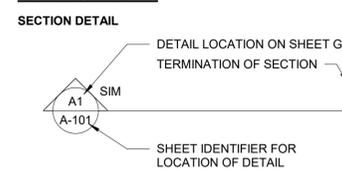
A/C	AIR CONDITIONING	FEC	FIRE EXTINGUISHER CABINET	N	NORTH	SSC	SOLID SURFACE
ADMIN	ADMINISTRATION	FF EL	FINISH FLOOR ELEVATION	NIC	NOT IN CONTRACT	STD	STANDARD
AFF	ABOVE FINISHED FLOOR	FHC	FIRE HOSE CABINET	NOM	NOMINAL	STOR	STORAGE
ALT	ALTERNATE	FIN FLR	FINISHED FLOOR	NTS	NOT TO SCALE	SUSP	SUSPENDED
ALUM	ALUMINUM	FLR	FLOOR, FILLER	OC	ON CENTER	SYS	SYSTEM
APPROX	APPROXIMATE(LY)	FOC	FACE OF CURB	OD	OUTSIDE DIAMETER	TBD	TO BE DETERMINED
ARCH	ARCHITECT(URAL)	FOF	FACE OF FINISH	OPP	OPPOSITE	TEL	TELEPHONE
AUTO	AUTOMATIC	FOM	FACE OF MASONRY	OPT	OPTIONAL)	TEMP	TEMPORARY
AUX	AUXILIARY	FOS	FACE OF SLAB	P	PAINT	TFE	TOP OF FINISH FLOOR
AV	AUDIOVISUAL	FOW	FACE OF WALL	PC	POLISHED CONCRETE	THK	THICKNESS
AWP	ACOUSTICAL WRAPPED PANEL	FT	FOOT, FEET	PCF	POUNDS PER CUBIC FEET	THRU	THROUGH
		FTG	FOOTING	PL	PAINT LINE	TOB	TOP OF BEAM
BLDG	BUILDING	FURN	FURNISH, FURNITURE	PLAM	PLASTIC LAMINATE	TOC	TOP OF CONCRETE, CURB
BOS	BOTTOM OF STEEL	GA	GAGE	PLYWD	PLYWOOD	TOF	TOP OF FOOTING
BOT	BOTTOM	GALV	GALVANIZED	PNL	PANEL	TOJ	TOP OF JOIST
CAB	CABINET	GC	GENERAL CONTRACTOR	PR	PAIR	TOM	TOP OF MASONRY
CJ	CONTROL JOINT	GT	GROUT	PREFAB	PREFABRICATED	TOP	TOP OF PARAPET
CL	CENTER LINE	GWB	GYPSUM WALL BOARD	PREFIN	PREFINISH	TOS	TOP OF SLAB
CLG	CEILING	GYP BD	GYPSUM BOARD	PRKG	PARKING	TOW	TOP OF WALL
CLO	CLOSET	GYP PLAS	GYPSUM PLASTER	PSF	POUNDS PER SQUARE FOOT	TR	TRANSITION STRIP
CLR	CLEAR(ANCE)	HC	HANDICAP			TRTD	TREATED
CMU	CONCRETE MASONRY UNIT	HD	HEAVY DUTY	PSI	POUNDS PER SQUARE INCH	TV	TELEVISION
		HDWD	HARDWOOD			TYP	TYPICAL
COL	COLUMN	HDWR	HARDWARE	PT	PAINT, POST-TENSIONED, PRE-TREATED	UL	UNDERWRITERS LABORATORIES
CONC	CONCRETE	HM	HOLLOW METAL	PT	PORCELAIN TILE	UNO	UNLESS NOTED OTHERWISE
CONF	CONFERENCE	HORIZ	HORIZONTAL	PVC	POLYVINYL CHLORIDE (PLASTIC)	VERT	VERTICAL
CONT	CONTINUE, CONTINUOUS	HT	HEIGHT	PWB	PORCELAIN WALL BASE	VEST	VESTIBULE
CORR	CORRIDOR	HVAC	HEATING, VENTILATION & AIR CONDITIONING	PWT	PORCELAIN WALL TILE	VIF	VERIFY IN FIELD
CPT	CARPET	INCL	INCLUDE(D), (ING)	QC	QUARTZ COUNTERTOP	VP	VINYL PLANK FLOORING
CU FT	CUBIC FOOT	INFO	INFORMATION	QTR	QUARTER	W	WEST, WIDE
CU YD	CUBIC YARD	INSUL	INSULATION	QTY	QUANTITY	W	ACOUSTICAL CEILING TILE
CWT	CERAMIC WALL TILE	INT	INTERIOR	R	RADIUS, RISER	W/	WITH
DEMO	DEMOLISH	JAN	JANITOR CLOSET	RB	RUBBER BASE	W/O	WITHOUT
DEPT	DEPARTMENT	KIT	KITCHEN	RCP	REFLECTED CEILING PLAN	WC	WATER CLOSET
DET	DETAIL	KO	KNOCKOUT	RD	ROOF DRAIN	WD	WALLCOVERING
DIA	DIAMETER	LAB	LABORATORY	REF	REFRIGERATOR, REFERENCE	WOOD	WOOD
DIAG	DIAGONAL	LAM	LAMINATE	REQD	REQUIRED	WDM	WOOD DOOR MATERIAL
DIM	DIMENSION	LAU	LAUNDRY	RM	ROOM	WDP	WOOD PANEL
DIV	DIVISION	LAV	LAVATORY	RN	RUBBER NOSING	WF	WINDOW FILM
DS	DOWNSPOUT	LF	LINEAR FEET	RO	ROUGH OPENING	WP	WORKING POINT, WATERPROOFING
E	EAST	LIN	LINOLEUM	ROW	ROUGH OPENING	WR	WATER REPELLENT
EA	EACH	LM	LAMINATING METAL	RSTR	RUBBER STAIR TREAD/RISER	WT	WEIGHT
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	LVR	LOUVER	S	SOUTH	WWF	WELDED WIRE FABRIC
EJ	EXPANSION JOINT	LVT	LUXURY VINYL TILE	SAT	SUSPENDED ACOUSTICAL TILE	YD	YARD
EL	ELEVATION	MAINT	MAINTENANCE	SD	STORM DRAIN		
ELEC	ELECTRIC(AL)	MATL	MATERIAL	SECT	SECTION		
ELEV	ELEVATOR	MAX	MAXIMUM	SF	SQUARE FEET		
ENCL	ENCLOSE(D)	MECH	MECHANICAL	SIM	SIMILAR		
EOS	EDGE OF SLAB	MEZZ	MEZZANINE	SLC	SEALED CONCRETE		
EP	EXTERIOR PAINT	MFG	MANUFACTURING	SNC	STAINED CONCRETE		
EQ	EQUAL	MFR	MANUFACTURER	SPEC	SPECIFICATION		
EQUIP	EQUIPMENT	MIN	MINIMUM	SPKR	SPEAKER		
ETR	EXISTING TO REMAIN	MISC	MISCELLANEOUS	SQ	SQUARE		
EXIST	EXISTING	MO	MOUNTED	SS	STAINLESS STEEL		
EXT	EXTERIOR	MTG	MOUNTING				
FD	FLOOR DRAIN	MTL	METAL				
FE	FIRE EXTINGUISHER						

GRAPHIC SYMBOL LEGEND

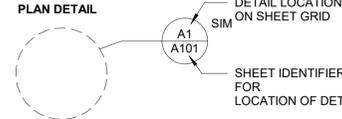
DRAWING TITLE SYMBOLS



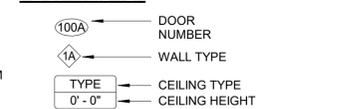
SECTION SYMBOLS



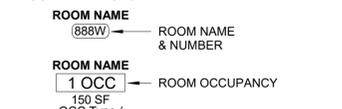
ELEVATION SYMBOLS



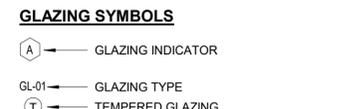
PLAN SYMBOLS



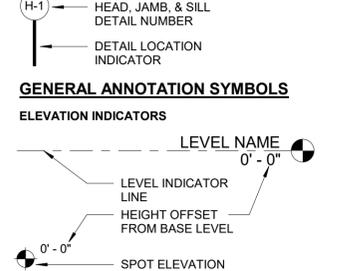
ROOM INDICATORS



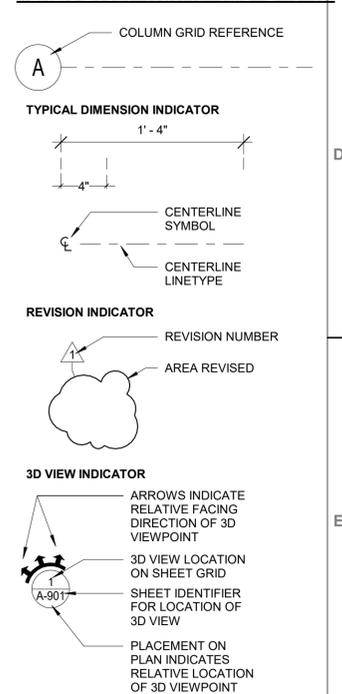
GLAZING SYMBOLS



GENERAL ANNOTATION SYMBOLS



GENERAL ANNOTATION SYMBOLS CONT



LIQUE DESIGN STUDIO
WWW.LIQUE.US | 210.549.4207
LIQUE DESIGN STUDIO, LLC
TEXAS REGISTRATION NUMBER: BR 3647
816 CAMARON ST., SUITE #123, SAN ANTONIO, TX 78212

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MIKE GARANSUAY

909 N HACKBERRY

909 N HACKBERRY
SAN ANTONIO, TX 78202

#	DESCRIPTION	DATE
1	ISSUED FOR HISTORICAL BOARD REVIEW	2021.06.29
A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12

SCHEDULE OF REVISIONS	
PROJECT NUMBER:	2020132
PROJECT DATE:	2021.06.29
PROJECT MANAGER:	B. SOWELL
PROJECT TEAM:	S. JURADO, E. SOWELL

PROJECT STANDARDS & LEGENDS

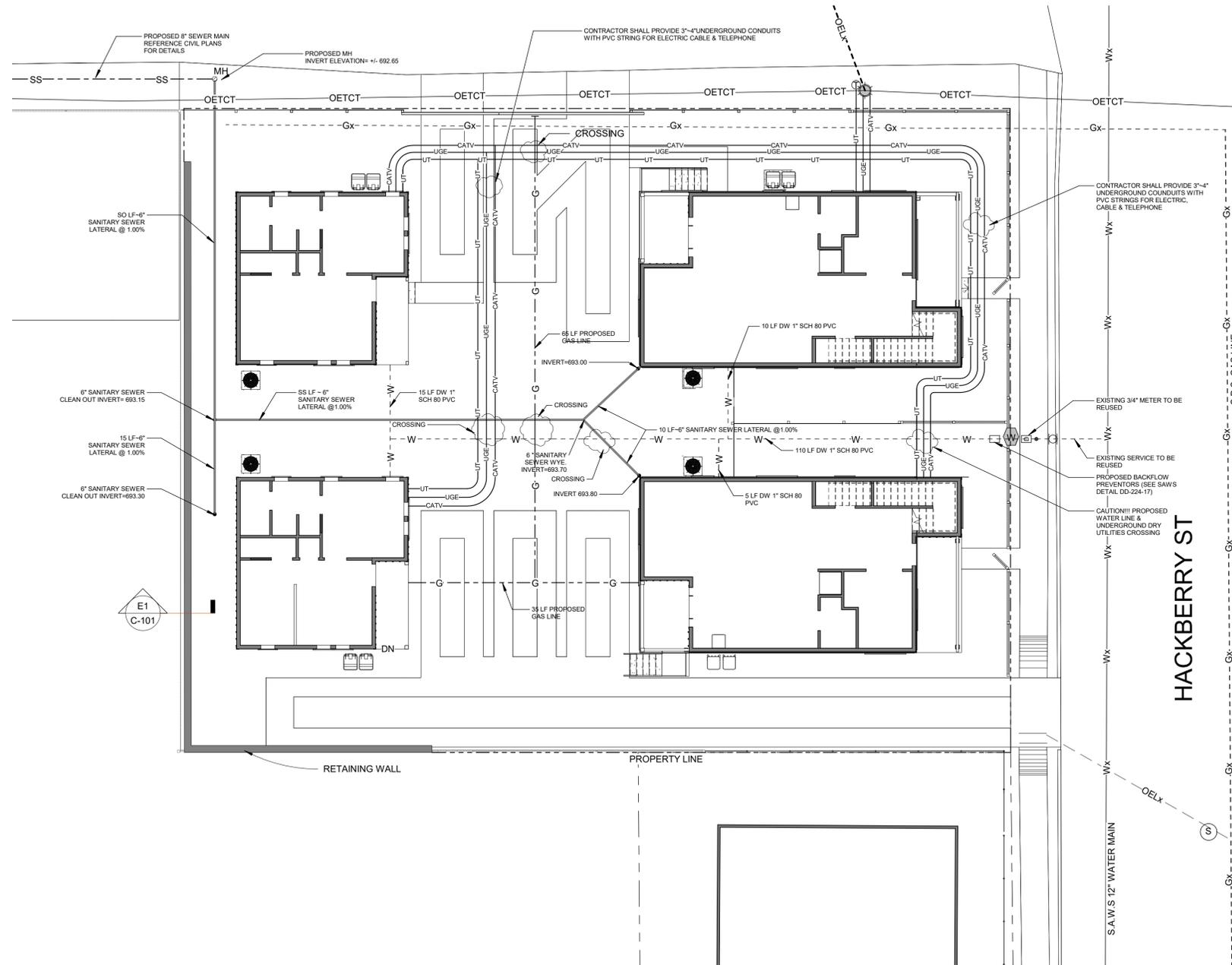
G-002

LEGEND

- EXISTING WATER MAIN —Wx— Wx—
- EXISTING GAS LINE - -Gx- -Gx- -
- EXISTING OVERHEAD ELECTRIC TELEPHONE CABLE TV —OETCT— OETCT—
- OVERHEAD ELECTRIC - -OELx- -
- EXISTING UTILITY POLE W/ ELECTRIC TRANSFORMER (T)
- EXISTING LIGHT POLE (L)
- EXISTING SANITARY SEWER MANHOLE (S)
- EXISTING WATER METER (W)
- PROPOSED UNDERGROUND TELEPHONE —UT— UT—
- PROPOSED UNDERGROUND ELECTRIC —UGE— UGE—
- PROPOSED UNDERGROUND CABLE T.V. —CATV— CATV—
- PROPOSED UNDERGROUND WATER LINE —W- -W- -
- PROPOSED SANITARY SEWER MAIN —SS- -SS- -
- PROPOSED SANITARY SEWER AND CLEAN OUT —S- -S- -
- PROPOSED GAS LINE —G- -G- -
- PROPOSED MAN HOLE (MH)

FAYN WAY

HACKBERRY ST



E2 UTILITY PLAN
1" = 10'-0"

MIKE GARANSUAY

909 N HACKBERRY

909 N HACKBERRY
SAN ANTONIO, TX 78202

#	DESCRIPTION	DATE
SCHEDULE OF REVISIONS		
CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW		
PROJECT NUMBER: 2020132		
PROJECT DATE: 2021.07.19		
PROJECT MANAGER: B. SOWELL		
PROJECT TEAM: S. JURADO, E. SOWELL		

UTILITY PLAN

C-102

EXISTING PROTECTED TREE INVENTORY
June 7, 2021

TAG#	SPECIES	SIZE	LARGE SPECIES			SMALL SPECIES			PROTECTED CAL INCHES EXEMPT	COMMENTS
			SIGNIFICANT PRESERVED	SIGNIFICANT REMOVED	HERITAGE PRESERVED	HERITAGE REMOVED (3:1)	HERITAGE REMOVED (1:1)	SIGNIFICANT PRESERVED		
1191	Walnut	14						14	Off-Site; Preserved	
1192	Anaqua	9								
1193	Chinese Tallow	11		9				11	Invasive; Removed	
1194	Chinese Tallow	12						12	Invasive; Removed	
1195	Chinese Tallow	13						13	Invasive; Removed	
1196	Mulberry	14								
1197	Anaqua	14		14						
1198	Mulberry	14						14	Invasive; Removed	
1199	Hackberry	13		13						
1200	Hackberry	12		12						
TOTALS		126	0	48	0	0	0	0	78	

TREE PRESERVATION SUMMARY	
TOTAL CAL. INCHES ON-SITE:	126
SIGNIFICANT CAL. INCHES ON-SITE:	48
Significant Cal. Inches Preserved:	0
Significant Cal. Inches Exempt:	78
Significant Class Preservation Ratio:	0.00%
Required Significant Preservation Ratio:	40%
Significant Class Excess / (Mitigation):	(19.2)
HERITAGE CAL. INCHES ON-SITE:	0
Heritage Cal. Inches Removed (Oak):	0
Heritage Cal. Inches Removed (Mesquite):	0
Heritage Class Mitigation Ratio (Oaks):	3:1
Heritage Class Mitigation Ratio (Mesquite):	1:1
Heritage Class Excess / (Mitigation), 3:1	0.0
Heritage Class Excess / (Mitigation), 1:1	0.0
Significant Class Excess / Mitigation:	(19.2)
TOTAL EXCESS / (MITIGATION)	(19)

EXISTING TREE PRESERVATION AND REMOVAL NOTES:

- UNLESS OTHERWISE SPECIFICALLY INDICATED, THIS DOCUMENT SHOWS ONLY EXISTING PROTECTED-SIZE TREES AS DEFINED BY THE CITY OF SAN ANTONIO UNIFIED DEVELOPMENT CODE (THE "UDC") IN EFFECT ON THE DATE HEREOF.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR INSPECTING THE PROJECT SITE AND DETERMINING FOR HIMSELF IF OTHER EXISTING TREES, SHRUBS, OR VEGETATION ARE PRESENT WHICH MUST BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY.
- BY ACT OF SUBMITTING A BID TO REMOVE THE EXISTING TREES SHOWN ON THIS PLAN, CONTRACTOR WARRANTS THAT HE (A) HAS PERSONALLY VISITED THE PROJECT SITE, (B) HAS INVESTIGATED THE EXISTING CONDITIONS SUFFICIENTLY TO DETERMINE WHAT, IF ANY, ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION MUST BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY, AND (C) HAS A CLEAR UNDERSTANDING OF THE TERMS "PROTECTED TREE, SIGNIFICANT TREE, HERITAGE TREE, AND FLOOD PLAIN, AND OF ANY OTHER CITY GUIDELINES, STANDARDS, AND REQUIREMENTS WHICH MAY IMPACT REMOVAL OF THE EXISTING TREES DEPICTED ON THIS PLAN.
- IN THE EVENT CONTRACTOR ENCOUNTERS ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION NOT SHOWN ON THIS PLAN, BUT WHICH MUST REASONABLY BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY, CONTRACTOR SHALL REMOVE THE ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION AT NO ADDITIONAL COST TO THE OWNER, SUBJECT TO ANY APPLICABLE REQUIREMENTS, GUIDELINES, STIPULATIONS, OR APPROVALS ENFORCED BY THE CITY OF SAN ANTONIO.

NOTES:

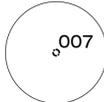
- LANDSCAPE SUBCONTRACTOR TO PROVIDE PRUNING AND FERTILIZATION FOR ALL EXISTING TREES TO BE PRESERVED BY A CITY OF SAN ANTONIO TREE MAINTENANCE LICENSED AND I.S.A. CERTIFIED ARBORIST.
- APPLY APPROVED SLOW-RELEASE FERTILIZER INJECTED INTO SOIL BEFORE CONSTRUCTION COMMENCES AND AGAIN AFTER CONSTRUCTION IS COMPLETE.
- ALL PRUNING OF EXISTING TREES MUST COMPLY WITH THE CITY OF SAN ANTONIO'S APPROVED PRUNING DETAIL AND IS TO BE DONE UNDER THE FIELD DIRECTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- PROTECTIVE FENCING MUST BE IN PLACE BEFORE ANY CONSTRUCTION ACTIVITIES MAY COMMENCE.
- PROTECTIVE FENCING TO BE A MIN. 4'-0" HT. EXTENDING FROM TRUNK 12" PER CALIPER INCH OF TREE (MINIMUM 5'-0" ON ONE SIDE ONLY). THE OPTIMUM DISTANCE IS TO INSTALL FENCE DIRECTLY BENEATH DRIPLINE OF TREE AS SHOWN.
- PROTECTIVE FENCING TO BE STAKED IN FIELD BY CONTRACTOR AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- DURING CONSTRUCTION, NO EXCESS SOIL, FILL MATERIAL, EQUIPMENT, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE PROTECTIVE FENCING, NOR SHALL ANY SOIL BE REMOVED FROM WITHIN THE FENCING.
- APPLY COARSE GROUND OR SHREDDED ORGANIC BARK MULCH TO 6" DEPTH @ ALL EXISTING TREES TO BE PRESERVED.
- THE PROPOSED FINISH GRADE WITHIN THE ROOT PROTECTION ZONE (RPZ) OF ANY TREES TO BE PRESERVED SHALL NOT BE RAISED OR LOWERED MORE THAN THREE (3) INCHES.

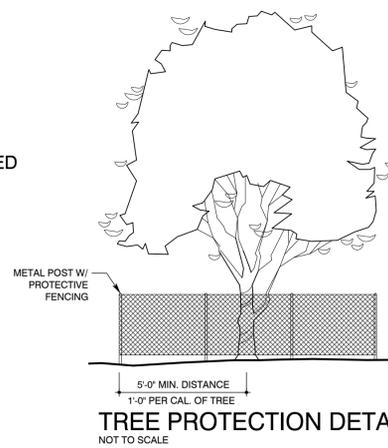
PRUNING NOTES:

- ALL PRUNING IS TO BE DONE BY A LICENSED ARBORIST UNDER THE FIELD DIRECTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- WHERE FEASIBLE, PRUNE TREES BEFORE COMMENCEMENT OF CONSTRUCTION.
- PAINT ALL WOUNDS ON OAK TREES WITHIN 30 MINUTES OF PRUNING.

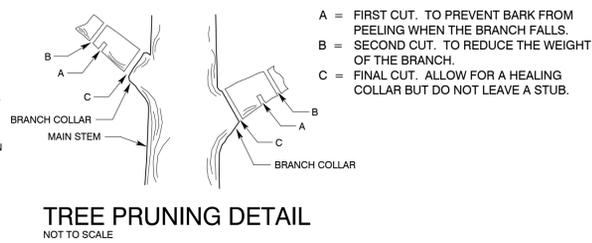
- A = FIRST CUT. TO PREVENT BARK FROM PEELING WHEN THE BRANCH FALLS.
- B = SECOND CUT. TO REDUCE THE WEIGHT OF THE BRANCH.
- C = FINAL CUT. ALLOW FOR A HEALING COLLAR BUT DO NOT LEAVE A STUB.

EXISTING TREE LEGEND

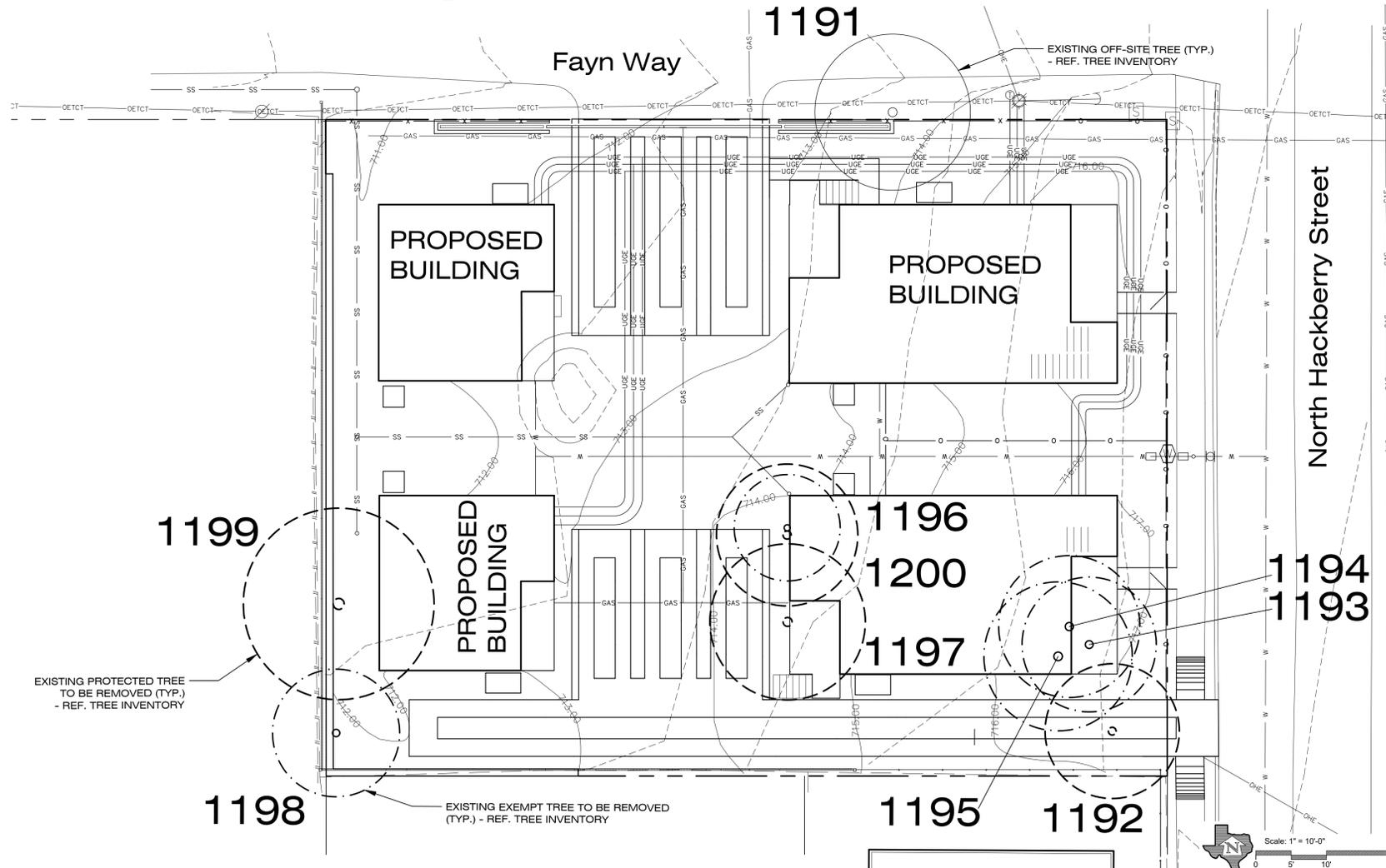
-  = EXISTING PROTECTED TREE TO BE REMOVED
-  = EXISTING EXEMPT TREE TO BE REMOVED
-  = EXISTING OFF-SITE TREE



TREE PROTECTION DETAIL
NOT TO SCALE



TREE PRUNING DETAIL
NOT TO SCALE



This document is intended for interim review purposes only and is not to be used for bidding, permitting, or construction.

OWNER
The Retail Connection

10101 Reunion Place, Suite 160
San Antonio, TX 78216

PROJECT
909 North Hackberry Multifamily

909 North Hackberry
San Antonio, TX 78202

REVISIONS

PROJECT NUMBER
2021-098

Drawn By: mc
Checked By: jr

Sheet Title:
TREE PRESERVATION PLAN

Sheet Number:

TP1.0

Issue Date:
June 15, 2021

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 San Antonio, TX 78216

PROJECT
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REVISIONS

PROJECT NUMBER
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Drawn By: ab
 Checked By: jr

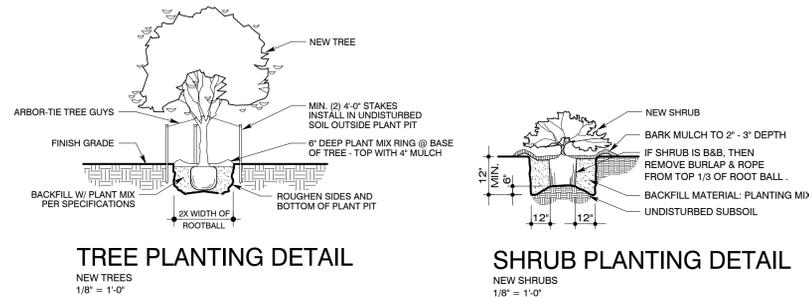
Sheet Title:
LANDSCAPE PLANTING PLAN

Sheet Number:

L1.0

Issue Date:

June 15, 2021



TREE PLANTING DETAIL

NEW TREES
 1/8" = 1'-0"

SHRUB PLANTING DETAIL

NEW SHRUBS
 1/8" = 1'-0"

PLANT SCHEDULE						SIZE = CALIPER OR SPREAD
SYM.	SCIENTIFIC NAME	COMMON NAME	HGT.	SIZE	CONDITION	REMARKS
TREES						
QL	Quercus laceyi	LACY OAK	-	2" CAL.	B and B	DECIDUOUS / SINGLE STEM
SS	Sophora secundiflora	MOUNTAIN LAUREL	-	2" CAL.	B and B	EVERGREEN / MULTI-TRUNKED
SHRUBS						
LMY	Lantana montevidensis 'New Gold'	'NEW GOLD' LANTANA	-	1 GAL.		PERENNIAL / PLANT AT 30" O.C.
MCR	Muhlenbergia capillaris 'Regal Mist'	'REGAL MIST' MUHLY	-	1 GAL.		ACCENT / PLANT AS SHOWN
ROP	Rosmarinus officianalis 'Prostrata'	PROSTRATE ROSEMARY	-	1 GAL.		EVERGREEN / PLANT @ 24" O.C.
RRZ	Rosa 'Radrazz'	'RADRAZZ' KNOCK-OUT ROSE	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.
SG	Salvia greggii	RED SALVIA	-	3 GAL.		EVERGREEN / PLANT AT 30" O.C.
TS	Tecoma stans	ESPERANZA	-	5 GAL.		ACCENT / PLANT AS SHOWN
GROUNDCOVERS AND GRASSES						
	Cynodon dactylon '419'	'419' HYBRID BERMUDAGRASS	-		SOLID SOD	SEE SPECIFICATIONS
		DECOMPOSED GRANITE	-			APPLY TO 3" COMPACTED DEPTH OVER SUBGRADE W/ GEO-TEXTILE WEED BARRIER AND PRE-EMERGENT HERBICIDE. FILL UNDER ADJACENT SHRUBS.
		3"-4" TEXAS BLEND RIVER ROCK	-			APPLY TO 4" DEPTH OVER COMPACTED SUBGRADE W/ GEO-TEXTILE WEED BARRIER AND PRE-EMERGENT HERBICIDE. FILL UNDER ADJACENT SHRUBS.

LANDSCAPE ORDINANCE COMPLIANCE

25 POINT MINIMUM - IDZ ZONING

1. PARKING LOT SHADING 20 POINTS
 TOTAL PARKING AREA = 1750 SF x 25% = 437.5 SF SHADING REQUIRED
 50% CREDIT NEW TREES:
 (2) LACY OAKS @ 550 SF X 50%: 550 SF
 (1) BUR OAKS @ 275 SF X 50%: 137.5 SF
 TOTAL PARKING LOT SHADING PROVIDED: **687.5 SF (39.3%)**

TOTAL: 25 POINTS
TREE CANOPY ORDINANCE COMPLIANCE
 PROJECT SITE AREA = 11,016 SF x 15% (PER IDZ ZONING) = 1653 SF TREE CANOPY REQUIRED
 90% CREDIT NEW TREES

(3) LACY OAKS @ 550 SF x 90%: 1485 SF
 (1) REDBUDS @ 275 SF x 90%: 247.5 SF
TOTAL TREE CANOPY PROVIDED: 1732.5 SF (15.7%)

TREE MITIGATION SUMMARY
MITIGATION REQUIRED PER TREE INVENTORY: 19 Cal. Inches

MITIGATION PROVIDED:
 PARTIAL CREDIT NEW TREES (Less 1.5 Cal. Inches):
 (2) 2" LACY OAKS: 1 Cal. Inches
 (1) 2" MOUNTAIN LAUREL: 0.5 Cal. Inches
FULL CREDIT NEW TREES:
 (1) 2" LACY OAK: 2 Cal. Inches

TOTAL MITIGATION PROVIDED: 3.5 Cal. Inches
TOTAL MITIGATION REMAINING: 15.5 Cal. Inches
TIMES x \$200 PER CAL. INCH = PAYMENT DUE TO CITY TREE FUND: \$3,100

TREE PRESERVATION ORDINANCE COMPLIANCE
 REFERENCE TP1.0

BUFFER ORDINANCE COMPLIANCE
 PROPERTY IS ZONED IDZ, NO BUFFER REQUIRED.

GENERAL NOTES:

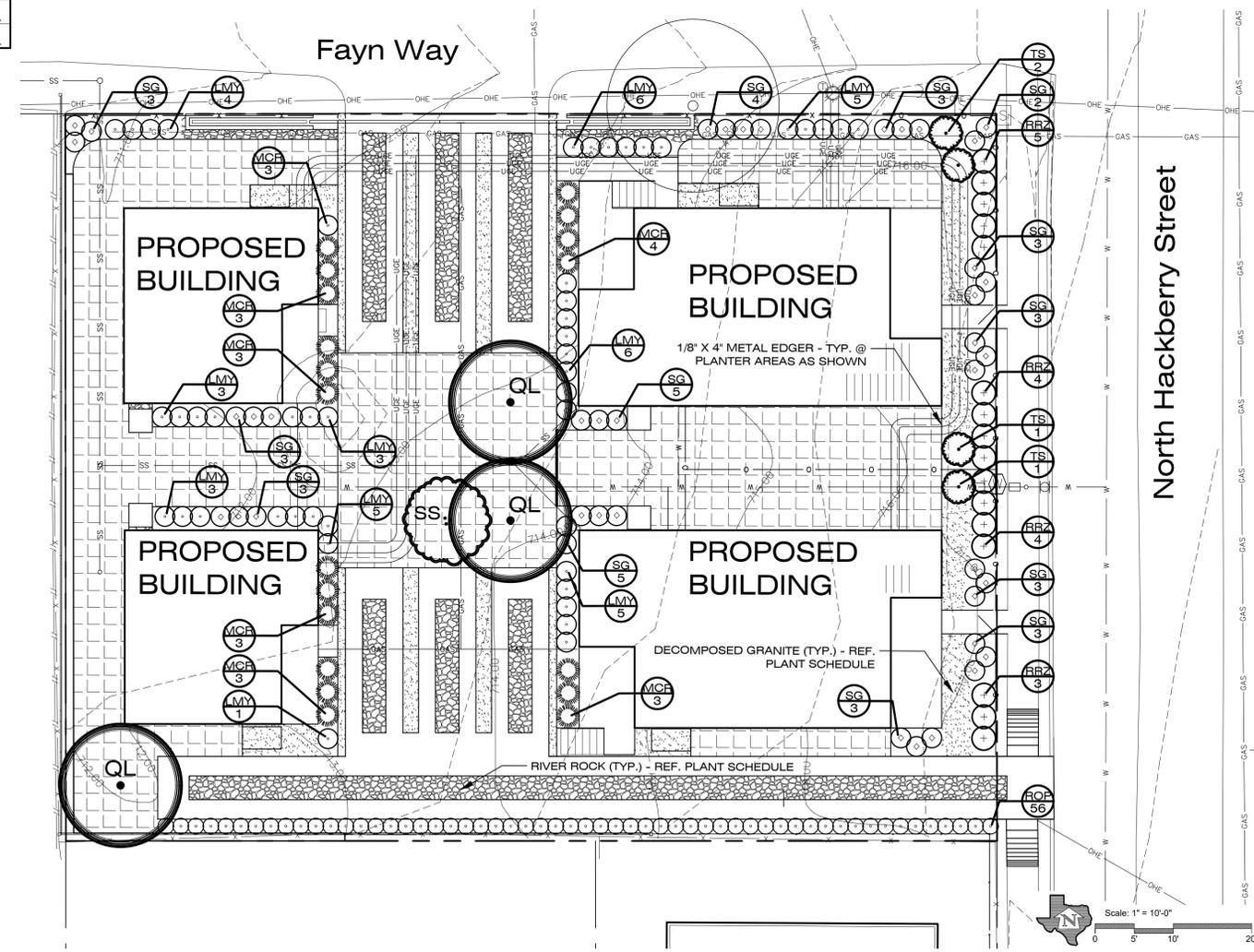
- REFER TO SPECIFICATIONS FOR ALL CONTRACT PLANTING.
- INSTALL APPROVED IMPORTED PLANTING MIX TO MIN. DEPTH OF 6" IN ALL AREAS SCHEDULED AS LANDSCAPE PLANTING AREAS.
- INSTALL APPROVED IMPORTED TOPSOIL TO 4" DEPTH IN ALL TURFGRASS AREAS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN THE FIELD PRIOR TO INSTALLATION AND MUST REPORT ANY DEVIATION IN SITE CONDITIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.
- WHERE SHOWN ON THESE PLANS, UTILITY INFORMATION IS PROVIDED FOR REFERENCE ONLY. REF. CIVIL AND MEP PLANS FOR ALL UTILITY INFORMATION.
- VERIFY LOCATION AND DEPTH OF ALL EXISTING AND PROPOSED UTILITIES PRIOR TO ANY EXCAVATION. IN THE EVENT POTENTIAL CONFLICT(S) OCCUR BETWEEN UTILITIES AND LANDSCAPE IMPROVEMENTS, IMMEDIATELY CEASE WORK IN THE AFFECTED AREA, REPORT THE CONFLICT(S) TO THE OWNER'S REPRESENTATIVE, AND DO NOT PROCEED UNTIL RECEIPT OF SPECIFIC WRITTEN DIRECTION.

URBAN DEER NOTES:

- AT THE TIME THESE DOCUMENTS WERE PREPARED THE LANDSCAPE ARCHITECT WAS NOT AWARE OF A LOCAL URBAN DEER POPULATION. IN THE EVENT AN URBAN DEER POPULATION IS DISCOVERED, CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTING ALL NEWLY-INSTALLED PLANTS THROUGH THE 30-DAY MAINTENANCE PERIOD.
- APPLY 'LIQUID FENCE' (OR APPROVED EQUAL) TO ALL PLANTS AS NEEDED TO DISCOURAGE BROWSING BY DEER.
- ANY NEWLY-INSTALLED PLANTS EATEN OR BROWSED BY DEER PRIOR TO THE EXPIRATION OF THE 30-DAY MAINTENANCE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.

OVERHEAD ELECTRIC NOTES:

- ALL PROPOSED LARGE SPECIES TREES (AS DEFINED BY THE UNIFIED DEVELOPMENT CODE IN EFFECT HEREOF) SHALL BE PLANTED NO CLOSER THAN 20' TO ALL OVERHEAD ELECTRIC UTILITY LINES.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD LOCATING ALL OVERHEAD ELECTRIC UTILITY LINES AND ENSURING THAT NO LARGE SPECIES TREES ARE PLANTED WITHIN 20' OF ANY OVERHEAD ELECTRIC UTILITY LINES.
- WHERE CITY INSPECTORS FIND ANY PROPOSED LARGE SPECIES TREES TO BE IN VIOLATION OF PROXIMITY TO OVERHEAD ELECTRIC UTILITY LINES, THE CONTRACTOR SHALL RELOCATE TREES AT NO ADDITIONAL COST TO THE OWNER.



This document is intended for interim review purposes only and is not to be used for bidding, permitting, or construction.

OWNER
The Retail Connection

10101 Reunion Place, Suite 160
 San Antonio, TX 78216

PROJECT
909 North Hackberry Multifamily

909 North Hackberry
 San Antonio, TX 78202

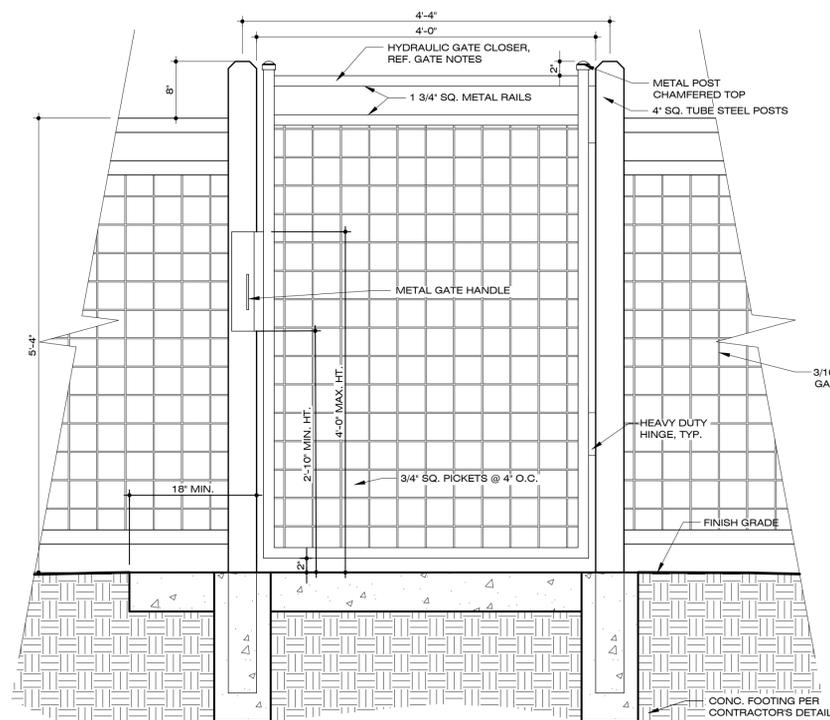
REVISIONS

POOL GATE NOTES:

1. PEDESTRIAN GATE TO BE CONSTRUCTED OF PAINTED TUBE STEEL MEMBERS, COLOR TO BE BROWN.
2. PRIOR TO ORDERING OR DELIVERING MATERIALS TO THE PROJECT SITE, GATE CONTRACTOR TO SUBMIT FOR OWNERS REVIEW AND APPROVAL SHOP DRAWINGS OF THE FOLLOWING:
 - A. SCALED, DIMENSION CUT SHEETS FROM GATE SUPPLIER INDICATING HT., COLOR, AND SECTIONS.
 - B. LAYOUT PLAN SHOWING PROPOSED GATE ALIGNMENT AND SECTION BREAKS (IF ANY)
 - C. MFGS CUT SHEETS FOR PROPOSED LOCK.
 - D. PROPOSED MEANS OF ATTACHMENT FOR ALL STEEL MEMBERS.
 - E. PROPOSED POST FOOTING DETAILS SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF TEXAS.
4. ON ADA ACCESSIBLE ROUTES, PROVIDE 18" FROM EDGE OF GATE DOOR TO SIDEWALK ON THE LATCH SIDE.
5. ON NON-ACCESSIBLE ROUTES, CENTER GATE ON WALKWAY.
6. CONTRACTOR TO INSTALL GATES, POSTS, JAMBS, HINGES, AND LOCKING HANDLES WITH CARD READERS PER GATE MANUFACTURERS AND SUPPLIER'S SPECIFICATIONS.
7. PEDESTRIAN GATES TO COMPLY WITH CURRENT NATIONAL SAFETY STANDARDS AND LOCAL ORDINANCES.
8. REFER TO SHEET L1.0 FOR GATE LAYOUT INFORMATION.

GENERAL FENCE NOTES:

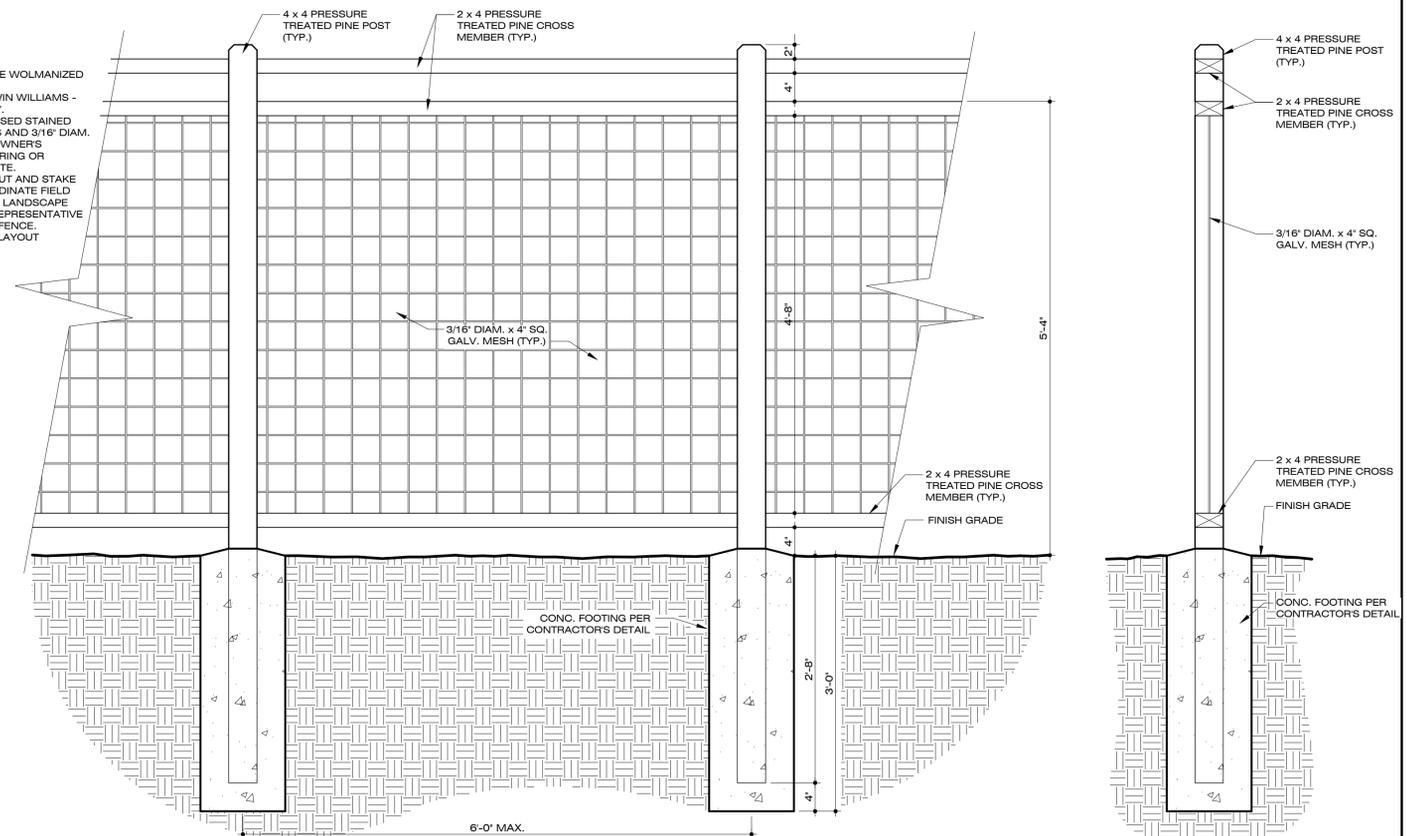
1. ALL WOOD MEMBERS TO BE WOLMANIZED SOUTHERN YELLOW PINE.
2. WOOD STAIN TO BE SHERWIN WILLIAMS - SW3129 ARMOIRE HICKORY.
3. SUBMIT SAMPLE OF PROPOSED STAINED POST ALL WOOD MEMBERS AND 3/16" DIAM. x 4" SQ. GALV. MESH FOR OWNERS APPROVAL PRIOR TO ORDERING OR DELIVERING TO PROJECT SITE.
5. CONTRACTOR SHALL LAYOUT AND STAKE FENCE IN FIELD AND COORDINATE FIELD REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTING FENCE. REFER TO SHEET L1.0 FOR LAYOUT INFORMATION.



ENTRY GATE - ELEVATION

SCALE: 1" = 1'-0"

2



ELEVATION

5'-4" HT. RUSTIC FENCE

SCALE: 1" = 1'-0"

1

SECTION

PROJECT NUMBER
2021-098

Drawn By: ab
 Checked By: jr

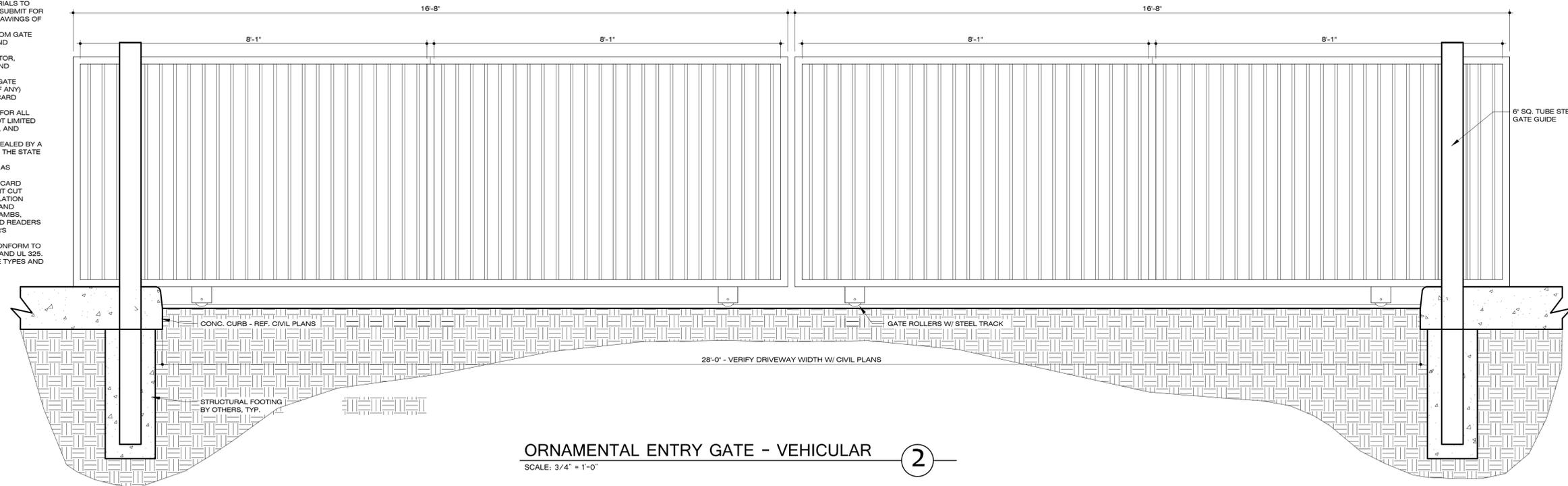
Sheet Title:
LANDSCAPE CONSTRUCTION DETAILS

Sheet Number:

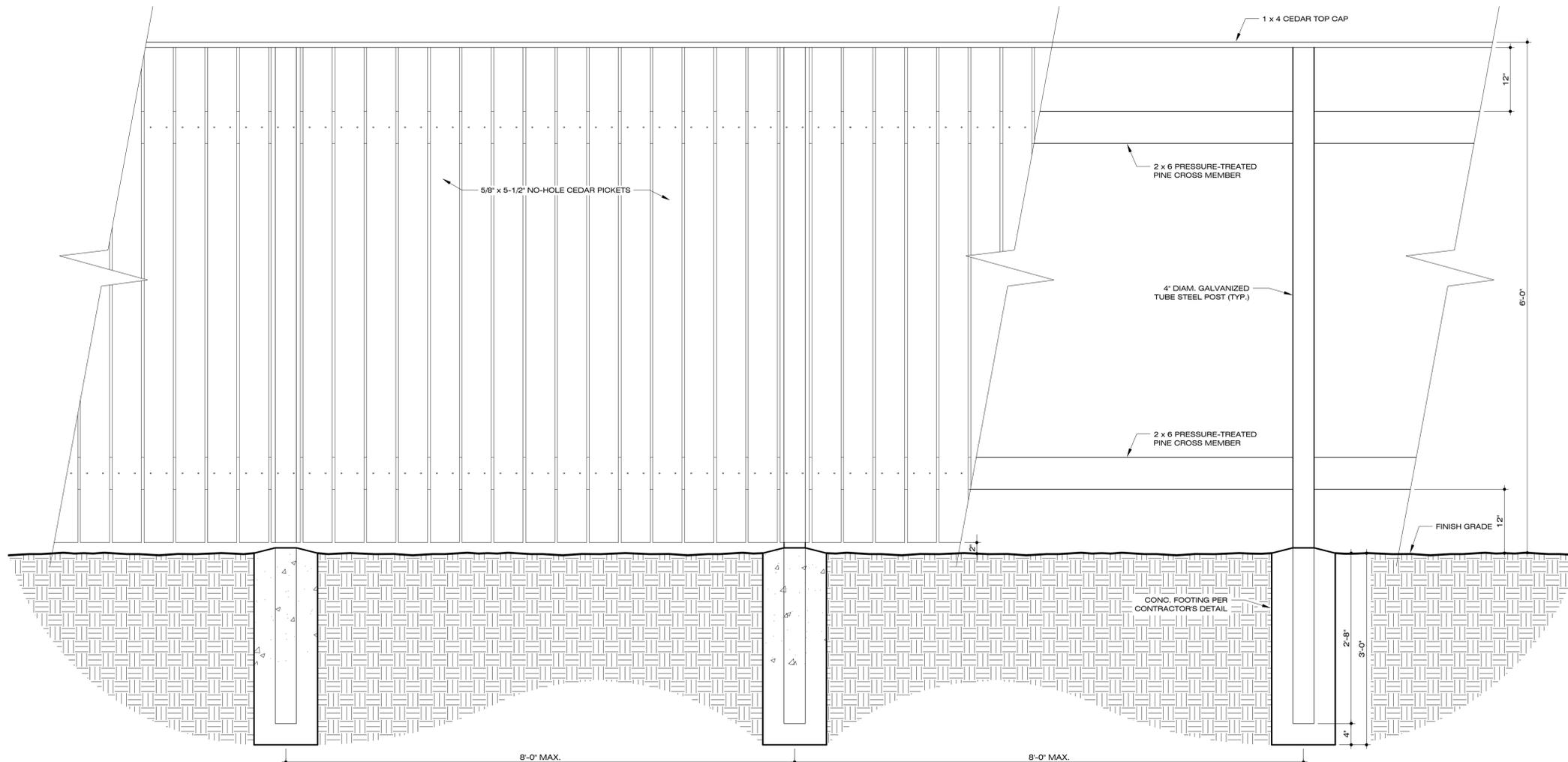
L2.0

Issue Date:
June 15, 2021

- VEHICULAR GATE NOTES:**
- VEHICULAR GATE TO BE CONSTRUCTED OF WOOD TO MATCH FENCE
 - PRIOR TO ORDERING OR DELIVERING MATERIALS TO THE PROJECT SITE, GATE CONTRACTOR TO SUBMIT FOR OWNER'S REVIEW AND APPROVAL SHOP DRAWINGS OF THE FOLLOWING:
 - SCALED, DIMENSION CUT SHEETS FROM GATE SUPPLIER INDICATING HT., COLOR, AND SECTIONS.
 - PROPOSED AUTOMATIC GATE OPERATOR, INCLUDING MOTOR SPECIFICATION AND MECHANICAL / ELECTRICAL PLAN.
 - LAYOUT PLAN SHOWING PROPOSED GATE ALIGNMENT AND SECTION BREAKS (IF ANY)
 - MFG'S CUT SHEETS FOR PROPOSED CARD READER.
 - PROPOSED MEANS OF ATTACHMENT FOR ALL STEEL MEMBERS INCLUDING, BUT NOT LIMITED TO, POSTS, FRAMES, JAMBS, HINGES, AND LOCKING MECHANISMS.
 - PROPOSED POST FOOTING DETAILS SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF TEXAS.
 - GATE TO INCLUDE, CARD READER ACCESS, AS SPECIFIED FROM CONTRACTOR.
 - PRIOR TO ORDERING OR DELIVERING CARD READER, CONTRACTOR TO SUBMIT CUT SHEET, SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR OWNER REVIEW AND
 - CONTRACTOR TO INSTALL GATES, POSTS, JAMBS, HINGES, AND LOCKING HANDLES WITH CARD READERS PER GATE MANUFACTURERS AND SUPPLIERS SPECIFICATIONS.
 - VEHICULAR GATE CONSTRUCTION SHALL CONFORM TO REQUIREMENTS SET FORTH IN ASTM F2200 AND UL 325. REFER TO SHEETS L1.3 THRU L1.6 FOR GATE TYPES AND LOCATIONS.



ORNAMENTAL ENTRY GATE - VEHICULAR ②
SCALE: 3/4" = 1'-0"



6'-0" HT. CEDAR FENCE ①
SCALE: 1" = 1'-0"

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10101 Reunion Place, Suite 160
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PROJECT
909 North Hackberry Multifamily

909 North Hackberry
San Antonio, TX 78202

REVISIONS

PROJECT NUMBER
2021-098

Drawn By: ab
Checked By: jr

Sheet Title:
LANDSCAPE CONSTRUCTION DETAILS

Sheet Number:

L2.1

Issue Date:
June 15, 2021

MIKE GARANSUAY

909 N HACKBERRY

909 N HACKBERRY
SAN ANTONIO, TX 78202

#	DESCRIPTION	DATE
2	DRC REVISIONS FOR HDRC REVIEW	2021.08.06

SCHEDULE OF REVISIONS

**CONSTRUCTION DOCUMENTS
HISTORICAL BOARD REVIEW**

PROJECT NUMBER: 2020132
PROJECT DATE: 2021.07.19
PROJECT MANAGER: B. SOWELL
PROJECT TEAM: S. JURADO, E. SOWELL

SETBACK COMPARISON

A-050



502 LAMAR



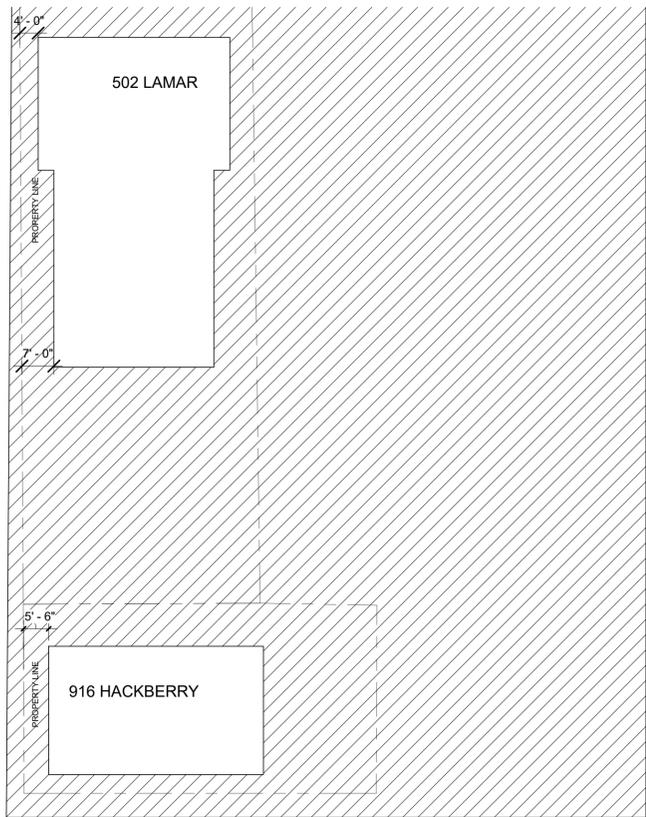
916 HACKBERRY



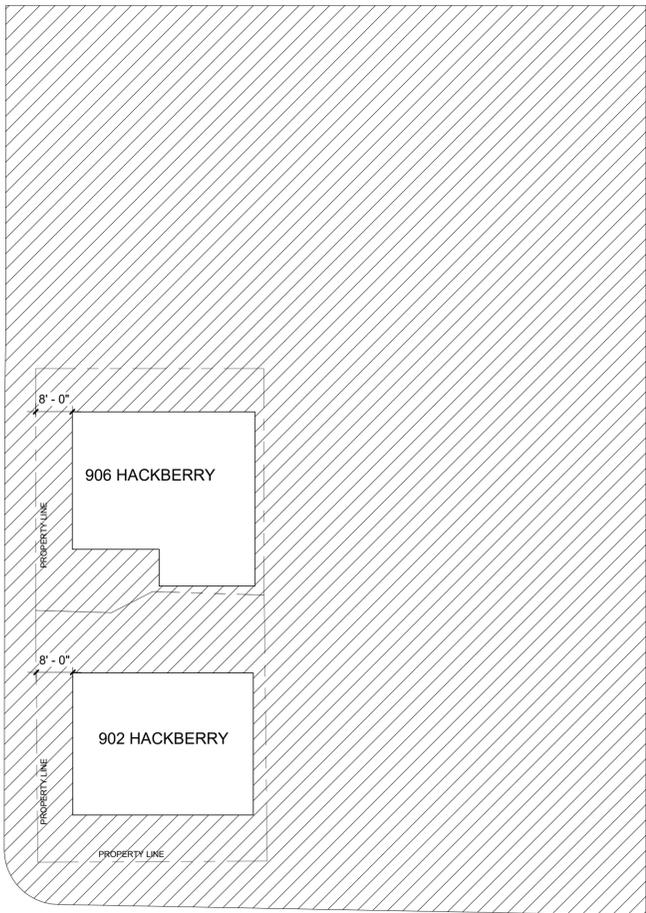
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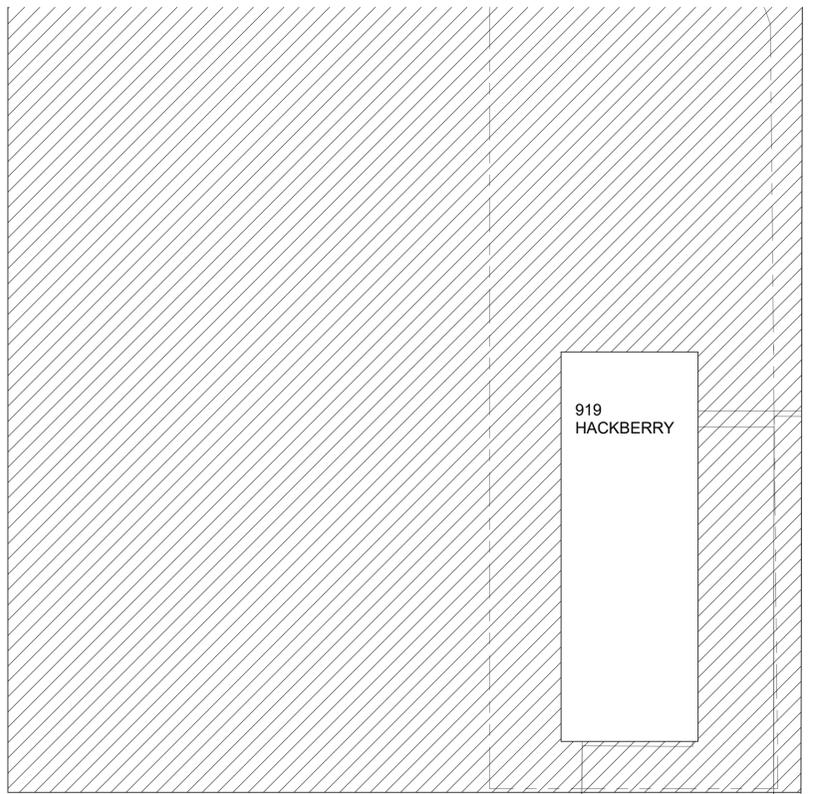
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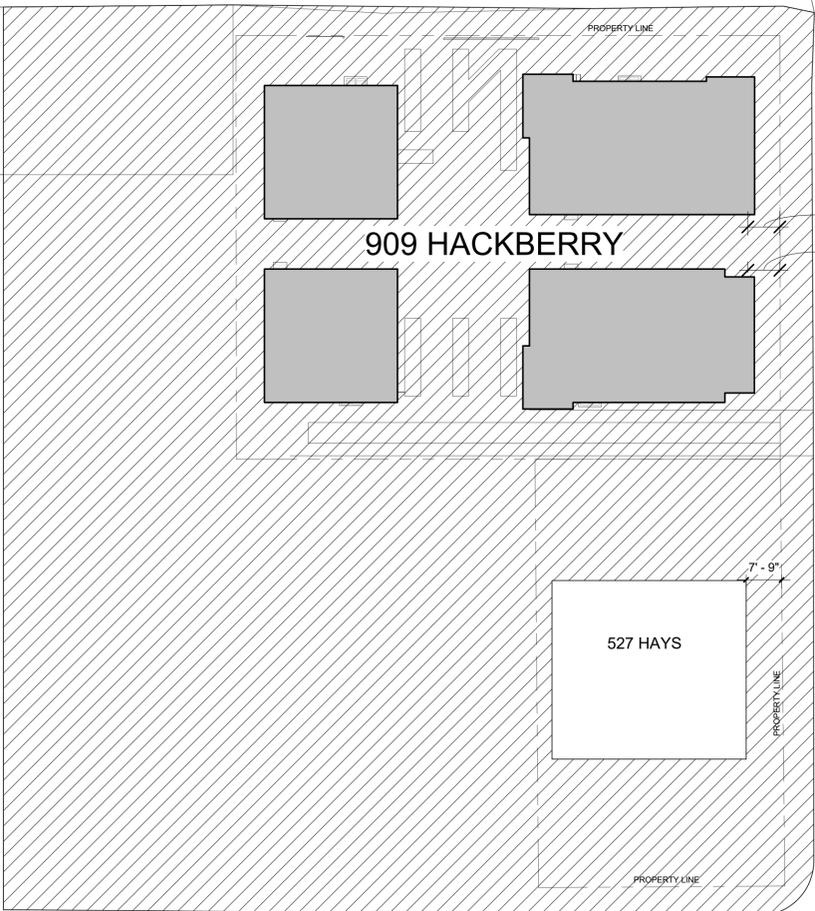
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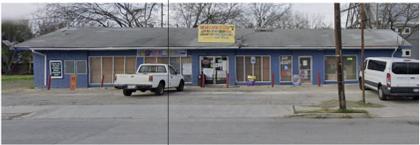
N. HACKBERRY ST



FAYN WAY



HAYS ST.



919 HACKBERRY



909 HACKBERRY



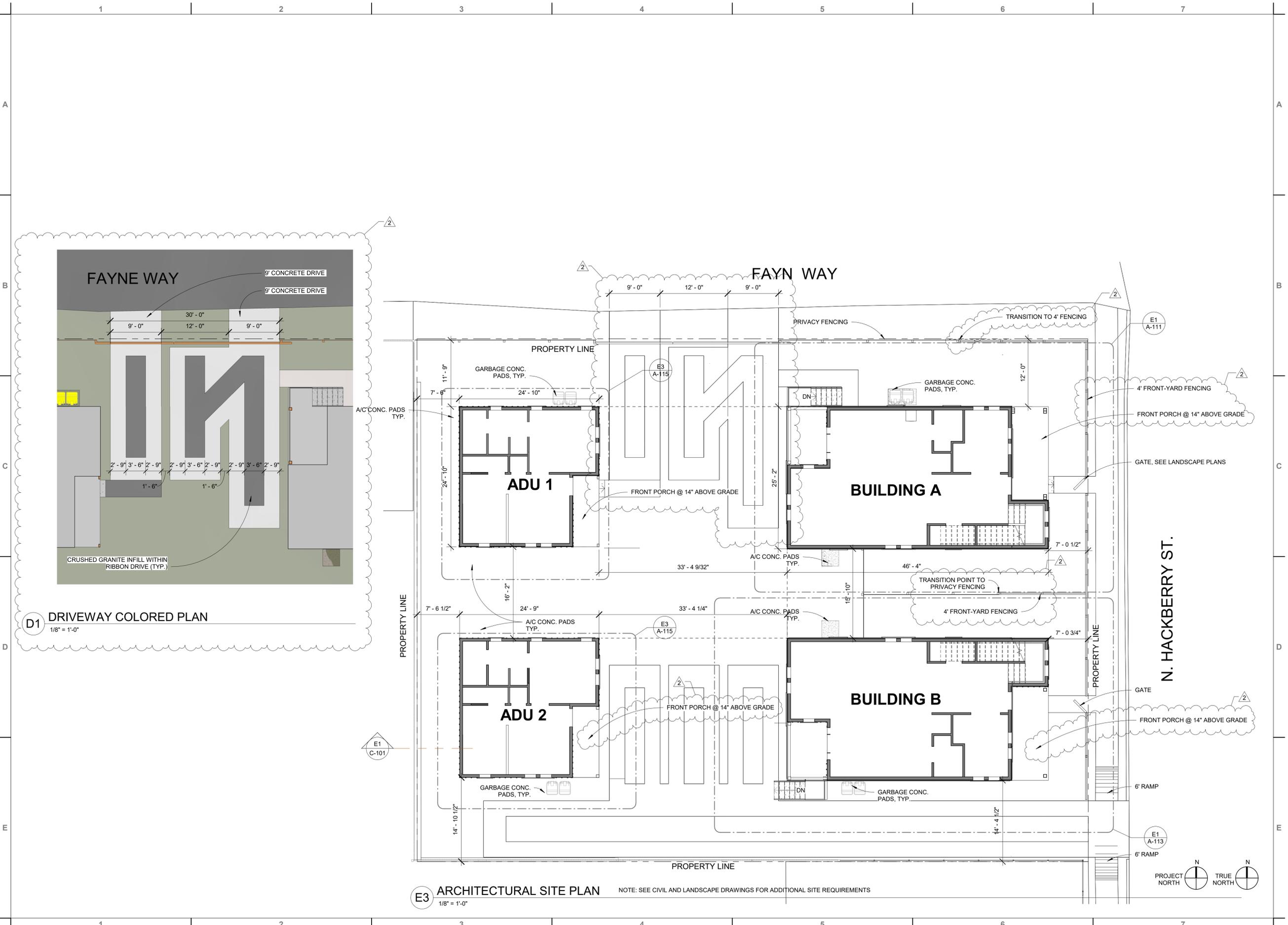
527 HAYS

E1 SITE PLAN-SET BACKS
1" = 20'-0"

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909 N HACKBERRY

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SAN ANTONIO, TX 78202



D1 DRIVEWAY COLORED PLAN
1/8" = 1'-0"

E3 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

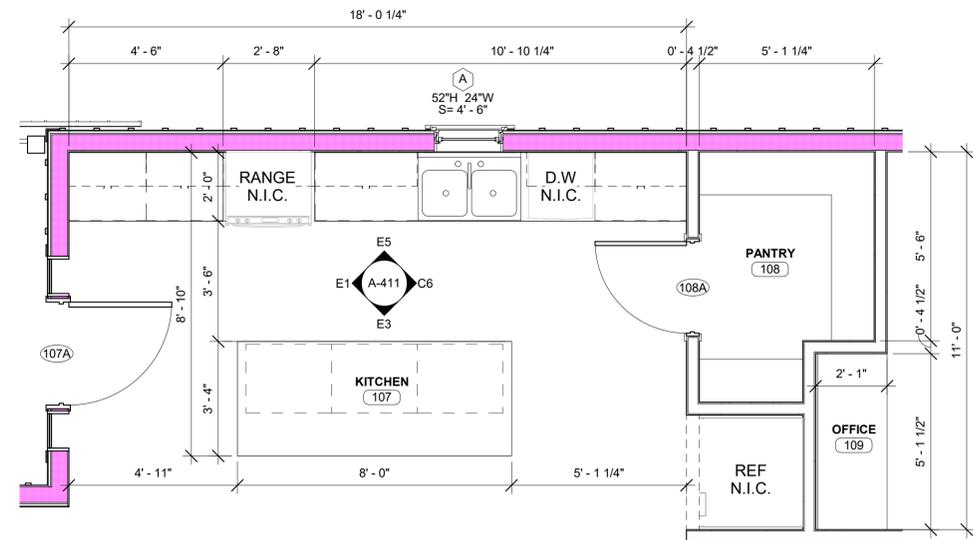
NOTE: SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL SITE REQUIREMENTS

#	DESCRIPTION	DATE
2	DRC REVISIONS FOR HDRC REVIEW	2021.08.06
1	ISSUED FOR HISTORICAL BOARD REVIEW	2021.06.29
A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12

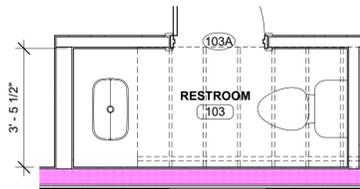
SCHEDULE OF REVISIONS	
CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW	
PROJECT NUMBER:	2020132
PROJECT DATE:	2021.07.19
PROJECT MANAGER:	B. SOWELL
PROJECT TEAM:	S. JURADO, E. SOWELL

ARCHITECTURAL SITE PLAN

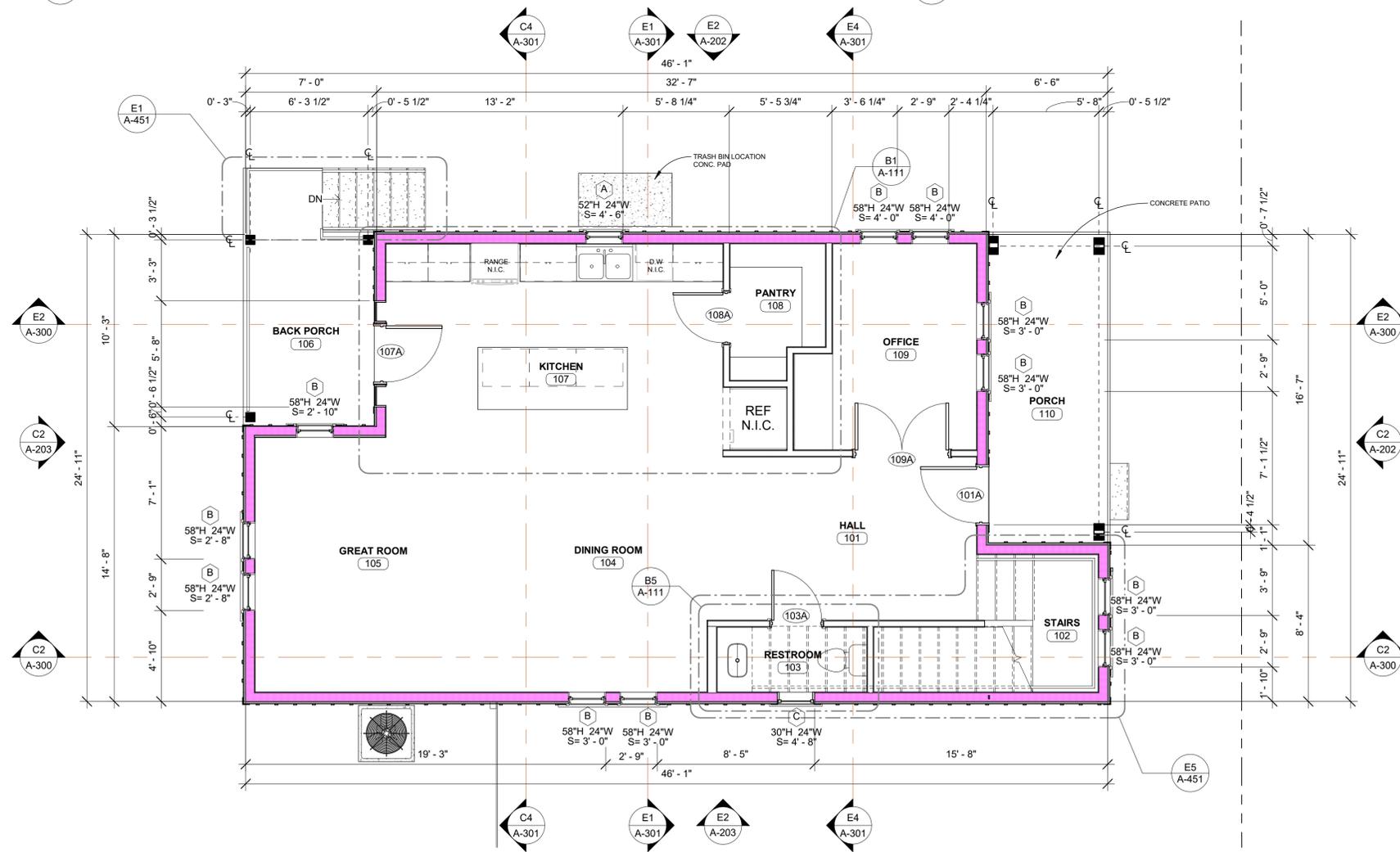
A-051



B1 ENLARGED PLAN
3/8" = 1'-0"



B5 RESTROOM CASEWORK
3/8" = 1'-0"



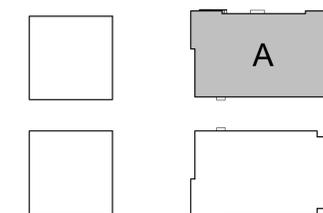
E1 FIRST FLOOR PLAN
1/4" = 1'-0"



GENERAL NOTES

- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO BE TO COLUMN CENTERLINE, FACE OF STUDS, OR OUTSIDE EDGE OF STOREFRONT OPENING.
- ALL DOORS ARE TO BE 4" FROM FACE OF ADJACENT PERPENDICULAR STUD WALL TO EDGE OF DOOR (U.N.O.)
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND PLAN DIMENSIONS PRIOR TO BEGINNING ANY CONSTRUCTION OR FABRICATION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO ENSURE PROPER FIT PRIOR TO MANUFACTURING MILLWORK OR ORDERING ANY SPECIALTY ITEMS OR EQUIPMENT.
- ESCAPE/RESCUE WINDOWS FROM SLEEPING AREAS SHALL HAVE A MINIMUM 5.7 SQUARE FOOT CLEAR NET OPENING AND MINIMUM CLEAR OPENING WIDTH OF 20". FINISHED SILL HEIGHT SHALL BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR.
- ELECTRICAL CONTRACTOR TO LOCATE 110V GFI OUTLET WITHIN 25 FEET OF A/C COMPRESSOR(S)
- INSTALL LIGHT SWITCHES, ELECTRIC PANEL AND ELECTRICAL CONTROLS AND THERMOSTATS NO HIGHER THAN 48" AND ELECTRICAL OUTLETS NO LOWER THAN 15" ABOVE FINISH FLOOR
- COORDINATE THERMOSTAT LOCATION(S) WITH OWNER
- EXTERIOR ELECTRICAL PANEL MUST BE MOUNTED BETWEEN 18" AND 42" ABOVE FINISHED GRADE AND SERVICED BY AN ACCESSIBLE ROUTE.
- PROVIDE ALL REQUIRED CONNECTIONS FOR A/C UNITS. PROVIDE LARGE DRIP PANS & ELECTRICAL CONNECTIONS, DRAIN LINES TO EXTERIOR (NOT OVER DOORS) PLYWOOD SUB FLOOR @ UNIT LOCATIONS, LIGHTING, ETC. REFER TO HVAC PLANS BY OTHERS FOR ADDITIONAL REQUIREMENTS.
- ELECTRICAL TO COMPLY WITH NEC CODE. G.F.I. REQUIRED ON ALL EXTERIOR FRONT/REAR OUTLETS, LAVATORIES, GARAGES, KITCHEN COUNTERTOPS, LAUNDRY AREAS, AND PLUGS WITHIN 6 FEET OF SINKS OTHER THAN KITCHENS.
- CONTRACTOR TO PROVIDE AND INSTALL SHELVE, BRACKETS AND CLOTHES RACKS.
- ALL SHELVE AND CASEWORK MATERIAL AND DESIGN TO BE SELECTED BY OWNER.
- VENT ALL GAS OUT
- PROVIDE BLOCKING FOR CEILING FANS AT ALL LOCATIONS
- PROVIDE BLOCKING AS REQUIRED BEHIND WALL-HUNG ITEMS TO SUPPORT ALL FASTENERS AND ANCHORING DEVICES. REFER TO PLANS FOR MILLWORK AND EQUIPMENT. COORDINATE BLOCKING LOCATIONS W/ OWNER FOR FUTURE WALL HUNG ELEMENTS.
- ALL EXTERIOR DOORS TO BE FULLY GASKETED AND WEATHER STRIPPED TO PREVENT WATER DAMAGE.
- VERIFY ALL DOOR OPERATIONS AND DIRECTIONS WITH OWNER PRIOR TO INSTALLATION
- ALL EXTERIOR DOORS TO BE INSTALLED WITH 24 GA. STAINLESS STEEL SILL PAN TO PREVENT WATER DAMAGE UNLESS OTHERWISE DIRECTED BY MANUFACTURER. REFER TO DOOR MFR. FOR INSTALLATION SPECS.
- CONTRACTOR AND ALL TRADE CONTRACTORS SHALL BE ADVISED THAT ALL PROPERTY AREAS OTHER THAN THE AREAS DESIGNATED FOR REQUIRING WORK SHALL BE "OFF LIMITS". THE CONTRACTOR SHALL COORDINATE THE PROVISION OF TOILET FACILITIES, ETC. FOR USE BY TRADE CONTRACTORS.

KEY PLAN



LIQUE DESIGN STUDIO
WWW.LIQUE.US | 210.549.4207
LIQUE DESIGN STUDIO, LLC
TEXAS REGISTRATION NUMBER: BR 3647
816 CAMARON ST., SUITE #123, SAN ANTONIO, TX 78212

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MIKE GARANSUAY

909 N HACKBERRY

909 N HACKBERRY
SAN ANTONIO, TX 78202

#	DESCRIPTION	DATE
1	ISSUED FOR HISTORICAL BOARD REVIEW	2021.06.29
A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12

CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW

PROJECT NUMBER: 2020132
PROJECT DATE: 2021.06.29
PROJECT MANAGER: B. SOWELL
PROJECT TEAM: S. JURADO, E. SOWELL

FIRST FLOOR - BUILDING A

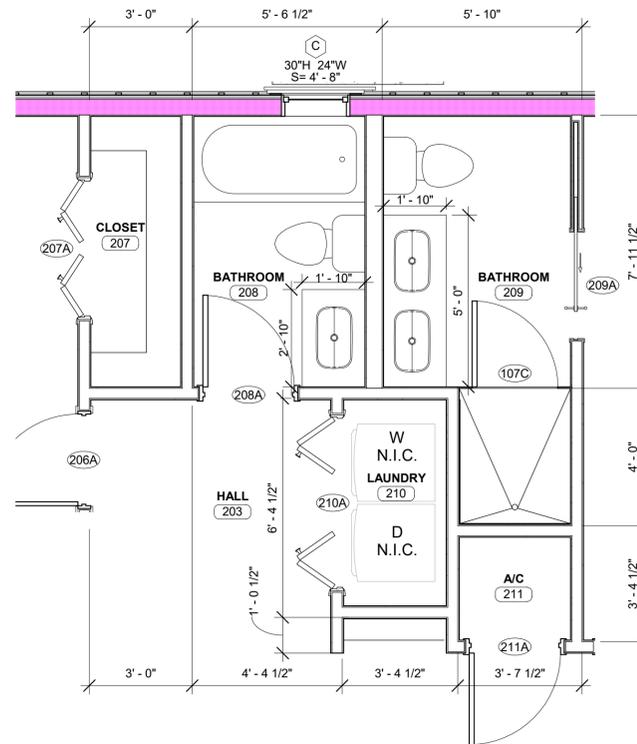
A-111

(FOR REVIEW ONLY)

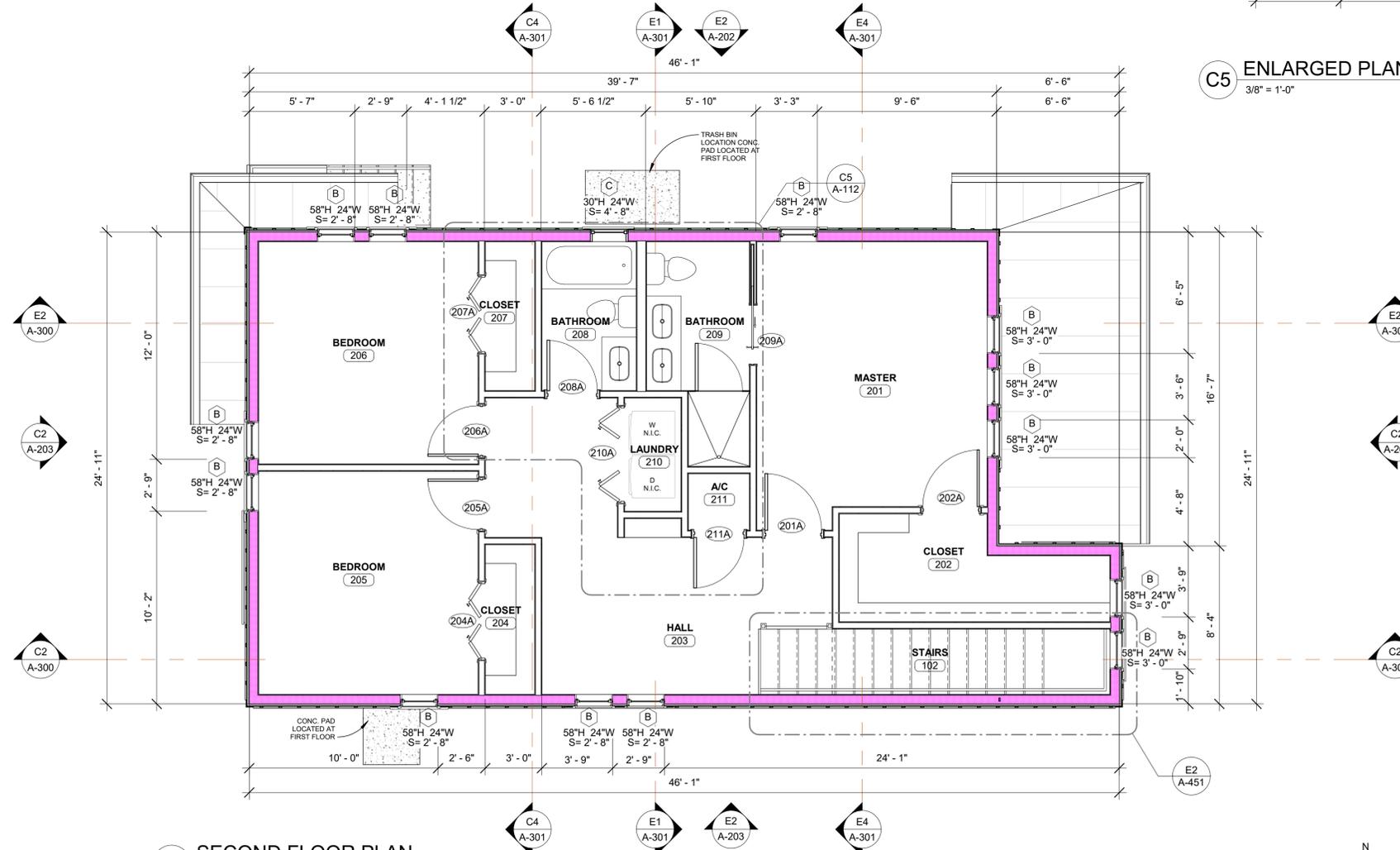
NOTICE:
DO NOT SCALE DRAWINGS, USE DIMENSIONS SHOWN.

GENERAL NOTES

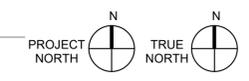
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- ELECTRICAL CONTRACTOR TO LOCATE 110V GFI OUTLET WITHIN 25 FEET OF A/C COMPRESSOR(S)
- INSTALL LIGHT SWITCHES, ELECTRIC PANEL AND ELECTRICAL CONTROLS AND THERMOSTATS NO HIGHER THAN 48" AND ELECTRICAL OUTLETS NO LOWER THAN 15" ABOVE FINISH FLOOR
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- VENT ALL GAS OUT
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- PROVIDE BLOCKING AS REQUIRED BEHIND WALL-HUNG ITEMS TO SUPPORT ALL FASTENERS AND ANCHORING DEVICES. REFER TO PLANS FOR MILLWORK AND EQUIPMENT. COORDINATE BLOCKING LOCATIONS W/ OWNER FOR FUTURE WALL HUNG ELEMENTS.
- ALL EXTERIOR DOORS TO BE FULLY GASKETED AND WEATHER STRIPPED TO PREVENT WATER DAMAGE.
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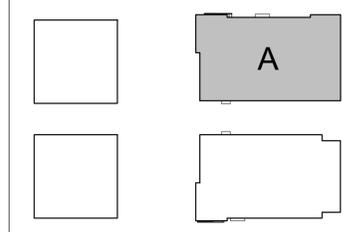
C5 ENLARGED PLAN
3/8" = 1'-0"



E1 SECOND FLOOR PLAN
1/4" = 1'-0"



KEY PLAN



#	DESCRIPTION	DATE
1	ISSUED FOR HISTORICAL BOARD REVIEW	2021.06.29
A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12

SCHEDULE OF REVISIONS

CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW		
PROJECT NUMBER:	2020132	
PROJECT DATE:	2021.06.29	
PROJECT MANAGER:	B. SOWELL	
PROJECT TEAM:	S. JURADO, E. SOWELL	

SECOND FLOOR - BUILDING A

A-112

(FOR REVIEW ONLY)

NOTICE:
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GENERAL NOTES

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 LIQUE DESIGN STUDIO, LLC
 TEXAS REGISTRATION NUMBER: BR 3647
 816 CAMARON ST., SUITE #123, SAN ANTONIO, TX 78212

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MIKE GARANSUAY

909 N HACKBERRY

909 N HACKBERRY
 SAN ANTONIO, TX 78202

#	DESCRIPTION	DATE
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A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12

SCHEDULE OF REVISIONS

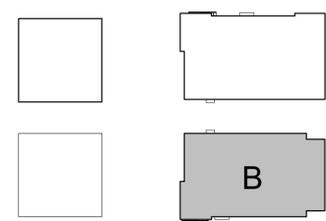
CONSTRUCTION DOCUMENTS
 HISTORICAL BOARD REVIEW

PROJECT NUMBER: 2020132
 PROJECT DATE: 2021.06.29
 PROJECT MANAGER: B. SOWELL
 PROJECT TEAM: S. JURADO, E. SOWELL

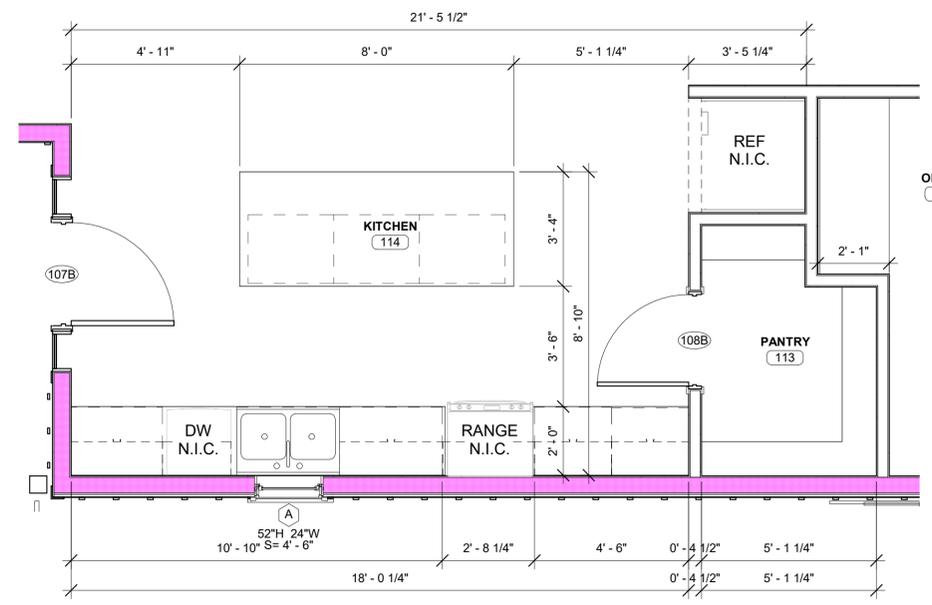
FIRST FLOOR - BUILDING
 B

A-113

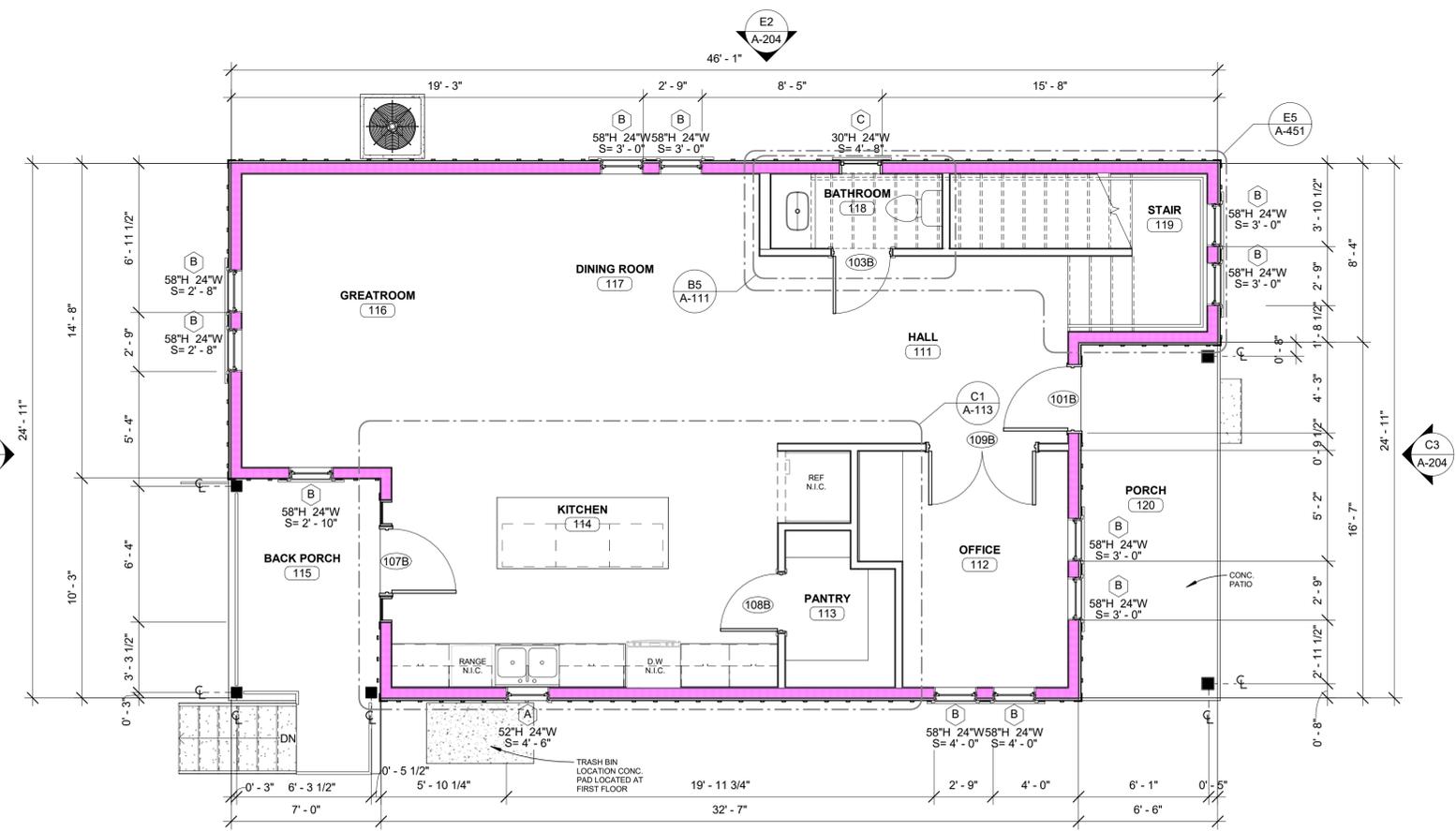
KEY PLAN



(FOR REVIEW ONLY)

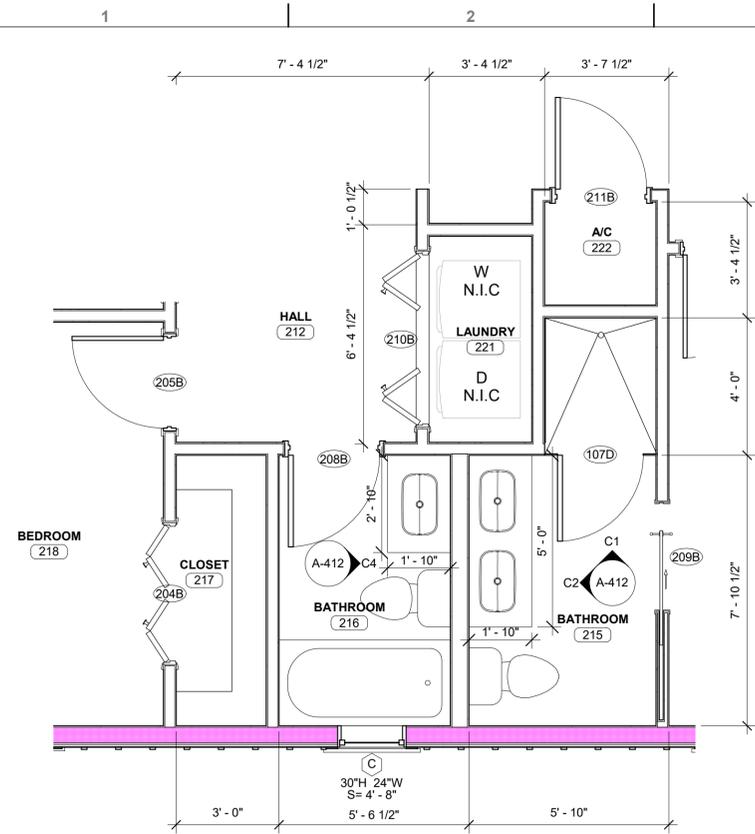


C1 ENLARGED PLAN
 3/8" = 1'-0"

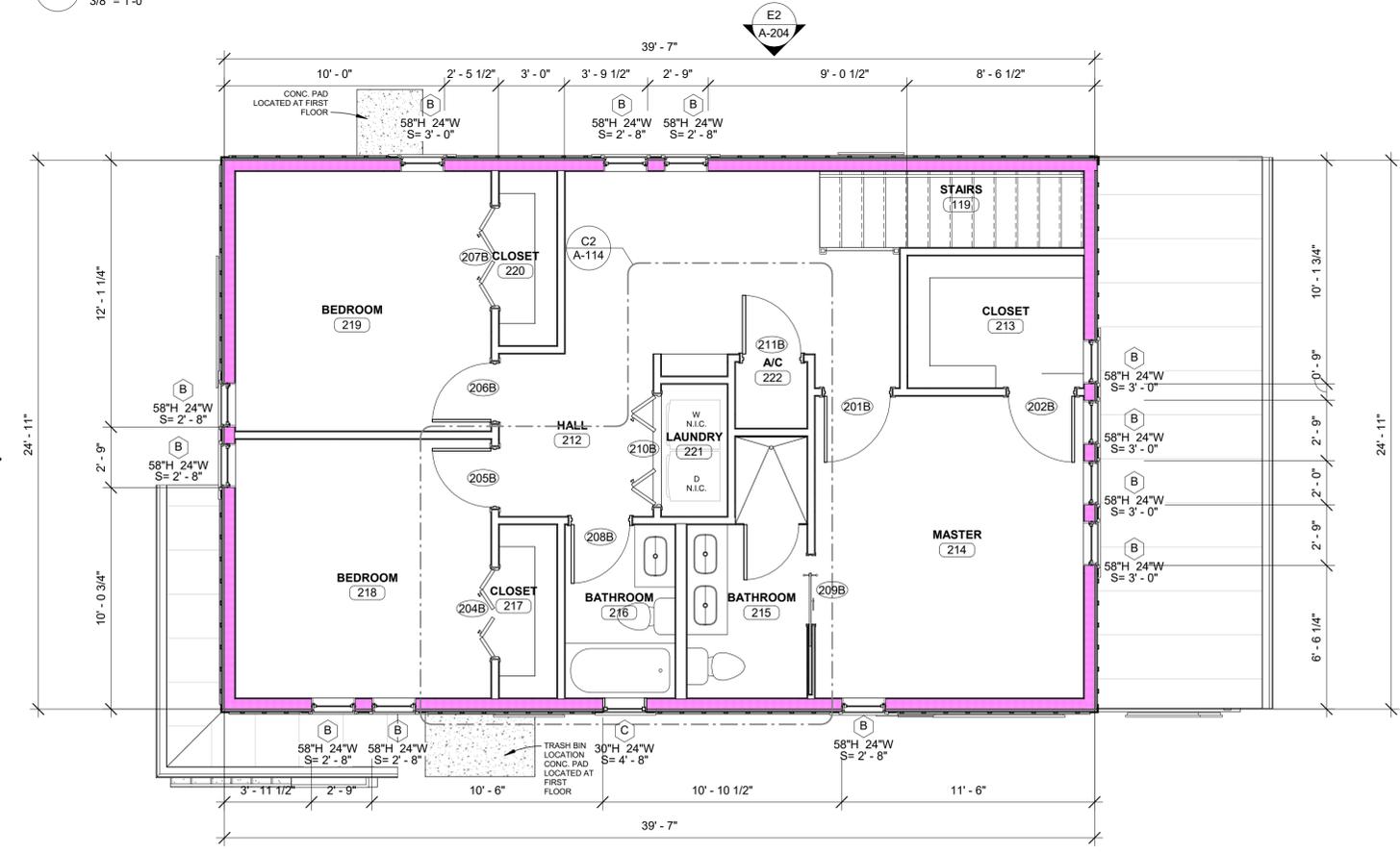


E1 FIRST FLOOR PLAN
 1/4" = 1'-0"

NOTICE:
 DO NOT SCALE DRAWINGS, USE DIMENSIONS SHOWN.



C2 ENLARGED PLAN
3/8" = 1'-0"

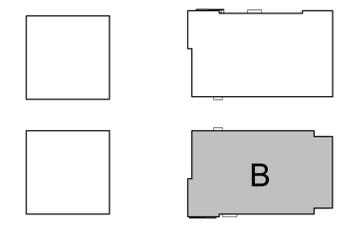


E1 SECOND FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO BE TO COLUMN CENTERLINE, FACE OF STUDS, OR OUTSIDE EDGE OF STOREFRONT OPENING.
- ALL DOORS ARE TO BE 4" FROM FACE OF ADJACENT PERPENDICULAR STUD WALL TO EDGE OF DOOR (U.N.O.)
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND PLAN DIMENSIONS PRIOR TO BEGINNING ANY CONSTRUCTION OR FABRICATION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO ENSURE PROPER FIT PRIOR TO MANUFACTURING MILLWORK OR ORDERING ANY SPECIALTY ITEMS OR EQUIPMENT.
- ESCAPE/RESCUE WINDOWS FROM SLEEPING AREAS SHALL HAVE A MINIMUM 5.7 SQUARE FOOT CLEAR NET OPENING AND MINIMUM CLEAR OPENING WIDTH OF 20". FINISHED SILL HEIGHT SHALL BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR.
- ELECTRICAL CONTRACTOR TO LOCATE 110V GFI OUTLET WITHIN 25 FEET OF A/C COMPRESSOR(S)
- INSTALL LIGHT SWITCHES, ELECTRIC PANEL AND ELECTRICAL CONTROLS AND THERMOSTATS NO HIGHER THAN 48" AND ELECTRICAL OUTLETS NO LOWER THAN 15" ABOVE FINISH FLOOR
- COORDINATE THERMOSTAT LOCATION(S) WITH OWNER
- EXTERIOR ELECTRICAL PANEL MUST BE MOUNTED BETWEEN 18" AND 42" ABOVE FINISHED GRADE AND SERVICED BY AN ACCESSIBLE ROUTE
- PROVIDE ALL REQUIRED CONNECTIONS FOR A/C UNITS. PROVIDE LARGE DRIP PANS & ELECTRICAL CONNECTIONS, DRAIN LINES TO EXTERIOR (NOT OVER DOORS) PLYWOOD SUB FLOOR @ UNIT LOCATIONS, LIGHTING, ETC. REFER TO HVAC PLANS BY OTHERS FOR ADDITIONAL REQUIREMENTS.
- ELECTRICAL TO COMPLY WITH NEC CODE, G.F.I. REQUIRED ON ALL EXTERIOR FRONT/REAR OUTLETS, LAVATORIES, GARAGES, KITCHEN COUNTERTOPS, LAUNDRY AREAS, AND PLUGS WITHIN 6 FEET OF SINKS OTHER THAN KITCHENS.
- CONTRACTOR TO PROVIDE AND INSTALL SHELVE, BRACKETS AND CLOTHES RODS
- ALL SHELVE AND CASEWORK MATERIAL AND DESIGN TO BE SELECTED BY OWNER.
- VENT ALL GAS OUT
- PROVIDE BLOCKING FOR CEILING FANS AT ALL LOCATIONS
- PROVIDE BLOCKING AS REQUIRED BEHIND WALL-HUNG ITEMS TO SUPPORT ALL FASTENERS AND ANCHORING DEVICES. REFER TO PLANS FOR MILLWORK AND EQUIPMENT. COORDINATE BLOCKING LOCATIONS W/ OWNER FOR FUTURE WALL HUNG ELEMENTS.
- ALL EXTERIOR DOORS TO BE FULLY GASKETED AND WEATHER STRIPPED TO PREVENT WATER DAMAGE.
- VERIFY ALL DOOR OPERATIONS AND DIRECTIONS WITH OWNER PRIOR TO INSTALLATION
- ALL EXTERIOR DOORS TO BE INSTALLED WITH 24 GA. STAINLESS STEEL SILL PAN TO PREVENT WATER DAMAGE UNLESS OTHERWISE DIRECTED BY MANUFACTURER. REFER TO DOOR MFR. FOR INSTALLATION SPECS.
- CONTRACTOR AND ALL TRADE CONTRACTORS SHALL BE ADVISED THAT ALL PROPERTY AREAS OTHER THAN THE AREAS DESIGNATED FOR REQUIRING WORK SHALL BE "OFF LIMITS". THE CONTRACTOR SHALL COORDINATE THE PROVISION OF TOILET FACILITIES, ETC. FOR USE BY TRADE CONTRACTORS.

KEY PLAN



LIQUE DESIGN STUDIO
WWW.LIQUE.US | 210.549.4207
LIQUE DESIGN STUDIO, LLC
TEXAS REGISTRATION NUMBER: BR 3647
816 CAMARON ST., SUITE #123, SAN ANTONIO, TX 78212

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MIKE GARANSUAY
909 N HACKBERRY
909 N HACKBERRY
SAN ANTONIO, TX 78202

#	DESCRIPTION	DATE
1	ISSUED FOR HISTORICAL BOARD REVIEW	2021.06.29
SCHEDULE OF REVISIONS		
CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW		
PROJECT NUMBER: 2020132		
PROJECT DATE: 2021.06.29		
PROJECT MANAGER: B. SOWELL		
PROJECT TEAM: S. JURADO, E. SOWELL		

SECOND FLOOR - BUILDING B

A-114

(FOR REVIEW ONLY)

NOTICE:
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MIKE GARANSUAY

909 N HACKBERRY

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SAN ANTONIO, TX 78202

1	ISSUED FOR HISTORICAL BOARD REVIEW	2021.06.29
A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12
#	DESCRIPTION	DATE

SCHEDULE OF REVISIONS

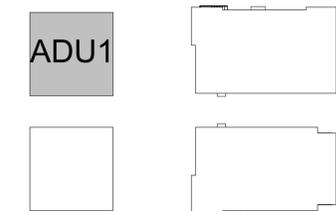
**CONSTRUCTION DOCUMENTS
HISTORICAL BOARD REVIEW**

PROJECT NUMBER: 2020132
PROJECT DATE: 2021.06.29
PROJECT MANAGER: B. SOWELL
PROJECT TEAM: S. JURADO, E. SOWELL

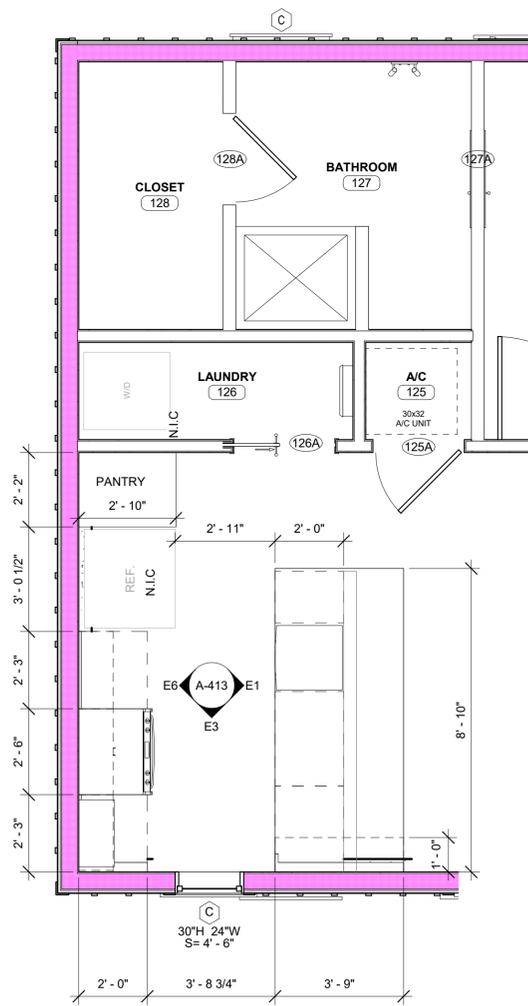
FLOOR PLAN - ADU

A-115

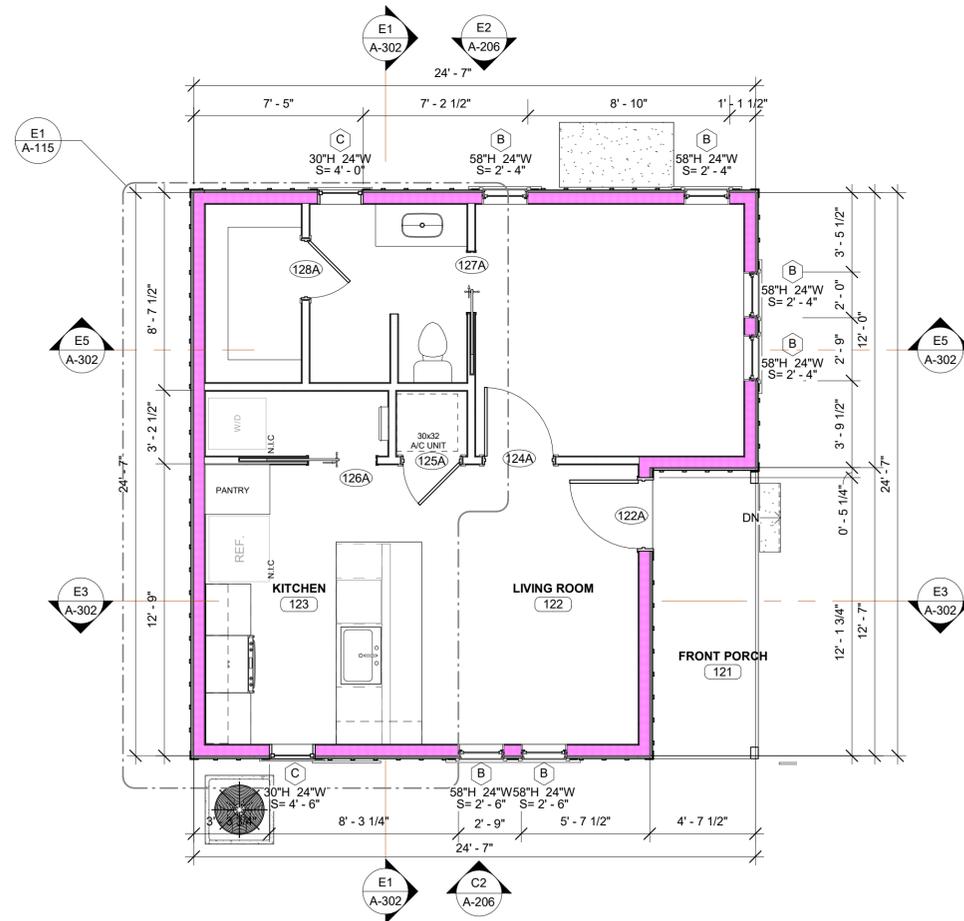
KEY PLAN



(FOR REVIEW ONLY)



E1 ENLARGED PLAN
3/8" = 1'-0"



E3 ENLARGED FIRST FLOOR ADU PLAN
1/4" = 1'-0"

ELECT. & RCP LEGEND

Gypsum Board

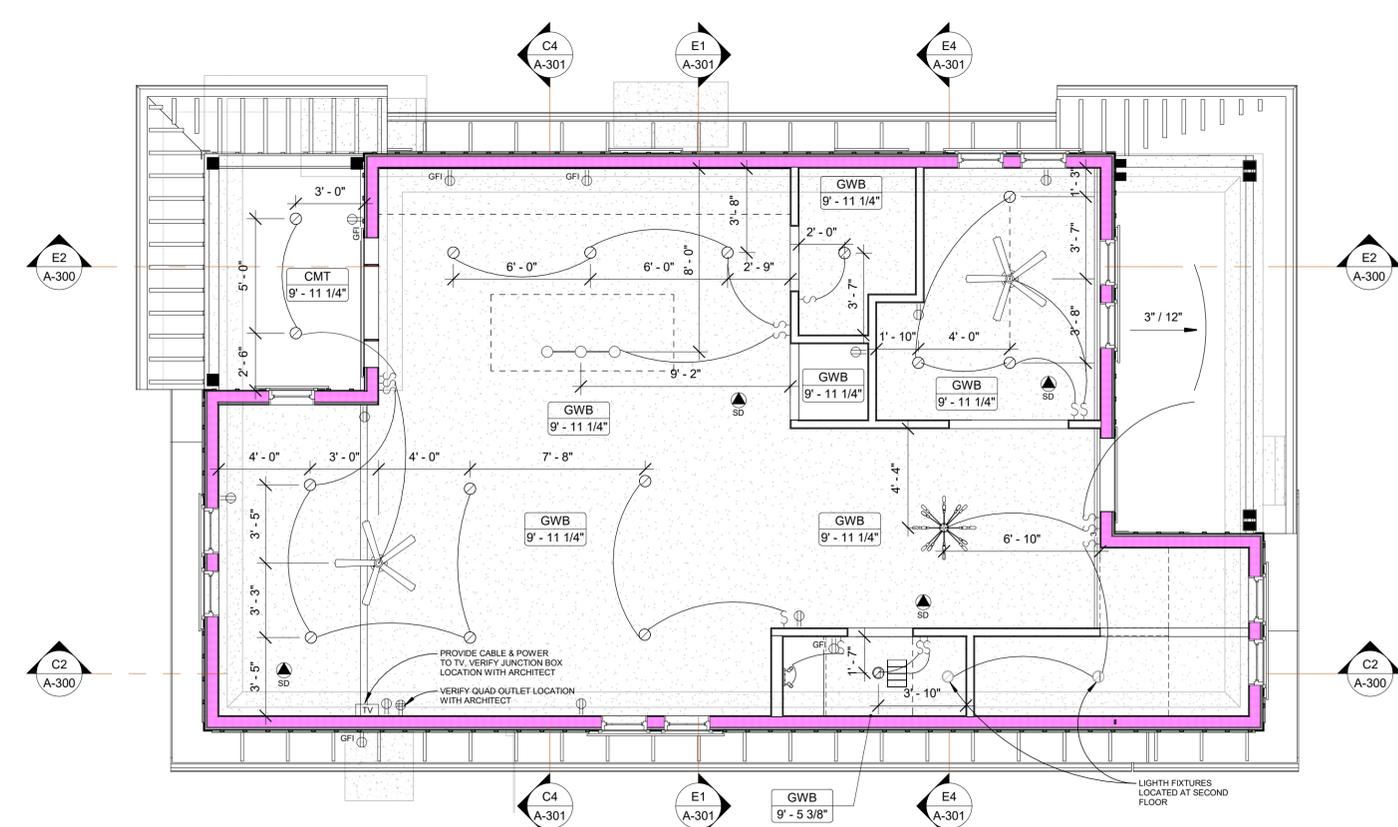
- CHANDELIER
- TRIPLE LIGHT PENDANT - KITCHEN
- DOWNLIGHT RECESSED CAN
- EXTERIOR WALL SCONCE
- WALL VANITY LIGHT
- RESTROOM VENT
- TELEVISION
- CEILING LIGHT/FAN
- SWITCH - SINGLE
- SMOKE DETECTOR PER 2018 IRC R314
- 110 DUPLEX OUTLET
- 220 DUPLEX OUTLET
- GROUND FAULT INTERRUPT
- QUADRUPLUX OUTLET
- TELEVISION OUTLET

CEILING TYPE
HEIGHT (FEET, INCHES) ABOVE FINISHED FLOOR

RCP NOTES

- SEE FINISH PLANS FOR CEILING TYPES & MATERIALS IN EACH ROOM / AREA.
- SEE ELECTRICAL, FIRE ALARM AND FIRE PROTECTION DRAWINGS FOR SPECIAL SYSTEMS, SMOKE DETECTORS, LIGHTING AND WALL MOUNTED FIXTURES NOT SHOWN ON THIS SHEET. COORDINATE LOCATIONS OF ALL FIXTURES NOT INDICATED WITH LAYOUT INDICATED ON THIS SHEET.
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- SEE MECHANICAL FLOOR PLANS FOR EXTENT OF EXPOSED DUCTWORK IN EXPOSED STRUCTURE AREAS WITHOUT CEILINGS.
- EXTEND PERIMETER WALLS AND FINISH TO STRUCTURE ABOVE AT EXPOSED STRUCTURE AREAS. UNLESS NOTED OTHERWISE, PAINT ALL EXPOSED DUCTWORK, PIPING, HANGERS, ETC.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS INDICATED.
- CENTER LIGHTS, DIFFUSERS, EXIT SIGNS SMOKE DETECTORS, SPEAKERS, GENERAL ALARM SPEAKERS/STROBES & MISC DEVICES IN CEILING TILES WHERE THEY ARE LOCATED. ALIGN MULTIPLE ITEM CENTERS OR EDGES.
- LOCATE MECHANICAL GRILLES AND DIFFUSERS SHOWN IN CORNERS OR NEAR WALL TO 12" OFF WALLS, UNO.
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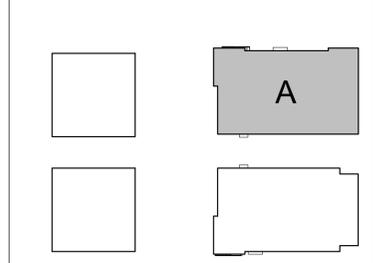
C2 SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



E2 FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



KEY PLAN



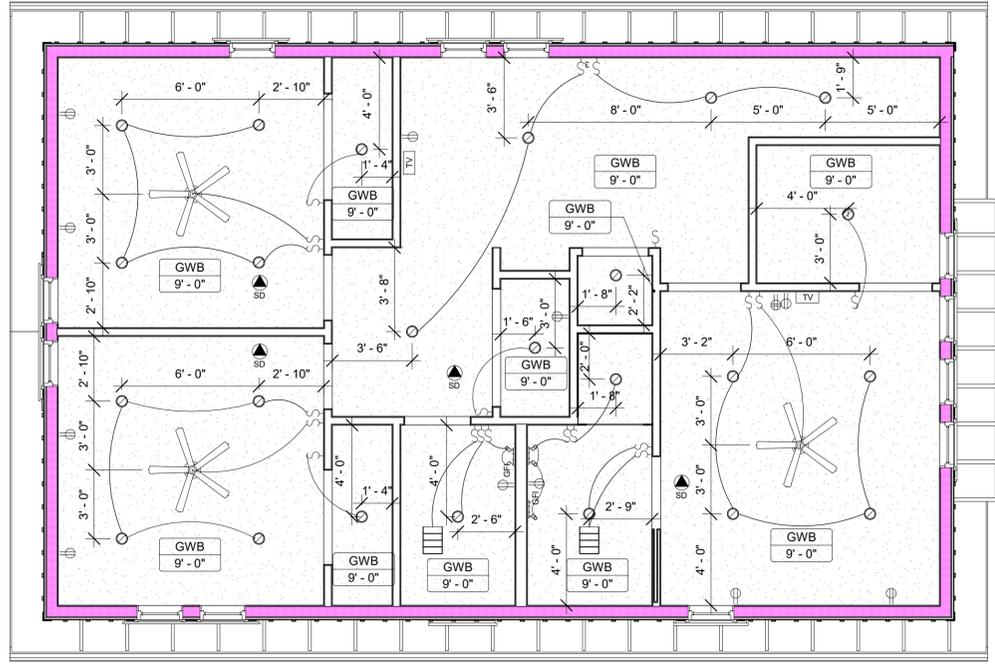
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A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12

SCHEDULE OF REVISIONS

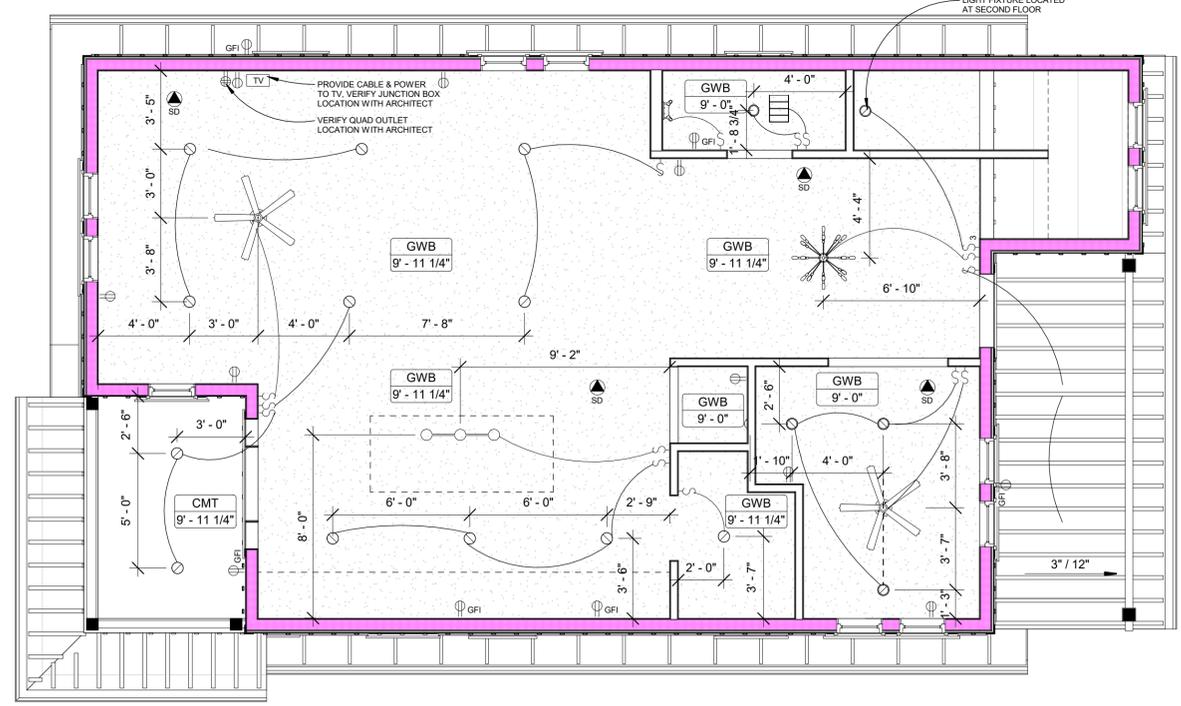
CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW	
PROJECT NUMBER:	2020132
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REFLECTED CEILING PLAN BUILDING A

NOTICE:
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C2 SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



E2 FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

ELECT. & RCP LEGEND RCP NOTES

- GYPSUM BOARD
- CHANDELIER
- TRIPLE LIGHT PENDANT - KITCHEN
- DOWNLIGHT RECESSED CAN
- EXTERIOR WALL SCONCE
- WALL VANITY LIGHT
- RESTROOM VENT
- TELEVISION
- CEILING LIGHT/FAN
- SWITCH - SINGLE
- SMOKE DETECTOR PER 2018 IRC R314
- 110 DUPLEX OUTLET
- 220 DUPLEX OUTLET
- GROUND FAULT INTERRUPT
- QUADRUPLUX OUTLET
- TELEVISION OUTLET

CEILING TYPE
HEIGHT (FEET, INCHES) ABOVE
FINISHED FLOOR

- A. SEE FINISH PLANS FOR CEILING TYPES & MATERIALS IN EACH ROOM / AREA.
- B. SEE ELECTRICAL, FIRE ALARM AND FIRE PROTECTION DRAWINGS FOR SPECIAL SYSTEMS, SMOKE DETECTORS, LIGHTING AND WALL MOUNTED FIXTURES NOT SHOWN ON THIS SHEET. COORDINATE LOCATIONS OF ALL FIXTURES NOT INDICATED WITH LAYOUT INDICATED ON THIS SHEET.
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- F. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS INDICATED.
- G. CENTER LIGHTS, DIFFUSERS, EXIT SIGNS SMOKE DETECTORS, SPEAKERS, GENERAL ALARM SPEAKERS/STROBES & MISC DEVICES IN CEILING TILES WHERE THEY ARE LOCATED. ALIGN MULTIPLE ITEM CENTERS OR EDGES.
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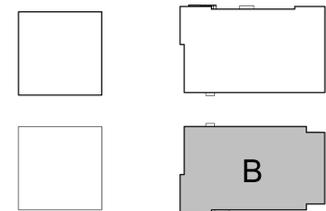
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CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW

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PROJECT MANAGER: B. SOWELL
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REFLECTED CEILING PLAN BUILDING B

KEY PLAN



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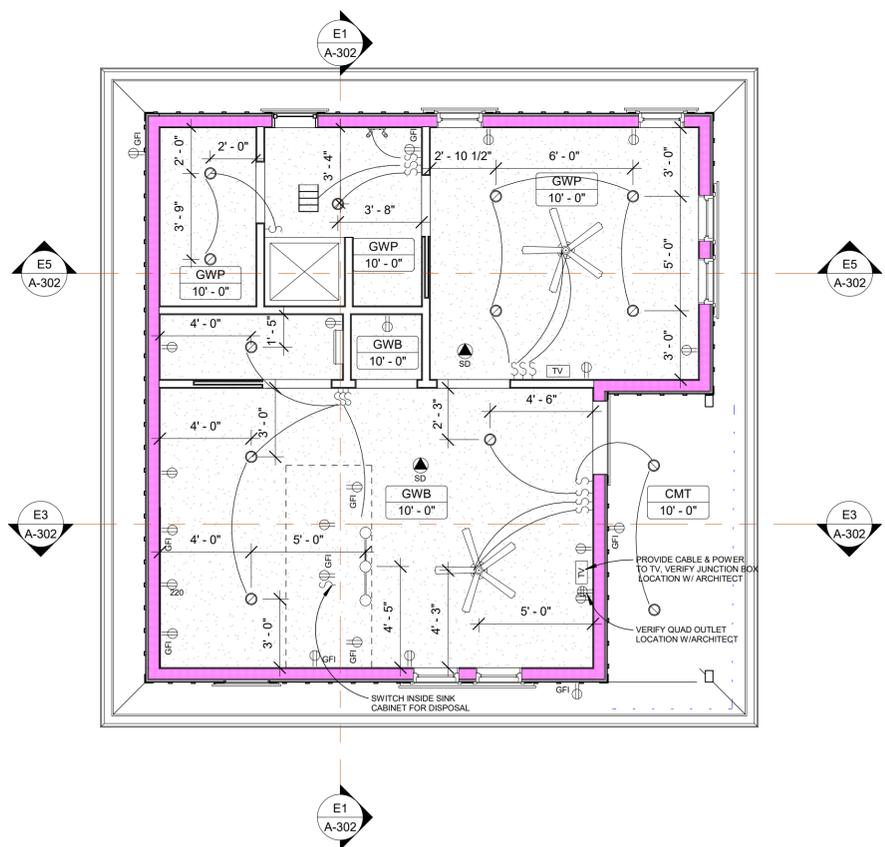
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ELECT. & RCP LEGEND

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 -  TRIPLE LIGHT PENDANT - KITCHEN
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- CEILING TYPE**
HEIGHT (FEET, INCHES) ABOVE FINISHED FLOOR

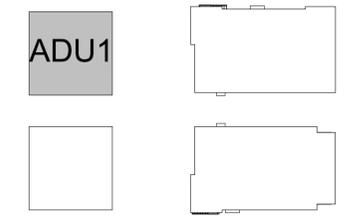
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E2 FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

KEY PLAN



(FOR REVIEW ONLY)

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A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12

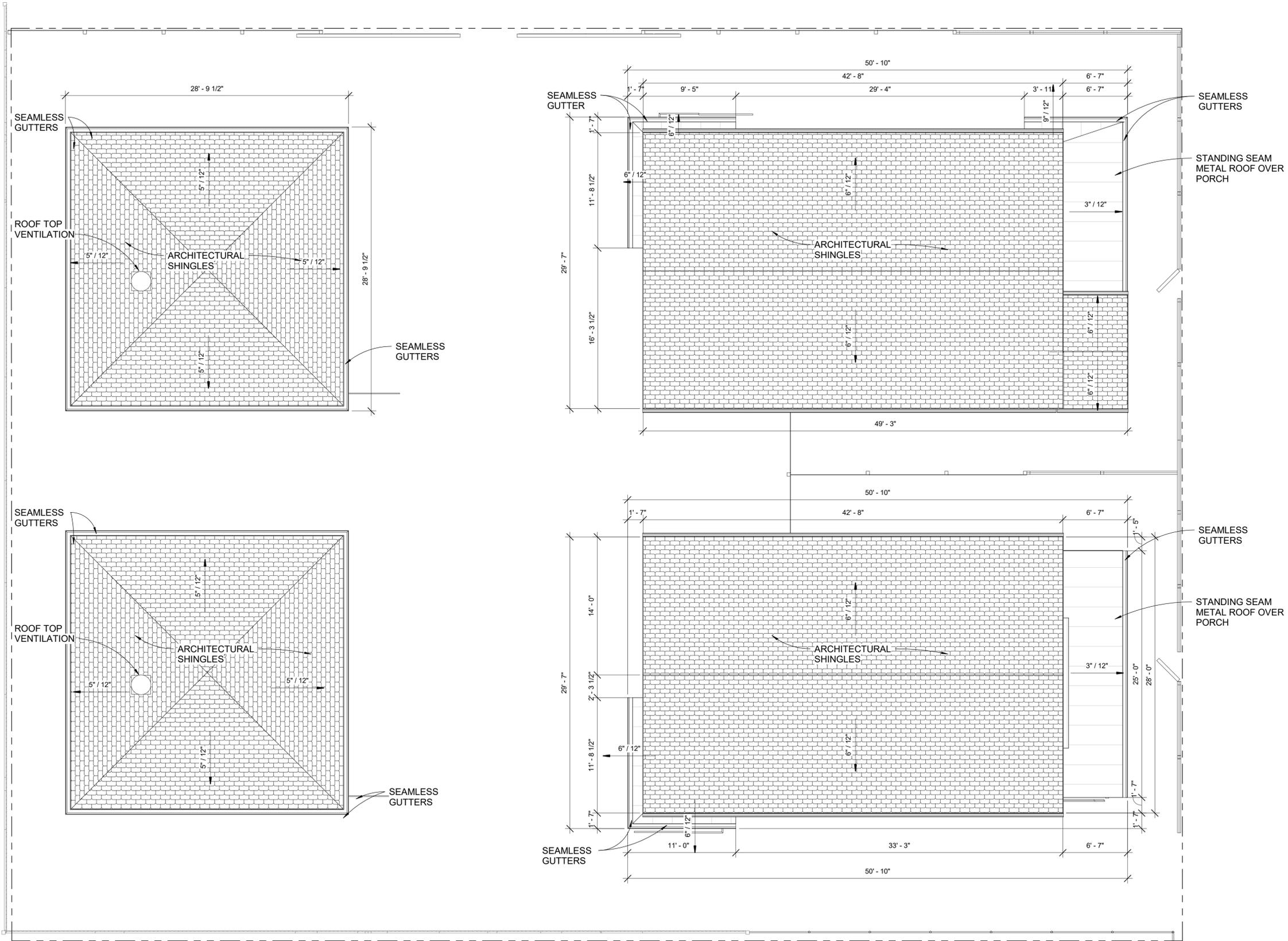
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REFLECTED CEILING PLAN - ADU

MIKE GARANSUAY

909 N HACKBERRY

909 N HACKBERRY
SAN ANTONIO, TX 78202



E1 ROOF PLAN
3/16" = 1'-0"

1	ISSUED FOR HISTORICAL BOARD REVIEW	2021.06.29
A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12
#	DESCRIPTION	DATE

SCHEDULE OF REVISIONS

**CONSTRUCTION DOCUMENTS
HISTORICAL BOARD REVIEW**

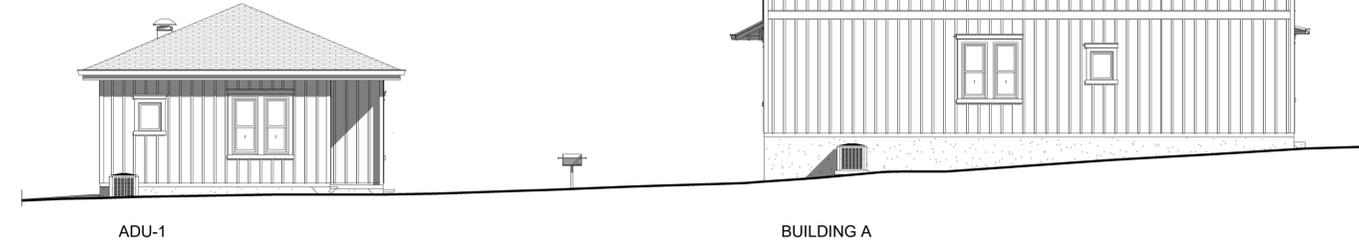
PROJECT NUMBER: 2020132
PROJECT DATE: 2021.06.29
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PROJECT TEAM: S. JURADO, E. SOWELL

ROOF PLANS

MIKE GARANSUAY

909 N HACKBERRY

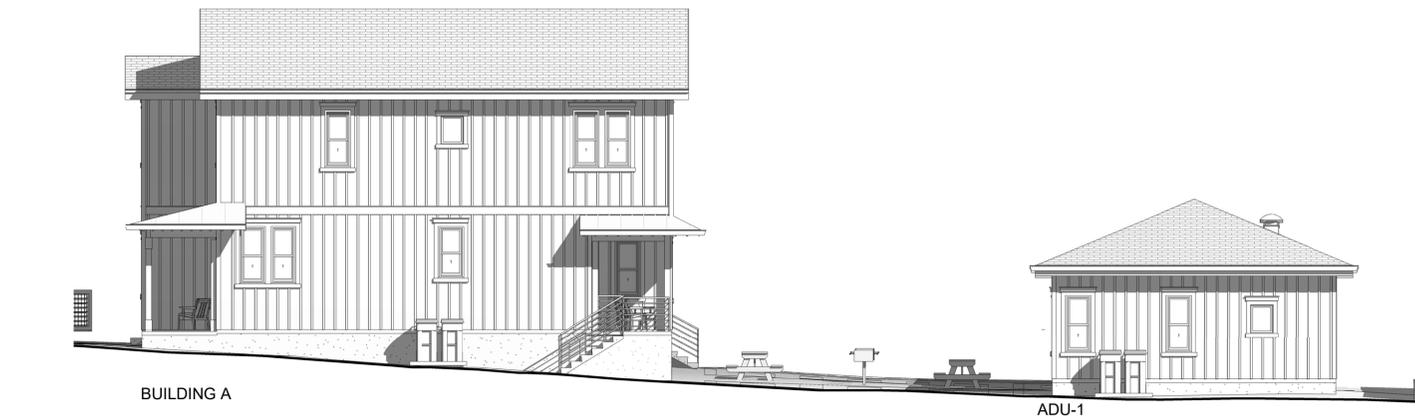
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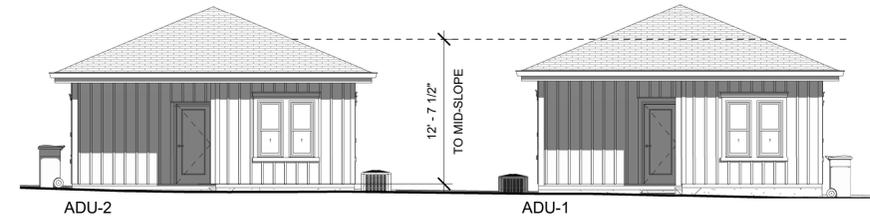
B1 SOUTH ELEVATION
1/8" = 1'-0"



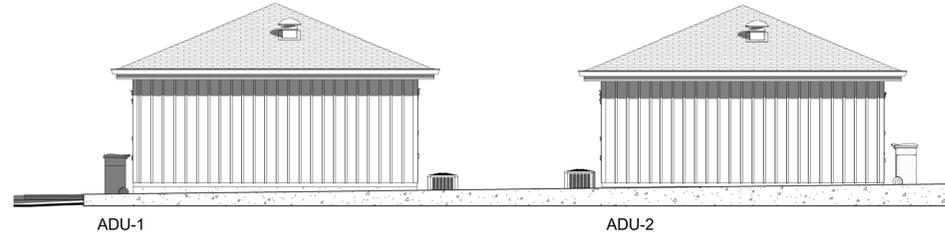
D1 IN-BETWEEN HOMES VIEW
1/8" = 1'-0"



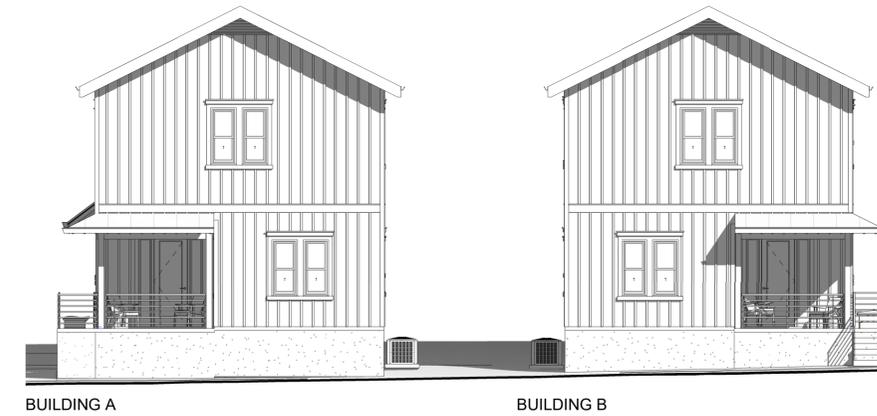
E1 NORTH ELEVATION
1/8" = 1'-0"



A5 ACCESSORY HOUSES - EAST VIEW
1/8" = 1'-0"



B5 ACCESSORY HOUSES - WEST VIEW
1/8" = 1'-0"



D5 WEST ELEVATION
1/8" = 1'-0"



E5 EAST ELEVATION
1/8" = 1'-0"

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OVERALL ELEVATIONS

1 2 3 4 5 6 7

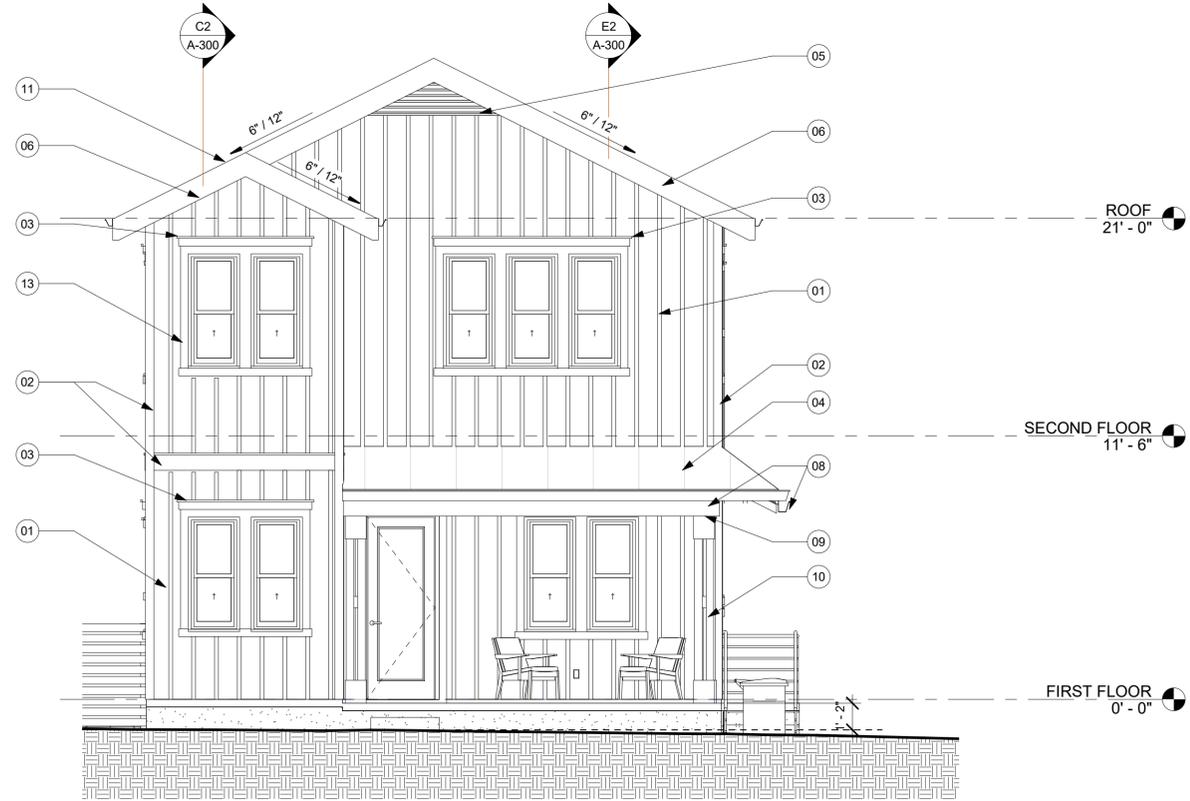
A

B

C

D

E



C2 BUILDING A ELEVATION, EAST
1/4" = 1'-0"



E2 BUILDING A ELEVATION, NORTH
1/4" = 1'-0"

ELEVATION KEY NOTES

- 01 BOARD AND BATTEN SIDING WITH 2" WIDE BATS @ 12" O.C.
- 02 CEMENTITIOUS TRIM WITH Z-FLASHING
- 03 METAL DRIP CAP
- 04 STANDING SEAM METAL ROOF
- 05 ATTIC VENT
- 06 CEMENTITIOUS FASCIA
- 08 SEAMLESS GUTTER
- 09 BEAM, SEE STRUCTURAL
- 10 WOOD COLUMN, TREATED, SEE STRUCTURAL
- 11 ARCHITECTURAL SHINGLES
- 12 METAL RAILING
- 13 CEMENTITIOUS TRIM



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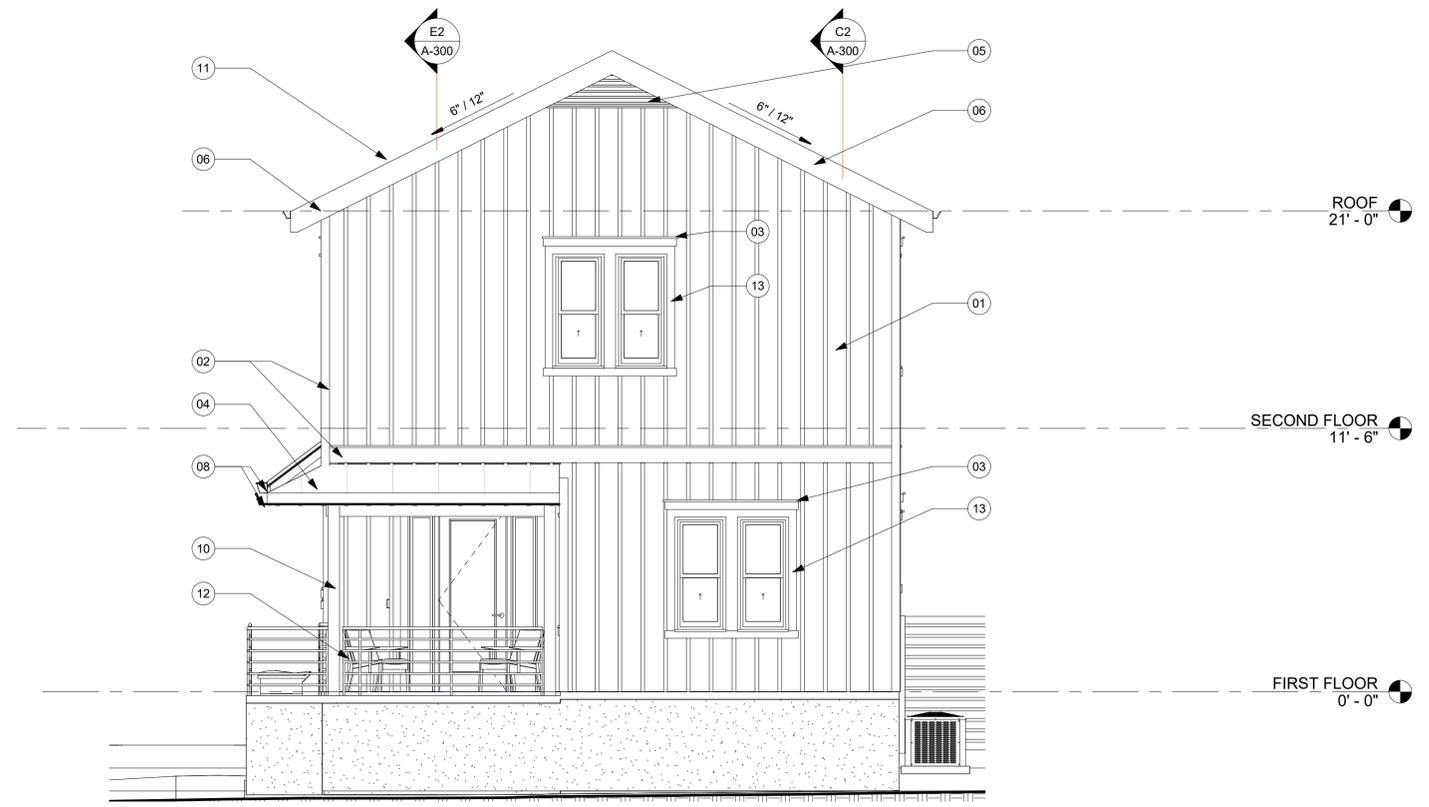
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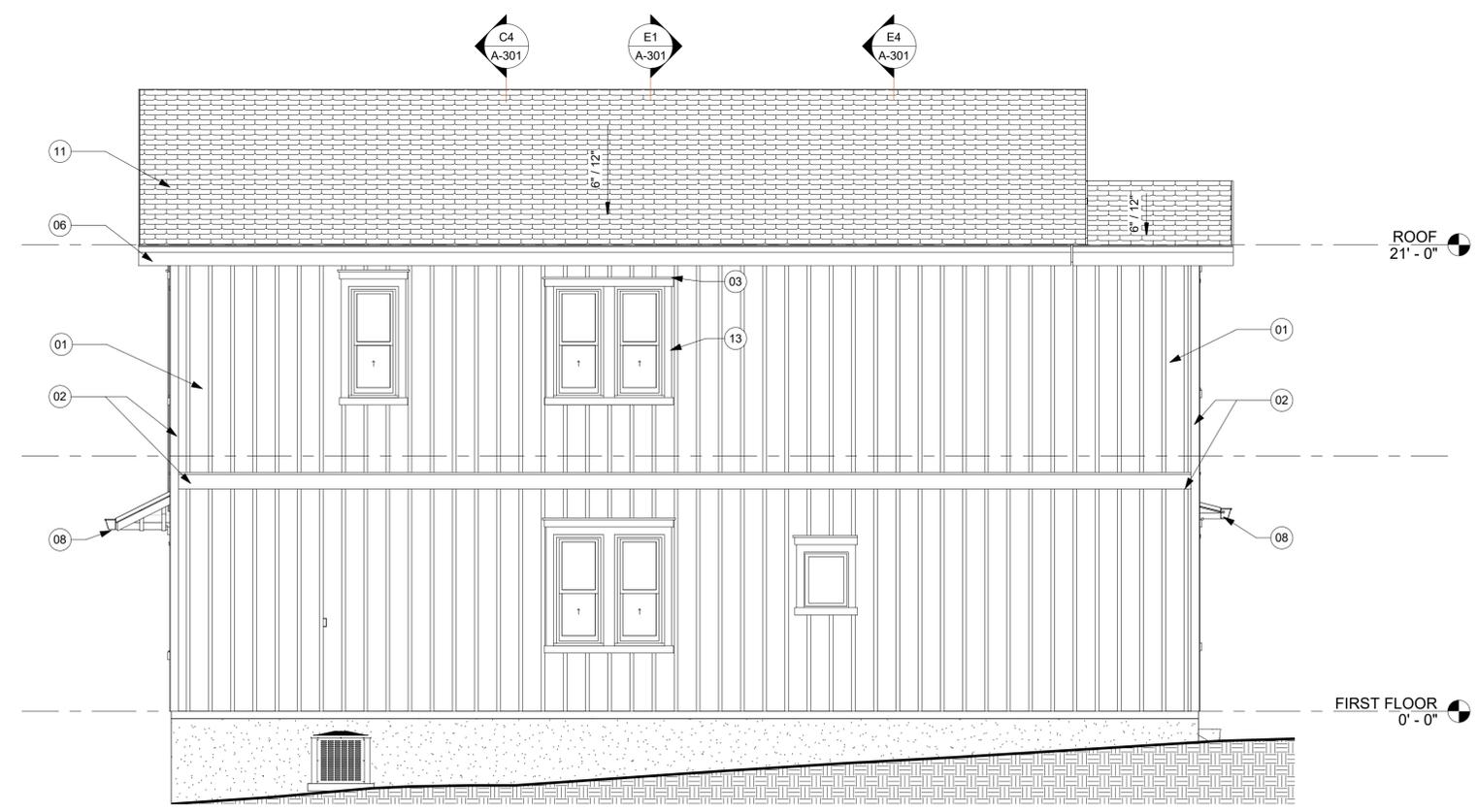
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CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW	
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PROJECT TEAM:	S. JURADO, E. SOWELL

EXTERIOR ELEVATIONS BUILDING A

A-202



C2 BUILDING A ELEVATION, WEST
1/4" = 1'-0"



E2 BUILDING A ELEVATION, SOUTH
1/4" = 1'-0"

ELEVATION KEY NOTES

- 01 BOARD AND BATTEN SIDING WITH 2" WIDE BATS @ 12" O.C.
- 02 CEMENTITIOUS TRIM WITH Z-FLASHING
- 03 METAL DRIP CAP
- 04 STANDING SEAM METAL ROOF
- 05 ATTIC VENT
- 06 CEMENTITIOUS FASCIA
- 08 SEAMLESS GUTTER
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- 10 WOOD COLUMN, TREATED, SEE STRUCTURAL
- 11 ARCHITECTURAL SHINGLES
- 12 METAL RAILING
- 13 CEMENTITIOUS TRIM

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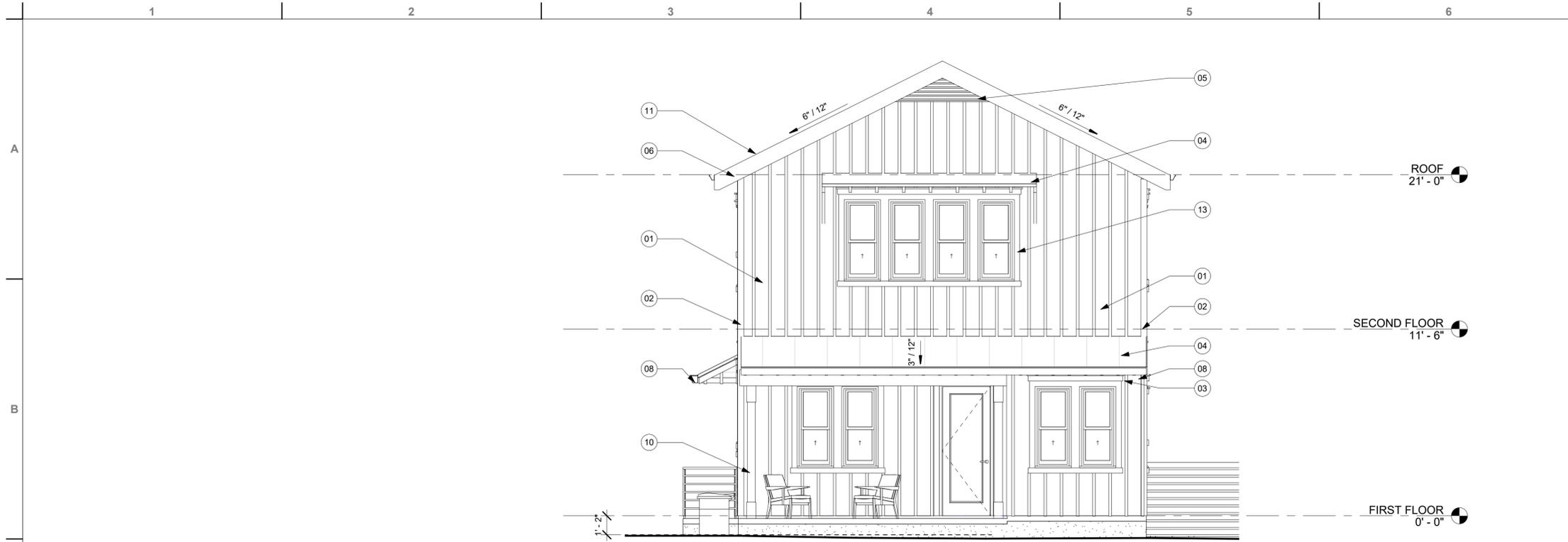
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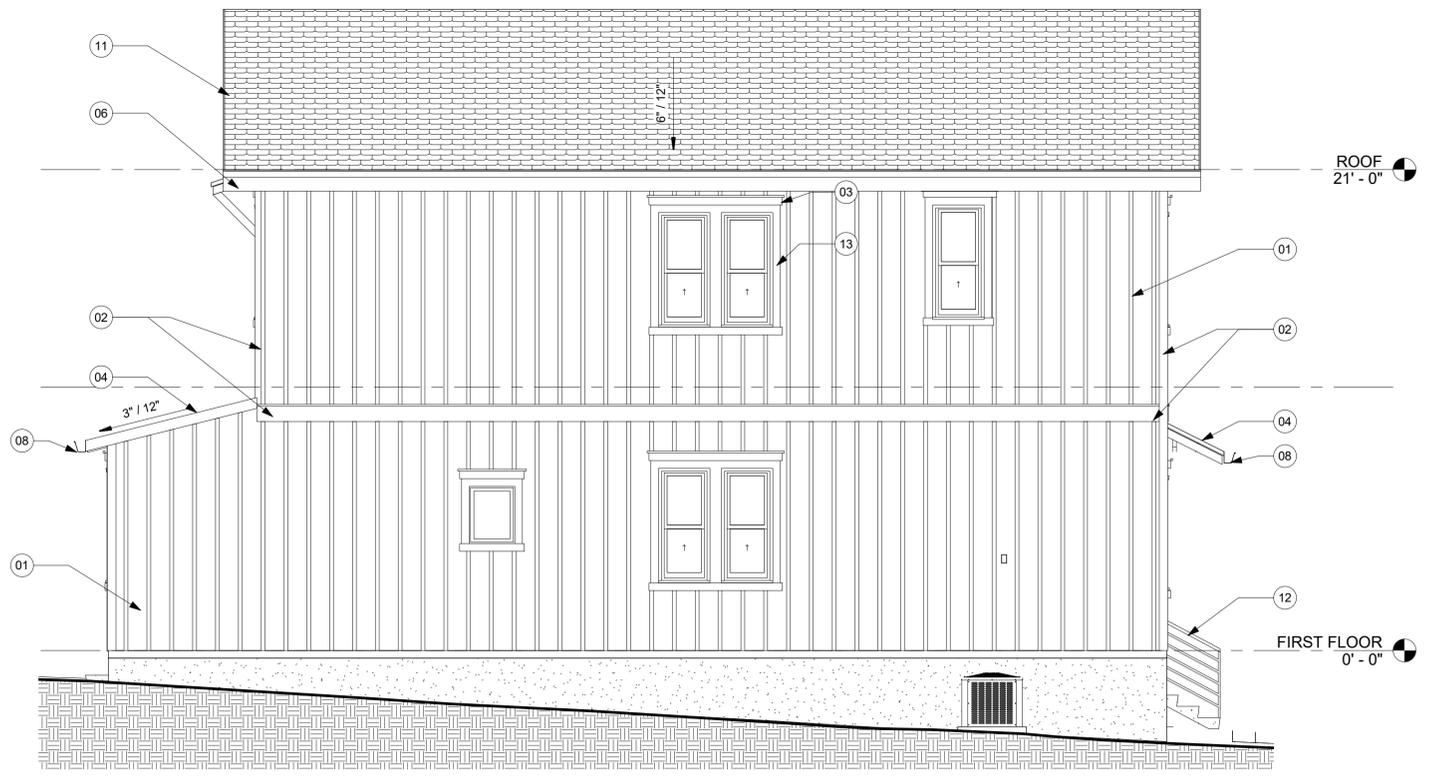
CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW		
PROJECT NUMBER:	2020132	
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PROJECT MANAGER:	B. SOWELL	
PROJECT TEAM:	S. JURADO, E. SOWELL	

EXTERIOR ELEVATIONS BUILDING A

A-203



C3 BUILDING B ELEVATION, EAST
1/4" = 1'-0"



E2 BUILDING B ELEVATION, NORTH
1/4" = 1'-0"

ELEVATION KEY NOTES

- 01 BOARD AND BATTEN SIDING WITH 2" WIDE BATS @ 12" O.C.
- 02 CEMENTITIOUS TRIM WITH Z-FLASHING
- 03 METAL DRIP CAP
- 04 STANDING SEAM METAL ROOF
- 05 ATTIC VENT
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- 08 SEAMLESS GUTTER
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- 10 WOOD COLUMN, TREATED, SEE STRUCTURAL
- 11 ARCHITECTURAL SHINGLES
- 12 METAL RAILING
- 13 CEMENTITIOUS TRIM



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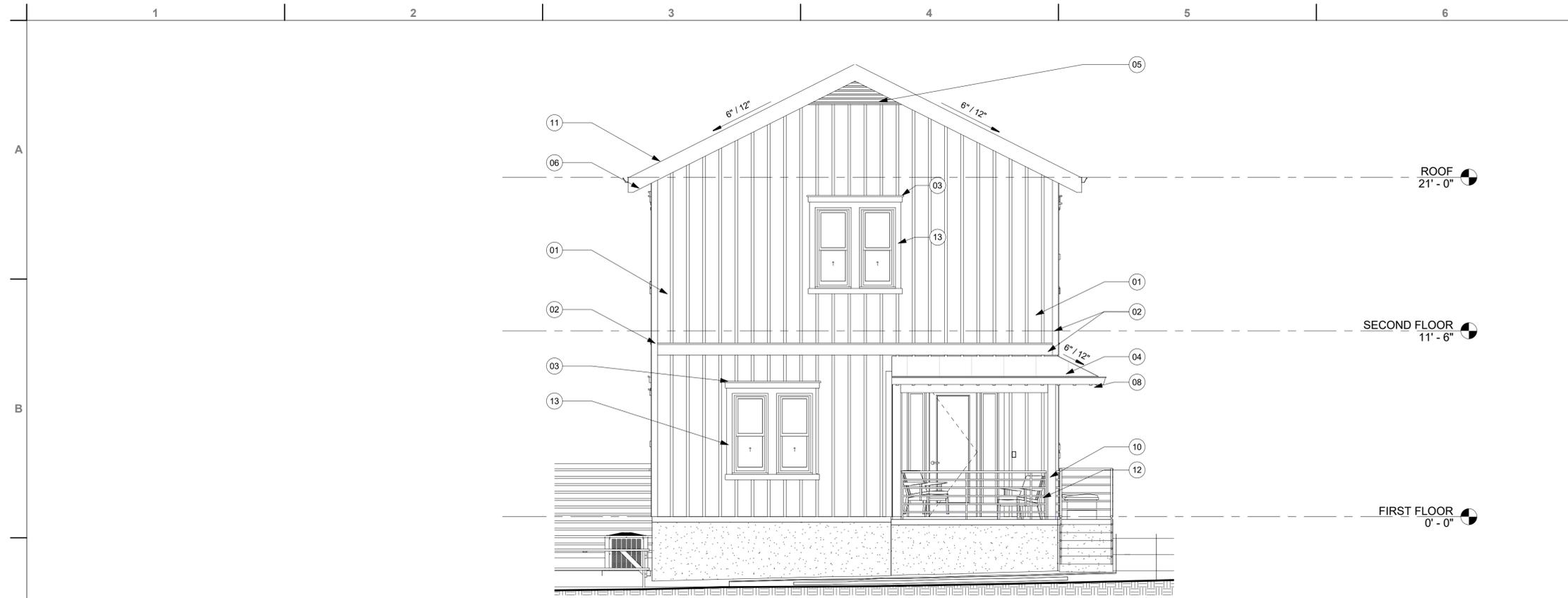
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**CONSTRUCTION DOCUMENTS
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PROJECT TEAM: S. JURADO, E. SOWELL

**EXTERIOR ELEVATIONS
BUILDING B**

A-204



C2 BUILDING B ELEVATION, WEST
1/4" = 1'-0"



E2 BUILDING B ELEVATION, SOUTH
1/4" = 1'-0"

ELEVATION KEY NOTES

- 01 BOARD AND BATTEN SIDING WITH 2" WIDE BATS @ 12" O.C.
- 02 CEMENTITIOUS TRIM WITH Z-FLASHING
- 03 METAL DRIP CAP
- 04 STANDING SEAM METAL ROOF
- 05 ATTIC VENT
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- 11 ARCHITECTURAL SHINGLES
- 12 METAL RAILING
- 13 CEMENTITIOUS TRIM

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EXTERIOR ELEVATIONS BUILDING B

A-205

NOTICE: DO NOT SCALE DRAWINGS, USE DIMENSIONS SHOWN.

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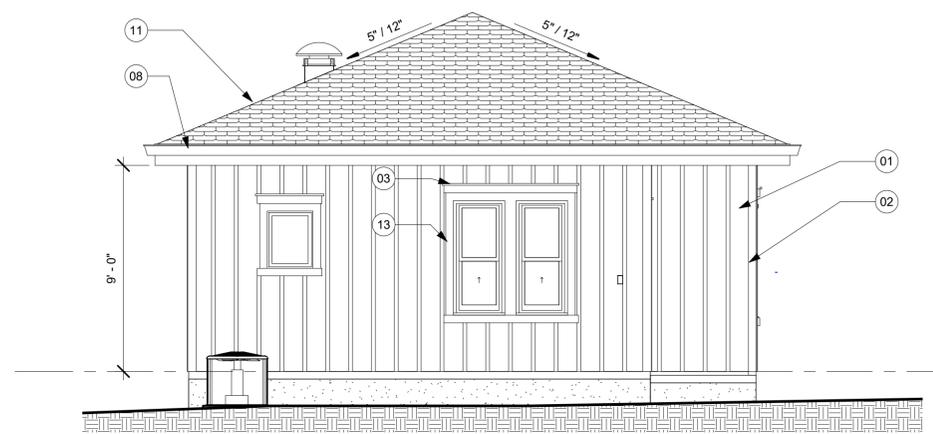
ELEVATION KEY NOTES

- 01 BOARD AND BATTEN SIDING WITH 2" WIDE BATS @ 12" O.C.
- 02 CEMENTITIOUS TRIM WITH Z-FLASHING
- 03 METAL DRIP CAP
- 04 STANDING SEAM METAL ROOF
- 05 ATTIC VENT
- 06 CEMENTITIOUS FASCIA
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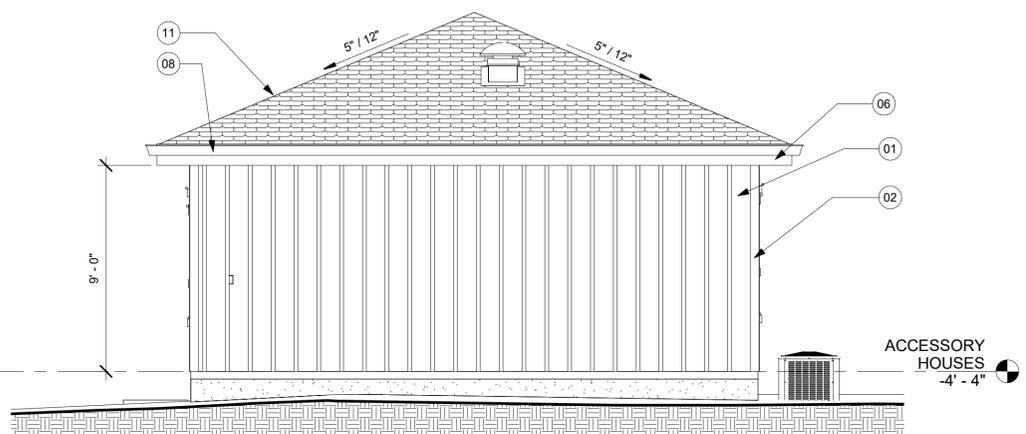
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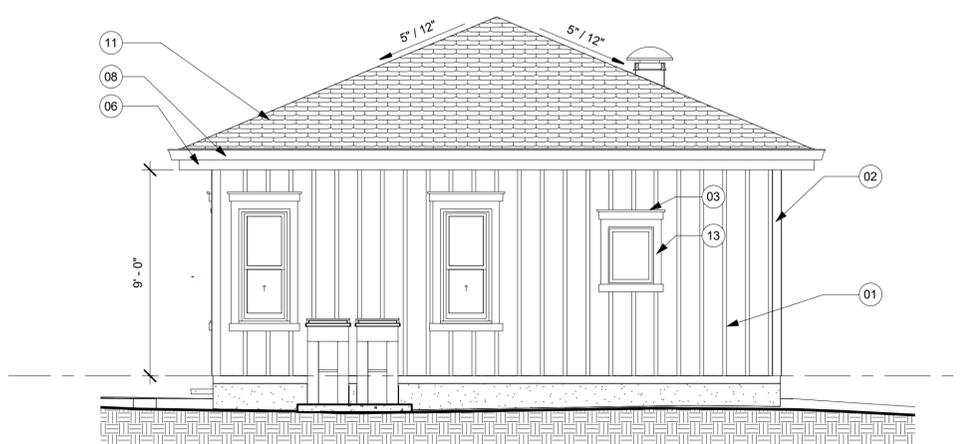
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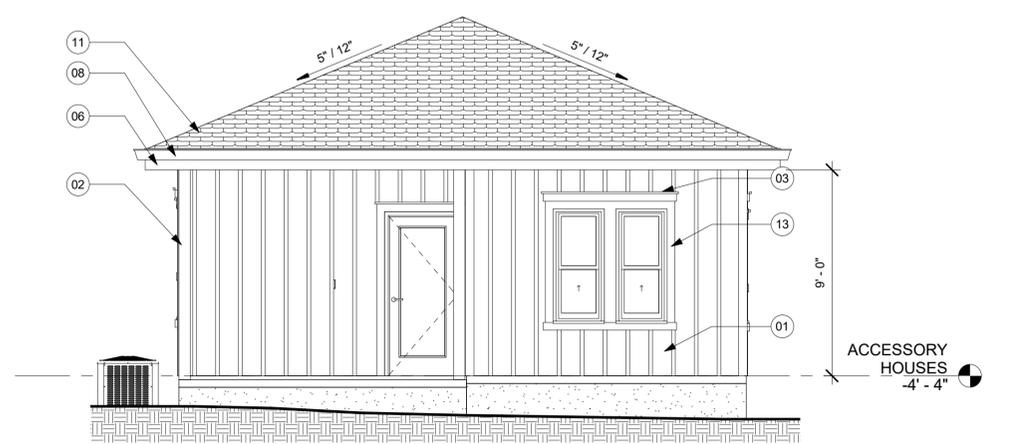
C2 ADU 1 ELEVATION, SOUTH
 1/4" = 1'-0"



C5 ADU 1 ELEVATION, WEST
 1/4" = 1'-0"



E2 ADU 1 ELEVATION, NORTH
 1/4" = 1'-0"



E5 ADU 1 ELEVATION, EAST
 1/4" = 1'-0"

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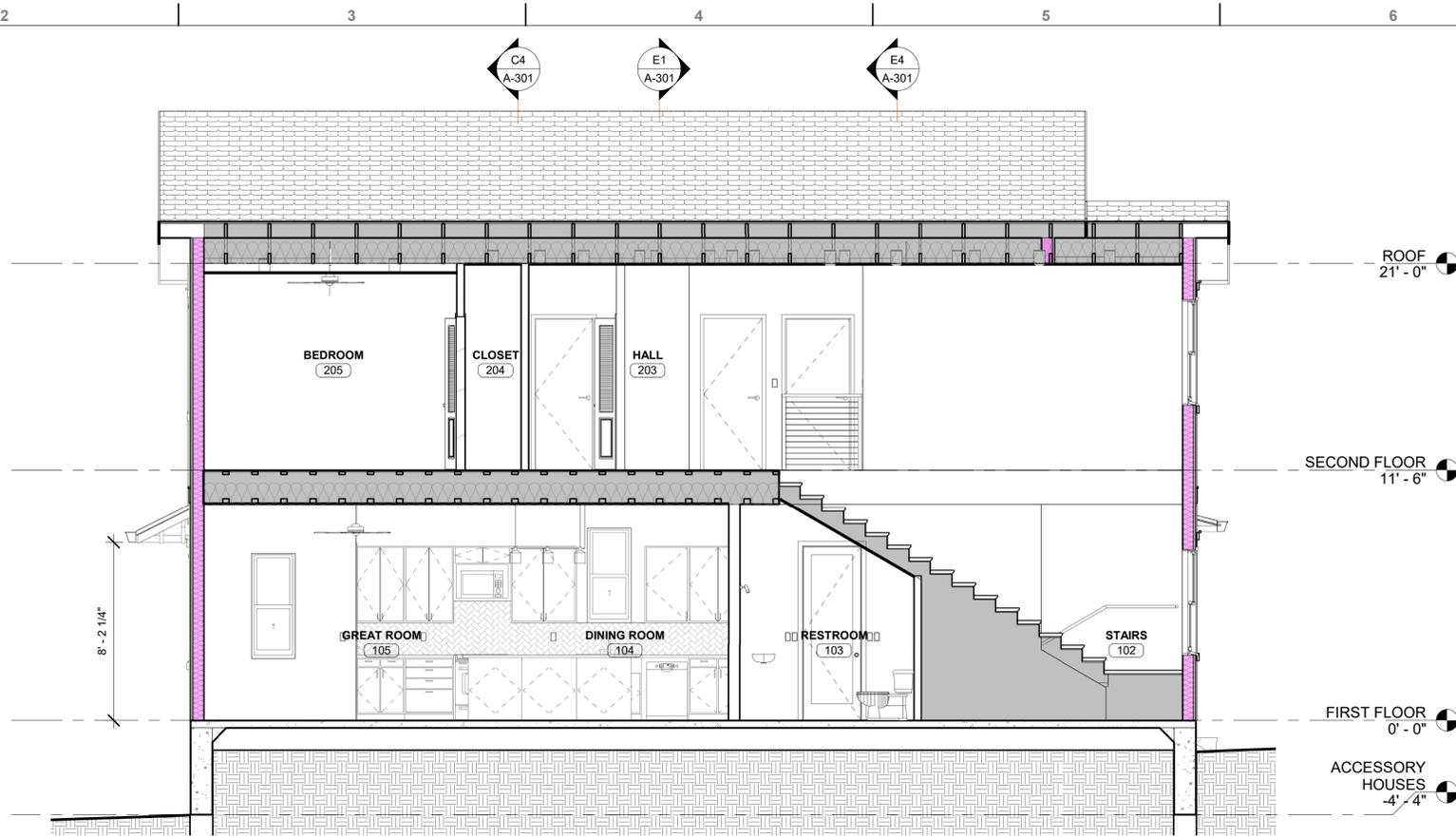
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**CONSTRUCTION DOCUMENTS
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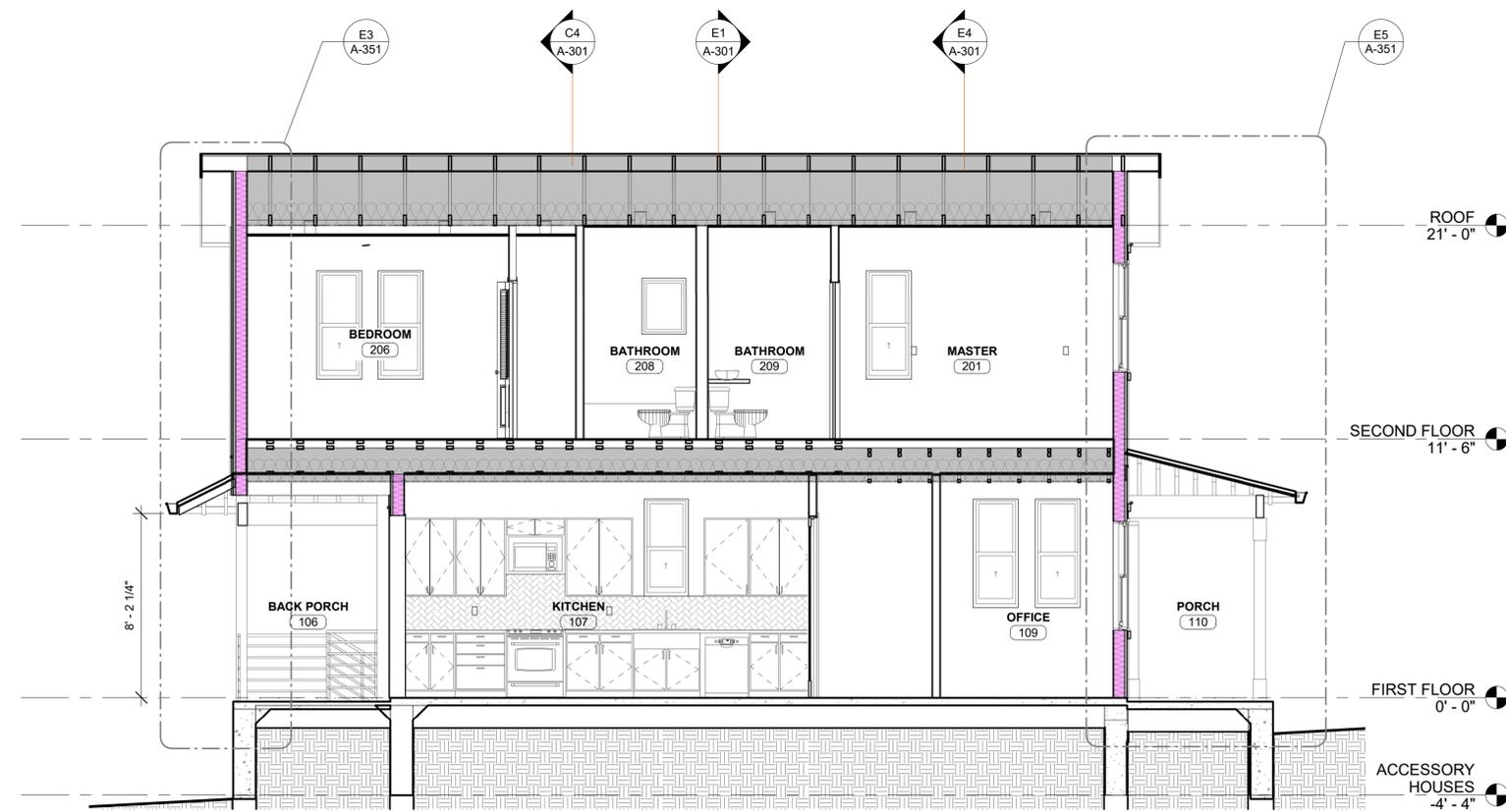
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 PROJECT TEAM: S. JURADO, E. SOWELL

**EXTERIOR ELEVATIONS -
 ADU**

A-206



C2 BS-BUILDING SECTION
1/4" = 1'-0"



E2 BS-BUILDING SECTION
1/4" = 1'-0"

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**BUILDING SECTIONS
BUILDING A**

A-300

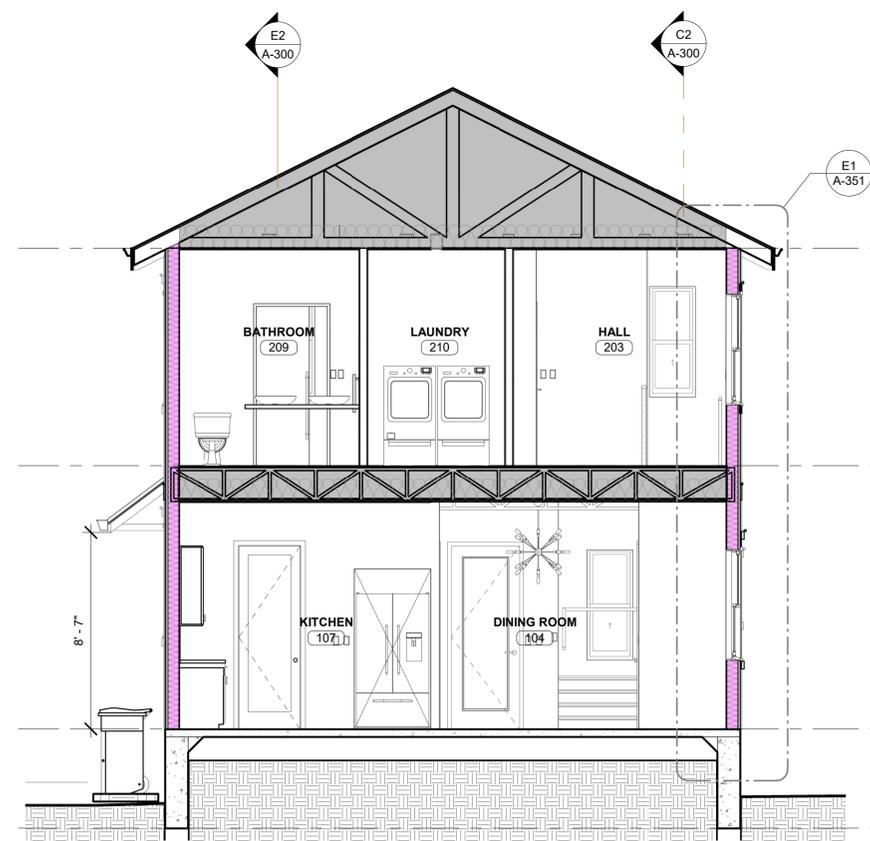
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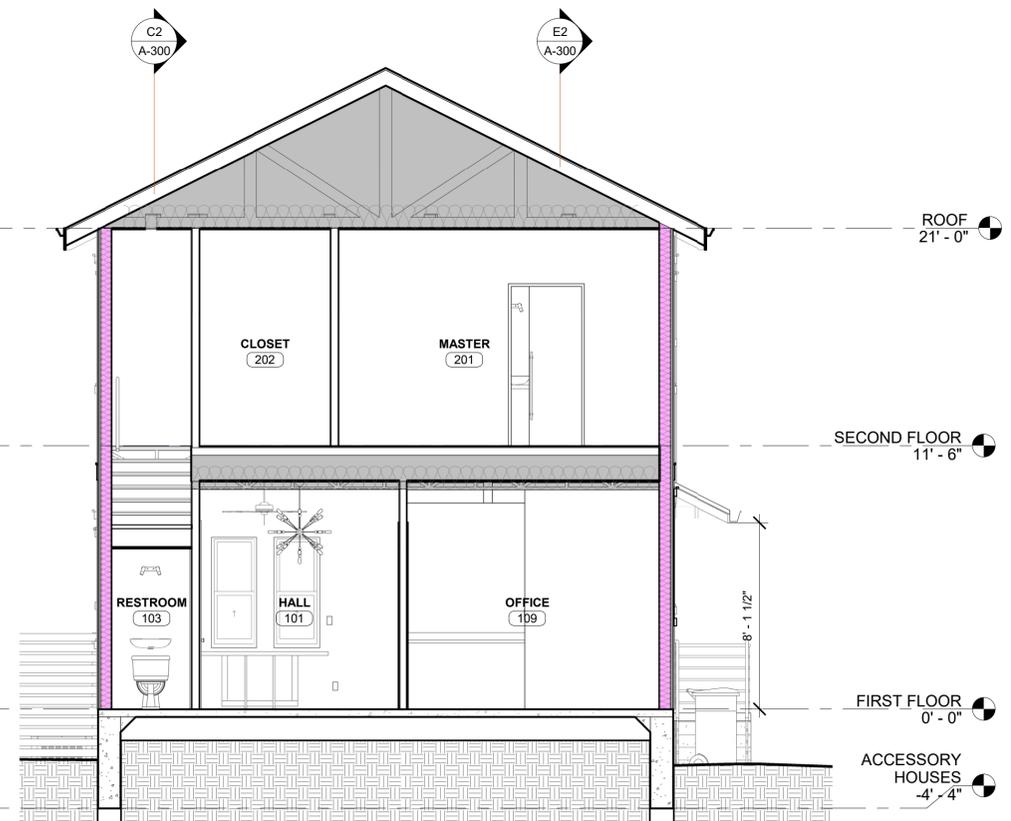
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C4 BS-BUILDING SECTION
1/4" = 1'-0"



E1 BS-BUILDING SECTION
1/4" = 1'-0"



E4 BS-BUILDING SECTION
1/4" = 1'-0"

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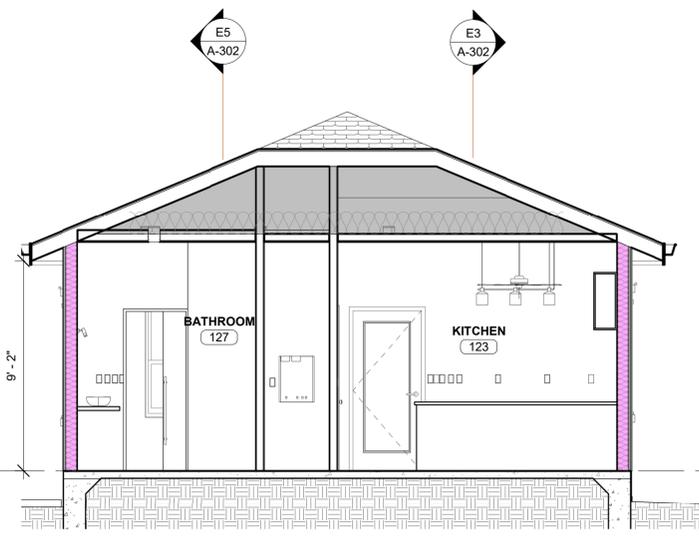
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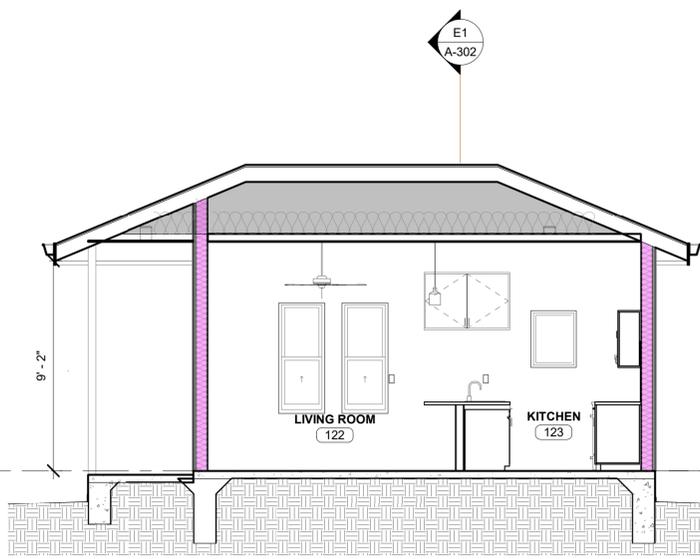
**BUILDING SECTION
BUILDING A**

A-301

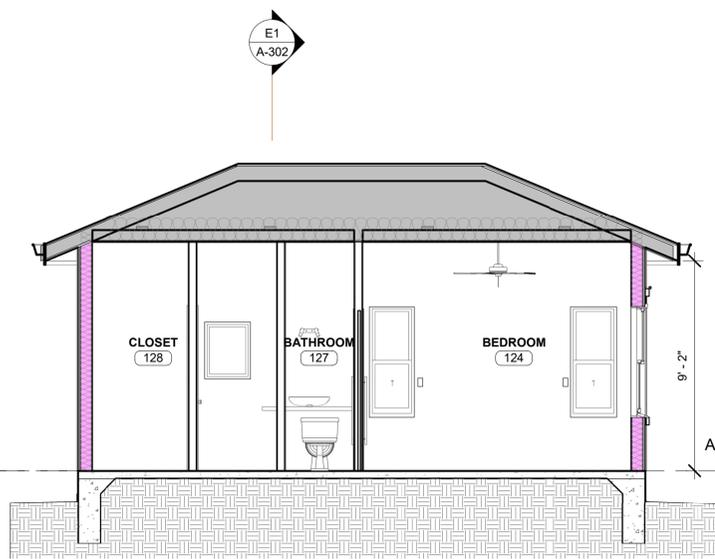
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E1 BS-BUILDING SECTION
1/4" = 1'-0"



E3 BS-BUILDING SECTION
1/4" = 1'-0"



E5 BS-BUILDING SECTION
1/4" = 1'-0"

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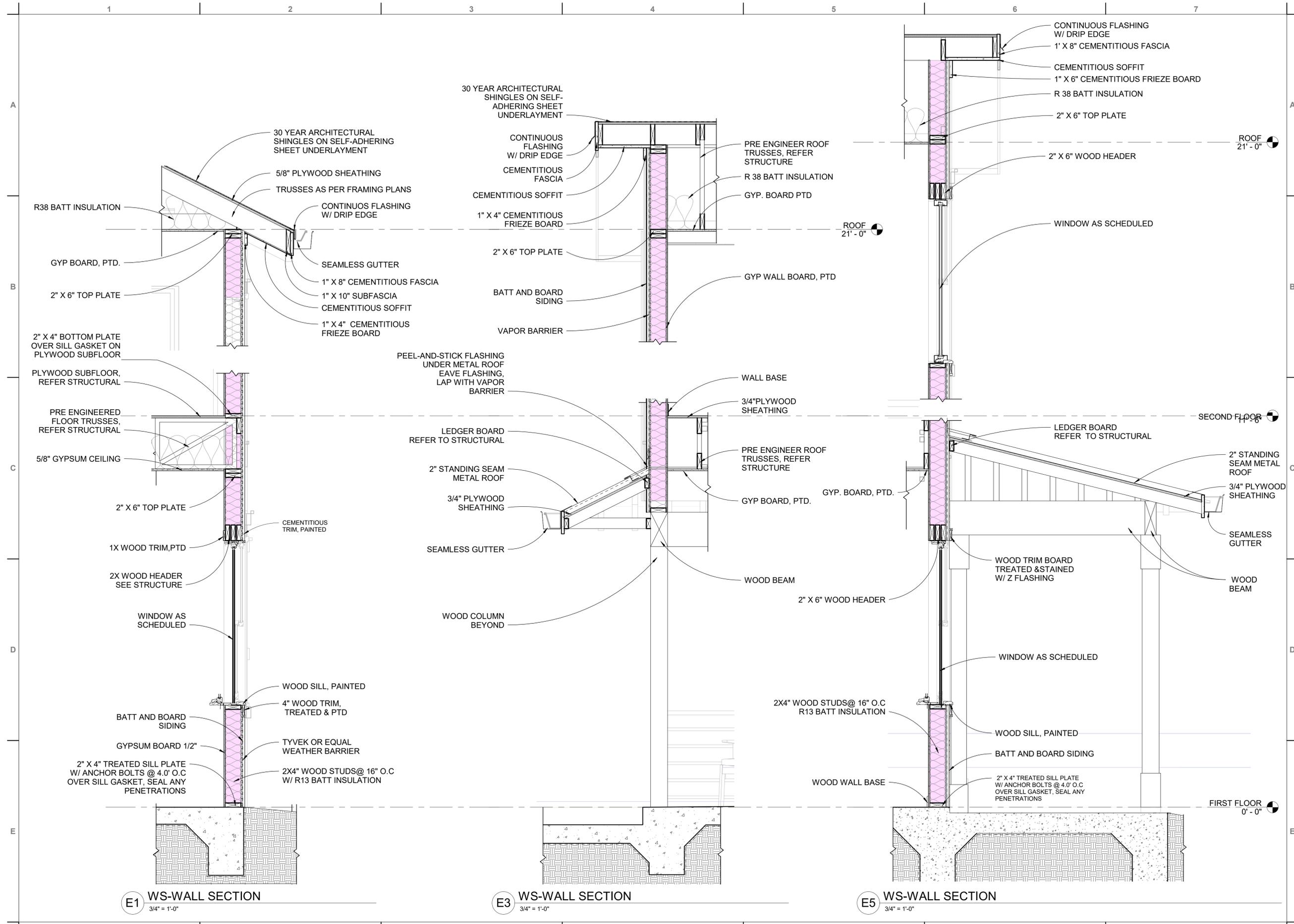
BUILDING SECTIONS - ADU

A-302

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E1 WS-WALL SECTION
3/4" = 1'-0"

E3 WS-WALL SECTION
3/4" = 1'-0"

E5 WS-WALL SECTION
3/4" = 1'-0"

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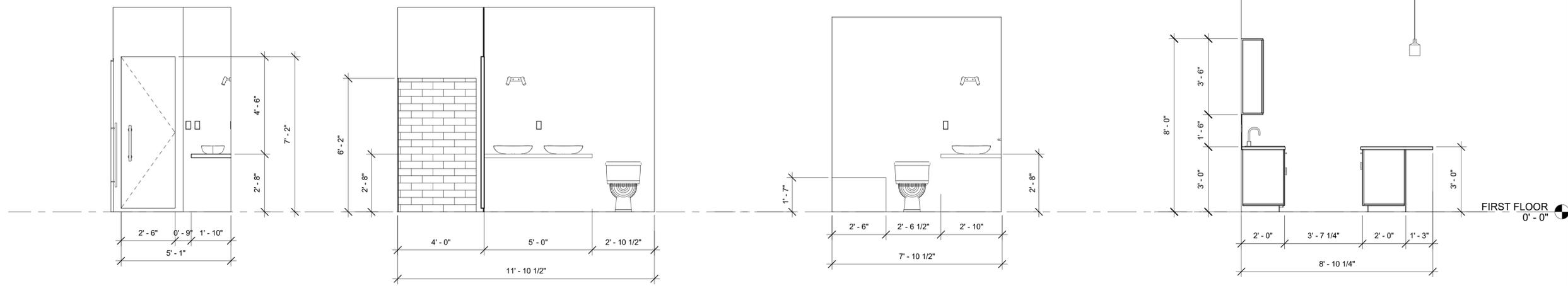
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WALL SECTIONS

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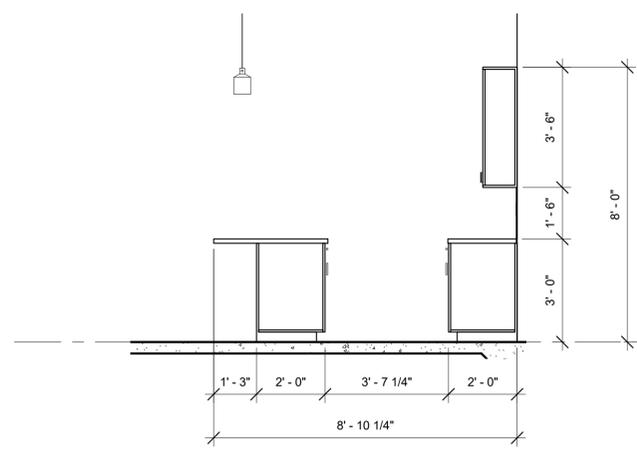


C1 BATHROOM CASEWORK ELEVATION
3/8" = 1'-0"

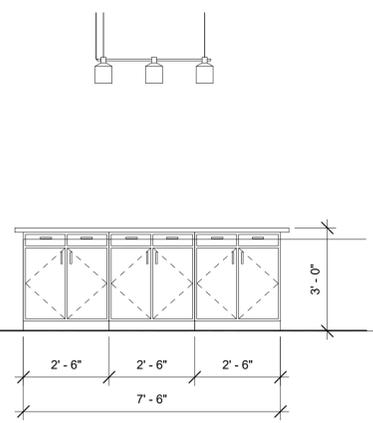
C2 BATHROOM CASEWORK ELEVATION
3/8" = 1'-0"

C4 BATHROOM CASEWORK ELEVATION
3/8" = 1'-0"

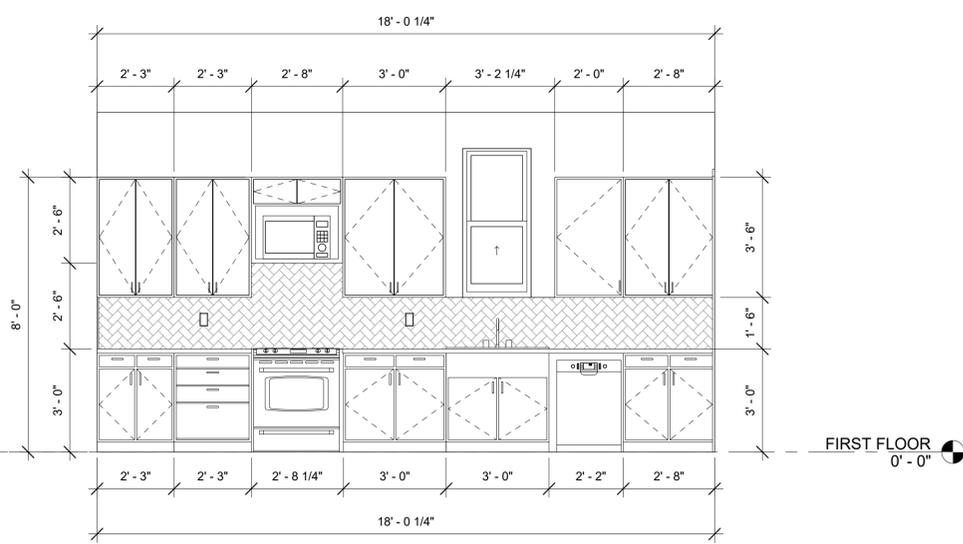
C6 KITCHEN CASEWORK ELEVATION
3/8" = 1'-0"



E1 KITCHEN CASEWORK ELEVATION
3/8" = 1'-0"



E3 KITCHEN ISLAND CASEWORK ELEVATION
3/8" = 1'-0"



E5 KITCHEN CASEWORK ELEVATION
3/8" = 1'-0"

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PROJECT TEAM: S. JURADO, E. SOWELL		

CASEWORK ELEVATIONS - BUILDING A

A-411

1 2 3 4 5 6 7

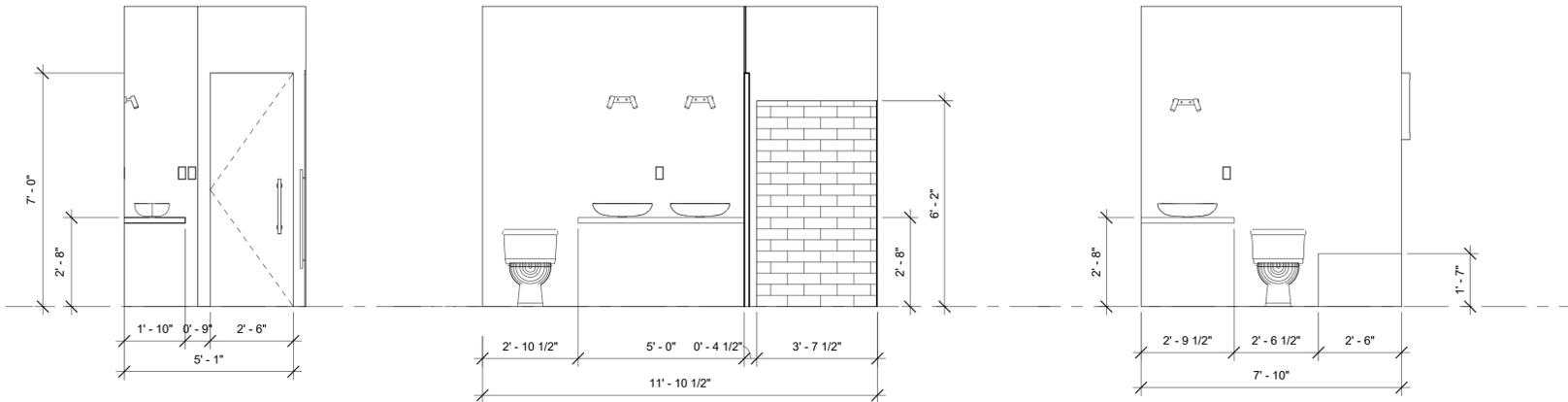
A

B

C

D

E



C1 BATHROOM CASEWORK ELEVATION
3/8" = 1'-0"

C2 BATHROOM CASEWORK ELEVATION
3/8" = 1'-0"

C4 BATHROOM CASEWORK ELEVATION
3/8" = 1'-0"

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SAN ANTONIO, TX 78202

1	ISSUED FOR HISTORICAL BOARD REVIEW	2021.06.29
A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12
#	DESCRIPTION	DATE

SCHEDULE OF REVISIONS

**CONSTRUCTION DOCUMENTS
HISTORICAL BOARD REVIEW**

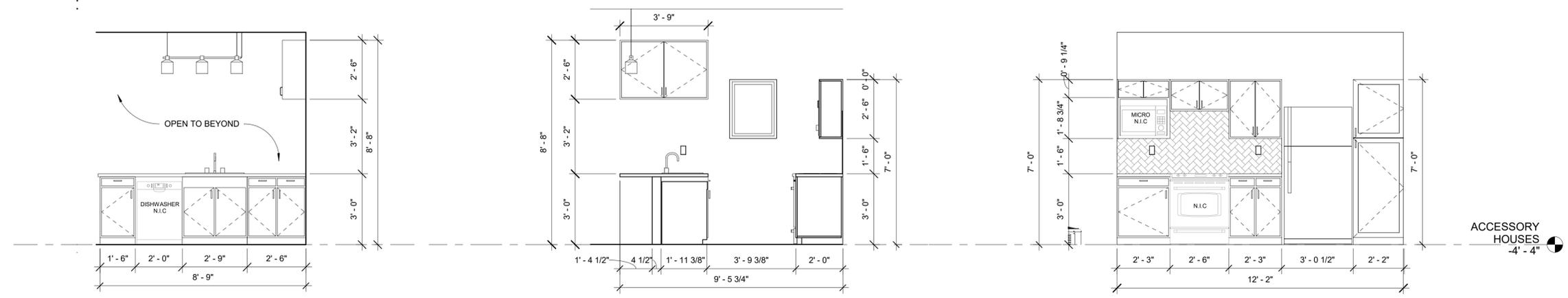
PROJECT NUMBER: 2020132
PROJECT DATE: 2021.06.29
PROJECT MANAGER: B. SOWELL
PROJECT TEAM: S. JURADO, E. SOWELL

**CASEWORK ELEVATIONS
- BUILDING B**

A-412

1 2 3 4 5 6 7

MIKE GARANSUAY
909 N HACKBERRY
909 N HACKBERRY
SAN ANTONIO, TX 78202



E1 CASEWORK ELEVATION
3/8" = 1'-0"

E3 CASEWORK ELEVATION
3/8" = 1'-0"

E6 CASEWORK ELEVATION
3/8" = 1'-0"

ACCESSORY HOUSES
-4' - 4"

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**CONSTRUCTION DOCUMENTS
HISTORICAL BOARD REVIEW**

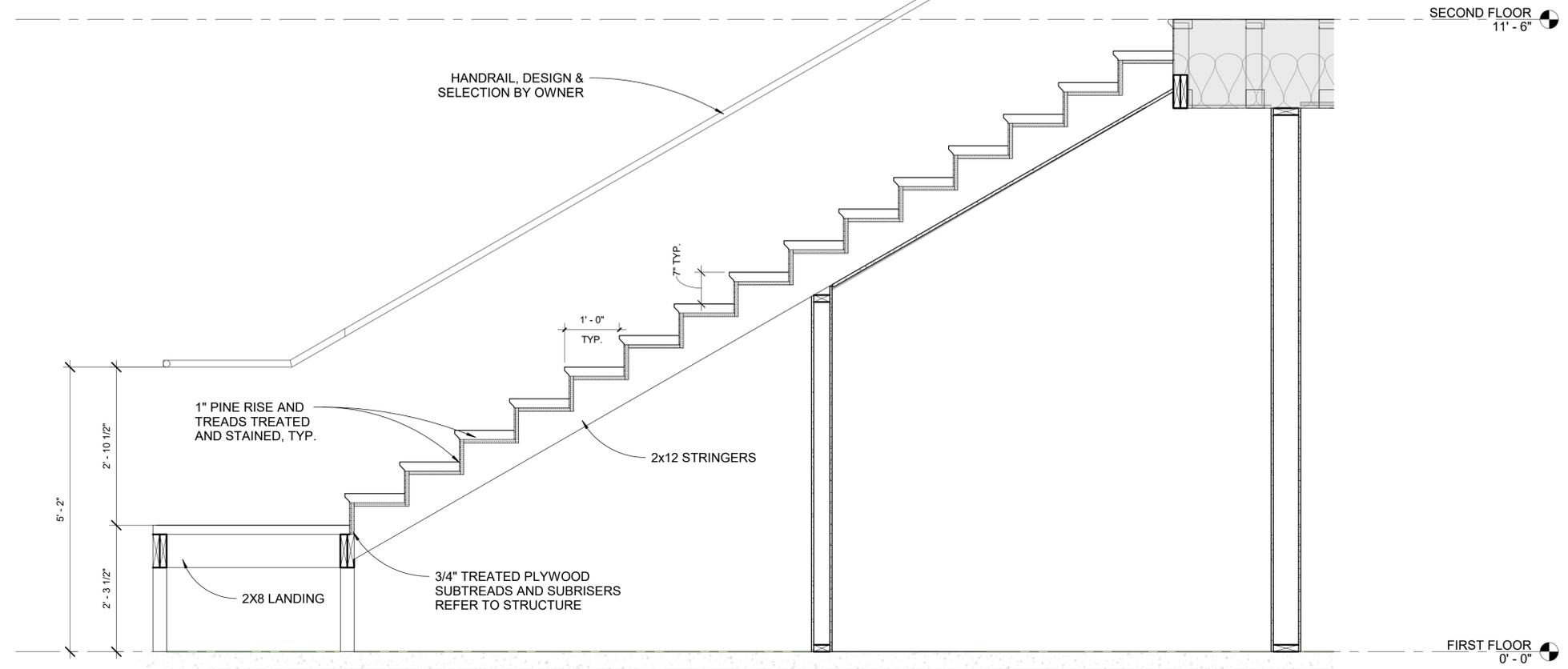
PROJECT NUMBER: 2020132
PROJECT DATE: 2021.06.29
PROJECT MANAGER: B. SOWELL
PROJECT TEAM: S. JURADO, E. SOWELL

**CASEWORK ELEVATIONS
- ADU**

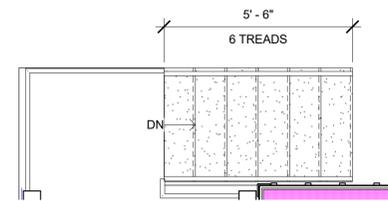
MIKE GARANSUAY

909 N HACKBERRY

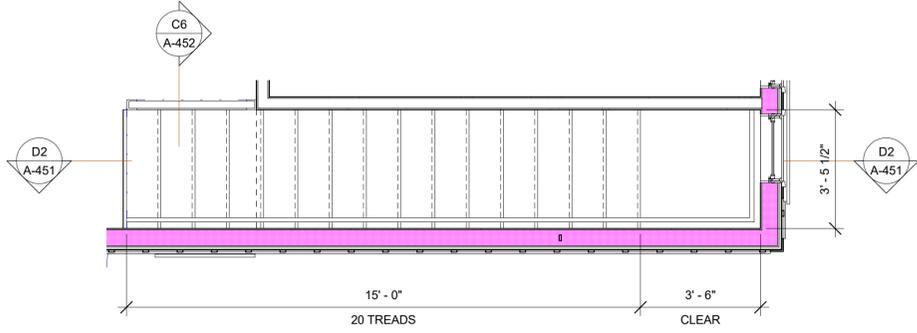
909 N HACKBERRY
SAN ANTONIO, TX 78202



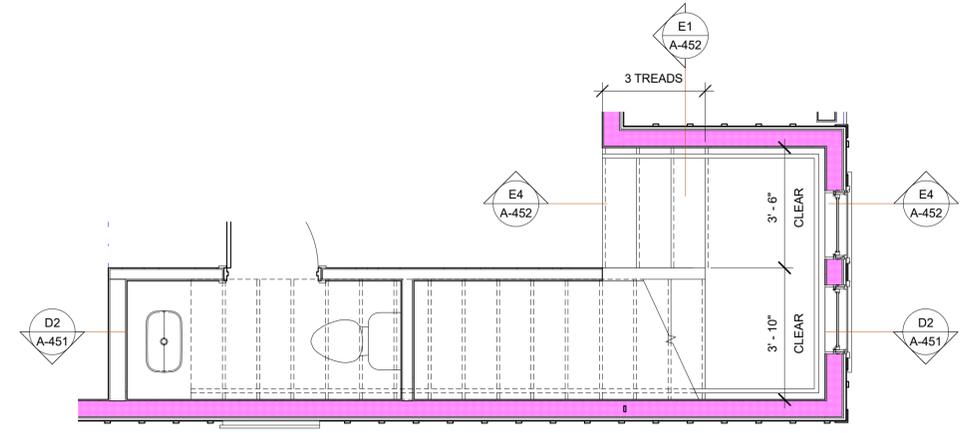
D2 LONG. STAIRS SECTION BLDG. A
3/4" = 1'-0"



E1 BACK PORCH BLDG. A
3/8" = 1'-0"



E2 SECOND FLOOR BLDG. A
3/8" = 1'-0"



E5 FIRST FLOOR BLDG. A
3/8" = 1'-0"

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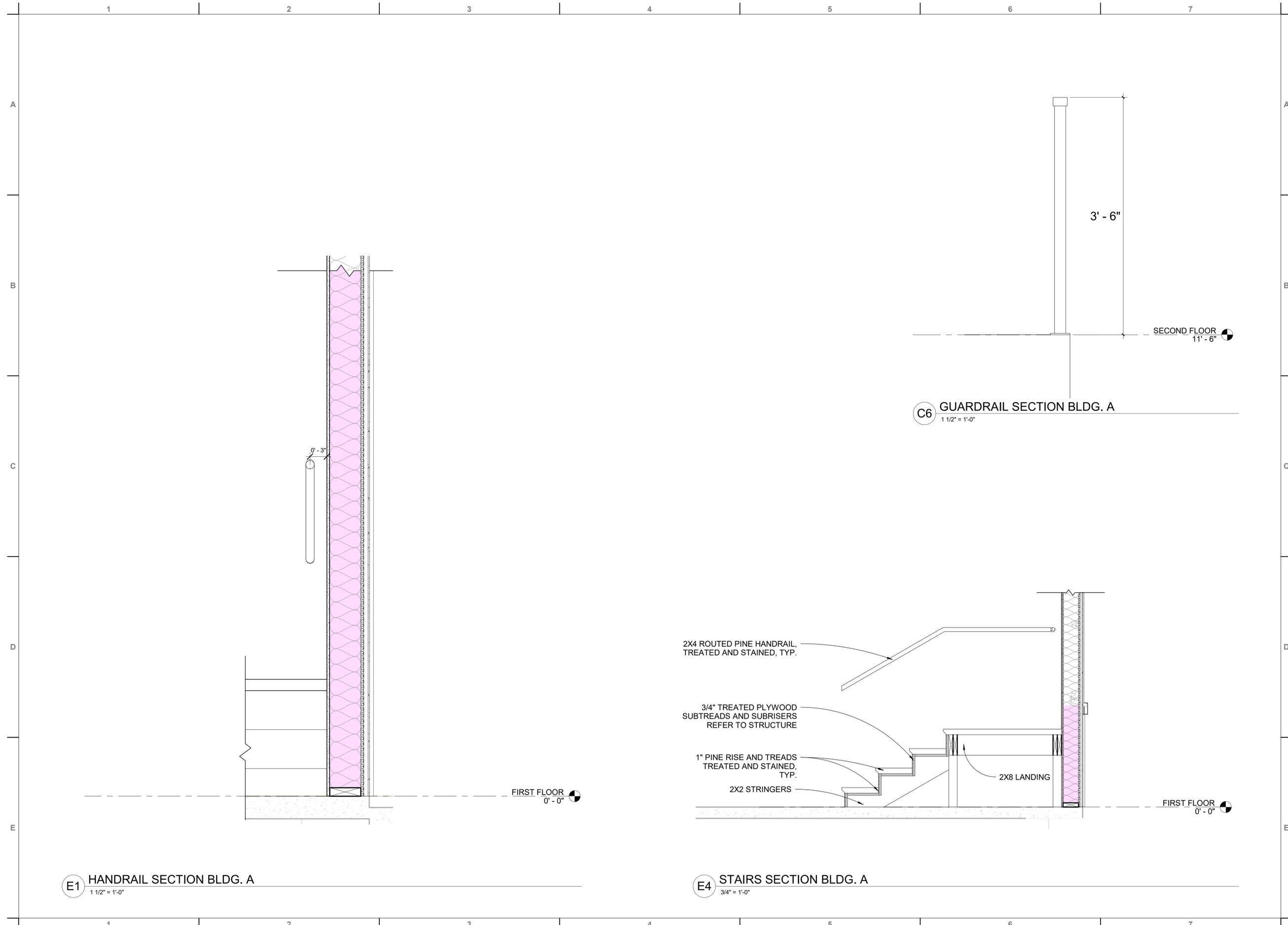
SCHEDULE OF REVISIONS

CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW

PROJECT NUMBER: 2020132
PROJECT DATE: 2021.06.29
PROJECT MANAGER: B. SOWELL
PROJECT TEAM: S. JURADO, E. SOWELL

VERTICAL CIRCULATION

A-451



E1 HANDRAIL SECTION BLDG. A
1 1/2" = 1'-0"

E4 STAIRS SECTION BLDG. A
3/4" = 1'-0"

C6 GUARDRAIL SECTION BLDG. A
1 1/2" = 1'-0"

NOTICE:
DO NOT SCALE DRAWINGS, USE DIMENSIONS SHOWN.

1	ISSUED FOR HISTORICAL BOARD REVIEW	2021.06.29
A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12
#	DESCRIPTION	DATE

SCHEDULE OF REVISIONS

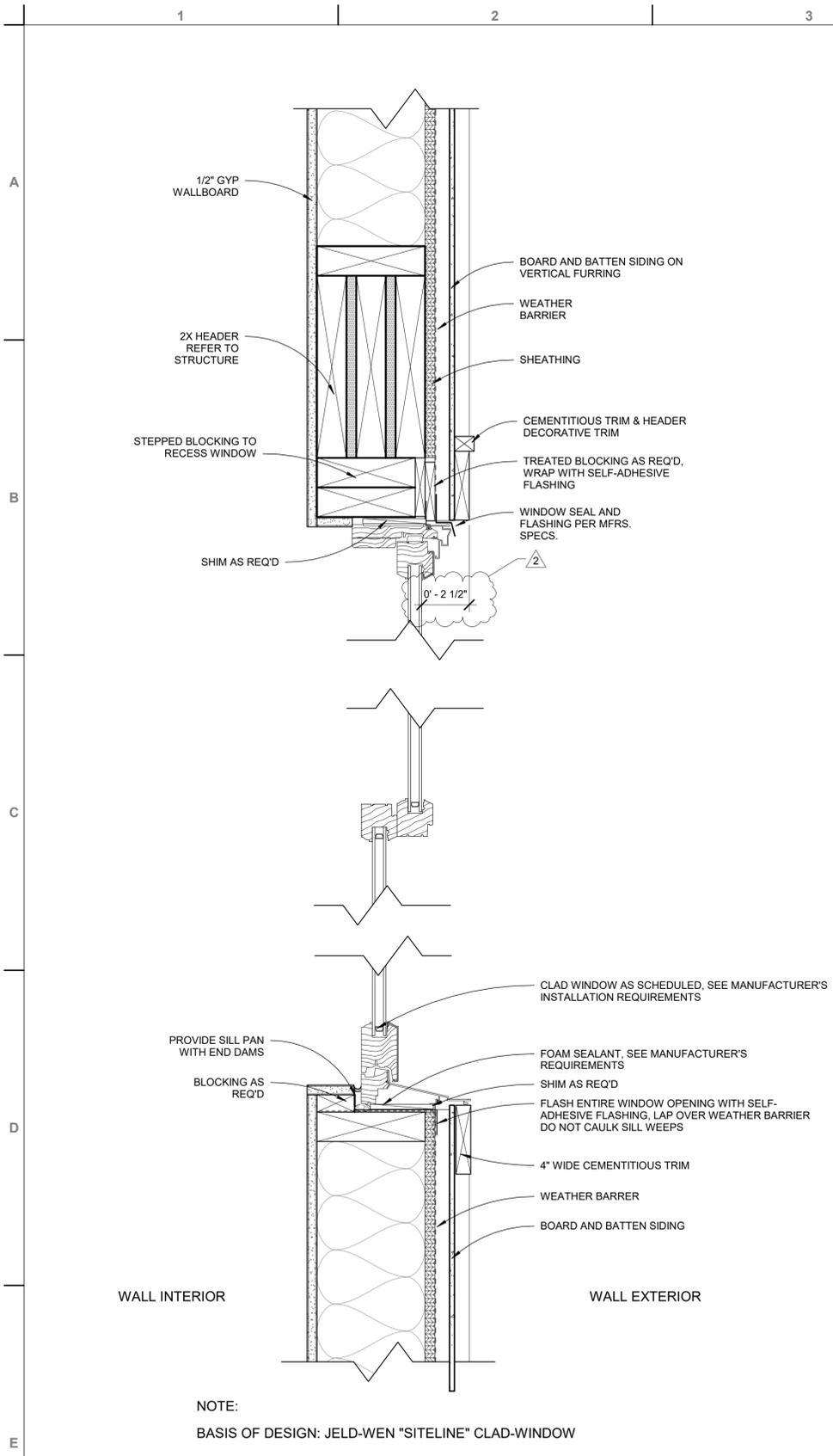
CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW		
PROJECT NUMBER:	2020132	
PROJECT DATE:	2021.06.29	
PROJECT MANAGER:	B. SOWELL	
PROJECT TEAM:	S. JURADO, E. SOWELL	

VERTICAL CIRCULATION

MIKE GARANSUAY

909 N HACKBERRY

909 N HACKBERRY
SAN ANTONIO, TX 78202



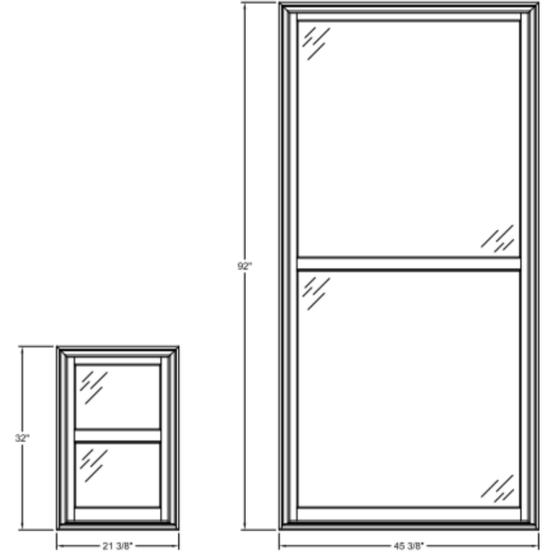
NOTE:
BASIS OF DESIGN: JELD-WEN "SITELINE" CLAD-WINDOW

E1 ALUMINUM CLAD WINDOW SECTION, TYP.
3" = 1'-0"



SITELINE®
CLAD-WOOD WINDOW
DOUBLE-HUNG

MIN-MAX STANDARD SIZING



Standard Operator Widths			
21 3/8"	25 3/8"	29 3/8"	33 3/8"
35 3/8"	37 3/8"	41 3/8"	45 3/8"

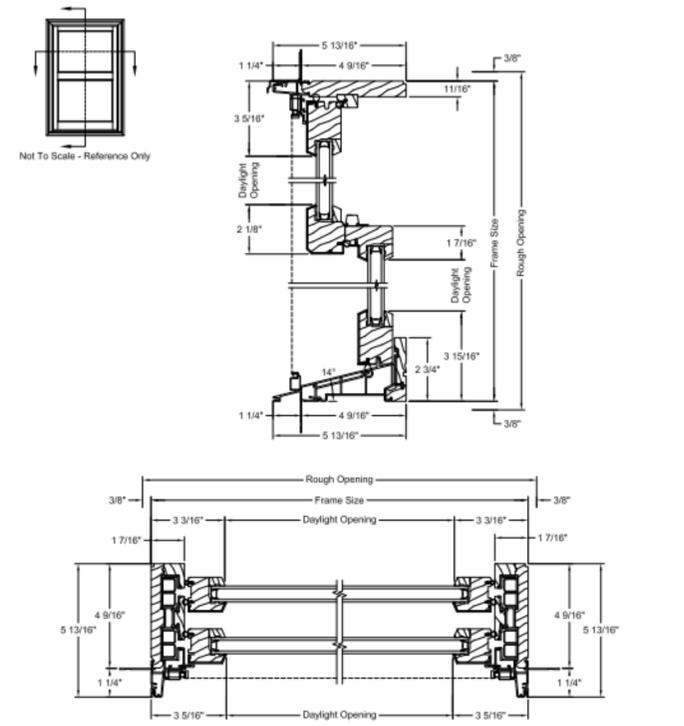
Standard Operator Heights			
32"	36"	40"	44"
48"	52"	56"	60"
64"	68"	72"	76"
80"	88"	92"	

Standard sizes are shown. Smaller or larger sizes may be available as custom orders. Contact JELD-WEN Customer Service for more information.
Architectural Design Manual April 2021
Product specifications may change without notice. Questions? Consult JELD-WEN customer service.
Scale: NTS 23

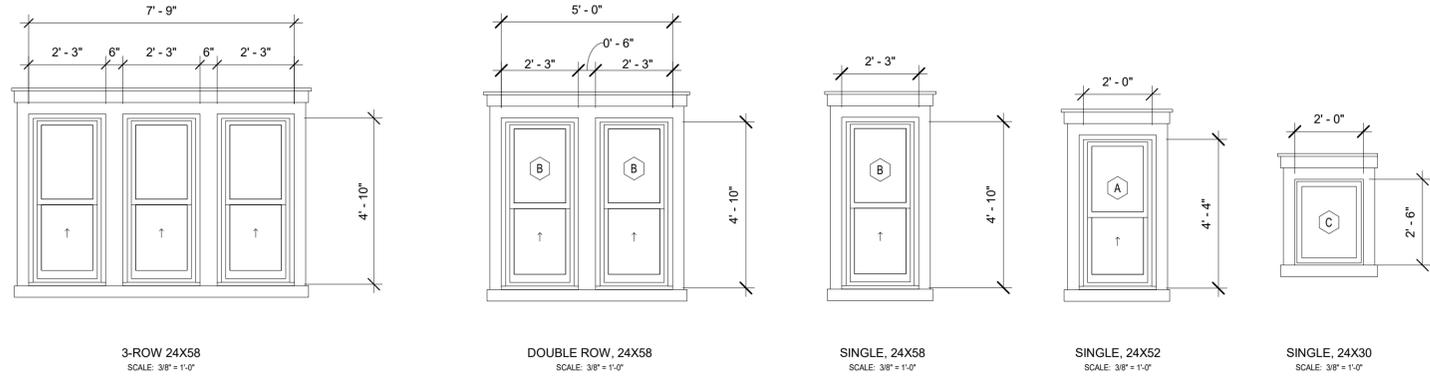


SITELINE®
CLAD-WOOD WINDOW
DOUBLE-HUNG

OPERATOR SECTIONS



Architectural Design Manual April 2021
Product specifications may change without notice. Questions? Consult JELD-WEN customer service.
Scale: 3" = 1'-0" 11



#	DESCRIPTION	DATE
2	DRC REVISIONS FOR HDRC REVIEW	2021.08.06
1	ISSUED FOR HISTORICAL BOARD REVIEW	2021.06.29
A	INTERMEDIATE CONSTRUCTION DOCUMENTS	2021.02.12

SCHEDULE OF REVISIONS

CONSTRUCTION DOCUMENTS HISTORICAL BOARD REVIEW	
PROJECT NUMBER:	2020132
PROJECT DATE:	2021.07.19
PROJECT MANAGER:	B. SOWELL
PROJECT TEAM:	S. JURADO, E. SOWELL

GLAZING ELEVATIONS & DETAILS