

HISTORIC AND DESIGN REVIEW COMMISSION

August 18, 2021

HDRC CASE NO: 2021-382
ADDRESS: 535 MISSION ST
LEGAL DESCRIPTION: NCB 2879 BLK 4 LOT 17
ZONING: RM-4, H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
APPLICANT: Lisa Garza
OWNER: HERRERA DAWN Q
TYPE OF WORK: Front porch modifications
APPLICATION RECEIVED: August 02, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Install a raised front porch with metal railings and decorative skirting.
2. Modify the existing front walkway.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

1. Materials: Woodwork

A. MAINTENANCE (PRESERVATION)

- i. *Inspections*—Conduct semi-annual inspections of all exterior wood elements to verify condition and determine maintenance needs.
- ii. *Cleaning*—Clean exterior surfaces annually with mild household cleaners and water. Avoid using high pressure power washing and any abrasive cleaning or stripping methods that can damage the historic wood siding and detailing.
- iii. *Paint preparation*—Remove peeling, flaking, or failing paint surfaces from historic woodwork using the gentlest means possible to protect the integrity of the historic wood surface. Acceptable methods for paint removal include scraping and sanding, thermal removal, and when necessary, mild chemical strippers. Sand blasting and water blasting should never be used to remove paint from any surface. Sand only to the next sound level of paint, not all the way to the wood, and address any moisture and deterioration issues before repainting.
- iv. *Repainting*—Paint once the surface is clean and dry using a paint type that will adhere to the surface properly. See *General Paint Type Recommendations* in Preservation Brief #10 listed under Additional Resources for more information.
- v. *Repair*—Repair deteriorated areas or refasten loose elements with an exterior wood filler, epoxy, or glue.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Facade materials*—Avoid removing materials that are in good condition or that can be repaired in place. Consider exposing original wood siding if it is currently covered with vinyl or aluminum siding, stucco, or other materials that have not achieved historic significance.
- ii. *Materials*—Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard and other cementitious materials are not recommended.
- iii. *Replacement elements*—Replace wood elements in-kind as a replacement for existing wood siding, matching in profile, dimensions, material, and finish, when beyond repair.

4. Materials: Metal

A. MAINTENANCE (PRESERVATION)

- i. *Cleaning*—Use the gentlest means possible when cleaning metal features to avoid damaging the historic finish. Prepare a test panel to determine appropriate cleaning methods before proceeding. Use a wire brush to remove corrosion or paint build up on hard metals like wrought iron, steel, and cast iron.
- ii. *Repair*—Repair metal features using methods appropriate to the specific type of metal.
- iii. *Paint*—Avoid painting metals that were historically exposed such as copper and bronze.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement*—Replace missing or significantly damaged metal features in-kind or with a substitute compatible in size, form, material, and general appearance to the historical feature when in-kind replacement is not possible.
- ii. *Rust*—Select replacement anchors of stainless steel to limit rust and associated expansion that can cause cracking of the surrounding material such as wood or masonry. Insert anchors into the mortar joints of masonry buildings.
- iii. *New metal features*—Add metal features based on accurate evidence of the original, such as photographs. Base the design on the architectural style of the building and historic patterns if no such evidence exists.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

8. Architectural Features: Foundations

A. MAINTENANCE (PRESERVATION)

- i. *Details*—Preserve the height, proportion, exposure, form, and details of a foundation such as decorative vents, grilles, and lattice work.
- ii. *Ventilation*—Ensure foundations are vented to control moisture underneath the dwelling, preventing deterioration.
- iii. *Drainage*—Ensure downspouts are directed away and soil is sloped away from the foundation to avoid moisture collection near the foundation.
- iv. *Repair*—Inspect foundations regularly for sufficient drainage and ventilation, keeping it clear of vegetation. Also inspect for deteriorated materials such as limestone and repair accordingly. Refer to maintenance and alteration of applicable materials, for additional guidelines.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement features*—Ensure that features such as decorative vents and grilles and lattice panels are replaced in-kind when deteriorated beyond repair. When in-kind replacement is not possible, use features matching in size, material, and design. Replacement skirting should consist of durable, proven materials, and should either match the existing siding or be applied to have minimal visual impact.
- ii. *Alternative materials*—Cedar piers may be replaced with concrete piers if they are deteriorated beyond repair.
- iii. *Shoring*—Provide proper support of the structure while the foundation is rebuilt or repaired.

iv. *New utilities*—Avoid placing new utility and mechanical connections through the foundation along the primary façade or where visible from the public right-of-way.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

- i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.
- ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

FINDINGS:

- a. The primary structure located at 535 Mission is a 1-story, single-family residence constructed circa 1910 in the Folk Victorian Style. The structure features a standing seam metal double front gable and hip roof, a decorative wood front porch awning, one-over-one wood windows, wood shutters, wood cladding, and a concrete front porch patio at grade level. The property first appears on the 1912 Sanborn Map. The property is contributing to the King William Historic District.
- b. **RAISED FRONT PORCH INSTALLATION** – The applicant has proposed to install a new raised front porch to be installed at 2'-6" above grade to meet the front door. The existing front porch roof and columns will not be modified. The existing front porch decking consists of a concrete slab on grade on level with the front yard. A set of stairs and a stoop with a metal railing are currently located at the front door. The 1912 and 1951 Sanborn Maps show that the structure originally featured an asymmetrical front porch, and the location of the front door would suggest that the original front porch was raised. Guideline 7.A.i for Exterior Maintenance and Alterations states that porches should be preserved. Do not add new porches, balconies, or porte-cocheres where not historically present. Additionally, Guideline 7.B.v states that porches should be reconstructed based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns. As the existing structure has been modified over time and the double front gables were likely a later addition, staff finds that the installation of a raised full width front porch to correspond to the existing full width front porch to be appropriate.
- c. **RAISED FRONT PORCH: MATERIALS** – The applicant has proposed to install 3 ½" wide tongue and groove capped polymer porch decking on the raised front porch. Guideline 7.B.v for Exterior Maintenance and Alterations states that when reconstructing porches, the design should be based on the architectural style of the building and historic patterns. The applicant has not provided material specifications for the front porch steps at this time. Staff finds that wood decking and wood steps would be most appropriate. New porch decking should feature 1" x 3" tongue-and-groove wood members laid perpendicular to the front façade plane.
- d. **METAL RAILING INSTALLATION** – The applicant has proposed to install metal railings on the proposed raised front porch to match the existing metal railing on the front door stoop. Guideline 7.A.ii for Exterior

Maintenance and Alterations, when the replacement of balusters is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing. While the original baluster is not extant, staff finds that a wood baluster or wood railing would be most appropriate. The new railing should feature both a top and bottom rail. The bottom rail should feature a vertical orientation and should be installed approximately three to four inches above the porch decking. Both top and bottom rails should be constructed from 2"x4" members. The proposed railing should not feature an overall height of more than three (3) feet.

- e. DECORATIVE SKIRTING INSTALLATION – The applicant has proposed to install treated wood lattice and treated smooth plywood panels with 1-inch half-round mitered mounding at the base of the proposed raised front porch as the skirting. According to Guideline 7.B.iv for Exterior Maintenance and Alterations, replacement elements should be designed to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance. Staff finds that due to the decorative and eclectic character of the primary structure, the proposed skirting is appropriate.
- f. FRONT WALKWAY MODIFICATION – The applicant has proposed to modify the existing front walkway to feature a wide mouth at the front porch steps, flaring from 4'-4" to 7'-6". Guideline 5.A.iii for Site Elements states that the historic alignment, configuration, and width of sidewalks and walkways should be followed. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree. Staff finds the proposal inconsistent with the Guidelines.
- g. ADMINISTRATIVE APPROVAL – The application materials include scopes of work that have already received administrative approval, including the removal of the non-original rear porch enclosure, the construction of a 205-square-foot rear addition, the installation of new concrete and brick rear porch and stairs, the installation of cementitious board skirting, the replacement of 1 non-historic aluminum slider window with a fully wood casement window, the removal of 1 non-historic aluminum slider window on the south elevation and the enclosure of the non-historic opening with wood siding to match existing, the restoration of historic windows, and siding repair and repainting. These scopes of work do not require review by the HDRC.

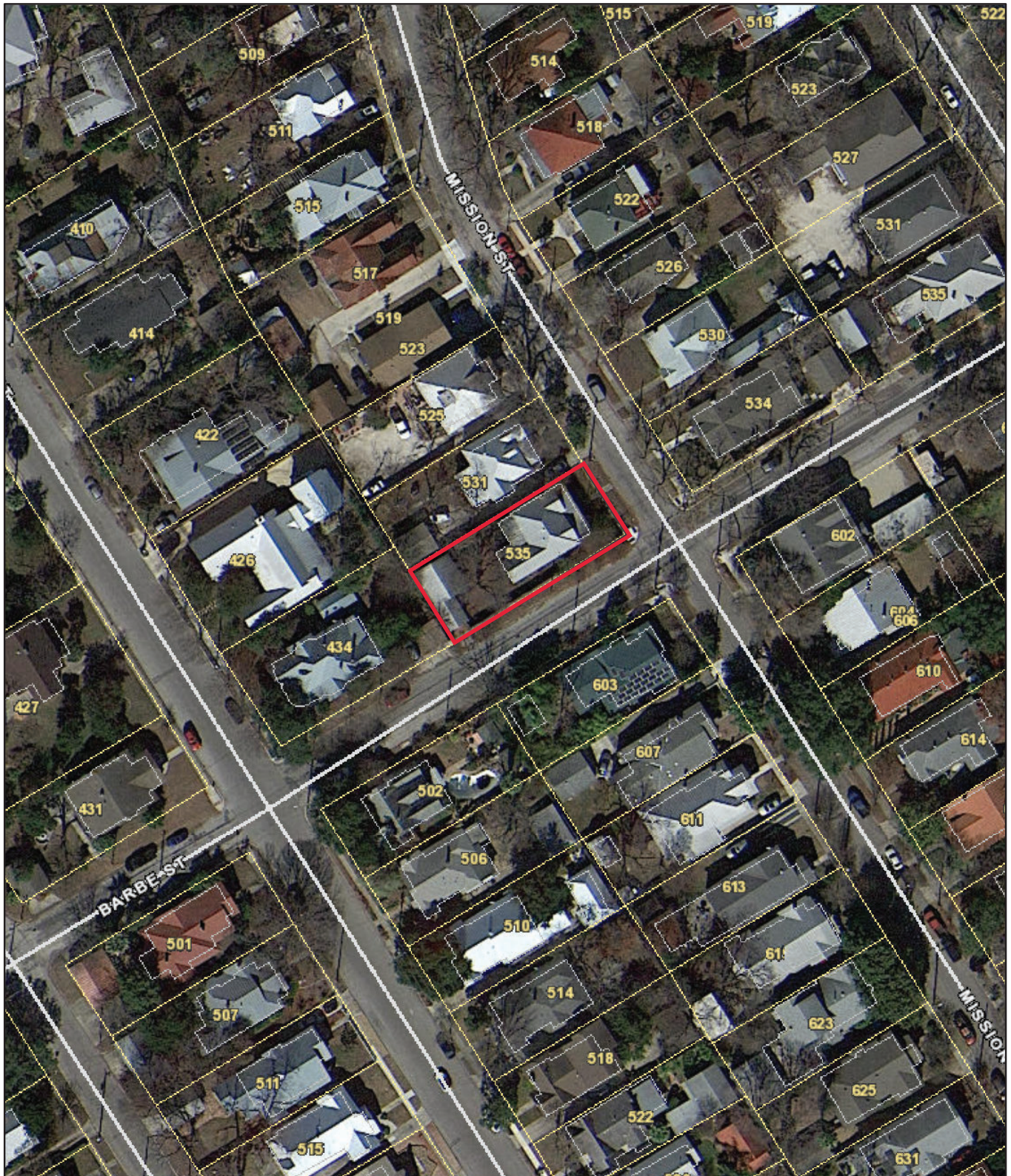
RECOMMENDATION:

Item 1, staff recommends approval of the raised front porch installation based on findings a through e with the following stipulations:

- i. That the applicant submits final material specifications for fully wood front porch steps to staff for review and approval prior to the issuance of a Certificate of Appropriateness.
- ii. That the applicant installs fully wood front porch decking. The decking must feature 1" x 3" tongue-and-groove wood members laid perpendicular to the front façade plane.
- iii. That the applicant installs a fully wood front porch railing. The wood railing must feature both a top and bottom rail. The bottom rail should feature a vertical orientation and should be installed approximately three to four inches above the porch decking. Both top and bottom rails should be constructed from 2"x4" members. The proposed railing should not feature an overall height of more than three (3) feet.

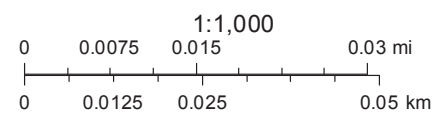
Item 2, staff does not recommend approval of the front walkway modification based on finding f. Staff recommends that the applicant maintains the footprint of the existing walkway.

City of San Antonio One Stop

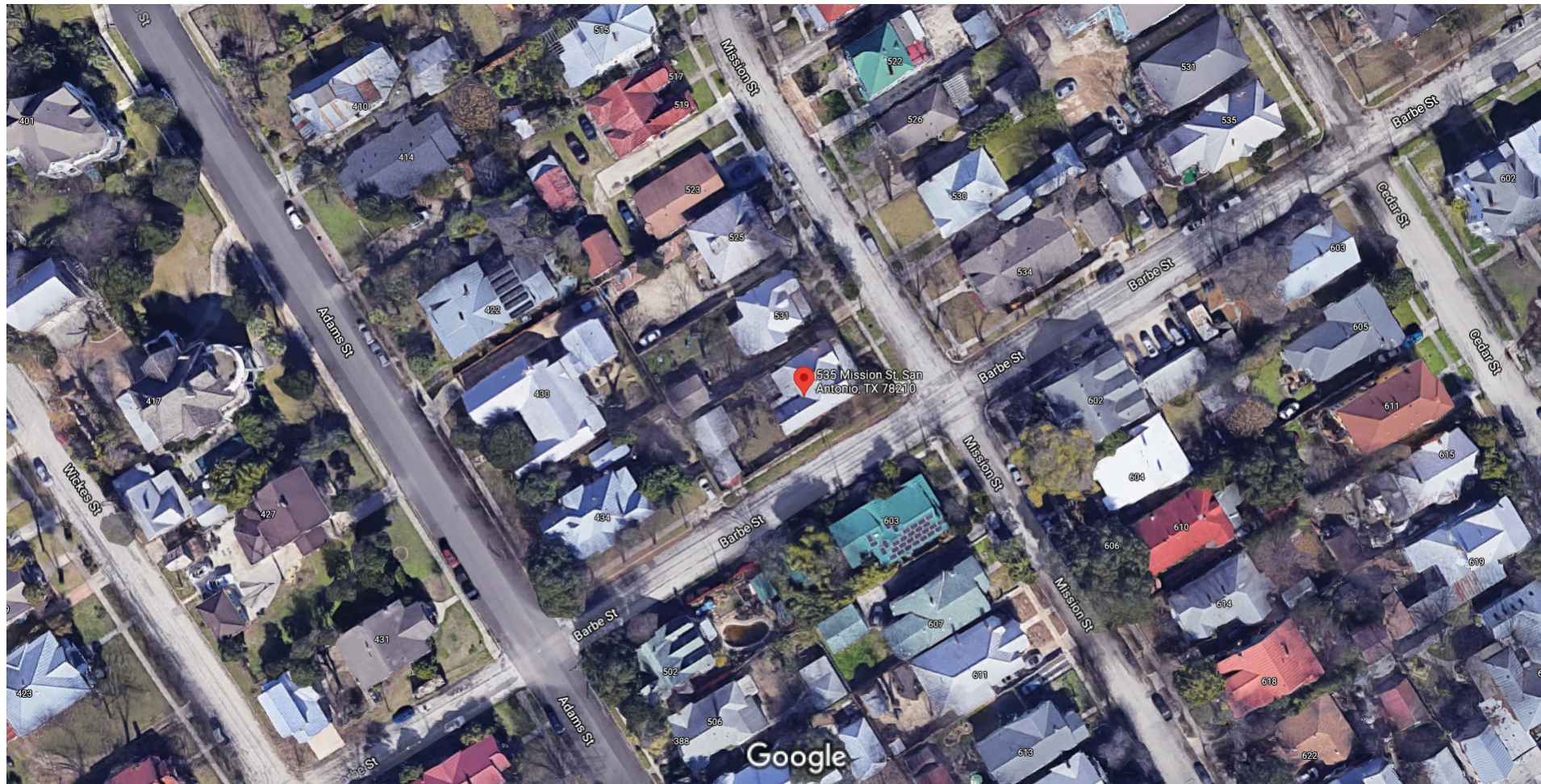


August 11, 2021

— User drawn lines



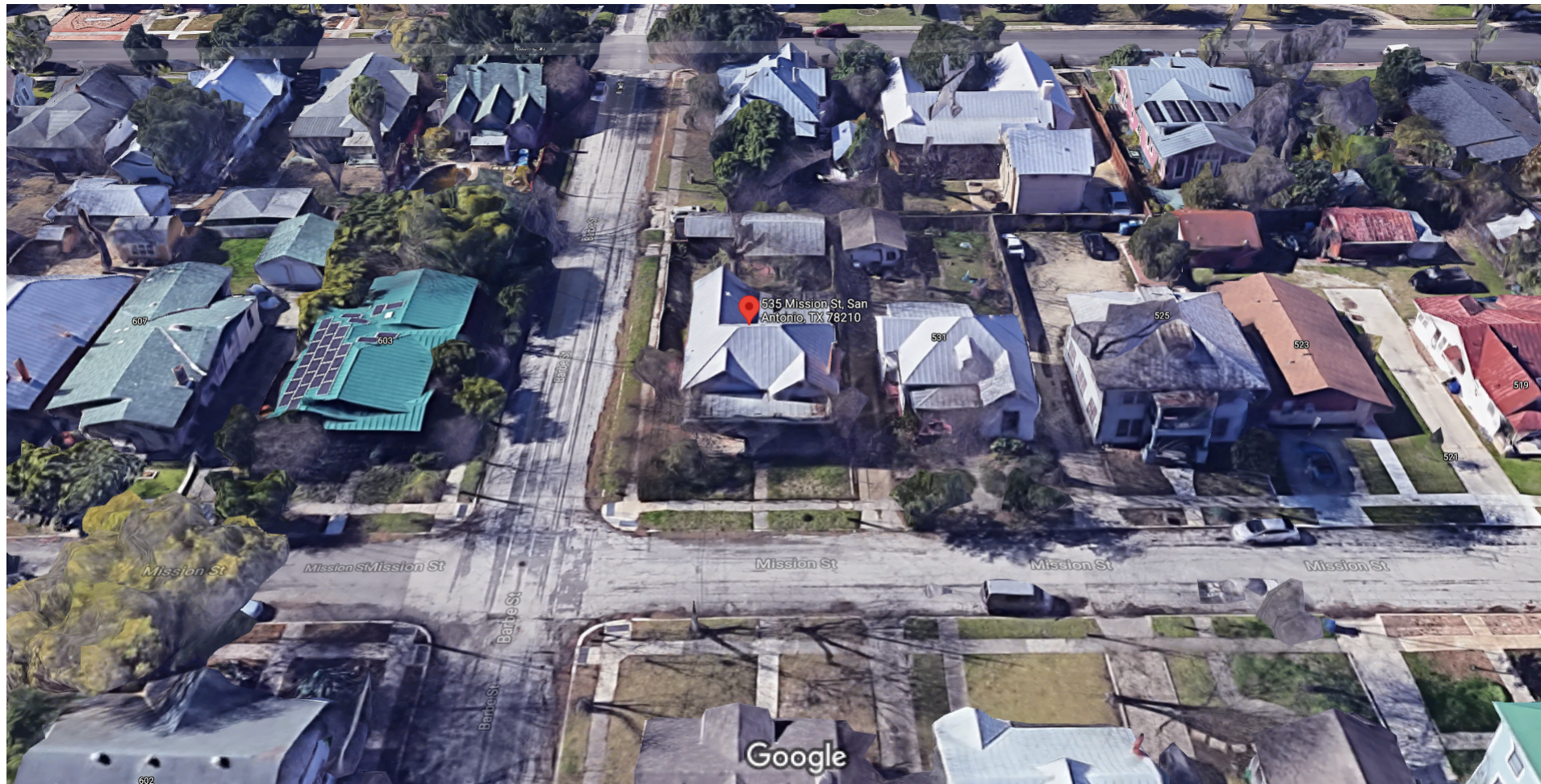
Google Maps 535 Mission St



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San Antonio Vol. 4
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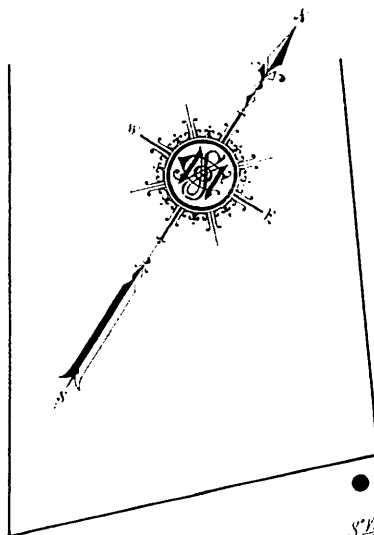
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363

Scale of Feet.

30 40 50 60 70 80 90 100 110 120 130 140 150



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MISSION

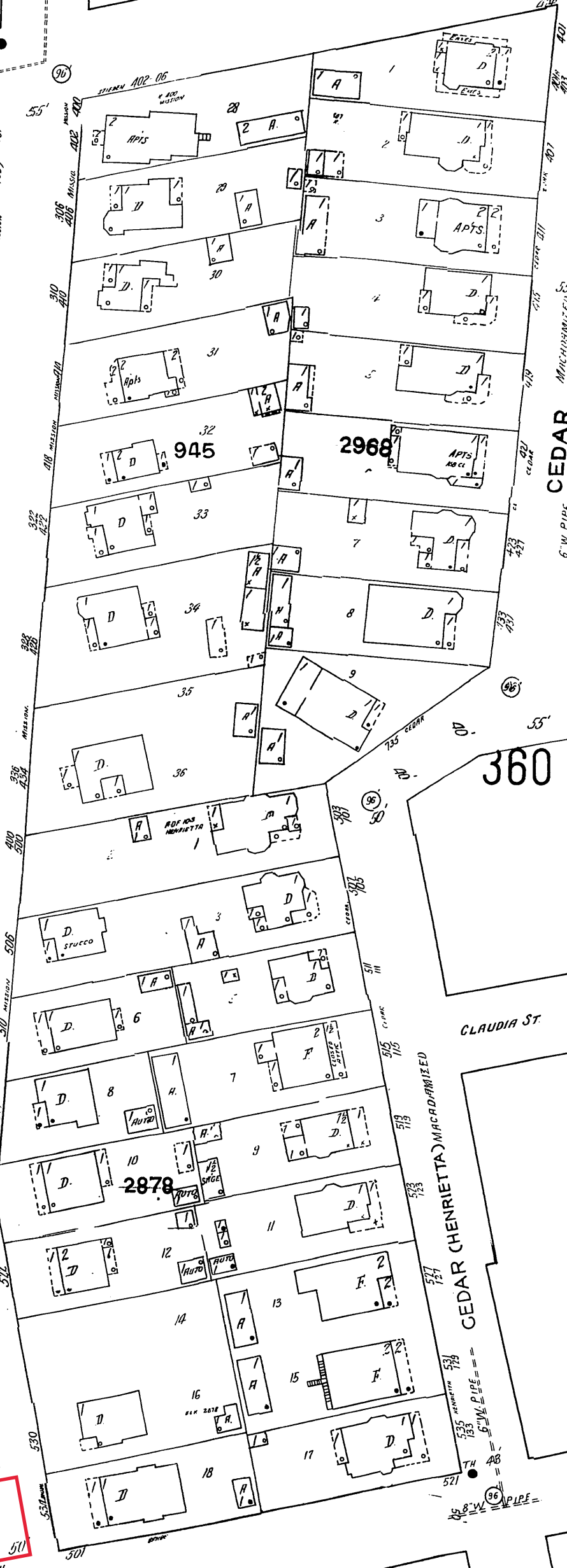
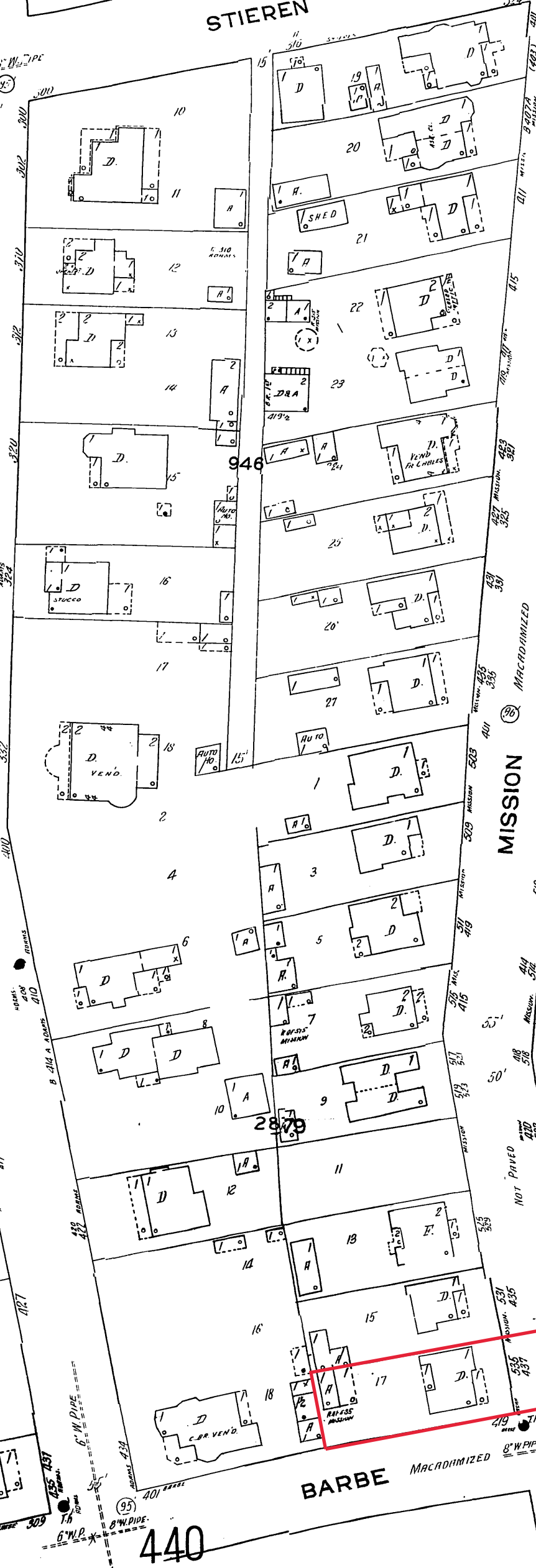
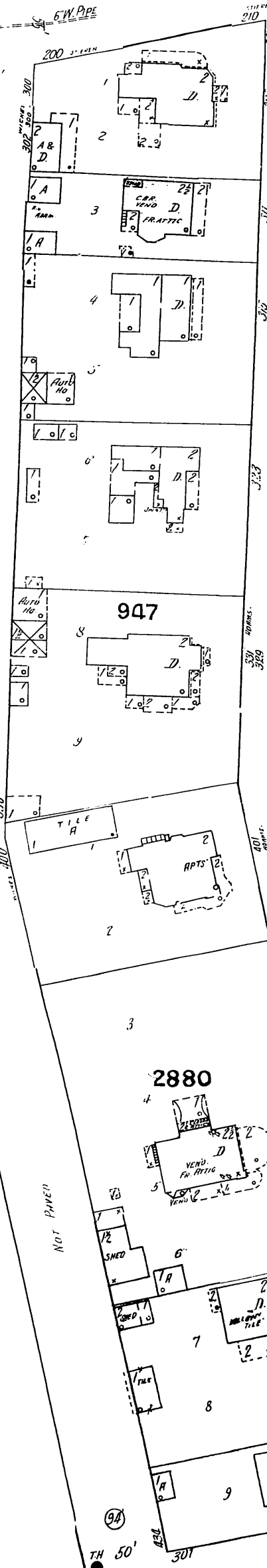
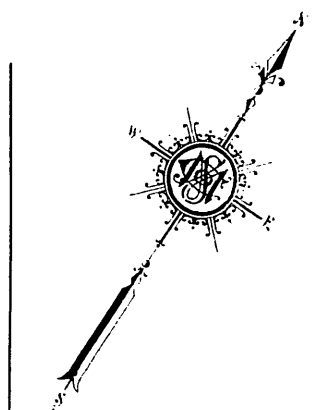
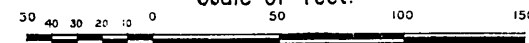
CLAUDIA ST.

CEDAR (HENRIETTA) MACADAMIZED

BARBE

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Scale of Feet.



440

1	32" PECAN
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NOTE:
AMENDED ON 05/05/2021 TO ADD BUILDING DIMENSION.



THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:

DWG: JW RVD: RJP
JOB NO. 106458

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 49029C, Panel No. 0415 G, which is Dated 09/29/2010. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) X. Because this is a boundary survey, the surveyor did not take any actions to determine the Flood Zone status of the surveyed property other than to interpret the information set out on FEMA's FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or State or local officials, and which may not agree with the track's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <https://msc.fema.gov/portals>.

DATE: 05-05-2021

RUDOLF J. PATA, JR.
Registered Professional Land Surveyor
Texas Registration No. 5388

535 MISSION STREET TRACT
LOT SIZE: 6,252 S.F., 0.144 ACRES
EXISTING DWELLING SIZE: 1568 S.F.
SIZE OF ADDITION: 205 S.F.

FRONT SETBACK - 20 FEET
SIDE YARD SETBACK - 5 FEET
SIDE STREET SETBACK - 10 FEET
REAR SETBACK - 5 FEET
ROOM ADDITION(ATTACHED) REAR SETBACK - 20 FEET

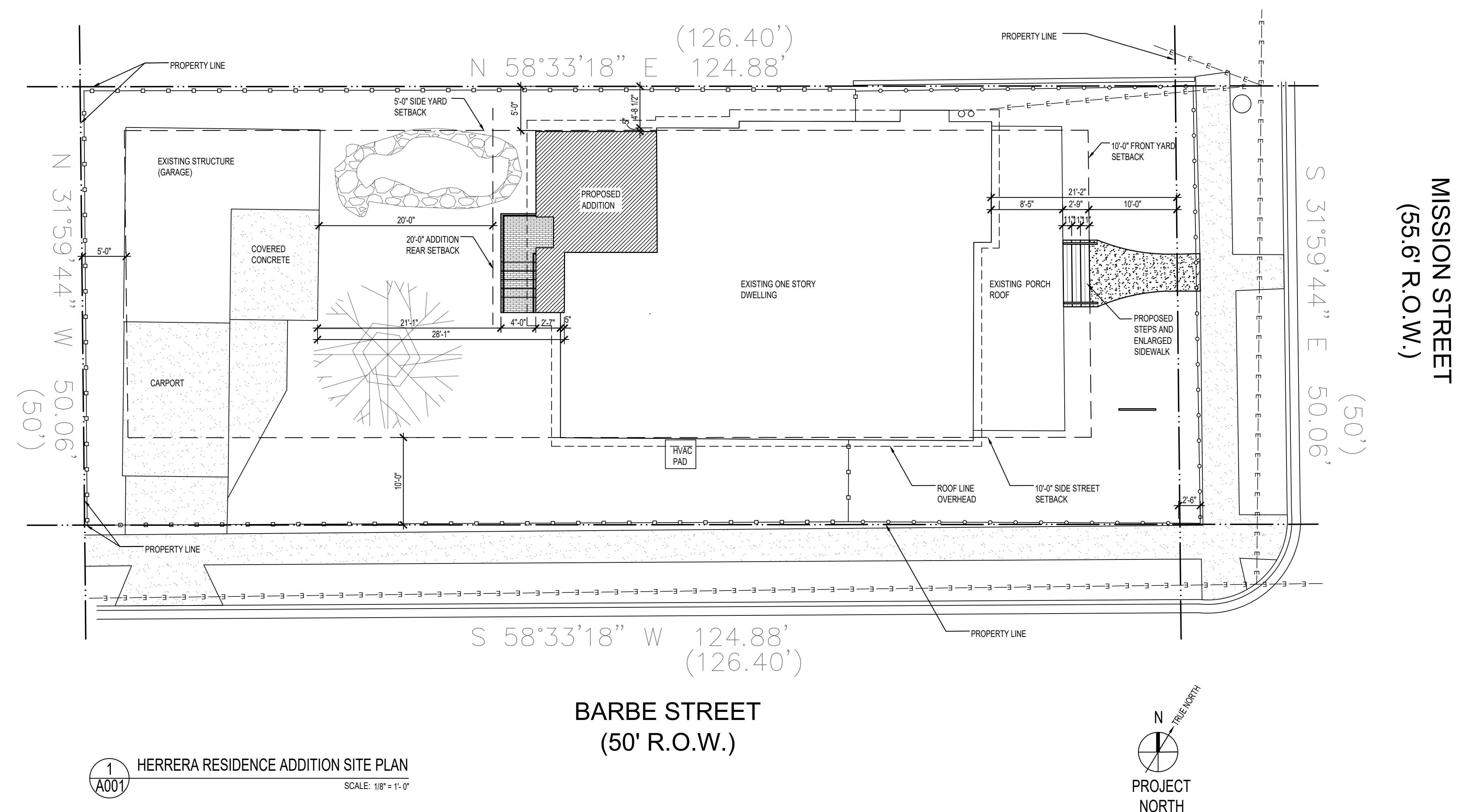
A001	SITE PLAN
D-1	DEMOLITION PLAN
A101	FLOOR AND ROOF PLANS AND WINDOW SCHEDULE
A102	EXTERIOR ELEVATIONS
A103	SECTIONS AND INTERIOR ELEVATIONS AND DETAILS
E-1	ELECTRICAL PLAN
S101	STRUCTURAL PIER/FLOOR PLAN
S102	STRUCTURAL CEILING AND ROOF FRAMING PLANS

Owner:
Dawn and
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oswaldoherreravargas
@hotmail.com

Structural Engineer:
Lawrence Calvetti
Calvetti & Associates
210 828 6491

SITE PLAN

A001



PLUMBING NOTES

1. SAFELY REMOVE, CAP-OFF, RE-ROUTE ETC. AS NECESSARY FOR NEW WORK IN ACCORDANCE WITH ALL CURRENT CODES.
2. EXACT KITCHEN AND BATH EQUIPMENT TO BE SELECTED BY OWNER PRIOR TO PLUMBING ROUGH IN.
3. PROVIDE A NON REMOVABLE BACKFLOW PREVENTION DEVICE ON ALL HOSE BIBS AND LAWN SPRINKLER/IRRIGATION SYSTEMS.
4. WALKIN BATH TUB BY ELLA'S BUBBLES 93217 INWARD SWING LEFT HAND DOOR AND DRAIN(ULTIMATE ACRYLIC DUAL MASSAGE AND FOOT MASSAGE). PROVIDE (2) 2" FLOOR DRAINS WITH 2 OVERFLOW AND 2 ADA COMPLIANT STAINLESS STEEL CABLE OPERATED OPENER WITH EXTENSION HANDLES AND (2) PVC 2" DRAIN ELBOWS WITH 2" OPENINGS. DRAINAGE TIME +/-80 SECONDS TO OVERFLOW. CONFIRM MANUFACTURES REQUIREMENTS PRIOR TO PLUMBING ROUGH IN..

MECHANICAL NOTES

1. SAFELY REMOVE, CAP-OFF, RE-ROUTE ETC. AS NECESSARY FOR NEW WORK IN ACCORDANCE WITH ALL CURRENT CODES.

CONSTRUCTION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE CAREFUL PROTECTION AND PRESERVATION OF ALL MATERIAL AND PORTIONS OF HOME SCHEDULED TO REMAIN.
2. TYPICAL INTERIOR PARTITION TO BE 2X4 WOOD STUD WITH 1/2" GYPSUM BOARD EACH SIDE. ALL PLUMBING WALLS TO BE 2X6 WOOD STUD WALLS. NEW INTERIOR WALL SURFACES TO HAVE HAND TROWELLED FINISH.
3. SHEATH ALL EXTERIOR WALLS WITH NOMINAL 1/2" STRUCTURAL GRADE 2 PLYWOOD OR NOMINAL 1/2" OSB.
4. PROVIDE BLOCKING IN ALL STORAGE WALLS FOR SHELVING AND AT TOWEL BARS, GRAB BARS, & T.P. HOLDERS.
5. PROVIDE R-19 INSULATION IN WALLS; PROVIDE R-38 BLOWN IN BATT INSULATION IN CEILING AND ATTIC SPACE. INSULATE AROUND ALL BATHS WITH BATT INSULATION FULL STUD WIDTH.
6. SALVAGE EXISTING WOOD SIDING BELOW FRONT PORCH (AND AT REMOVED WEST AND NORTH FACING WALLS) AND REINSTALL AT ADDITION. MILL NEW SIDING TO SPLICE WITHIN BOARDS WHERE NEEDED.
7. INSTALL JAMES HARDIE FIBER CEMENT LAP SIDING, HORIZONTAL SMOOTH, 6.25" WIDE(5" EXPOSURE) SKIRTING AND 5" VERTICAL CEMENT TRIM BOARDS. REFER TO MANUFACTURERS INSTALLATION GUIDE FOR PROPER FASTENER TYPES AND SPACING REQUIREMENTS. SEE DETAIL
8. PROVIDE FIBER CEMENT BACKER BOARD AT WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. BATHROOM FLOOR TO HAVE LIQUID OR FABRIC WATERPROOFING AND TUB AND SHOWER COMPARTMENT WALLS TO HEIGHT OF 72" ABOVE DRAIN INLET SHALL BE FINISHED WITH SMOOTH NON-ABSORBENT SURFACE.
9. PROVIDE MINIMUM ATTIC VENTILATION AT A RATE OF 1/150 OF THE ATTIC SPACE, UTILIZING RESTORED AND NEW GABLE END VENTS.
10. WINDOWS TO BE WEATHER TIGHT, SOLID WOOD, EXTERIOR METAL CLAD, INTERIOR WOOD, DOUBLE GLAZED SIERRA PACIFIC WESTCHESTER OR APPROVED EQUAL.
11. PATIO DOOR W/TRANSOM TO BE SOLID WOOD WEATHER TIGHT EXTERIOR METAL CLAD, INTERIOR WOOD, DOUBLE GLAZED SIERRA PACIFIC WESTCHESTER OR EQUAL. ALL DOOR, HEAD AND JAMB DETAILS TO MATCH EXISTING DETAILS. PROVIDE FLASHING AT HEAD CONDITION. HARDWARE FUNCTION AND FINISH PER OWNER SELECTION. PROVIDE WEATHER STRIPPING AND THRESHOLD.
12. ALL INTERIOR DOORS TO BE 1 1/2" SOLID CORE PAINT GRADE paneled design AS SHOWN.(SEE DOOR SCHEDULE 5/A101) 6'-8"H. SIZE LISTED IN SCHEDULE IS ACTUAL DOOR SIZE WITHOUT FRAME.HARDWARE FUNCTION AND FINISH PER OWNER SELECTION.
13. INSET RETROFIT WINDOW AT GUEST BATH AND KITCHEN TO MATCH CONFIGURATION OF EXISTING HISTORIC WINDOWS.
14. PROVIDE TEMPERED GLAZING IN ALL WINDOWS(EXCLUDING TRANSOMS) AND PATIO DOOR.
15. ANNULAR SPACES AROUND PIPES, ELECTRICAL, CABLES, CONDUITS, OR OTHER OPENINGS IN THE PLATES AT EXTERIOR WALL SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR.
16. PORCH DECK AND STAIRS TO BE AZEK TONGUE AND GROOVE POLYMER CAPPED DECKING WITH CONCEALoc FASTENERS. PORCH DECK OF 3 1/2" WIDE BOARDS AND 7 1/4" WIDE SOLID BOARD MITERED FOR PICTURE FRAME BORDER. PORCH STAIR RISERS AND TREADS TO USE 7 1/4" SOLID DECK BOARD.
17. SHORE UP AND ADJUST EXISTING PORCH ROOF TO MAKE IT STRAIGHT AND LEVEL. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY BRACING OF PORCH ROOF DURING CONSTRUCTION.

DEMOLITION NOTES

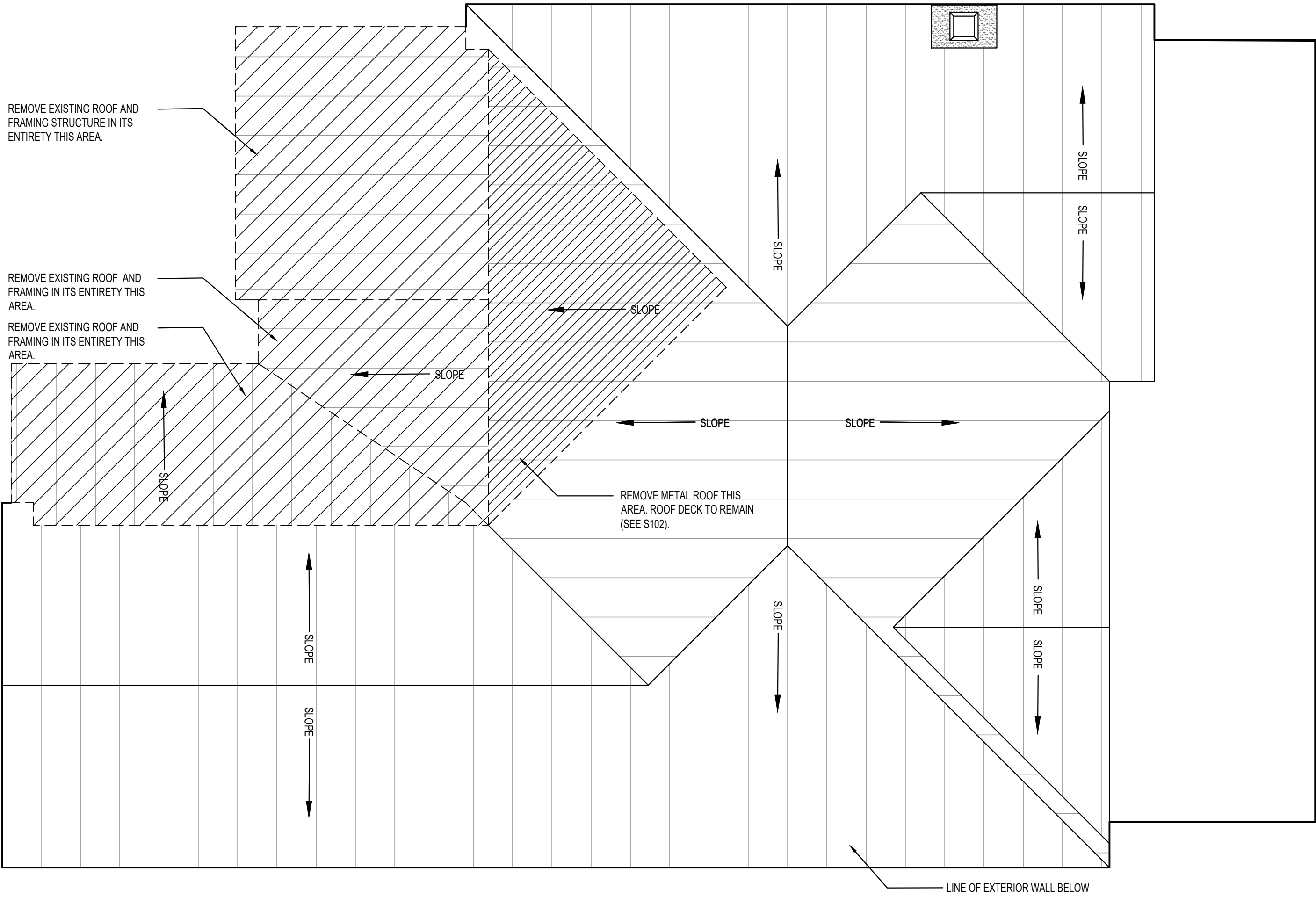
1. VERIFY THAT UTILITES HAVE BEEN DISCONNECTED OR CAPPED.
2. DASHED LINES ON DEMOLITION DRAWING REPRESENT EXISTING MATERIAL TO BE REMOVED. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS.
3. THE DEMOLITION KEYNOTES IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH THE NEW WORK SO THAT DEMOLITION IS COMPLETE
4. PROTECT CEILINGS, WALLS, FLOORS, AND OTHER EXISTING SURFACES THAT ARE TO REMAIN AND ARE EXPOSED DURING DEMOLITION.
5. REMOVE AND DEMOLISH EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION. NEATLY CUT OPENINGS AND HOLES PLUMB SQUARE AND TRUE TO DIMENSION REQUIRED. USE METHOD LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN.
6. SALVAGE ALL SIDING AND WOOD TRIM FROM REMOVED EXTERIOR WALLS FOR USE IN REHABILITATION.
7. REMOVE AND SALVAGE ALL EXISTING HISTORIC WOOD FLOORING,WOOD BASE AND FLOOR FRAMING FOR USE IN REHABILITATION.
8. REMOVE AND STOCKPILE BRICKS FOR REHABILITATION.
9. REMOVAL OF EXISTING PLUMBING FIXTURES AND APPLIANCES SHALL INCLUDE PIPING WASTE LINES ETC. LINES TO BE CAPPED WITHIN WALLS, CEILINGS ETC. AS REQUIRED TO COMPLETE CONSTRUCTION.

WALL LEGEND

- | | |
|--|--|
| | EXISTING 2"x4" WALLS W/ 3/4" SHIPLAP BOTH SIDES |
| | RECONSTRUCTED WALLS TO MATCH EXISTING 2"x4" WALLS W/ 3/4" SHEATHING(OR SHIPLAP) BOTH SIDES |
| | 2"x6" WALLS @ 16" O.C. |
| | 2"x4" WALLS @ 16" O.C. |

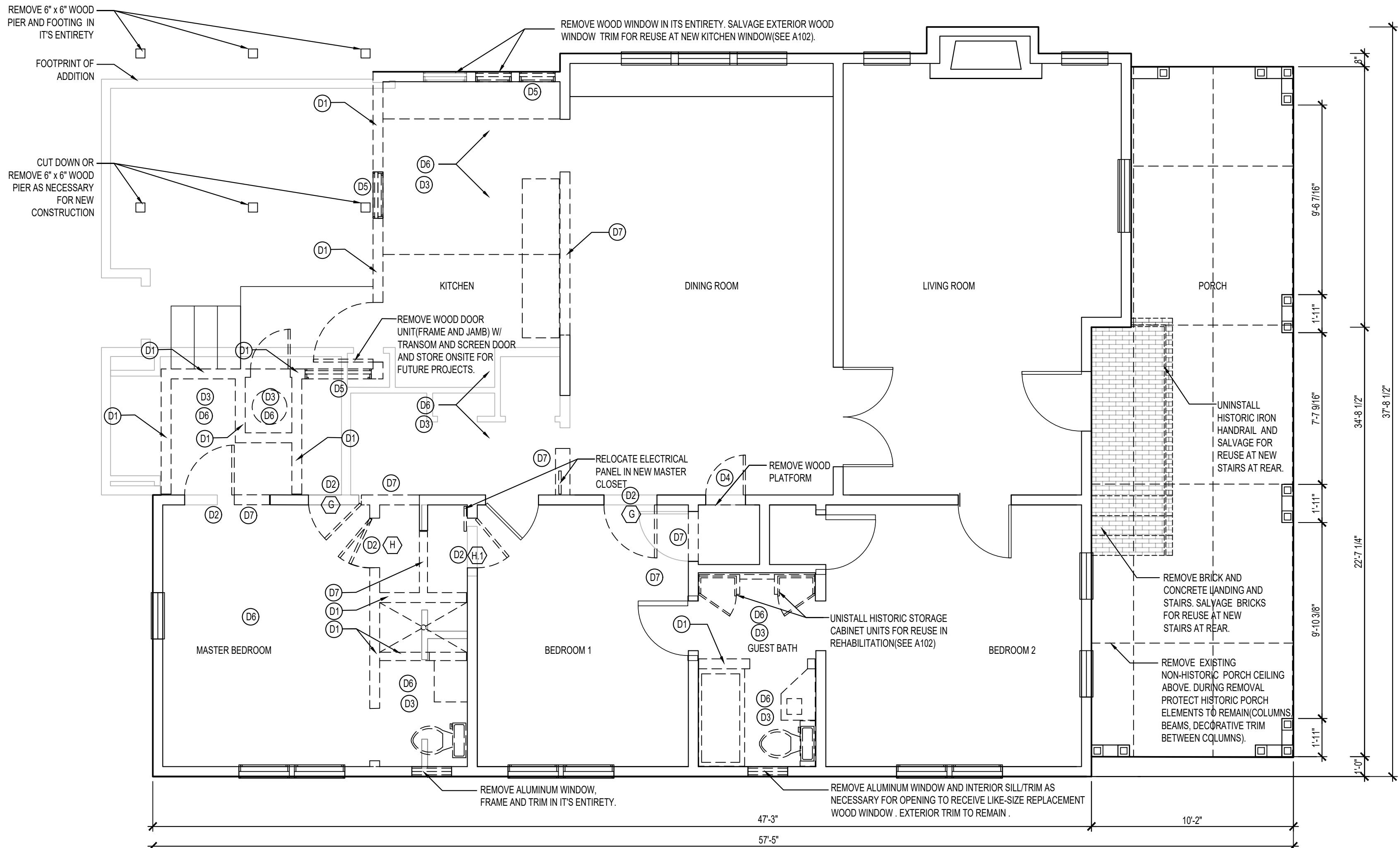
DEMOLITION KEYNOTES

- | | |
|--|---|
| | REMOVE WALL IN IT'S ENTIRETY |
| | REMOVE DOOR UNIT(DOOR, FRAME AND JAMB AND HARDWARE) MARK ALL PARTS FOR REUSE IN REHABILITATION AS INDICATED ON FLOOR PLAN(A102). |
| | REMOVE EXISTING FLOOR AND BASE AND ANY DETERIORATED FLOOR FRAMING BELOW. SALVAGE HISTORIC WOOD BASE AND FLOORING FOR REUSE IN REHABILITATION. |
| | REMOVE NON-HISTORIC DOOR, FRAME & TRIM. |
| | REMOVE EXISTING WOOD WINDOW AND STORE ONSITE FOR USE IN FUTURE PROJECTS. |
| | REMOVE CEILING THIS AREA IN IT'S ENTIRELY |
| | CUT WALL TO CREATE DOORWAY OPENING AS INDICATED ON A101. |



DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"



DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

Dawn &
Oswaldo
Herrera
Residence
535
Mission St
S.A., TX
78210

Owner:
Dawn and
Oswaldo Herrera
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oswaldoherreravargas
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Architect:
Lisa Trail Garza, A.I.A.
210 373 2937
lgarza
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Structural ENGINEER:
LAWRENCE CALVETI
CALVETTI & ASSOCIATES
210 828 6491

DATE: 07/16/21

DEMOLITION
PLAN

SCALE: 1/4"=1'-0"

D-1

ELECTRICAL NOTES

1. SAFELY REMOVE, CAP-OFF, RE-ROUTE ETC. AS NECESSARY FOR WORK IN ACCORDANCE WITH ALL CURRENT CODES.
2. ALL LIGHT FIXTURES SHALL BE CENTERED IN THE ROOMS THEY OCCUR U.O.N. RELOCATE(CENTER IN ROOM) AND REPLACE RECESSED FIXTURES IN MASTER BEDROOM.
3. PROVIDE COMBINATION SMOKE ALARMS AND CARBON MONOXIDE DETECTORS INSIDE AND OUTSIDE ALL SLEEPING AREAS. SMOKE ALARMS SHALL BE DIRECT WIRED 110VOLT, INTERCONNECTED WITH BATTERY BACKUP. ALL ELECTRICAL WORK SHALL COMPLY WITH 2020 NEC REQUIREMENTS AND ALL APPLICABLE CITY AND COUNTY CODES. ALL EQUIPMENT SHALL BEAR THE U.L.LABEL OF APPROVAL.
4. PROVIDE 4" RECESSED HOUSING WITH juno 4" LED RETROFIT BAFFLE TRIM 4RLD G3 09LM 3500K THROUGHOUT ADDITION.
5. PRIOR TO ROUGH-IN, CONFIRM WITH OWNER ALL LOCATIONS, MOUNTING HEIGHTS AND ARRANGEMENTS OF ALL PANELS, OUTLETS, SWITCHES, LIGHT FIXTURES ETC. ALL SWITCHES TO BE MOUNTED 36" A.F.F. TYPICAL ELECTRICAL OUTLET LOCATION IS 15" A.F.F. TYPICAL OUT LOCATION AT KITCHEN COUNTER IS 42"A.F.F. ALL WIRING TO BE COPPER.
6. READILY ACCESSIBLE NON-DEDICATED OUTLETS IN BATH, KITCHEN,AN EXTERIOR OUTLETS TO BE GFCI PROTECTED.
7. PROVIDE CONVENIENCE OUTLET IN KITCHEN ISLAND AS PER CURRENT BUILDING CODE. VERIFY LOCATION WITH OWNER.
8. TOTAL HOUSE ELECTRICAL LOADS, SUB-PANEL SIZING AND CIRCUIT DESIGN IS THE RESPONSIBILITY OF THE CONTRACTOR, SUBCONTRACTORS AS A DESIGN BUILD SUBCONTRACT. ADDITIONAL PERMITS MAY BE REQUIRED.
9. VERIFY CAPACITY OF EXISTING SERVICE AND MAIN ELECTRICAL PANEL AND UPGRADE BOTH AS REQUIRED. PANEL SHALL HAVE A MINIMUM 2 BREAKER EXCESS CAPACITY. ALL CIRCUIT BREAKERS SHALL BE CLEARLY IDENTIFIED.
10. ALL LIGHT FIXTURES SCHEDULED FOR EXTERIOR USE AND/OR USE IN OR NEAR TUB/SHOWER SHALL BE U.L.LABELED FOR DAMP LOCATIONS.
11. NEW RECEPTACLES SHALL BE PROVIDED TO MEET THE SPACING REQUIREMENTS OF CURRENT CITY AND COUNTY CODES. IF ADDITIONAL OUTLETS ARE REQUIRED TO MEET CODE REQUIREMENTS, CONTRACTOR SHALL INCLUDE THESE IN THE BID.
12. PROVIDE READILY ACCESSIBLE ARC-FAULT CIRCUIT INTERRUPTER(AFCI) DEVICES TO PROTECT ALL NEW OUTLETS OR DEVICES FROM 120 VOLT, SINGLE PHASE, 15 AMP AND 20 AMP CIRCUITS IN DWELLING UNIT, KITCHEN, DINING ROOM, FAMILY ROOM,HALLWAYS, LAUNDRY ROOM AND SIMILAR ROOMS OR AREAS PER THE 2020 NEC 210.12(A)(I) THRU (6).
13. COORDINATE TELEPHONE, TELEVISION, AND SECURITY ALARM SYSTEM WITH OWNER.
14. SWITCH AND RECEPTACLE BOXES SHALL BE GALVANIZED STEEL OR APPROVED PLASTIC AND SHALL BE INSTALLED IN FRAMEWORK WITH METAL MOUNTING BRACKETS OR INTEGRAL NAILS.
15. PROVIDE FOR 2 LIGHTS AND SWITCH FOR ATTIC.
16. PROVIDE 4 LOW VOLTAGE WAC LEDme 5" W ANODIZED STEP LIGHTS ON PHOTOCELL SENSOR(2 EA. AT FRONT AND REAR STEPS SEE A101).
17.
18. PROVIDE TWO DEDICATED 120 VOLT 20AMP CIRCUITS GFCI THREE PRONG OUTLETS AS REQUIRED FOR WALK-IN BATHTUB ELLA BUBBLES ULTIMATE- 93217 LEFT HAND INSWING DOOR WITH 2" T TYPE DUAL PORT DRAIN. CONFIRM MANUFACTURES REQUIREMENTS BEFORE ROUGH-IN.
19. PROVIDE ONE CONTINUOUS OUTLET 110V CIRCUIT FOR WATER SOFTNER AT NORTH WALL OF ADDITION(VERIFY LOCATION WITH CONTRACTOR PRIOR TO ROUGH IN).

ELECTRICAL LEGEND

- ⌀

TYPICAL DUPLEX OUTLET 120 CIRCUIT
- GF1 ⌀

DUPLEX GROUND FAULT INTERRUPTER OUTLET
- WP ⌀

WATERPROOF DUPLEX OUTLET
- 220 ⌀

220V
- ⊙

NEW EQUIPMENT OR APPLIANCE ELECTRICAL AND UTILITY CONNECTION.VERIFY ALL REQUIREMENTS. PROVIDE DEDICATED CIRCUIT AS REQUIRED.
- ⊙

SMOKE DETECTOR UL 268 WIRED TO 110 CIRCUIT
- ⊙

CEILING FIXTURE
- +○

WALL BRACKET/SCONCE
- ⊙_{rec}

RECESSD CEILING FIXTURE 4" DIAMETER
- ⊙

RECESSED EYEBALL FIXTURE 4" DIAMETER
- VENT
- ⊠

HEATER-VENT
- ⊠

EXTERIOR STEP LIGHT(LOW VOLTAGE)
- ⬢

DOOR CHIME. PROVIDE POWER AS REQUIRED
- ⬢

DOOR CHIME BUTTON
- PREWIRED CABLE (CAT 5 E)
- LED PUCK LIGHT
- ⊕

GAS OUTLET
- ⌚

SINGLE POLE SWITCH
- ⌚₃

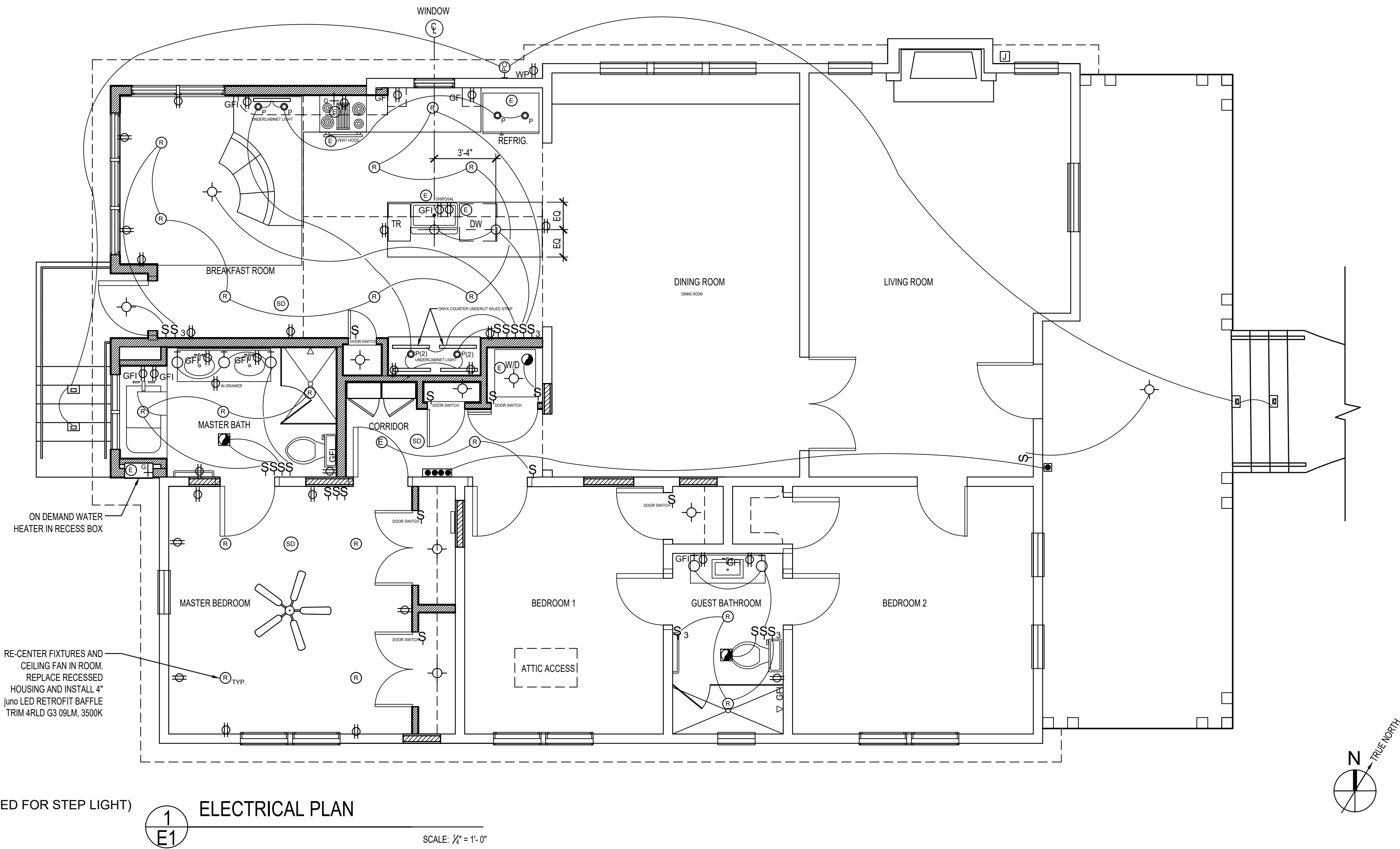
THREE WAY SWITCH
- LED STRIP LIGHT
- ⊠

JUNCTION BOX
- ⊠

CEILING FAN
- ◀

U.S.B.
- ⊕⊙

PHOTOCELL(EXT. TYPE AS INDICATED FOR STEP LIGHT)



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Structural Engineer:
Lawrence Calvetti
Calvetti & Associates
210-828-6419

DATE: 07/16/21

ELECTRICAL
PLAN

SCALE:1/4"=1'-0"

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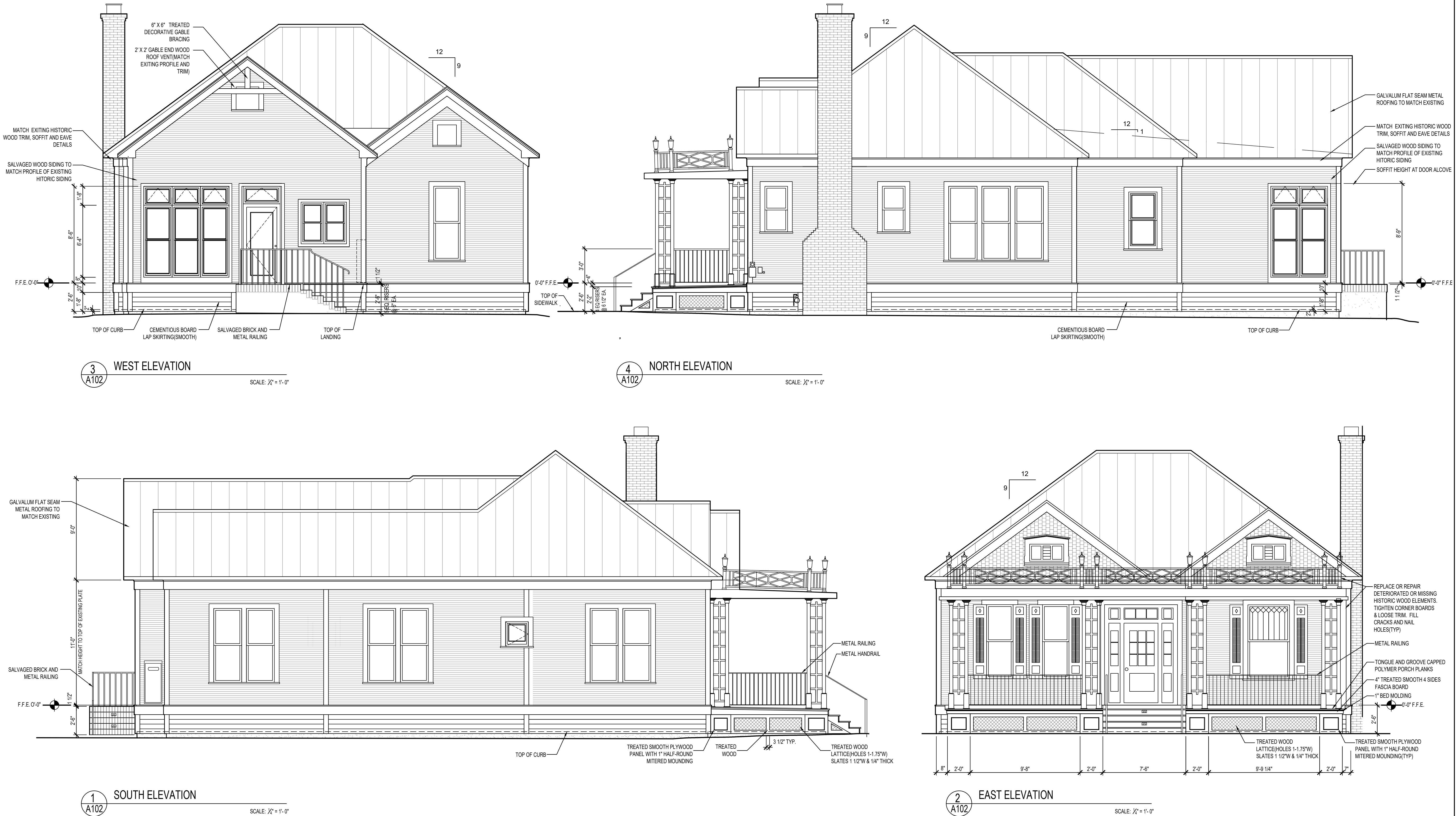
Structural Engineer:
Lawrence Calvetti, P.E.
Calvetti & Associates
210 828 6419

DATE: 07/16/21

ELEVATIONS

SCALE: 1/4"=1'-0"

A102



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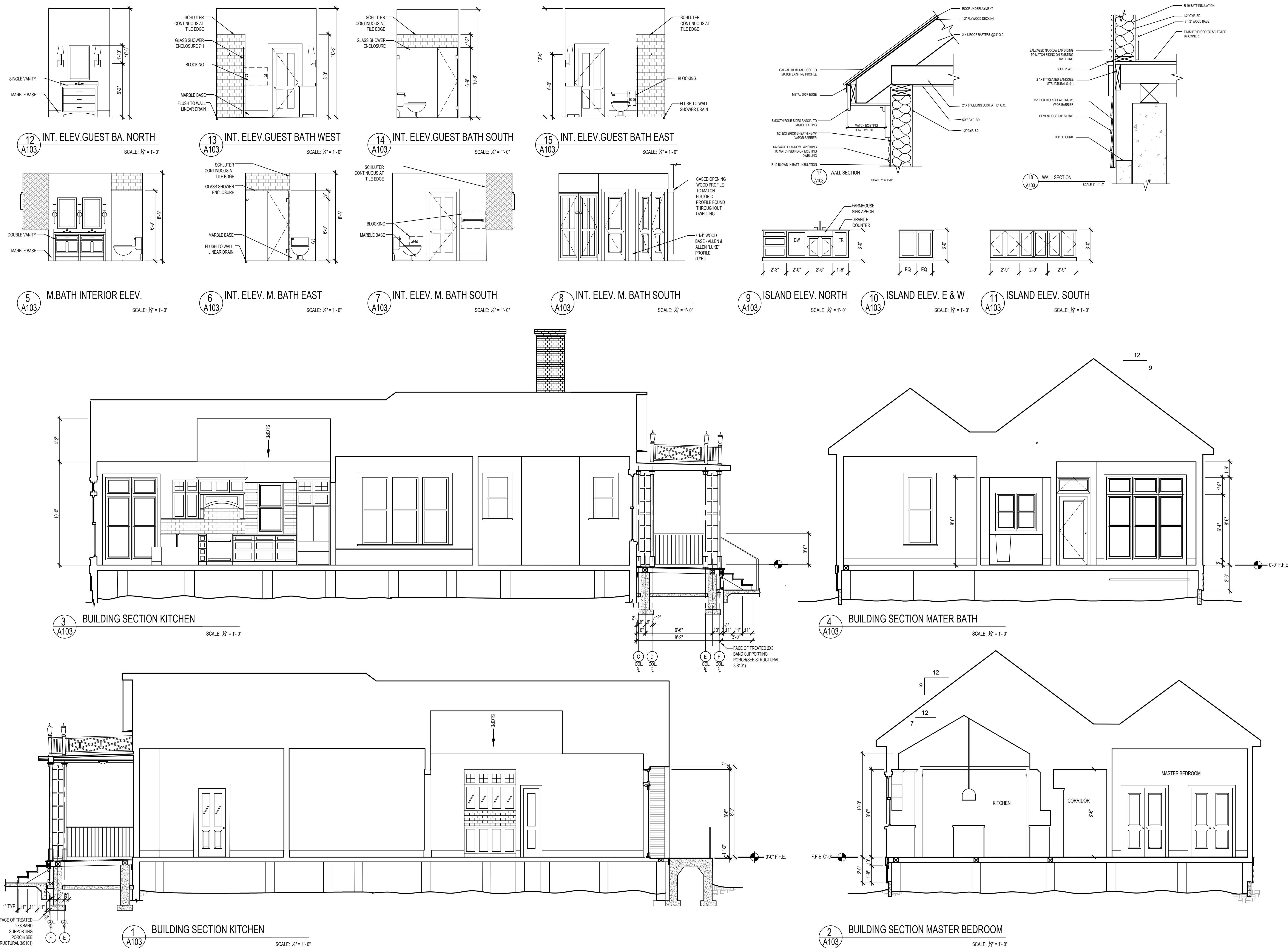
Structural Engineer:
Lawrence Calvetti, P.E.
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210 828 6419

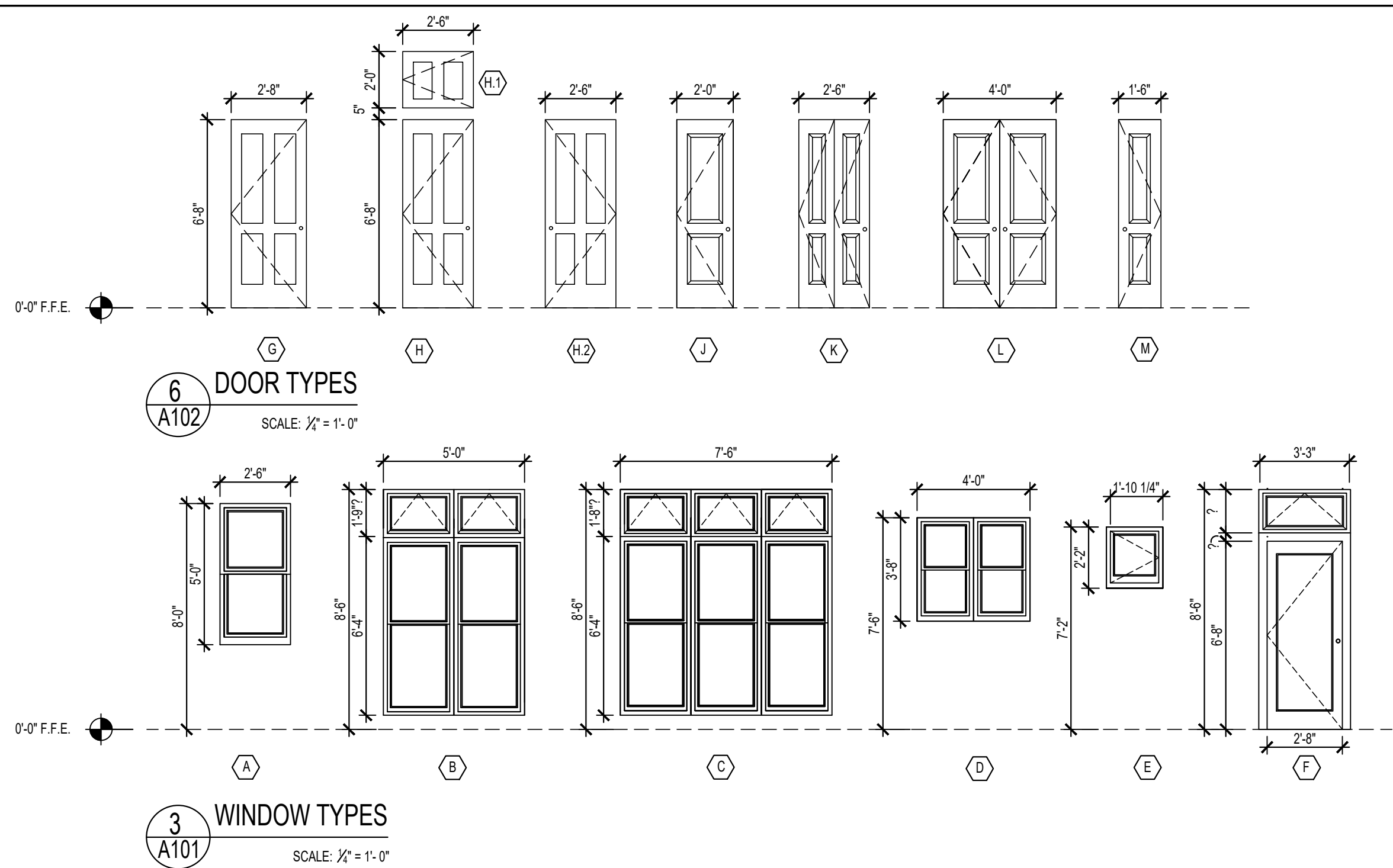
DATE: 07/16/21

SECTIONS

SCALE: 1/4"=1'-0"

A102





DOOR AND WINDOW SCHEDULE				
NO.	TYPE	UNIT WIDTH & HEIGHT		NOTES
		SIZE	CODE	
A	DOUBLE HUNG WINDOW	2'-6"	5'-0"	TEMPERED, FINLESS
B	PAIR DOUBLE HUNG WINDOWS	5'-0"	8'-0"	TEMPERED
C	TRIPLE DOUBLE HUNG WINDOWS W/ OPERABLE TRANSOMS	7'-6"	8'-0"	TEMPERED
D	PAIR DOUBLE HUNG WINDOW	4'-0"	3'-8"	TEMPERED
E	CASEMENT WINDOW	2'-0"	2'-1"	TEMPERED, FINLESS
F	FULL LIGHT OUTSWING PATIO DOOR UNIT W/ OPERABLE TRANSOM	2'-8"	8'-6"	TEMPERED
G	SALVAGED 4 PANEL WOOD DOOR UNIT(JAMB AND FRAME)	2'-8"	6'-8"	RESTORE/SALVAGE EXISTING HDWE
H	SALVAGED 4 PANEL WOOD DOOR UNIT(JAMB AND FRAME)	2'-2"	6'-8"	
H.1	SALVAGED 2 PANEL OVERHEAD WOOD DOOR UNIT(JAMB AND FRAME)	2'-6"	2'-0"	BULKY STORAGE DOOR/SALVAGE HDWE
H.2	SALVAGED 4 PANEL WOOD DOOR UNIT(JAMB AND FRAME)	2'-6"	6'-8"	
J	SOLID CORE 2 PANEL WOOD DOOR 1 1/2" THICK	2'-0"	6'-8"	
K	PAIR 1'-0" SOLID CORE 2 PANEL WD. DOOR 1 1/2" THICK	2'-0"	6'-8"	
L	PAIR 2'-0" SOLID CORE WD. DOOR 2 PANEL 1 1/2" THICK	4'-0"	6'-8"	DOUBLE HINGED LIES FLAT WHEN OPEN
M	1 1/2" SOLID CORE WD. DOOR 2 PANEL 1 1/2" THICK	2'-2"	4'-0"	

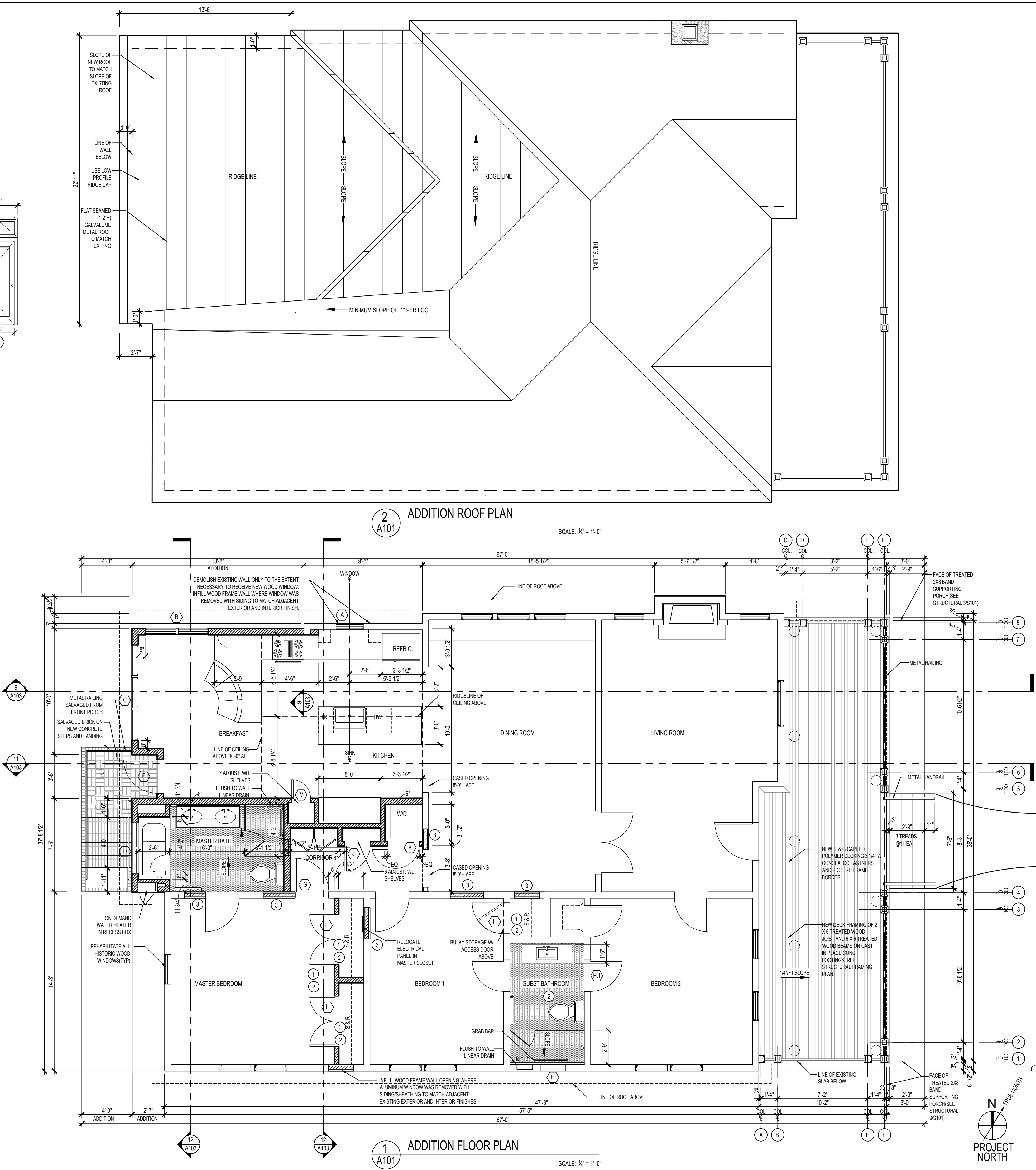
DOOR AND WINDOW NOTES

- CONTRACTOR TO VERIFY WINDOW SIZES AND CONSTRUCTION CLEARANCES PRIOR TO ORDER PLACEMENT. COORDINATE WITH STRUCTURAL HEADERS.
- NEW AND REPLACEMENT WINDOWS TO BE SIERRA PACIFIC WESTCHESTER.
- NEW PATIO DOOR TO BE CLAD OUTSWING SIERRA PACIFIC
- PATIO DOOR LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" IN THE DIRECTION OF TRAVEL AND SHALL BE A MAXIMUM OF 1 1/2" LOWER THAN THE THRESHOLD.
- ALL HARDWARE AND LOCKSETS TO BE SELECTED BY OWNER.

WALL LEGEND AND NOTES	
	EXISTING 2"x4" WALLS W/ 3/4" SHIPLAP BOTH SIDES
	RECONSTRUCTED WALLS TO MATCH EXISTING 2"x4" WALLS W/ 3/4" SHEATHING(OR SHIPLAP) BOTH SIDES
	2"x6" WALLS @ 16" O.C.
	2"x4" WALLS @ 16" O.C.
1. ALL DIMENSIONS AT EXISTING WALLS ARE TO THE FACE OF THE WALL.	
2. ALL DIMENSIONS AT NEW CONSTRUCTION ARE TO THE STUD.	
3. ALL FINISHES TO BE SELECTED BY OWNER	

FLOOR PLAN KEYNOTES	
①	PATCH, REPAIR AND REFINISH EXISTING WOOD FLOOR
②	PATCH AND REPAIR FLOOR, WALL, AND CEILING SURFACES WHERE DEMOLITION OCCURS. CLOSELY MATCH TEXTURE AND FINISH OF EXISTING ADJACENT SURFACE, PROVIDING FLUSH EVEN SURFACE WITH A UNIFORM APPEARANCE.
③	INFILL WOOD FRAME WALL OPENING WHERE DOOR(WAY) WAS REMOVED WITH WOOD FRAMING TO MATCH WIDTH AND FINISH OF EXISTING WALL.

- ROOF NOTES**
- INSTALL ROOFING MATERIAL ACCORDING TO MANUFACTURES RECOMMENDATIONS(I.E. CONTROL JOINTS, ATTACHMENT/ANCHORING DEVICES, FLASHING, SEALANTS ETC.)
 - MATCH EAVE HEIGHT AND SLOPE OF EXISTING ROOF.
- GENERAL PLAN NOTES**
- RESTORE EXPOSED FINISHED OR PATCHED AREAS AND EXTEND RESTORED FINISH AREA INTO ADJOINING CONSTRUCTION IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING, REPAIRING, OR REFINISHING.
 - COMPLETELY CLOSE ALL ABANDONED FLOOR, WALL AND CEILING OPENINGS. REMOVE ALL SURFACE MOUNTED TELEPHONE WIRE, CABLING, AND MISC. MOUNTING PLATE REMNANTS AND PATCH OPENINGS TO MATCH ADJACENT SURFACE.
 - SLOPE GUEST BATH FLOOR TOWARD 'FLUSH TO WALL' LINEAR DRAIN.
 - CONSTRUCT CEILING IN BEDROOM 1 CLOSET (6'-10" A.F.F.) TO SERVE AS FLOOR OF "BULKY STORAGE" ABOVE. ENCLOSE STORAGE AREA WITH GYBSUM BOARD AND INSTALL 1/2" SMOOTH PLYWOOD FLOOR.



Dawn & Oswaldo Herrera Residence 535 Mission St S.A., TX 78210

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Architect: Lisa Trail Garza, AIA 210 373 2937 lgarza@satx.rr.com

Structural Engineer: Lawrence Calvetti, P.E. Calvetti & Associates 210 828 6419

DATE: 07/16/21

FLOOR PLAN AND ROOF PLAN

SCALE: 1/4"=1'-0"

A101

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GEN. NOTES,
PIER/FLOOR
PLANS AND
SECTIONS

S101



CALVETTI
+ ASSOCIATES
professional engineers

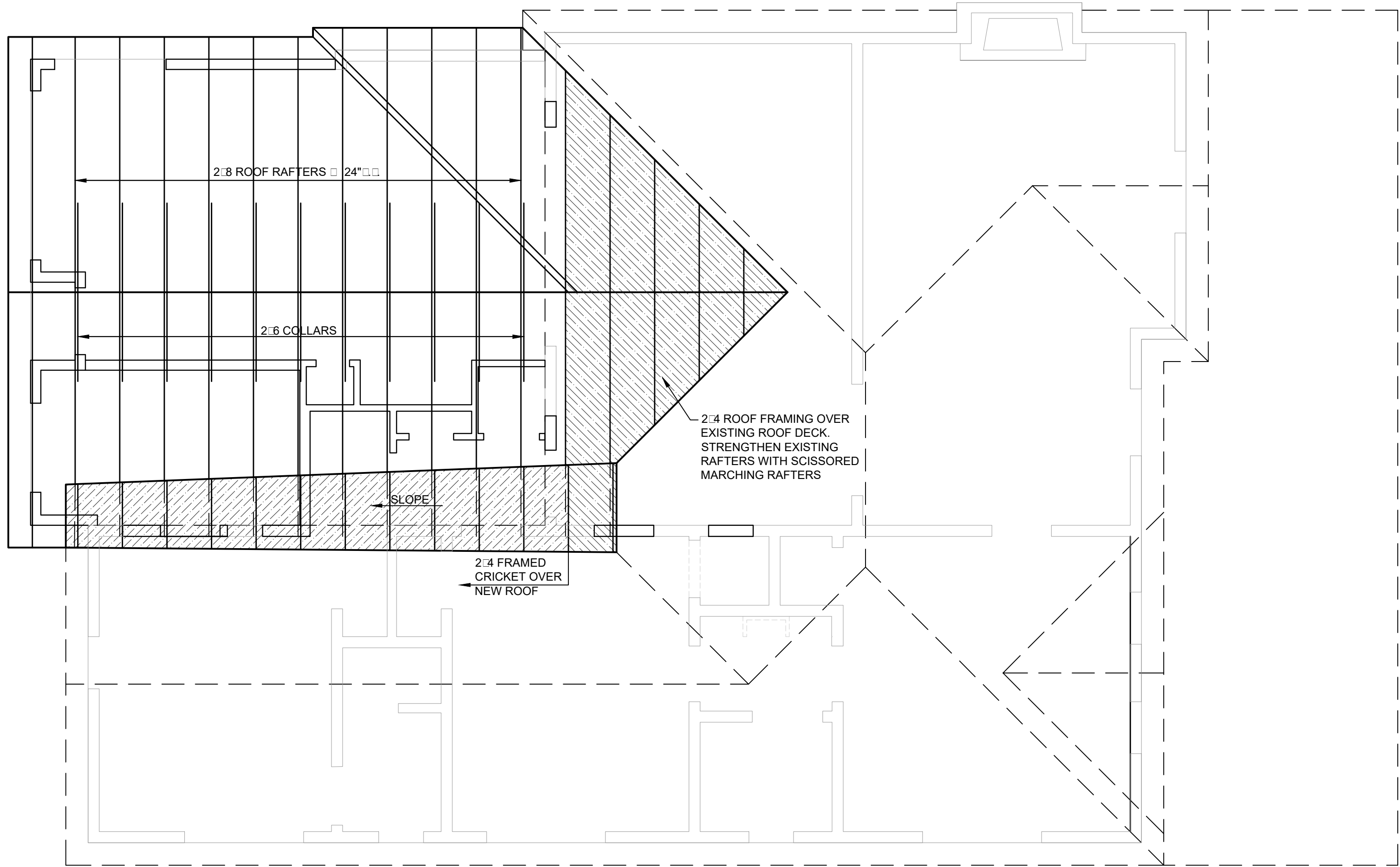
342 WILKINS AVE | SAN ANTONIO | TEXAS | 78210
OFFICE @ CApe-inc.net PH. 210.828.6419 FAX. 210.534.0465
PROJ. NO. 21018 ○

CALVETTI + ASSOCIATES
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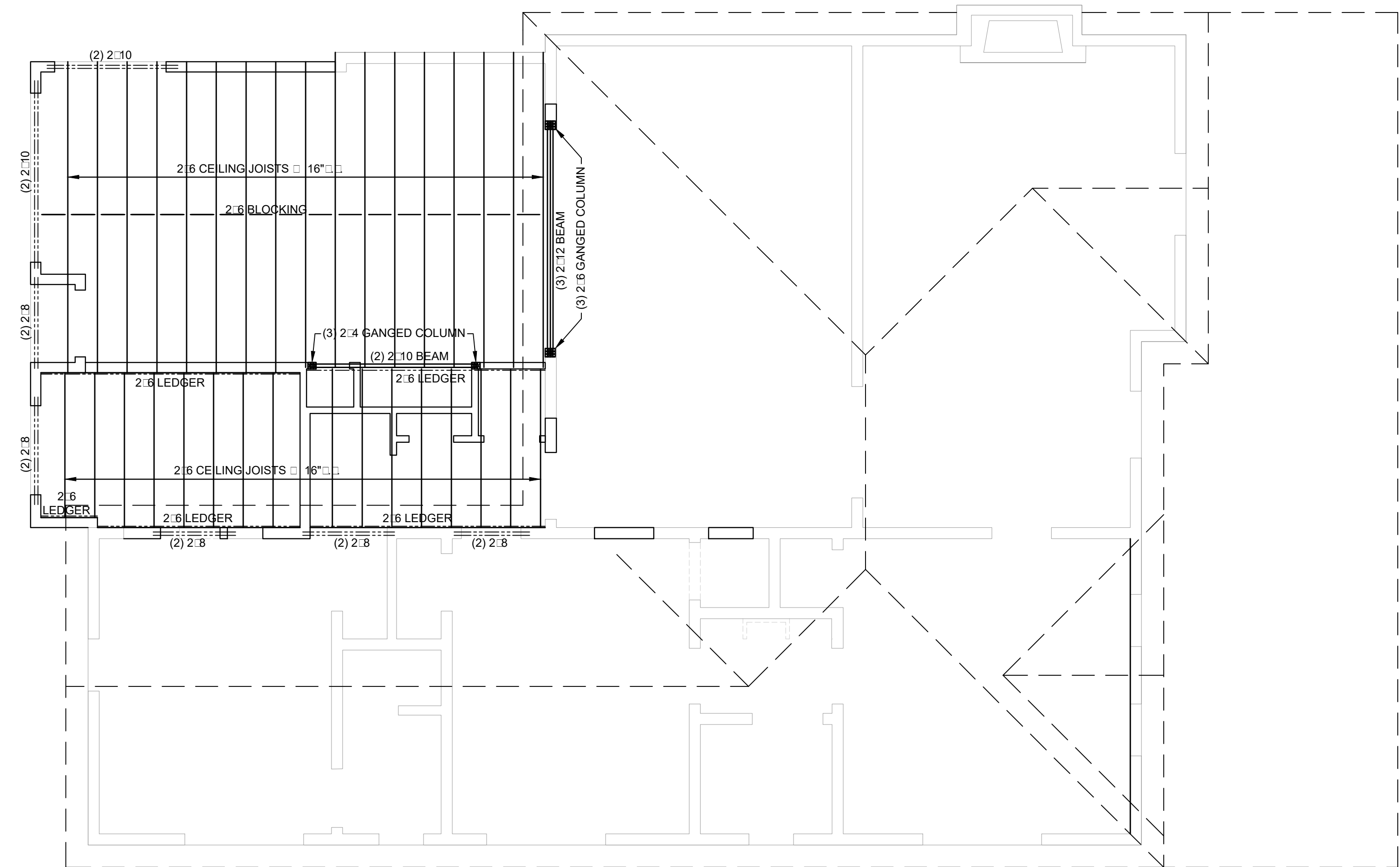
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C ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"



B CEILING FRAMING PLAN
SCALE 1/4" = 1'-0"

----- = LEDGER - SEE PLAN
===== = HEADER - SEE PLAN

DATE: 07/16/21

CEILING + ROOF
FRAMING PLANS

REVIEW SET
NOT FOR
REGULATORY APPROVAL,
PERMITTING
OR
CONSTRUCTION
LAWRENCE CALVETTI, P.E.
TEXAS NO. 36938

SCALE: AS NOTED

FOR REVIEW ONLY
F-16036

CALVETTI
+ ASSOCIATES
Professional Engineers

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S102

Lisa Trail Garza, A.I.A

19911 Terra Canyon | 210-373-2937 | Lgarza@satx.rr.com

Office of Historic Preservation
Historic Design Review Committee
City of San Antonio

Re: COA Final Review
535 Mission Street
San Antonio, TX 78210
King William Historic District

Dear Committee Members,

I am requesting a Certificate of Appropriateness for the property at 535 Mission St. I have been engaged for architectural design services and for the HDRC approval and the CoSA permitting process and I am acting as a representative for the property owners Dawn and Oswaldo Herrera.

The following items are associated with the project and are described below.

Description of request

Addition:

Driveway/**Sidewalk**

Foundation/**Skirting**

Painting:

Porch/Patio

Repair and maintenance:

Window replacement/fenestration changes

This request is for:

Construction of a single story 205 s.f gabled addition to the rear of the existing dwelling, including new concrete/brick rear stairs and stoop. Addition will be sheathed in salvaged historic wood siding to match existing siding and will include installation of solid wood double hung windows w/ operable transoms and one solid wood/glass patio door.

Construction of a 30" H raised 'wood' porch deck at the front patio, including new metal handrails and 3 new porch steps. Installation of a new concrete sidewalk with a smooth finish, in the same location as the existing sidewalk, as it approaches the porch steps, flaring from 4'-4" to 7'-6".

Restoration of all wood siding and trim on the existing dwelling.

Installation of new 6.25" w cementitious board skirting (5" lap) on house in its entirety.

Replacement of one non-historic aluminum slider window with a solid wood, casement window; Sierra Pacific Westchester brand.

Removal of one non-historic aluminum frame slider window and closing of the opening in the wood frame wall by splicing wood siding to match the existing siding.

Restoration of all historic wood windows.

Sanding and repainting of house in its entirety.

Historical Research

The structure at 535 Mission is a single story, 1600 s.f. wood frame dwelling, circa 1910, currently built in the Folk Victorian Style. The structure appears to have a high level of integrity based on the many historic character defining features at the exterior (all historic wood windows, wood screens, wood shutters, trim, siding, and decorative elements) and at the interior based on the layout of the interior space.

A field survey revealed a minimum of three phases of construction. The initial construction had a rectangular footprint (see 1912 Sanborn Map) enclosed with a hipped or gabled roof w/ two front decorative end gables and an asymmetrical front porch. The second phase extended the gable to the rear to make an "L" shaped plan and added another bedroom and bathroom. A symmetrical front porch was created by extending the initially constructed (raised?) porch the full width of the house and adding pairs of columns w/ lattice work and a decorative roof railing. It is unknown if the porch deck was elevated. Currently the porch floor is a slab on grade with stairs and stoop at the front door. The third phase enclosed a rear porch.

The Proposed addition will require the demolition of the 'third phase of construction' and will result in converting the "L" shaped plan back into a rectangular plan. A gable roof will enclose the addition. The front porch will be raised to the level of the finished floor, and the paired square posts (columns) w/lattice trim and decorative roof railing, will be restored and retained.

Thank you for your consideration.

Sincerely,

Lisa Trail Garza, AIA









535 Mission St. - Material Selections

Porch Deck Material

3 1/2" wide tongue and groove capped polymer porch boards



FREE SAMPLES GET STARTED LOGIN CART 0 SEARCH FOR PROS

DESIGN ▾

PRODUCTS ▾

WHY TIMBERTECH

RESOURCES

OUTDOOR LIVING IDEAS

START YOUR PROJECT 



[Home](#) > [Products](#) > [Porch](#) > [Porch Collection](#)

Porch Collection

Amp up your curb appeal — you deserve it. High-performance, capped-polymer porch boards designed with a tongue-and-groove system so there is minimal gapping between boards do the trick. Give your porch a beautiful, stylish floor, with the added benefits of capped polymer material.

Available in standard width. Coastline®, Mahogany, Weathered Teak®, and Dark Hickory also available in wide width.

Porch Color



Selected: Coastline®

Sample Size

● 2' Sample
○ 4" Sample

\$5.00

- 1 + [ADD TO CART](#)

Skirting Material –

James Hardie Plank 6.25" smooth lap siding



\$6⁴⁸ ☆☆☆☆☆ 0 [View Q&A](#)

James Hardie 6.25-in x 144-in-HZ10 HardiePlank Smooth Fiber Cement Lap Siding

Item #1035746 Model #9000551

THIS ITEM IS OUT OF STOCK

We'll notify you once this item is back in stock.

Notify Me

- Use James Hardie® Fiber Cement Siding to design or remodel a home's exterior
- HardiePlank® fiber cement siding is Engineered for Climate® allowing boards to hold up to harsh weather conditions in the....
- Use a 2-1/2 in. siding gun or siding nailer to attach to wood, steel or masonry substrates

Store Pickup

Unavailable for Pickup at N.W. Central San Antonio Lowe's

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Delivery

Currently Unavailable