

HISTORIC AND DESIGN REVIEW COMMISSION

August 18, 2021

HDRC CASE NO: 2021-243
ADDRESS: 207 W MULBERRY AVE
LEGAL DESCRIPTION: NCB 3059 BLK 6 LOT E 33.33 FT OF 20 & W 33.33 FT OF 21
ZONING: R-5, H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
APPLICANT: Gerald (Jerry) Wilson
OWNER: WATSON ANN KATHRYN & JAMIESON ALEX STEWART
TYPE OF WORK: Front facade and front walkway modifications
APPLICATION RECEIVED: August 03, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Partially demolish and reduce the length of the east wing wall.
2. Modify the existing front walkway.
3. Install a rear patio.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

2. Materials: Masonry and Stucco

A. MAINTENANCE (PRESERVATION)

- i. *Paint*—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
- ii. *Clear area*—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
- iii. *Vegetation*—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
- iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
- ii. *Repointing*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.
- iii. *Removing paint*—Take care when removing paint from masonry as the paint may be providing a protectant layer or hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry.
- iv. *Removing stucco*—Remove stucco from masonry surfaces where it is historically inappropriate. Prepare a test panel to ensure that underlying masonry has not been irreversibly damaged before proceeding.

8. Architectural Features: Foundations

A. MAINTENANCE (PRESERVATION)

- i. *Details*—Preserve the height, proportion, exposure, form, and details of a foundation such as decorative vents, grilles, and lattice work.
- ii. *Ventilation*—Ensure foundations are vented to control moisture underneath the dwelling, preventing deterioration.
- iii. *Drainage*—Ensure downspouts are directed away and soil is sloped away from the foundation to avoid moisture collection near the foundation.
- iv. *Repair*—Inspect foundations regularly for sufficient drainage and ventilation, keeping it clear of vegetation. Also inspect for deteriorated materials such as limestone and repair accordingly. Refer to maintenance and alteration of applicable materials, for additional guidelines.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement features*—Ensure that features such as decorative vents and grilles and lattice panels are replaced in-kind when deteriorated beyond repair. When in-kind replacement is not possible, use features matching in size, material, and design. Replacement skirting should consist of durable, proven materials, and should either match the existing siding or be applied to have minimal visual impact.
- ii. *Alternative materials*—Cedar piers may be replaced with concrete piers if they are deteriorated beyond repair.
- iii. *Shoring*—Provide proper support of the structure while the foundation is rebuilt or repaired.
- iv. *New utilities*—Avoid placing new utility and mechanical connections through the foundation along the primary façade or where visible from the public right-of-way.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

1. Topography

A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

2. Fences and Walls

A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and

that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

C. PRIVACY FENCES AND WALLS

- i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.
- ii. *Location* – Do not use privacy fences in front yards.

3. Landscape Design

A. PLANTINGS

- i. *Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

- i. *Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

C. MULCH

Organic mulch – Organic mulch should not be used as a wholesale replacement for plant material. Organic mulch with appropriate plantings should be incorporated in areas where appropriate such as beneath a tree canopy.

- i. *Inorganic mulch* – Inorganic mulch should not be used in highly-visible areas and should never be used as a wholesale replacement for plant material. Inorganic mulch with appropriate plantings should be incorporated in areas where appropriate such as along a foundation wall where moisture retention is discouraged.

D. TREES

- i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.
- iii. *Maintenance* – Proper pruning encourages healthy growth and can extend the lifespan of trees. Avoid unnecessary or harmful pruning. A certified, licensed arborist is recommended for the pruning of mature trees and heritage trees.

4. Residential Streetscapes

A. PLANTING STRIPS

- i. *Street trees*—Protect and encourage healthy street trees in planting strips. Replace damaged or dead trees with trees of a similar species, size, and growth habit as recommended by the City Arborist.
- ii. *Lawns*—Maintain the use of traditional lawn in planting strips or low plantings where a consistent pattern has been retained along the block frontage. If mulch or gravel beds are used, low-growing plantings should be incorporated into the design.

iii. *Alternative materials*—Do not introduce impervious hardscape, raised planting beds, or other materials into planting strips where they were not historically found.

B. PARKWAYS AND PLANTED MEDIANS

i. *Historic plantings*—Maintain the park-like character of historic parkways and planted medians by preserving mature vegetation and retaining historic design elements. Replace damaged or dead plant materials with species of a like size, growth habit, and ornamental characteristics.

ii. *Hardscape*—Do not introduce new pavers, concrete, or other hardscape materials into parkways and planted medians where they were not historically found.

C. STREET ELEMENTS

i. *Site elements*—Preserve historic street lights, street markers, roundabouts, and other unique site elements found within the public right-of-way as street improvements and other public works projects are completed over time.

ii. *Historic paving materials*—Retain historic paving materials, such as brick pavers or colored paving, within the public right-of-way and repair in place with like materials.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.

v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives.

Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site.

Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.

ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

FINDINGS:

- a. The primary structure located at 207 W Mulberry is a 2-story, single-family residence constructed circa 1925 in the Italian Renaissance Revival Style. The property features a low-pitch pyramidal roof features composition shingles and overhanging eaves, stucco cladding, second-story balconies on the front façade, an arched entry, one-over-one windows, and stucco wing walls on each side of the front façade. The property is contributing to the Monte Vista Historic District.
- b. DESIGN REVIEW COMMITTEE – The applicant previously presented to the HDRC on June 2, 2021, and was referred to a DRC site visit. The DRC site visit occurred on June 29, 2021. The site visit included discussions on the proposal for the east wing wall on the front façade, material for the proposed rear pergolas, site drainage, and front yard hardscaping.
- c. WING WALL MODIFICATION – The applicant has proposed to reduce the length of the east wing wall on the front façade to match the existing west wing wall. The applicant has provided evidence of a wing wall foundation beam extension, showing that the existing west wing wall likely matched the length of the existing east wing wall and was previously shortened. Guideline 7.B.v for Exterior Maintenance and Alterations states that architectural features should be reconstructed based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and

historic patterns. As the length of the existing east wing wall is likely original, staff finds the proposal inconsistent with the Guidelines.

- d. **FRONT STEP MODIFICATIONS** – The applicant has proposed to demolish the existing lower 3 step risers, mid-level landing, lower landing, and lower front walkway segment and pour 3 new brushed finished plain concrete step risers to create 2 equal riser heights at the semi-circular stoop and install accent tiles. The applicant has proposed to scratch coat the existing stoop to match the proposed step risers and sidewalk segments. The applicant has proposed to modify the footprint of the existing walkway to feature a scalloped design between the existing semicircular stoop and the proposed river rock pathway with a concrete pad for the installation of decorative planting pots flanking the front walkway. Guideline 5.A.iii for Site Elements states that replacement materials should follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree. Staff finds that the elements proposed for removal are likely not original to the property. Staff finds that the existing footprint and the width of the walkway should not be modified, and the replacement walkway elements should remain within the footprint of the existing front walkway.
- e. **REAR PATIO INSTALLATION** – The applicant has proposed to install over 800 square feet of paving for a rear cooking patio, dining patio, casual seating patio, and side living patio. Guideline 3.B.i for Site Elements states that large pavers or other impervious surfaces should not be introduced where they were not historically located. Guideline 3.B.ii for Site Elements states that new pervious hardscapes should be limited to areas that are not highly visible and should not be used as wholesale replacement for plantings. According to Guideline 3.A.ii for Site Elements, do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%. Staff finds that while rear patio installation is generally appropriate, the applicant should provide total square footage for the proposed patio and the percentage of proposed lot coverage to staff for review.
- f. **ADMINISTRATIVE APPROVAL** – The application materials include scopes of work that have been previously approved administratively including removing and replacing existing damaged trees, installing front yard planting beds, installing rear pergolas, installing synthetic turf in the rear yard, installing outdoor kitchen appliances in the rear, replacing the rear privacy fence in kind, installing an approximately 24-square-foot rear concrete pad for trash storage, repairing the existing driveway where the existing sidewalk intersects to match existing, removing and repair 3 areas of the existing sidewalk for irrigation system installation, installing new pedestrian and driveway gates behind the front façade wall plane, installing a rear raised herb garden, installing new plantings, replacing existing rear hardscaping, and installing landscape lighting. These requests have received administrative approval and do not require review by the HDRC.

RECOMMENDATION:

Item 1, staff does not recommend approval of the request to modify the existing east wing wall based on finding c.

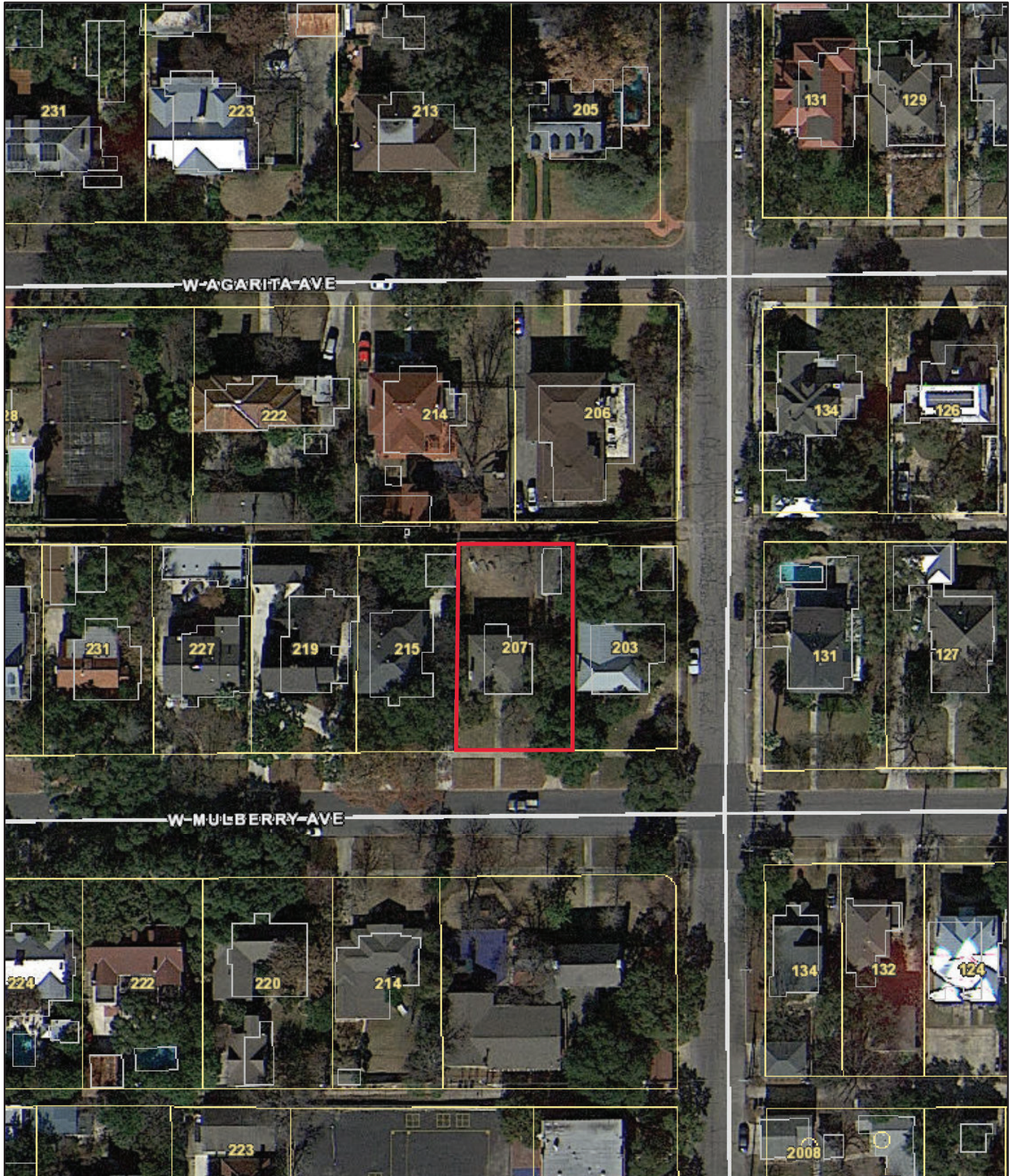
Item 2, staff recommends approval of front step and landing replacement based on finding d with the following stipulation:

- i. That the walkway modifications remain within the footprint of the existing walkway and match the existing walkway in width and design. An updated site plan must be submitted to staff for review and approval prior to the issuance of a Certificate of Appropriateness.

Item 3, staff recommends approval of rear patio installation based on finding e with the following stipulation:

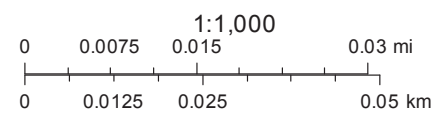
- i. That the applicant submits total square footage for the proposed patio and the percentage of proposed lot coverage to staff for review and approval prior to the issuance of a Certificate of Appropriateness. Lot coverage must not exceed 50 percent.

City of San Antonio One Stop

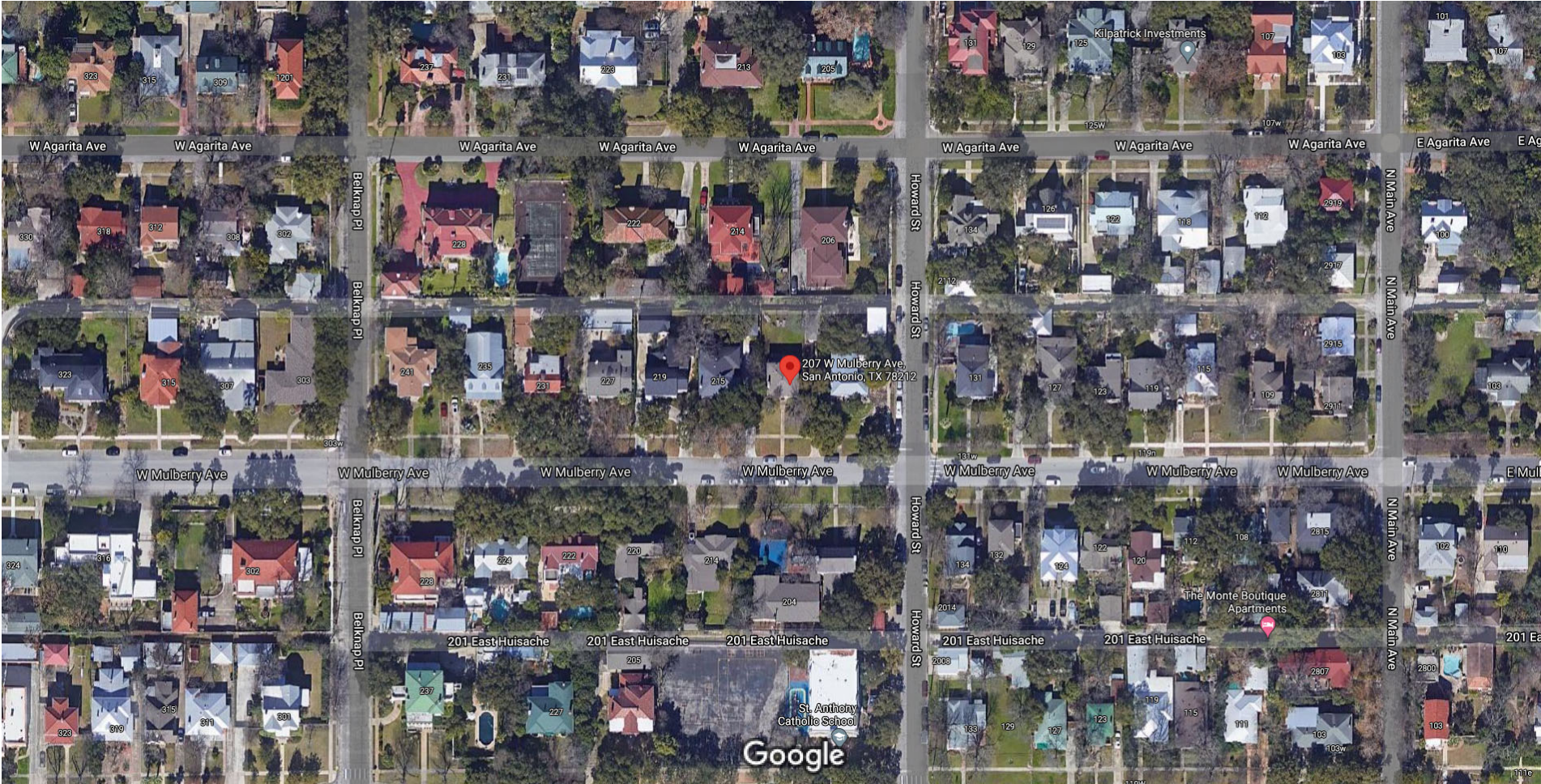


May 28, 2021

— User drawn lines



Google Maps 207 W Mulberry Ave



Imagery ©2021 CAPCOG, CNES / Airbus, Maxar Technologies, Map data ©2021 50 ft

Google Maps 207 W Mulberry Ave



Imagery ©2021 Google, Map data ©2021 20 ft

Google Maps 207 W Mulberry Ave



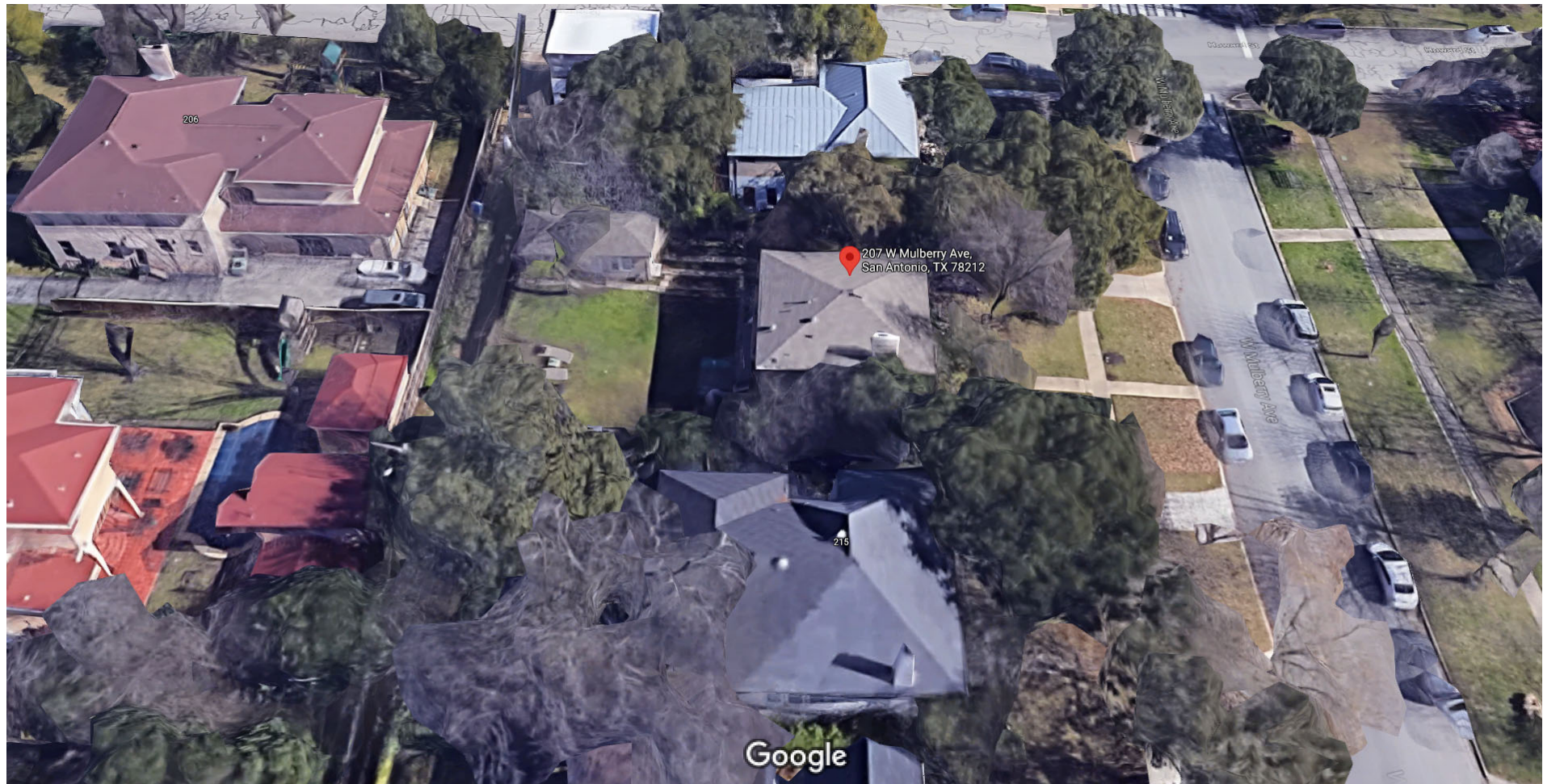
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Google Maps 207 W Mulberry Ave



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Google Maps 207 W Mulberry Ave



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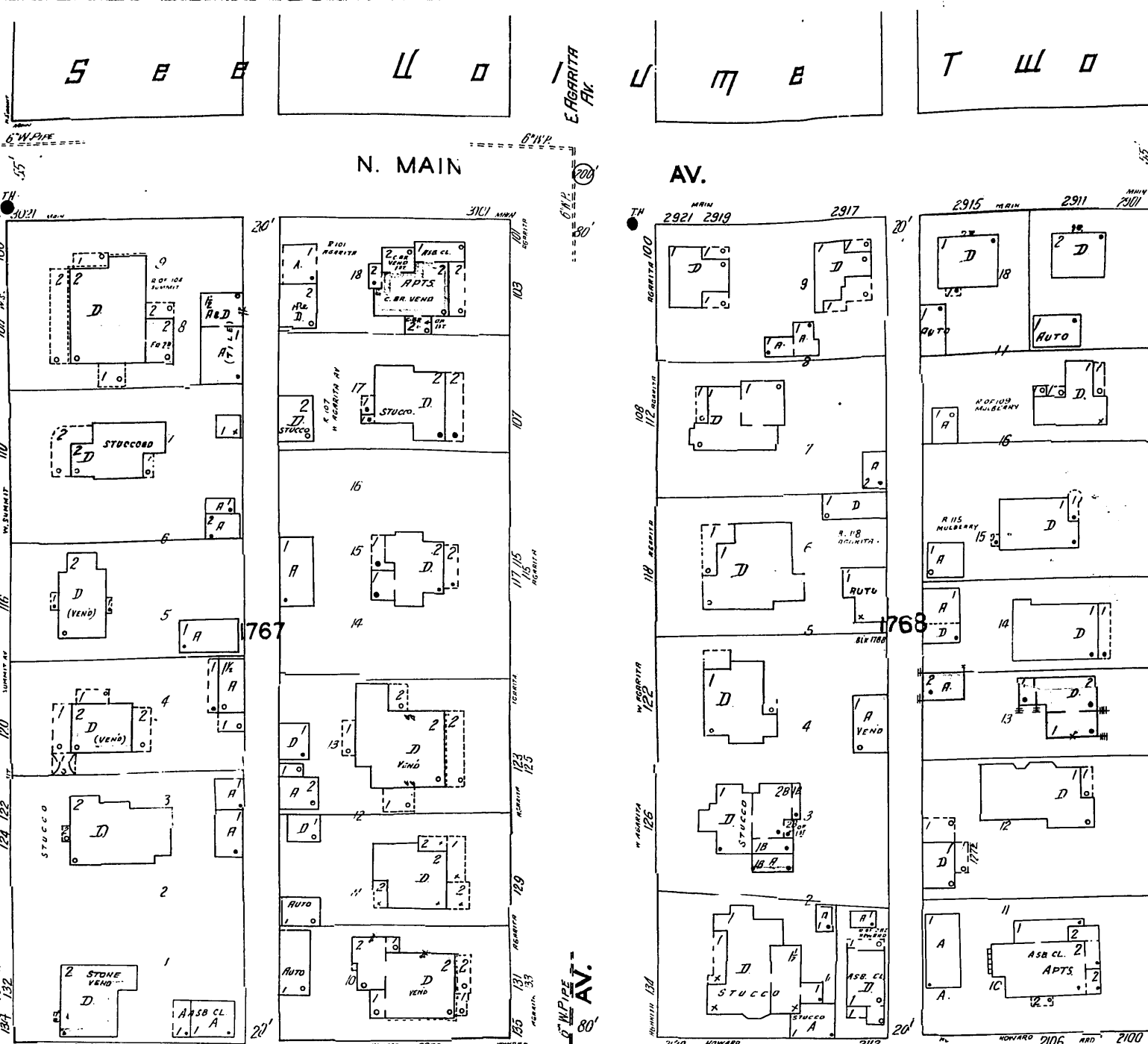
QUEENSBOROUGH CT

W. SUMMIT AV.

72

MACADAMIZED

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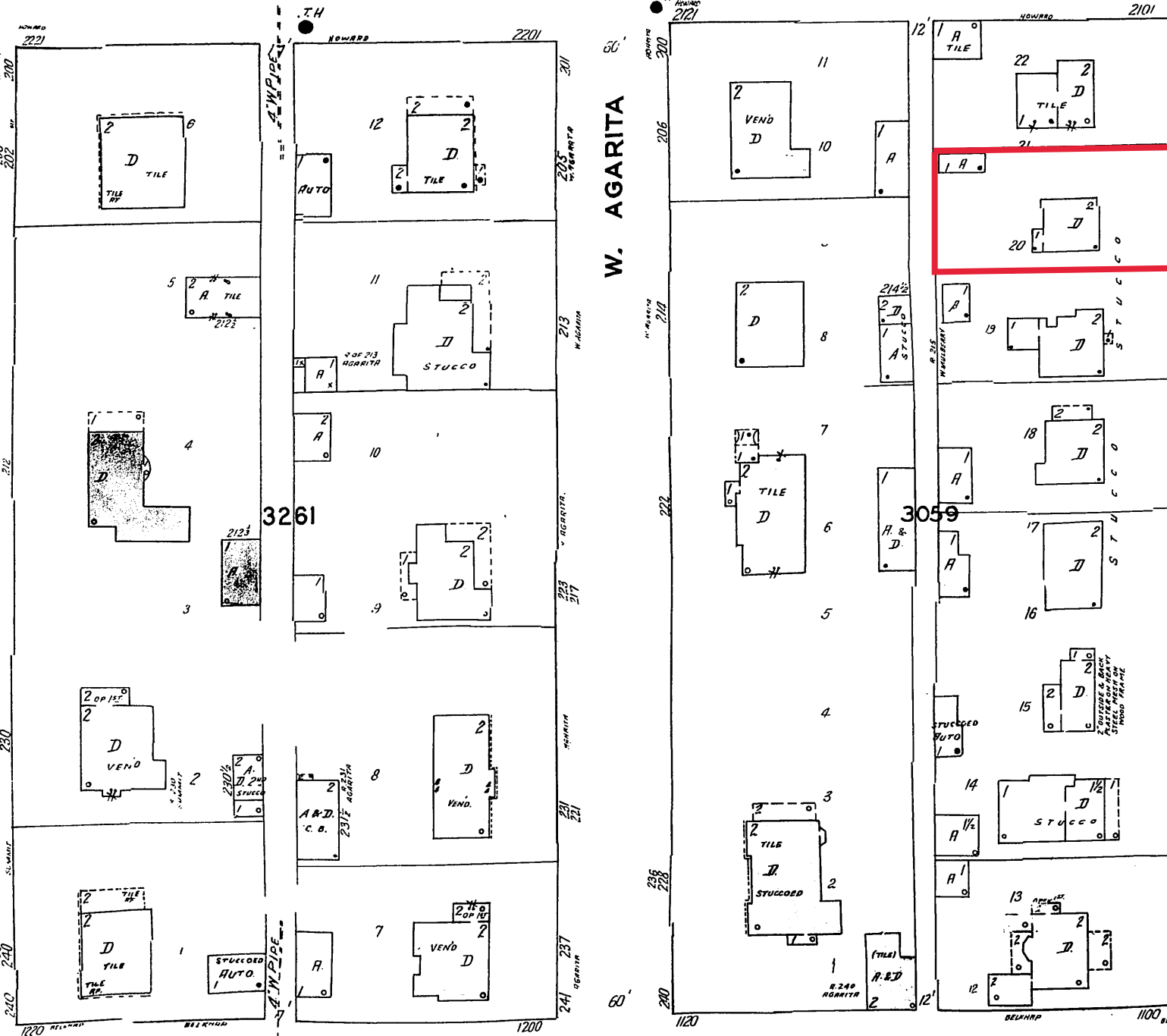


HOWARD

W. AGARITA

77

PL

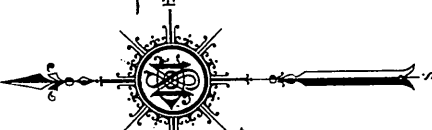


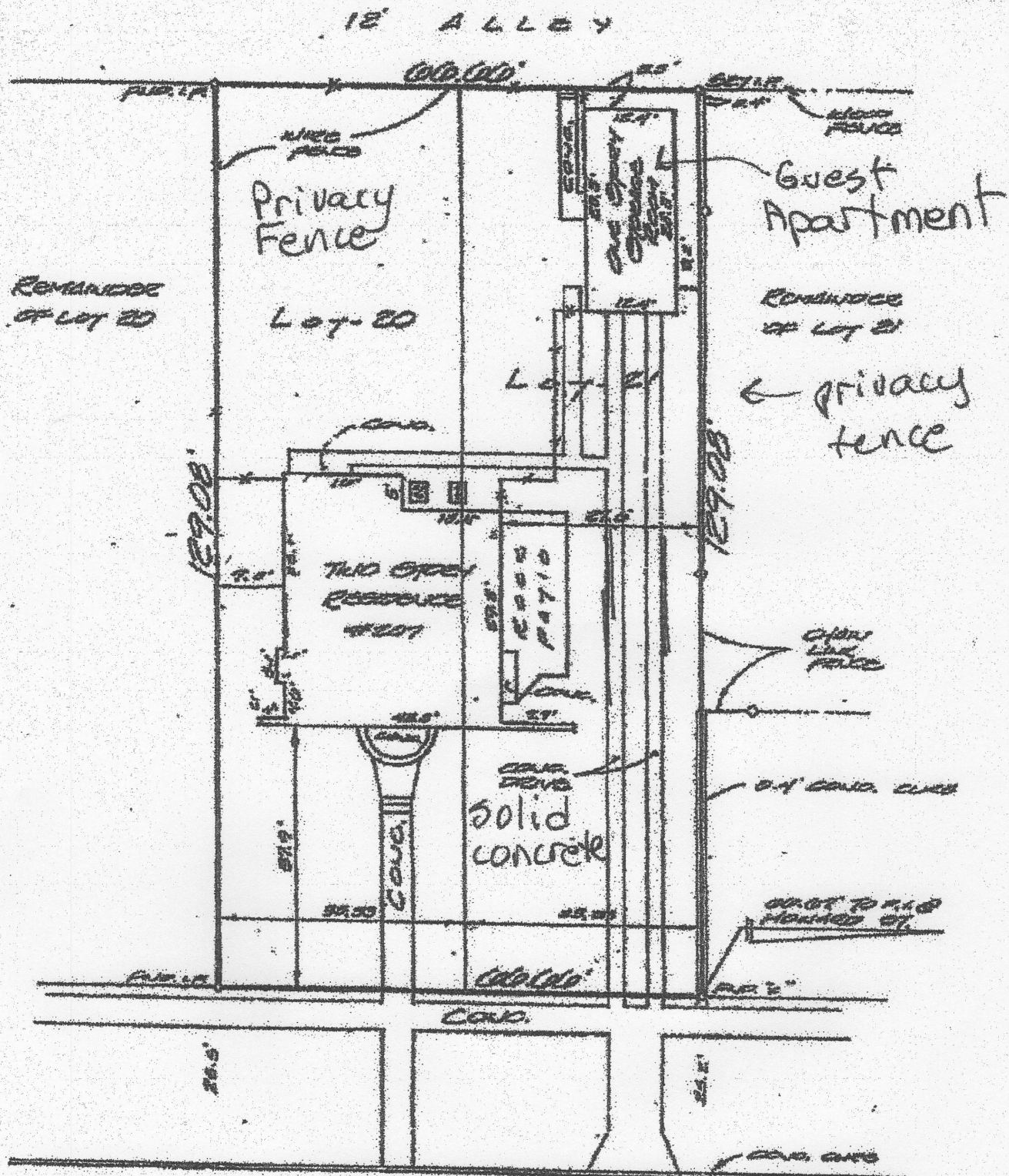
BELKNAP

W. MULBERRY

74

1952





Man 2

THE E. 33.33 OF LOT 20 W. MULBERRY. EAMES, Benjamin &
THE N. 33.33 OF LOT 21 20' E. O. W. FARMERS JR.
BLK. 0 CENSUS TRACT 1902
N.C.B. 3059 G.F. NO. 370390

SUBDIVISION

ADDRESS PO BOX 1000
CITY EL PASO
COUNTY EL PASO STATE TEXAS

REFERENCE

VOL. B099, PG. 46 VOL. _____, PG. _____
VOL. _____, PG. _____ VOL. _____, PG. _____
VOL. _____, PG. _____ VOL. _____, PG. _____

CENSUS TRACT 1902
G. F. NO. 8702392 DA



**SURVEYORS
250 WEST OLMO DRIVE
SAN ANTONIO, TEXAS 78212
(512) 826-7994**



STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT IS TRUE AND CORRECT ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS OF BUILDINGS ON ADJOINING PROPERTY AND THAT ALL BUILDINGS ARE WHOLLY LOCATED ON THIS PROPERTY EXCEPT AS SHOWN ABOVE.

THIS 22ND DAY OF MARCH 1987 A.D.

SCALE: 1" = 30'



JOB NO. E-81-557

1) EXISTING SURVEY

L-2 SCALE: Not to Scale

LANDSCAPE ENHANCEMENTS FOR:

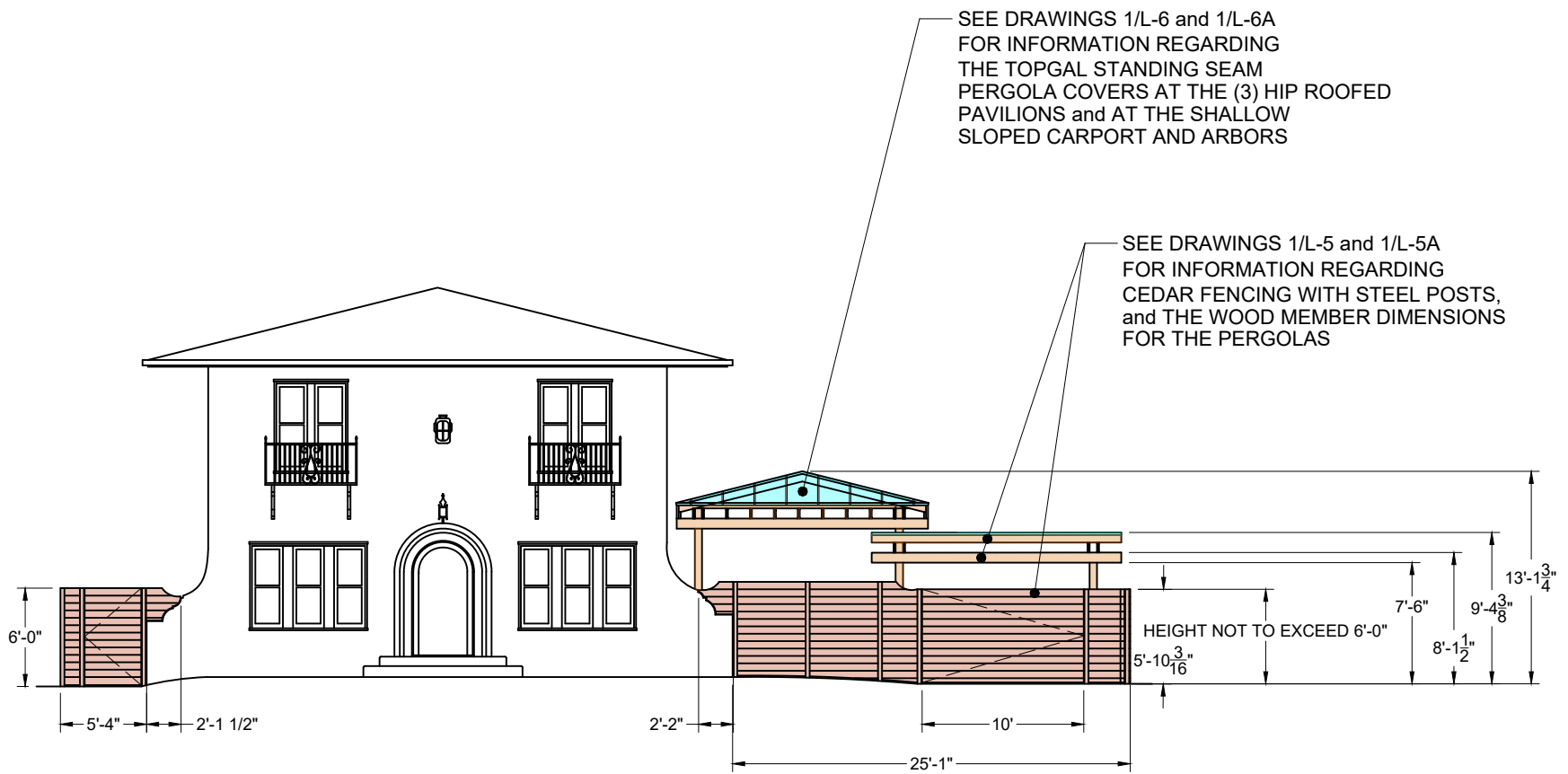
THE JAIMESON RESIDENCE
207 WEST MULBERRY AVENUE
SAN ANTONIO, TEXAS 75812

BY: VHS OUTDOOR LIVING COMPANY

14726 BULVERDE ROAD
SAN ANTONIO, TEXAS 78247

TEL: 210-287-7027; www.vhslandscaping.com

DATE: 04-19-21
DESIGNER: JERRY WILSON
SHEET #: L-2 of L-15 Sheets
PROJECT #: VHSD-052

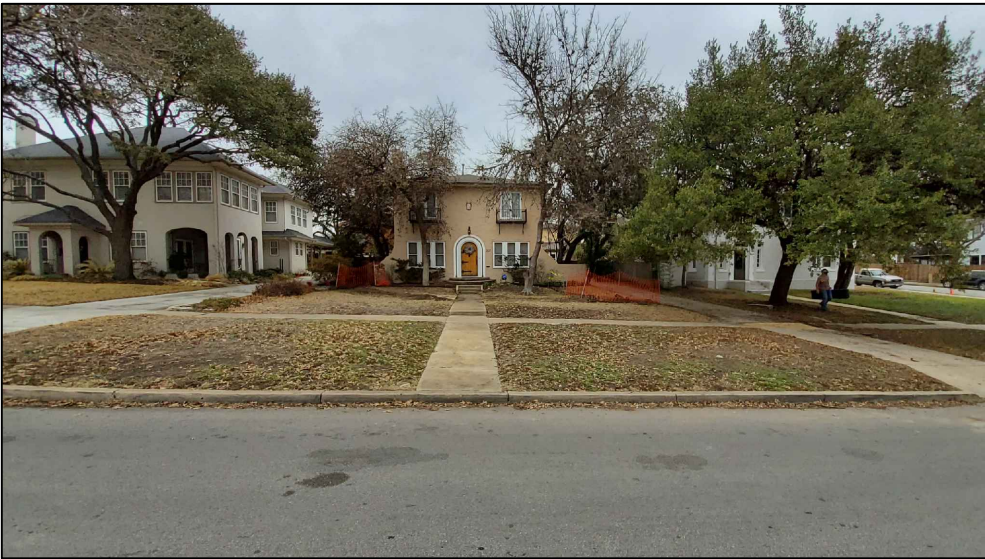


1 FRONT ELEVATION (LOOKING NORTH)
L-8 SCALE: 3/32" = 1'-0"

LANDSCAPE ENHANCEMENTS FOR:
THE JAIMESON RESIDENCE
207 WEST MULBERRY AVENUE
SAN ANTONIO, TEXAS 75812

BY: **VHS OUTDOOR LIVING COMPANY**
14726 BULVERDE ROAD
SAN ANTONIO, TEXAS 78247
TEL: 210-287-7027; www.vhslandscaping.com

0 5'-0" 10'-0" 20'-0"
GRAPHIC SCALE:
SCALE: NOTED
DATE: 05-07-21
DESIGNER: JERRY WILSON
SHEET #: L-8 of L-15 Sheets
PROJECT #: VHSD-052



1A
L-9
FRONT SOUTH ELEVATION LOOKING NORTH



2A
L-9
FRONT SOUTH ELEVATION LOOKING NORTH



3A
L-9
FRONT SOUTH ELEVATION LOOKING NORTH-WEST



4A
L-9
SIDE EAST ELEVATION IMAGE LOOKING WEST



5A
L-9
EAST & NORTH ELEVATION LOOKING SOUTH-WEST



6A
L-9
COTTAGE SOUTH ELEVATION LOOKING NORTH-WEST



7A
L-9
HOUSE WEST ELEVATION IMAGE LOOKING SOUTH



8A
L-9
COTTAGE NORTH ELEVATION IMAGE LOOKING SOUTH

1
L-9
PRIMARY EXISTING SITE PHOTO IMAGES
SCALE: Photo Images are Not to Scale

LANDSCAPE ENHANCEMENTS FOR:
THE JAIMESON RESIDENCE
207 WEST MULBERRY AVENUE
SAN ANTONIO, TEXAS 75812

BY: VHS OUTDOOR LIVING COMPANY
14726 BULVERDE ROAD
SAN ANTONIO, TEXAS 78247
TEL: 210-287-7027; www.vhslandscaping.com

REVISION DATE:

DATE: 04-19-21
DESIGNER: JERRY WILSON
SHEET #: L-9 of L-15 Sheets
PROJECT #: VHSD-052

Jamieson Residence- 207 W. Mulberry

Note to HDRC Staff: Thank you for taking the time to consider these notes following the onsite meeting from back on 6.29.2021 at 207 W. Mulberry in Monte Vista. We (VHS Outdoor Living Co.) are working on behalf of the homeowners (Ann and Alex Jamieson) to see their home's exterior space renovated in a professional yet historically appropriate manner. Please see the below information to address the questions sent to our staff by Rachel Rettaliata on 7.26.2021

1. **Wing Wall Documentation:** See photo below for requested detail of existing footer mentioned during on-site review



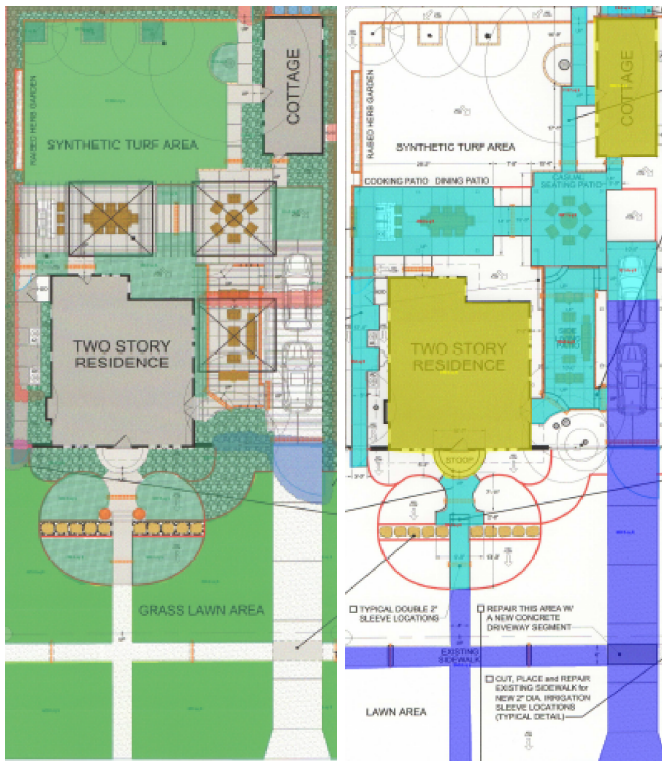
2. **Square Footage of Property:** The total square footage of the property is 11,546. Of this, existing concrete flatwork is 1300 sq.ft., house/casita is 1355 sq.ft., proposed hardscape 1640 sq.ft. and the proposed landscaping/softscaping is 5,705 square footage. *Based on this calculation, the landscaping will encompass 50.6% of the entire property, including all proposed and existing hardscape; within compliance of guidelines*

Green: Softscape

Light Blue: Proposed Hardscape

Yellow: Existing Structures

Dark Blue: Existing Concrete

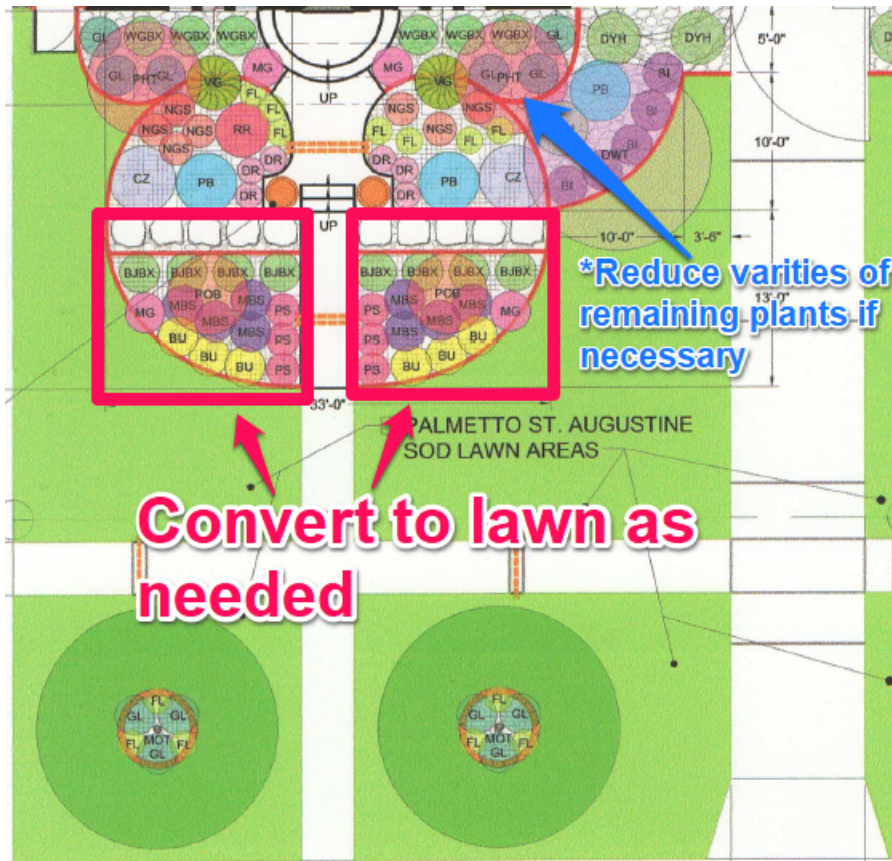


3. Pergola "Top Gal" Roof- 10 Year Warranty From the Manufacture Includes:

- Significant fading/discoloration
- Hail penetration for hail up to 3/4"
- Wind loads up to 125 MPH and snow loads up to 40 PSF
- System malfunction or damage
- Note: This products lifespan is 15-20 years depending on where it's located and on how much slope it has.

*See included warranty sheet, attached

3. Plants/Beds in the Front Yard: There was mention during the meeting that the beds are too symmetrical and this is not seen in Monte Vista. Please not that the although the beds coordinate, they are not symmetrical from the left side bed to the right side bed. The beds are larger on the right side of the sidewalk and has a different shape. It was also mentioned that the front yard has too many types of plants and that a historic home would not have had this many varieties. Our proposed planting plan only includes 17 varieties of plants, including the proposed trees. For a large front yard like this home has, it is our opinion that 17 varieties is not too many. If necessary, the home owners would be agreeable to reducing the beds to eliminate the bedding from the stepping stones towards the street. We could also reduce the varieties found in the front yard beds as needed. See picture below for details.



Thank you again for your consideration. We would appreciate your feedback prior to the deadline should we need to provide additional information prior to the July 30th cut off.

Best Regards,

Chris Verme
VHS Landscaping, L.L.C.
VHS Outdoor Living Co.
www.VHSLandscaping.com
210-487-0980 Mobile



Hercules System Warranty

Congratulations on your new Cover Your Pergola system. We stand behind our product and want our customers to be 100% satisfied with their cover. If you have any questions about your warranty, please reach out to warranty@coveryourpergola.com.

Products Covered and Duration of warranty

This warranty statement refers to our Hercules System (premium system with standing seam). The warranty is valid ten years from the date of purchase. In the event of a replacement, the warranty does not “reset”. It is always ten years from the date of the original purchase

Terms of Warranty

If your system should fail for any of the following reasons, Cover Your Pergola will replace any defective panels, trim pieces, and/or other accessories at no additional cost:

- *Significant fading/discoloration
- **Hail penetration for hail up to ¾”
- **Wind loads up to 125 MPH and snow loads up to 40 PSF
- System malfunction or damage

The warranty does not include changing your original sheet color. We will always reinstall the same color you initially chose.

Cover Your Pergola requires a slope of 2% to be eligible for warranty claims.

How to Submit A Warranty Claim

Submit your warranty claims or questions at warranty@coveryourpergola.com. An account representative will call or email to schedule an in-person or virtual visit to assess what sheets and parts require replacement.

**Minimal discoloration is expected several years after installation.*

***Hail passes through the sheet (even just first layer).*

****Structural requirements: Max distance between purlins: 23” / No cross bracing required.*

MEMORANDUM - 04-19-21 (Revised 05-06-21):

TO: Katie Totman, M.A.
Historic Preservation Specialist
City of San Antonio, Office of Historic Preservation
1901 South Alamo, San Antonio, TX 78204
direct: 210-207-0066; main: 210-207-0035, 210-207-0199
katie@sapreservation.com; www.sapreservation.com

FROM: Jerry Wilson, Landscape Design Specialist with Chris Verme, Owner
VHS Outdoor Living Company
14726 Bulverde Rd.
San Antonio, TX 78247
jwdesigns4vhs@gmail.com; chris@VHSLandscaping.com
www.VHSLandscaping.com;

REGARDING: Design Review Board Submittal Representing Alex and Ann Jaimeson's General
Design Diagrams for their Exterior Landscape Outdoor Living Beautification Project

SITE LOCATION: 207 WEST MULBERRY AVENUE (Monte Vista District) San Antonio, Texas 78212

NOTES: THE CLIENT'S APPROVED DESIGN SCOPE of WORK is to INCLUDE:

- 1) The Removal of a Segment of the house's South East Corner Wing Wall, Including Repairs to the Wall;
- 2) Existing Damaged Tree Removals and Tree Replacements at Other Areas On Site;
- 3) New Site Outdoor Overhead Shade Pergola Structures at the East and North Sides of the Residence;
- 4) New Brushed Finish, Plain Concrete Entertainment Patios, and Driveway Extension to Allow
 - (2) Mid-sized Vehicles to Park Behind the New Vehicular Gate;
- 5) New and Enhanced / Existing - Restored Brushed Finish, Plain Concrete Walkway Surfaces;
- 6) New Retaining Walls, as Necessary to Enhance the Positive Site Drainage Pathways;
- 7) New Topgal Hail Damage Overhead Barrier at the New Shade Pergola Structure's Matching Carport;
- 8) Remove the Existing Damaged Wooden Fenceline and Replace w/ New Cedar Wood Fenceline,
w/ Steel Posts, to Include (3) Pedestrian Gates and (1) Remote Controlled, Automatic,
10' Wide Vehicular Swing Gate Which Matches the Selected Wood Style at the Property's Fencelines;
- 9) Newly Graded Site Areas to Enhance the Existing Directions for the Storm Water Drainage Pathways;
- 10) A New, Rear Garden Outdoor Grilling Area Countertop w/ Countertop Built-In Ice Chest,
3' Countertop Gas Grill Area, Below Counter Refrigerator and Bar Counter;
- 11) A Privacy Fenced, Semi-Paved Outdoor West Side Yard Uncovered Storage Yard Area;
- 12) New Site Security Landscape Lighting at Fencelines, and at the Front Entrance Garden's Walkway;
- 13) New Entrance Step Concrete Repair Work at the House and Cottage;
- 14) A New Alleyside Trash Area Storage Pad;
- 14) An Automatic Irrigation Plan, and;
- 15) A New, Beautiful Front Entrance Garden Design Which Creates a Balanced, Inspiring Street Appeal.

PROJECT DRAWING LIST: (*) = (ADDED FOR CLARITY BY REQUEST OF THE COSA - OHP PRELIMINARY REVIEW BOARD)

- L-1 PROJECT SUMMARY / LIST OF DRAWINGS / COVER SHEET
- L-2 EXISTING SURVEY
- L-3 TREE REMOVAL PLAN
 - *L-3A ENLARGED SITE PHOTO IMAGES SHOWN ON SHEET L-3
 - *L-3B ENLARGED SITE PHOTO IMAGES SHOWN ON SHEET L-3
 - *L-3C ENLARGED SITE PHOTO IMAGES SHOWN ON SHEET L-3
- L-4 PROPOSED HARDSCAPE PLAN, OUTDOOR COUNTERTOP and CERAMIC TILE INFORMATION
 - *L-4A ENLARGED PHOTO IMAGES SHOWN ON SHEET L-4
 - *L-4B ENLARGED SITE PHOTO IMAGES SHOWN ON SHEET L-4
- L-5 PROPOSED WOODEN SHADE STRUCTURES, WOOD FENCE and STEEL POST INFORMATION
 - *L-5A ENLARGED PHOTO IMAGES SHOWN ON SHEET L-5
- L-6 PROPOSED OPEN ROOF, POLYGAL COVERED, HIP ROOFED, AND CARPORT PERGOLAS
 - *L-6A ENLARGED PHOTO IMAGES SHOWN ON SHEET L-6
- L-7 PROPOSED LANDSCAPE PLAN, PLANT IMAGES, PLANT LEGEND and LANDSCAPE ITEM KEY
 - *L-7A ENLARGED PLANTING PLAN
 - *L-7B ENLARGED PHOTO IMAGE OF A SYNTHETIC REAR LAWN INSTALLATION
- *L-8 ELEVATION IMAGE SHOWING THE FRONT OF RESIDENCE WITH THE PROPOSED FENCE, PERGOLA AND CARPORT
- L-9 EXISTING SITE PHOTO IMAGES
- L-10 ENLARGED SITE PHOTO IMAGES
- L-11 PRIMARY EXISTING TREE PHOTO IMAGES
 - *L-11A ENLARGED TREE PHOTO IMAGES
 - *L-11B ENLARGED TREE PHOTO IMAGES
- L-12 PRIMARY EXISTING TREE PHOTO IMAGES
 - *L-12A ENLARGED TREE PHOTO IMAGES
 - *L-12B ENLARGED EXISTING TREE PHOTO IMAGES
- L-13 PRIMARY EXISTING TREE PHOTO IMAGES
 - *L-13A ENLARGED TREE PHOTO IMAGES
 - *L-13B ENLARGED TREE PHOTO IMAGES
- L-14 PROPOSED LIGHTING AND IRRIGATION PLANS
 - *L-14A ENLARGED LIGHTING FIXTURE SPECIFICATION SHEET
- L-15 FRONT PERSPECTIVE CONCEPT SKETCH

1

L-1

PROJECT SUMMARY /
LIST OF DRAWINGS / COVER SHEET

SCALE: Not to Scale

NOTE: COSA - OHP = The City of San Antonio Office of Historic Preservation

<div>LANDSCAPE ENHANCEMENTS FOR:</div> <div>THE JAIMESON RESIDENCE</div> <div>207 WEST MULBERRY AVENUE</div> <div>SAN ANTONIO, TEXAS 75812</div>	<div>BY: VHS OUTDOOR LIVING COMPANY</div> <div>14726 BULVERDE ROAD</div> <div>SAN ANTONIO, TEXAS 78247</div> <div>TEL: 210-287-7027; www.vhslandscaping.com</div>	<div>REVISION DATE: 05-06-21</div> <div>PROJECT DRAWING LIST</div> <div>DATE: 04-19-21</div> <div>DESIGNER: JERRY WILSON</div> <div>SHEET #: L-1 of L-15 Sheets</div> <div>PROJECT #: VHSD-052</div>
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□ APPLY TO THE CITY OF SAN ANTONIO - MONTE VISTA TO REMOVE and REPLACE THIS SMALL, WILD GROWN ALLEY SIDE TREE WHICH IS GROWING ON THE PRIVACY FENCELINE



□ SEEK PERMISSION W/ THE CITY OF SAN ANTONIO - MONTE VISTA TO REMOVE THIS SEVERELY DAMAGED TREE, AND REPLACE IT WITH A NEW TREE AT A DIFFERENT LOCATION



□ SEEK PERMISSION W/ THE CITY OF SAN ANTONIO - MONTE VISTA TO REMOVE THIS LEANING TREE WHICH IS GROWING UNDER THE HOUSE, AND REPLACE IT WITH A NEW TREE AT ANOTHER LOCATION

□ NEWLY BURIED, EXISTING, BELOW GRADE CONCRETE BEAM



□ SEEK PERMISSION TO REMOVE THIS TREE WHICH IS IN DECLINE, AND IS ENCRDACHING UPON THE FRONT FACADE OF THE HOUSE; REPLACE IT WITH A NEW TREE AT ANOTHER LOCATION

□ NEWLY BURIED, CONCRETE PIPE LOCATION

□ EXISTING, FRONT ENTRANCE CONCRETE WALKWAY

TREE REMOVAL PLAN
(EXISTING TREE LOCATIONS, EXISTING TREES TO BE REMOVED, NEW REPLACEMENT TREES, and EXISTING GRADE HEIGHTS)

1
L-3

SCALE: 1/16"=1'-0"

WEST MULBERRY AVENUE

EXISTING TREES				
TREE ITEM #:	EXISTING TREE TYPE / CONDITION / (DIAMETER)	ADDITIONAL NOTE:	PHOTO REF.	REMOVE
T1	Rusty Blackhaw Viburnum/ In Decline / (16")			YES
T2	Cedar Elm / Severely Damaged, In Advanced State of Decay / (15")	Main Trunk Hacked, Leaning		YES
T3	Mountain Laurel / Damaged, Encroaching Upon the Driveway / (16"			YES
T4	Live Oak / Speciman / (14")			NO
T5	Live Oak / Speciman / (14")			NO
T6	Live Oak / Speciman / (17")			NO
T7	Vitex / In Decline / (22")			YES
T8	Crape Myrtle Multitrunk/ Young / (Cumulative "7")			NO
T9	Crape Myrtle Multitrunk/ Young / (Cumulative "19")			NO
T10	Pecan / Speciman / (20")			NO
T11	Rusty Blackhaw Viburnum / Encroaching Upon the Existing Cottage / (5")	Alley-Side Tree Massed Mess		YES
T12	Hackberry / Encroaching Upon the Existing Cottage / (5")	Alley-Side Tree Massed Mess		YES
T13	Rusty Blackhaw Viburnum / Growing Wild on Fenceline, Not Planted / (5")	Alley-Side Low Tree Mess		YES
T14	Rusty B. Viburnum / Severely Damaged, In Advanced State of Decay / (12")			YES
T15	Rusty Blackhaw Viburnum / Encroaching Upon the Residence / (10")	Grows Under the House		YES
	TOTAL TREE COUNT TO BE REMOVED			9

□ EXISTING, CONGESTED, 'WILD, NOT PLANTED' RUSTY BLACKHAW VIBURNUM to be REMOVED

□ EXISTING WOODEN UTILITY POLE

□ EXISTING, CONGESTED, 'WILD, NOT PLANTED' RUSTY BLACKHAW VIBURNUM to be REMOVED



□ EXISTING, SEVERELY WORN, REAR LAWN AREA - TO BECOME A SYNTHETIC TURF FIELD AREA

□ EXISTING TREE IN DECLINE TO BE REMOVED AND REPLACED BY A NEW TREE AT ANOTHER LOCATION



□ EXISTING, SEVERELY DAMAGED, STONE PATIO



□ EXISTING, SEVERELY NEGLECTED, PLANTING BED



□ EXISTING, SEVERELY DAMAGED, STONE STEPS

□ EXISTING, SEVERELY NEGLECTED, PLANTING BED

□ APPLY TO THE CITY OF SAN ANTONIO - MONTE VISTA TO REMOVE and REPLACE THIS SEVERELY DAMAGED TREE, AND REPLACE IT WITH A NEW TREE AT ANOTHER LOCATION



□ NEWLY BURIED PIPE LOCATION

□ APPLY TO THE CITY OF SAN ANTONIO - MONTE VISTA TO REMOVE and REPLACE THIS TREE IN DECLINE DUE TO IT'S ADVANCED DAMAGE + STAGE OF DECAY

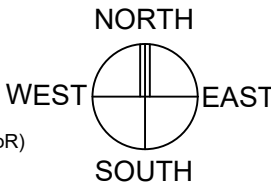


□ EXISTING, WORN LAWN AREA (ON BOTH SIDES OF THE FRONT ENTRANCE'S CONCRETE WALKWAY LEADING TO THE STREET CURB)

□ NEWLY BURIED TRENCH LOCATION

KEY:

BoV: Bottom of Vent
EG: Existing Grade
MPt: Match Point Transit Setup
TBD: To be Determined
ToCb: Top of Curb
ToCn: Top of Concrete
ToL: Top of Lip
ToR: Top of Ramp
ToS: Top of Step
ToT: Top of Threshold



REPLACEMENT TREES		
TREE TYPE:	TREE NAME / DIAMETER	# of TREES
CMT	Crape Myrtle Multitrunk ("3")	1
DWT	Desert Willow ("3")	1
MOT	Monterrey Oak ("4")	2
MXOT	Mexican Olive ("3")	1
PHT	Possumhaw Holly ("3")	3
TOTAL TREE COUNT TO BE REPLACED		8

2
L-3

TREE LEGEND

SCALE: Not to Scale

NOTE: NEW, REPLACEMENT TREE LOCATIONS ARE SHOWN ABOVE AS COLOR CIRCLES

LANDSCAPE ENHANCEMENTS FOR:
THE JAIMESON RESIDENCE
207 WEST MULBERRY AVENUE
SAN ANTONIO, TEXAS 75812

BY: **VHS OUTDOOR LIVING COMPANY**
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SAN ANTONIO, TEXAS 78247
TEL: 210-287-7027; www.vhslandscaping.com

0 10'-0" 20'-0" 30'-0"
GRAPHIC SCALE:
REVISION DATE: 05-05-21
(T-14, T-11 NOTES, DRAWING TITLE NUMBERS)
DATE: 04-19-21
DESIGNER: JERRY WILSON
SHEET #: L-3 of L-15 Sheets
PROJECT #: VHSD-052



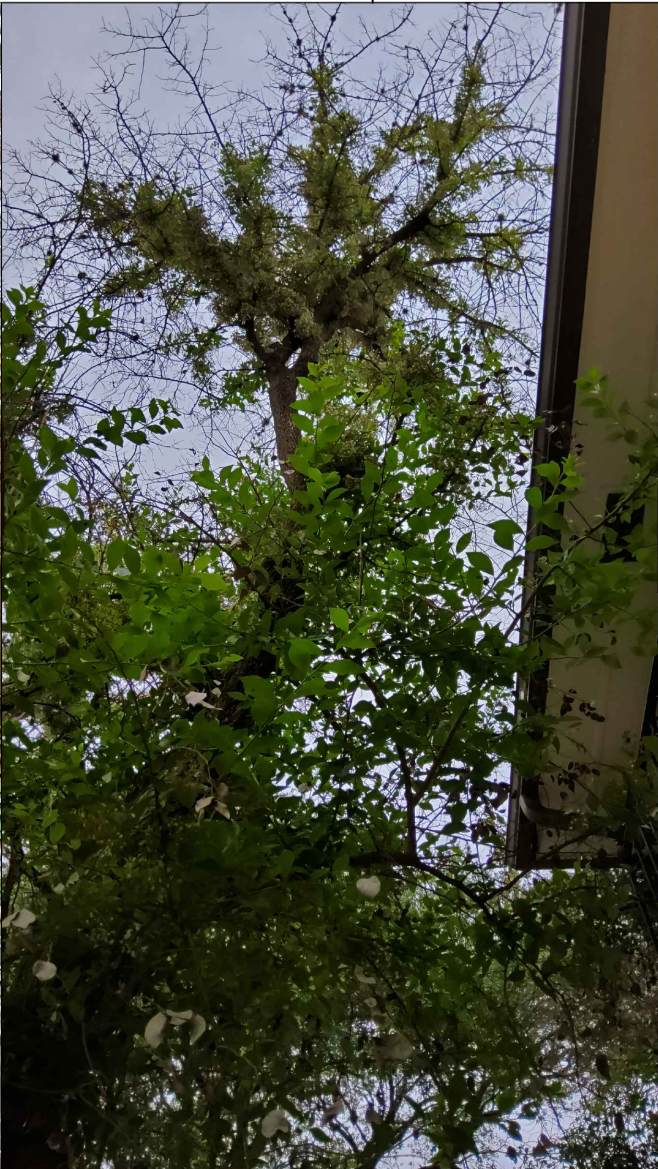
1A
L-3A T-13 RUSTY BLACKHAW VIBURNUM
ALONG ALLEY LOOKING WEST



1D
L-3A T-15 'RBV' UNDER HOUSE WEST
ELEVATION LOOKING NORTH



1B
L-3A T-14 RUSTY BLACKHAW VIBURNUM
LOOKING DOWN-NORTH-WEST



1C
L-3A T-14 RUSTY BLACKHAW VIBURNUM
TOP LOOKING UP-NORTH-WEST



1E
L-3A T-1 RUSTY BLACKHAW VIBURNUM
LOOKING UP-NORTH



1F
L-3A T-10, T-9 & T-8 W/EXISTING REAR YARD FENCE LINE
LOOKING NORTH-WEST

1
L-3A

ENLARGED SITE PHOTO IMAGES
ORIGINALLY SHOWN IN CONTEXT ON PAGE L-3
SCALE: Photo Images are Not to Scale

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REVISION DATE: 05-05-21
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PROJECT #: VHSD-052



1A L-3B	T-12 'RBV', UTILITY POLE & T-11 'RBV' LOOKING SOUTH	1B L-3B	T-12 'RBV', UTILITY POLE & T-11 'RB VIBURNUM' LOOKING EAST	1C L-3B	T-7 'VITEX' LOOKING NORTH-WEST (REMOVE IT AND FENCE-LINE)
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1D L-3B	T-3 'DAMAGED MOUNTAIN LAUREL' & T-4 'LIVE OAK' LOOKING WEST
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1E L-3B	T-2 'DAMAGED CEDAR ELM' LOOKING DOWN-SOUTH-EAST
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ENLARGED SITE PHOTO IMAGES
ORIGINALLY SHOWN IN CONTEXT ON PAGE L-3
SCALE: Photo Images are Not to Scale

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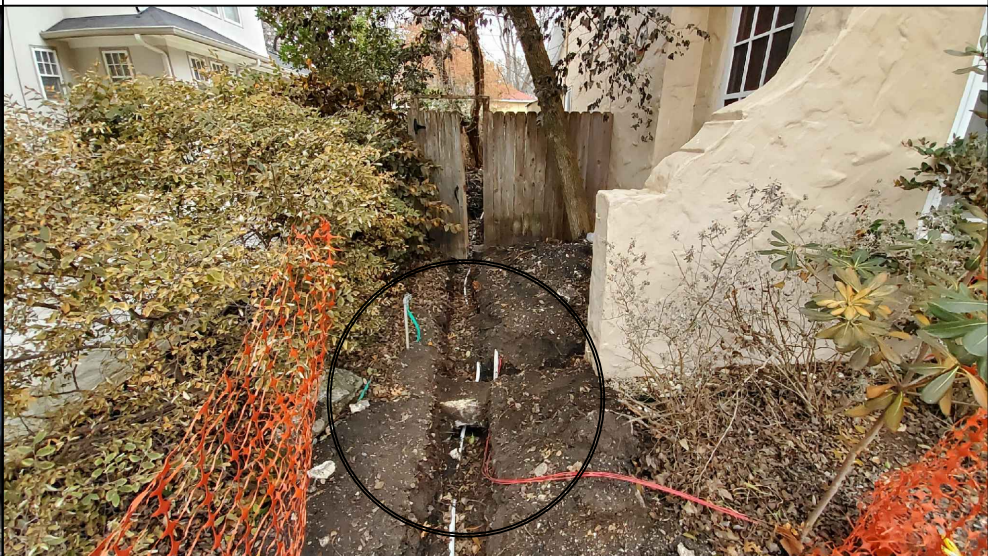
DATE: 04-19-21
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PROJECT #: VHSD-052



1A
L-3C T-5 & T-6 ('LIVE OAKS') LOOKING NORTH-WEST, SHOWING SEVERELY DAMAGED STONE STEP LANDING AREA



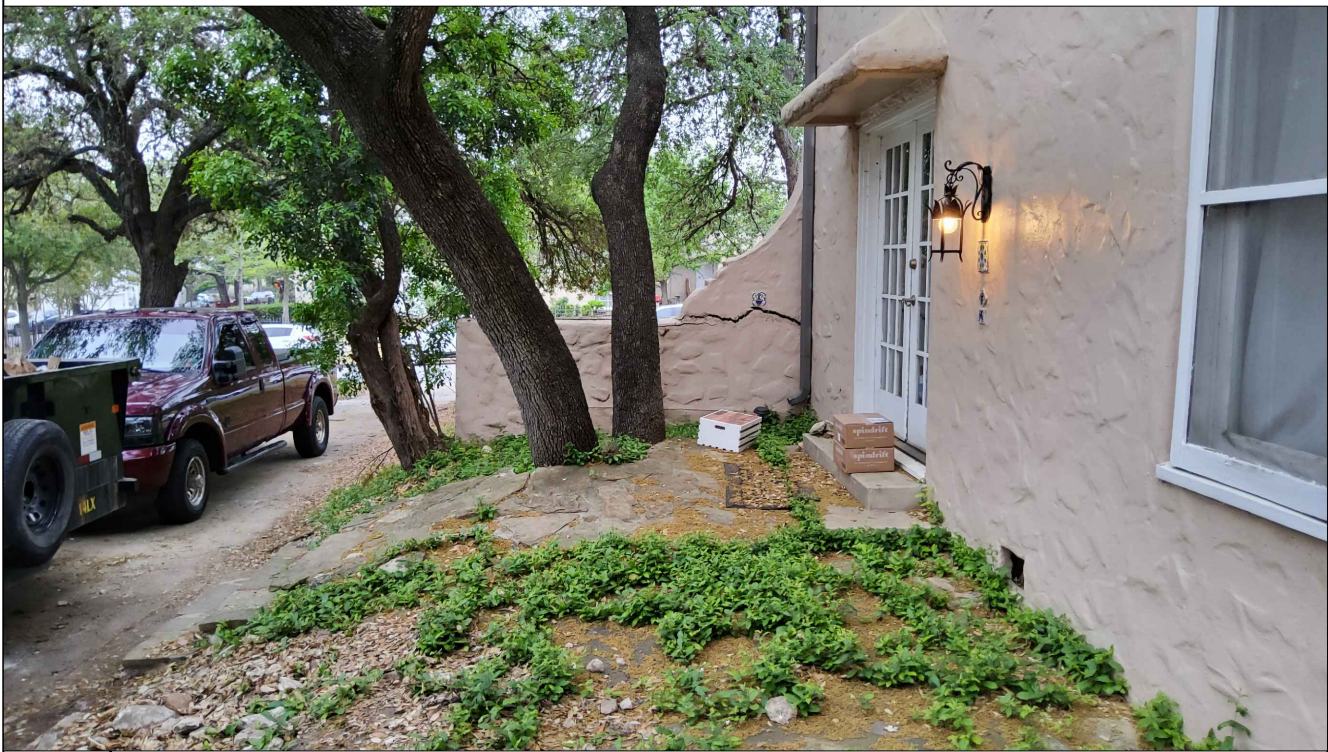
1B
L-3C T-7 AT FENCE-LINE LOOKING NORTH, SHOWING LOOSE STONE PATIO RUBBLE AT NEGLECTED BED



1D
L-3C T-14 & T-15 LOOKING NORTH SHOWING FRONT-SOUTH- WEST WING WALL W/ EXCAVATED BEAM EXTENSION

GENERAL WING WALL NOTE: □ THIS WING WALL REPAIR WILL REQUIRE AN EXTENSIVE, INTERNAL STRUCTURAL REBUILD, W/ AN EXTERNAL STUCCO TEXTURE AND COLOR MATCH, WHILE SHORTENING THE LENGTH OF THE LOWEST RUN OF THIS WING WALL WHOSE EXCESSIVE LENGTH WAS HOISTED UPWARD BY THE ROOT SYSTEMS OF THE NEARBY TREES WHICH CRACKED THE WALL.

THE OWNER DESIRES A DECREASE IN HORIZONTAL LENGTH OF THIS EAST-END WING WALL TO MATCH THE EXISTING ELEVATION PROFILE VIEW OF THE 'MIRRORED' FRONT ELEVATION'S WEST-END WING WALL. IRONICALLY, THE WEST-SIDE WING WALL WAS PREVIOUSLY CONSTRUCTED W/ A REDUCED LENGTH EXHIBITED BY THE NOW BURIED WING WALL FOUNDATION BEAM EXTENSION, ILLUSTRATED BY PHOTO IMAGE #: (1D / L-3C)



1C
L-3C T-4, T-3, T-6 & T-5 AT SEVERELY DAMAGED STONE PATIO W/ SEVERELY DAMAGED NORTH SIDE OF EAST WING WALL LOOKING SOUTH.

ENLARGED SITE PHOTO IMAGES
1
L-3C ORIGINALLY SHOWN IN CONTEXT ON PAGE L-3
SCALE: Photo Images are Not to Scale

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DESIGNER: JERRY WILSON
SHEET #: L-3C of L-15 Sheets
PROJECT #: VHSD-052

Blaze 22 Inch Ice Bin Cooler / Wine Chiller
Fully insulated cooler is perfect for
storing ice or serving cool drinks
Storage bin is deep enough to store liquor
& wine bottles, or cans of soft drinks
Stainless steel construction
is durable in outdoor conditions
Includes a drain for easy emptying
Hydraulic-like bracket holds the lid open
SKU: BLZ-ICEB-WH Category: Refrigeration

DESCRIPTION ADDITIONAL INFORMATION

Overall Dimensions
21 3/4" H x 21 3/4" W x 21 3/4" D
Cutout Dimensions
20 1/4" H x 20 1/4" W x 20 3/4" D
Internal Dimensions
19" H x 17 3/4" W x 17 3/4" D



Weight 99 lbs
Overall Dimensions
33 1/4" H x 20 1/2" W x 23" D

Cut Out Dimensions
33 3/4"H x 21 9/16"W x 23 1/2"D

The Blaze 4.1 Outdoor Compact Refrigerator is the ideal space saving solution for outdoor kitchens built into your island. Interior design offers plenty of shelf space for all your favorite refreshments! The stylish 304 grade stainless steel design pairs well with your other outdoor kitchen products. Requires 110 volts, 115 Watts and UL approved for outdoor use. The refrigerator, including the compressor, is warranted for 1 year to the original owner against defects in manufacturing and workmanship. This warranty extends to the original purchaser against manufacture defects for products purchased for ordinary single-family home use.

CALIFORNIA PROPOSITION 65 WARNING

WARNING: This product can expose you to chemicals including Chromium (hexavalent compounds), which are known to the State of California to cause cancer and birth defects or other reproductive harm. For more information, go to: www.P65Warnings.ca.gov



Weight 114 lbs
BLZ-4LBM Overall Dimensions
21 1/4" H x 32 1/2" W x 25 3/4" D
BLZ-4LBM Cut-Out Dimensions
8 1/2" H X 30 5/8" W X 21 1/4" D
(See manual for information on additional
space needed for grill hood to open)

Prelude LBM 32" 4-Burner Grill
Lifetime Warranty
3-Year Multi-User Warranty
4 commercial quality 304 stainless steel tube burners
14,000 BTUs of cooking power per burner, for a total cooking surface of 56,000 BTUs
Heavy 8mm stainless steel rounded cooking rods maximize durability
740 square inches of total cooking space
Push and turn flame-thrower primary ignition system delivers a fast start every time
Flash tube ignition and crossovers provide an alternate ignition option
Heat zone separators divide the cooking surface into individual temperature zones
Flame stabilizing grids minimize flare-ups
Full-width drip tray for quick clean up
Double-lined grill hood



Lafitt Tandem™ features the look of chiseled stone and is ideal for an array of landscaping uses, including grade changes and freestanding walls. Available in solid or virtual joint units, to create a custom pattern.

- A NEW 4'-0" x 8'-0" x 2" THICK, POURED IN PLACE, CONCRETE COUNTER HEIGHT (38" Tall) BARTOP FEATURES A BLAZE MANUFACTURED 3' WIDE ALUMINUM GAS GRILL, A COUNTERTOP ICE CHEST, and a BELOW COUNTER HEIGHT REFRIGERATOR

THE COUNTERTOP BASE IS BUILT WITH TREATED LUMBER WOOD FRAME, and is FACED WITH BELGARD LAFITT TANDEM MANUFACTURED STONE PAVERS

THE BELGARD STONE PAVERS ARE ALSO USED TO CREATE AN 18" TALL x 18" WIDE SEATWALL BENCH BEHIND THE COUNTERTOP

- OFFSET THE WOOD PERGOLA POST ALIGNMENT BY (1) BEAM WIDTH TO ALLOW ACCESS TO TO THE EXISTING CLUSTERED POWER BOXES

- NEW OUTDOOR STORAGE AND CIRCULATION CORRIDOR

- SCRATCH COAT the EXISTING STOOP AND APPLY A 3" or 4" TALL, SINGLE VERTICAL COURSE TILE ACCENT, w/ POSSIBLE ADDED 1/2 ROUND TOP TRIM AROUND THE (2) SEMI-CIRCULAR STOOP'S VERTICAL STEP RISERS and NEW LOWER LEVEL (3) STRAIGHT STEP RISERS, TO COORDINATE w/ the EXISTING CERAMIC TILE MOTIF LOCATED AROUND THE EXISTING FRONT DOOR FRAME (SEE DRAWING 1/L-15). REFER TO PHOTO IMAGES 7A/L-10 and 8A/L-10 for EXISTING TILE IMAGES. SELECT A COMPLIMENTARY MORROCAN-LIKE ACCENT TILE FOR THIS APPLICATION FROM REESO TILE IMPORTERS, INC. 1022 VANCE JACKSON RD. San Antonio, TX 78201

- A NEW 3' WIDE RIVER ROCK PATHWAY FEATURING 30"x30" FLAGSTONE STEPPING STONES WELCOME VISITORS THROUGH THE FRONT GARDEN. THE 'BEAN SHAPED', COLOR FILLED, FLOWERING PLANTING BEDS REINFORCE THE RESIDENCE'S SYMMETRICAL FRONT ELEVATION

GENERAL NOTE:

ALL CONCRETE POURS WILL BE BRUSH FINISHED, 3000 PSI PLAIN CONCRETE, w/ 3/8" REBAR SPACED 16" O.C., w/ 8" WIDE TURN DOWN BEAMS, 12" TALL FROM THE TOP OF CONCRETE SURFACE HEIGHT TO THE BOTTOM OF THE TURNED DOWN BEAM. EACH REINFORCED CONCRETE POST FOOTING WILL BE 12"Lx12"Wx18"H, POURED ON UNDISTURBED SOIL

PROPOSED HARDSCAPE PLAN
OUTDOOR COUNTERTOP
and CERAMIC TILE PLANS

1

L-4

SCALE: 1/16"=1'-0"



- SCRATCH COAT ALL EXISTING CONCRETE WALKWAYS TO BLEND THEM WITH NEW NEW PLAIN CONCRETE WALKWAYS AROUND THE SITE

NOTE: ALL DIMENSIONS ARE TO BE CONFIRMED AND APPROVED BY THE CONSTRUCTION SUPERVISOR/ CONTRACTOR
THE CONSTRUCTION SUPERVISOR/ CONTRACTOR CAN REVISE ALL DIMENSIONS AND CONTENT FOR CONSTRUCTION PURPOSES



- POUR A NEW CONCRETE PAD TO DEFINE THE NEW TRASH STORAGE AREA



- REMOVE EXISTING DAMAGED CONCRETE WALKWAY and STEPS. POUR A NEW CONCRETE WALK TO CONNECT THE RESIDENCE, AND PATIO AREAS WITH THE TRASH STORAGE AREA



- REMOVE EXISTING DAMAGED STONE PATIO and STEPS to POUR NEW BRUSH FINISH, PLAIN CONCRETE PATIO and STEP RISERS



(DAMAGED EAST SIDE WING WALL)

(EAST SIDE WING WALL)

(WEST SIDE WING WALL)



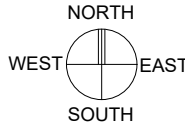
- CUT and REMOVE EAST SIDE WING WALL SEGMENT TO MATCH THE EXISTING WEST SIDE WING WALL. REPAIR CRACK and ENDWALL at the EAST WING WALL.

- DEMOLISH THE LOWER (3) STEP RISERS, MID-LEVEL LANDING and LOWER LEVEL SIDEWALK SEGMENT. POUR (3) NEW BRUSHED FINISHED PLAIN CONCRETE STEP RISERS TO CREATE (2) EQUAL RISER HEIGHTS at the EXISTING SEMI-CIRCULAR STOOP. SCRATCH COAT the EXISTING STOOP to MATCH the NEWLY POURED CONCRETE STEP RISERS and SIDEWALK SEGMENTS



- TYPICAL DOUBLE 2" SLEEVE LOCATIONS
- REPAIR THIS AREA W/ A NEW CONCRETE DRIVEWAY SEGMENT

- CUT, PLACE and REPAIR EXISTING SIDEWALK for NEW 2" DIA. IRRIGATION SLEEVE LOCATIONS (TYPICAL DETAIL)



KEY:

- EXISTING CONCRETE
- NEW CONCRETE SURFACES
- STEEL EDGING AT BEDLINES
- BURIED SLEEVES, (IRRIG. or ELEC.)
- 6' x 6" x RANDOM CHOPPED BLOCK
- OVERHEAD SHADE PERGOLA POST
- 6' TALL WOOD PRIVACY GATE

0 10'-0" 20'-0" 30'-0"

GRAPHIC SCALE:

REVISION DATE: 05-05-21
(DRAWING TITLE NUMBER)
DATE: 04-19-21
DESIGNER: JERRY WILSON
SHEET #: L-4 of L-15 Sheets
PROJECT #: VHSD-052

LANDSCAPE ENHANCEMENTS FOR:
THE JAIMESON RESIDENCE
207 WEST MULBERRY AVENUE
SAN ANTONIO, TEXAS 75812

BY: **VHS OUTDOOR LIVING COMPANY**
14726 BULVERDE ROAD
SAN ANTONIO, TEXAS 78247
TEL: 210-287-7027; www.vhslandscaping.com



1A
L-4A OUTDOOR ICE BIN COOLER / WINE CHILLER



2A
L-4A OUTDOOR REFRIGERATOR



3A
L-4A OUTDOOR 4 BURNER GRILL



4A
L-4A BELGARD LAFITT TANDEM MANUFACTURED STONE RETAINING WALL FOR OUTDOOR COUNTERTOP & SEATWALL

1
L-4A ENLARGED SITE PHOTO IMAGES
SHOWN IN CONTEXT ON PAGE L-4

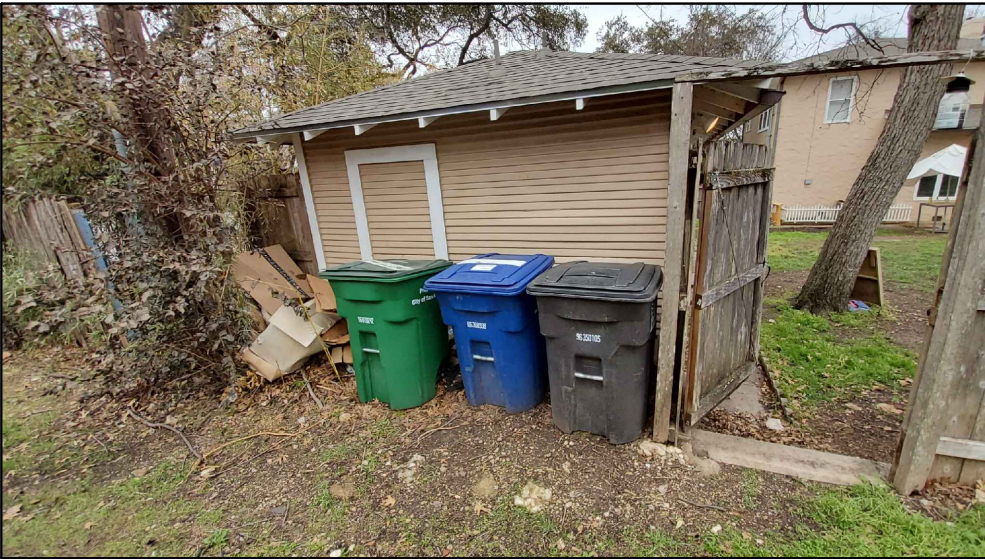
SCALE: Photo Images are Not to Scale

LANDSCAPE ENHANCEMENTS FOR:
THE JAIMESON RESIDENCE
207 WEST MULBERRY AVENUE
SAN ANTONIO, TEXAS 75812

BY: VHS OUTDOOR LIVING COMPANY
14726 BULVERDE ROAD
SAN ANTONIO, TEXAS 78247
TEL: 210-287-7027; www.vhslandscaping.com

REVISION DATE: 05-05-21
NEW SHEET # W/
ENLARGED PHOTO IMAGES

DATE: 04-19-21
DESIGNER: JERRY WILSON
SHEET #: L-4A of L-15 Sheets
PROJECT #: VHSD-052



1A
L-4B
NEW CONCRETE PAD TRASH STORAGE AREA
LOOKING SOUTH



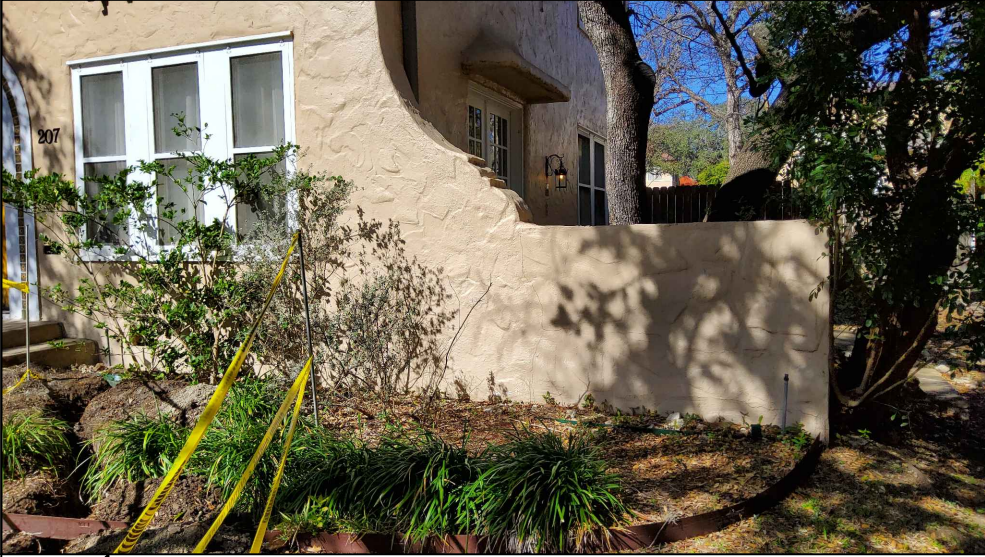
2A
L-4B
NEW CONCRETE WALKWAY AREA W/ (2) STAIR ZONES
LOOKING NORTH



3A
L-4B
NEW CONCRETE PATIO AREA W/ (2) STAIR STEP ZONES
LOOKING SOUTH-WEST



4A
L-4B
NORTH EAST SIDE OF FRONT-EAST WING WALL
LOOKING SOUTH-WEST



5A
L-4B
SOUTH SIDE OF FRONT-EAST WING WALL
LOOKING NORTH



6A
L-4B
SOUTH SIDE OF FRONT-WEST WING WALL
LOOKING NORTH



7A
L-4B
FRONT SOUTH ELEVATION OF FRONT ENTRANCE
LOOKING NORTH



8A
L-4B
SOUTH-EAST END OF DRIVEWAY LOOKING SOUTH
SHOWING DRIVEWAY EXCAVATION AT SIDEWALK

ENLARGED SITE PHOTO IMAGES
SHOWN IN CONTEXT ON PAGE L-4
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CORNER POSTS

- Strong 120° steel with a concrete lock for the strongest corner that supports 2 lines of fence
- Multiple hole patterns provide options for outside rail or inside rail installation for the style of fence you install

- Material - Pre-Galvanized G90
- A653 SS Grade 50
- Thickness - 0.120 inch
- Yield Strength - 50 ksi
- Tensile Strength - 65 ksi
- Windload - 70 mph (ULC, ASCE 7-10, IBC 2012)
- Concrete Lock

GATE POSTS

- Robust steel design that holds the hardware and gate straight and square for years of worry free service and no call backs
- Rails slide inside the post to maximize holding strength with screws
- Powder coated black finish adds a style accent to the gate or can be covered for the natural look of wood
- Can be used for right or left hung gates or used as a Gate and Latch Post

- Material - Powder Coated Black
- A653 SS Grade 50
- Thickness - 0.100 inch
- Yield Strength - 50 ksi
- Tensile Strength - 65 ksi
- Windload - 73 mph (ULC, ASCE 7-10, IBC 2012)
- Concrete Lock

LINE POSTS

- Wider flanges provide stronger holding power and reduces splitting of rails
- Shorter "hat" section allows a flush cover for a clean fence line
- Multiple hole patterns allows for screws or lag bolts
- Countersunk holes for flush seating and ease to cover
- Concrete lock adds system strength and performance

- Material - Pre-Galvanized G90
- A653 SS Grade 50
- Thickness - 0.100 inch
- Yield Strength - 50 ksi
- Tensile Strength - 65 ksi
- Windload - 73 mph (ULC, ASCE 7-10, IBC 2012)
- Concrete Lock

MASTER HALCO CEDAR WOOD PRIVACY FENCE and STEEL SUPPORT POSTS, (Stabilized at Grade by 12"L x 12"W x 18"H Isolated Concrete Footings Set on Undisturbed Soil)

Best Choice for premium residential fencing

Natural Beauty
Strength
Longevity
Stainability

A traditional brand of Cedar fencing, Western Red Cedar is ideal for your home. For centuries Western Red Cedar has been known for its beauty and durability, making it the preferred wood species for outdoor projects. Western Red Cedar fences are extremely sturdy and can last for 20 years or longer depending on your environmental conditions.

The many grades produced allows you to pick the quality option that meets a price point for your fence project.

Western Red Cedar is the preferred fence product of choice throughout the United States. This cedar is locally grown in Pacific and Inland Northwest forests managed for sustainability. The heaviest use for fencing is the Northwest to Texas up through the Midwest extending to the Atlantic Ocean down to Atlanta, Georgia.

Manufacturers have a zero wood waste policy and produce by-products such as wood chips, sawdust, mulch and bio-fuel.

Pre-Stained Western Red Cedar
Protect your Assets

Extend lifetime
Lower maintenance
Color match your environment
Reduced shrinkage

Western Red Cedar can be factory stained prior to installation, thus reducing the mess and hassle of staining your fence after it is installed.

Stains are available in many colors with the primary being dark brown, medium brown, dark redwood, and medium redwood.

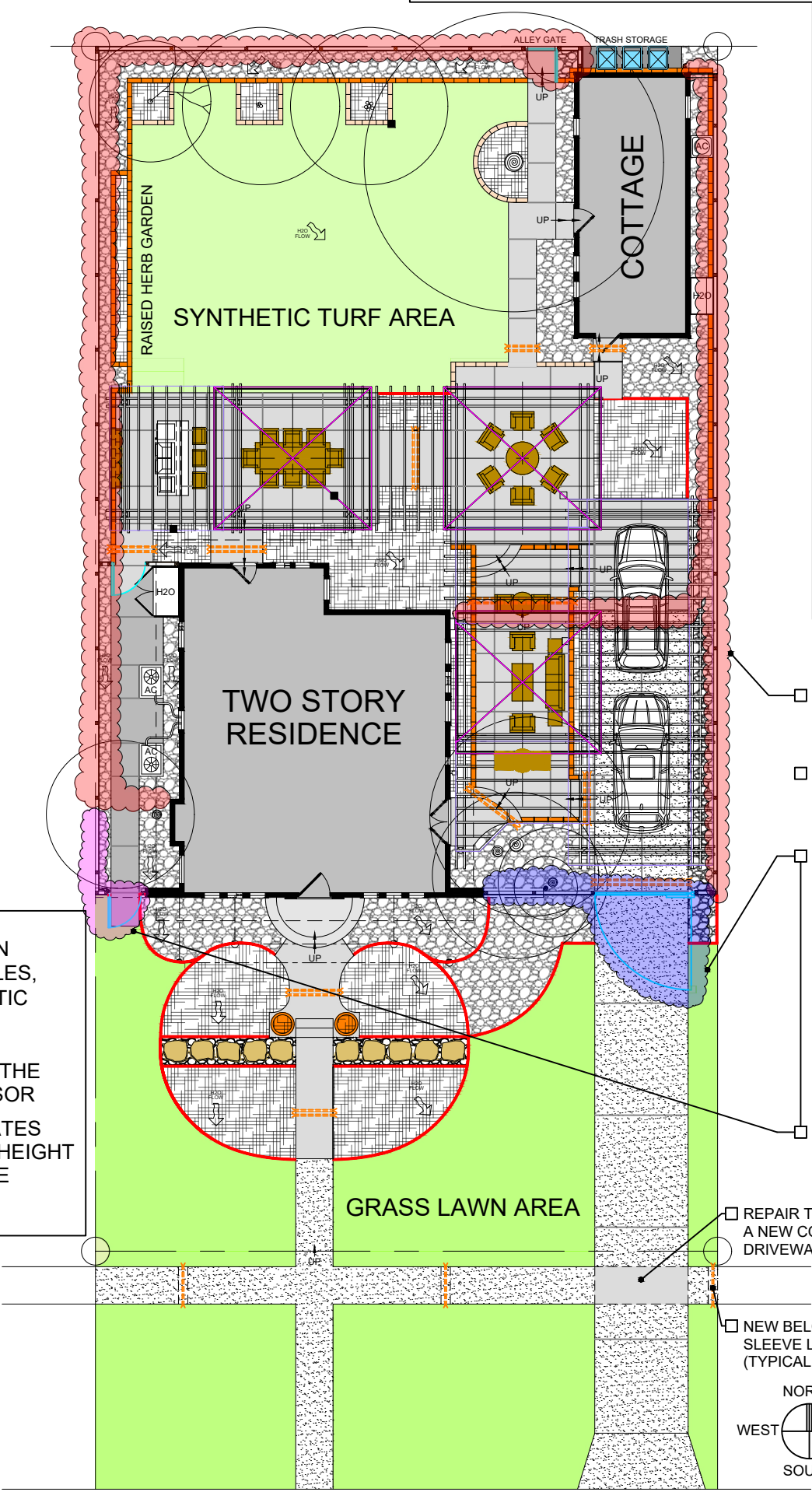
Stains are either water based or oil based. Typically, a quality oil based stain will provide a longer period between re-staining your fence. This means less maintenance over the lifetime of the fence.

Master Halco is proud to be partnered with our sister company Alta Forest Products to provide our customers the highest quality Western Red Cedar. Click on the logo to learn more about Alta.

2
L-5

PROPOSED WOODEN FENCE AND STEEL POST INFORMATION

SCALE: NOT TO SCALE

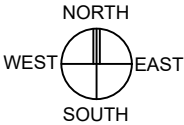


GENERAL NOTES:

ALL WOOD CONSTRUCTION SIZING, ELEVATION PROFILES, STRUCTURAL and AESTHETIC CHARACTER WILL BE CONTROLLED BY AND ARE SUBJECT TO REVISION BY THE CONSTRUCTION SUPERVISOR

ALL NEW FENCING AND GATES WILL NOT EXCEED 6'-0" IN HEIGHT ABOVE GRADE, ANYWHERE AROUND THE FENCELINE.

- REMOVE THIS EXISTING DAMAGED WOOD FENCELINE, (3) PEDESTRIAN GATES and (1) VEHICULAR GATE (SHOWN WITHIN THE RED 'CLOUDED' AREA)
- REPLACE THE EXISTING WOOD FENCELINE WITH A NEW MASTER HALCO CEDAR WOOD FENCELINE, w/ METAL POSTS IN ISOLATED CONCRETE FOOTINGS
- RELOCATE THE THE LOCATION OF THE NEW 10' WIDE, 6' TALL, REMOTE CONTROLLED VEHICULAR SWING GATE FORWARD (SOUTH), TO BE LOCATED JUST BEHIND THE FRONT ELEVATION OF THE RESIDENCE, IN LINE, JUST BEHIND THE FRONT FACE OF THE NEWLY REPAIRED, EAST SIDE, FRONT WING WALL (SHOWN WITHIN THE BLUE 'CLOUDED' AREA). THE ELECTRONIC GATE MECHANISM W/ SOLAR POWER WILL BE PROVIDED AND INSTALLED BY LIFTMASTER, AND SELECTED / COORDINATED WITH CONCRETE FOOTINGS BY THE LANDSCAPE CONSTRUCTION SUPERVISOR, WITH GATE MECHANISM TYPE APPROVED BY THE CLIENT
- THIS WILL ALIGN TO BECOME THE NEW LOCATION OF THE PRIVACY FENCELINE AT THE SYMMETRICAL WEST SIDE WING WALL (SHOWN WITHIN THE PINK 'CLOUDED' AREA)
- REPAIR THIS AREA W/ A NEW CONCRETE DRIVEWAY SEGMENT
- NEW BELOW GRADE SLEEVE LOCATIONS (TYPICAL DETAIL)



WOOD MEMBER DIMENSIONS FOR PERGOLAS:

- 6"x6" ROUGH RED WESTERN CEDAR WOOD POSTS
- 2"x8" ROUGH RED WESTERN CEDAR WOOD BEAMS
- 2"x6" ROUGH RED WESTERN CEDAR WOOD RAFTERS
- 2"x2" ROUGH RED WESTERN CEDAR WOOD SHAKE SLATS

1
L-5

PROPOSED OUTDOOR WOODEN SHADE STRUCTURES

SCALE: 1/16"=1'-0"

LANDSCAPE ENHANCEMENTS FOR:
THE JAIMESON RESIDENCE
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SAN ANTONIO, TEXAS 75812

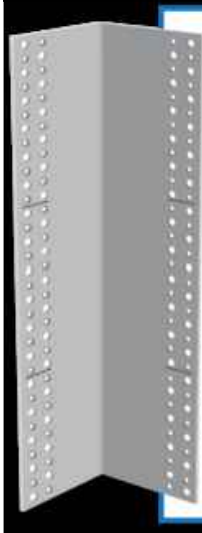
BY: **VHS OUTDOOR LIVING COMPANY**
14726 BULVERDE ROAD
SAN ANTONIO, TEXAS 78247
TEL: 210-287-7027; www.vhslandscaping.com

0 10'-0" 20'-0" 30'-0"
GRAPHIC SCALE:
REVISION DATE: 05-05-21
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SHEET #: L-5 of L-15 Sheets
PROJECT #: VHSD-052



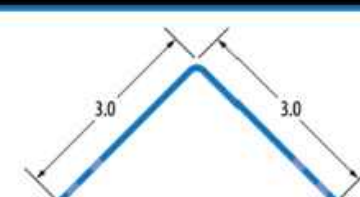
1A
L-5B

MASTER HALCO CEDAR WOOD PRIVACY FENCE W/ STEEL SUPPORT POSTS



CORNER POSTS

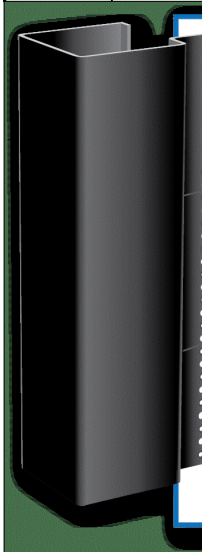
- Strong .120" steel with a concrete lock for the strongest corner that supports 2 lines of fence
- Multiple hole patterns provide options for outside rail or inside rail installation for the style of fence you install



- Material - Pre-Galvanized G90
- A653 SS Grade 50
- Thickness - 0.120 inch
- Yield Strength - 50 ksi
- Tensile Strength - 65 ksi
- Windload - 70 mph (ULT, ASCE 7-10, IBC 2012)
- Concrete Lock

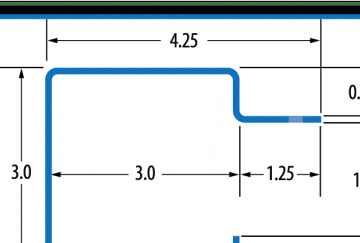
2A
L-5A

MASTER HALCO STEEL CORNER POSTS



GATE POSTS


- Robust steel design that holds the hardware and gate straight and square for years of worry free service and no call backs
- Rails slide inside the post to maximize holding strength with screws
- Powder coated black finish adds a style accent to the gate or can be covered for the natural look of wood
- Can be used for right or left hung gates or used as a Gate and Latch Post.



- Material - Powder Coated Black
- A653 SS Grade 50
- Thickness - 0.100 inch
- Yield Strength - 50 ksi
- Tensile Strength - 65 ksi
- Windload - 112.6 mph (ULT, ASCE 7-10, IBC 2012)

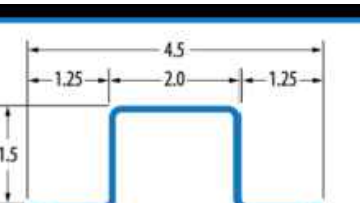
3A
L-5A

MASTER HALCO STEEL GATE POSTS



LINE POSTS

- Wider flanges provide stronger holding power and reduces splitting of rails
- Shorter "hat" section allows a flush cover for a clean fence line
- Multiple hole patterns allows for screws or lag bolts
- Countersunk holes for flush seating and ease to cover
- Concrete lock adds system strength and performance



- Material - Pre-Galvanized G90
- A653 SS Grade 50
- Thickness - 0.100 inch
- Yield Strength - 50 ksi
- Tensile Strength - 65 ksi
- Windload - 73 mph (ULT, ASCE 7-10, IBC 2012)
- Concrete Lock

4A
L-5A

MASTER HALCO STEEL LINE POSTS

1
L-5A

ENLARGED SITE PHOTO IMAGES
SHOWN IN CONTEXT ON PAGE L-5A

SCALE: Photo Images are Not to Scale

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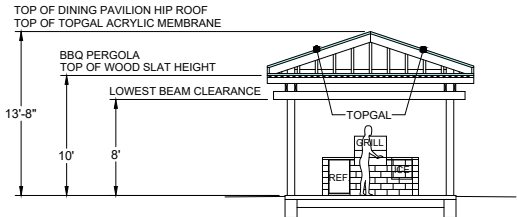
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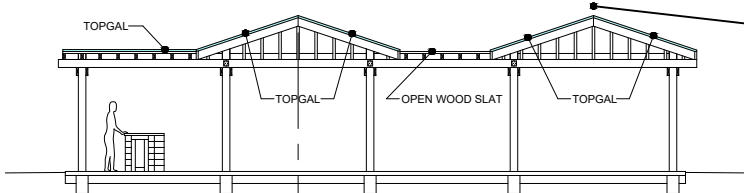
PROPOSED PERGOLA COVER, RAIN AND HAIL DETERRENT MATERIAL:
DISTRIBUTED by REGAL PLASTICS
PRODUCT DISCRPTION:

THE PREMIUM TOPGAL KIT (MULTI-WALL) IS COMPLETELY WATERPROOF (STANDING SEAM)
IT WILL REDUCE TEMPERATURES BY 10-15 DEGREES.
HAS THE HIGHEST WIND RATING AND SNOW LOAD PER SQ FT
COMES WITH A 10 YEAR NO QUESTIONS ASKED WARRANTY BACKED BY REGAL PLASTICS
AND HAS AN EXPECTED LIFESPAN OF OVER 15 YEARS

PREMIUM TOPGAL:
1 UV COATED SIDE, CLEAR TRANSPARENCY, 5/16" THICK
STANDING SEAM (WATERPROOF)
MULTI-WALL SHEETS (4 WALLS)
SHEETS COME 23 5/8" WIDE
THE RIGID STRUCTURE PROVIDES STRENGTH AGAINST WIND AND SNOW LOADS
VIRTUALLY UNBREAKABLE
ALUMINUM FLUTE COVERS AND U-PROFILES



DINING PAVILION
WEST ELEVATION



(3) NEW SHALLOW SLOPED,
HIP ROOFED, PERGOLA PAVILIONS
MIMIC THE SHALLOW SLOPED
ROOFLINE of the RESIDENCE

THE (3) NEW HIP ROOFED
HIP ROOFED, PERGOLA PAVILIONS
ARE SITED ABOVE THE
DINING PATIO, CASUAL SEATING
PATIO, AND THE SIDE LIVING
PATIO

THE 2% SLOPED TOPGAL
STANDING SEAM
ROOF MEMBRANE
IS FEATURED ABOVE
THE VEHICULAR PARKING
PERGOLA TO PROTECT
THE (2) CARS FROM
INCLEMENT WEATHER

OPEN SIDED CEDAR WOOD
HIP ROOFED PAVILIONS RISE
ABOVE THE HEIGHT
OF THE ADJACENT
WOOD PERGOLAS

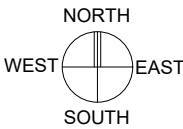
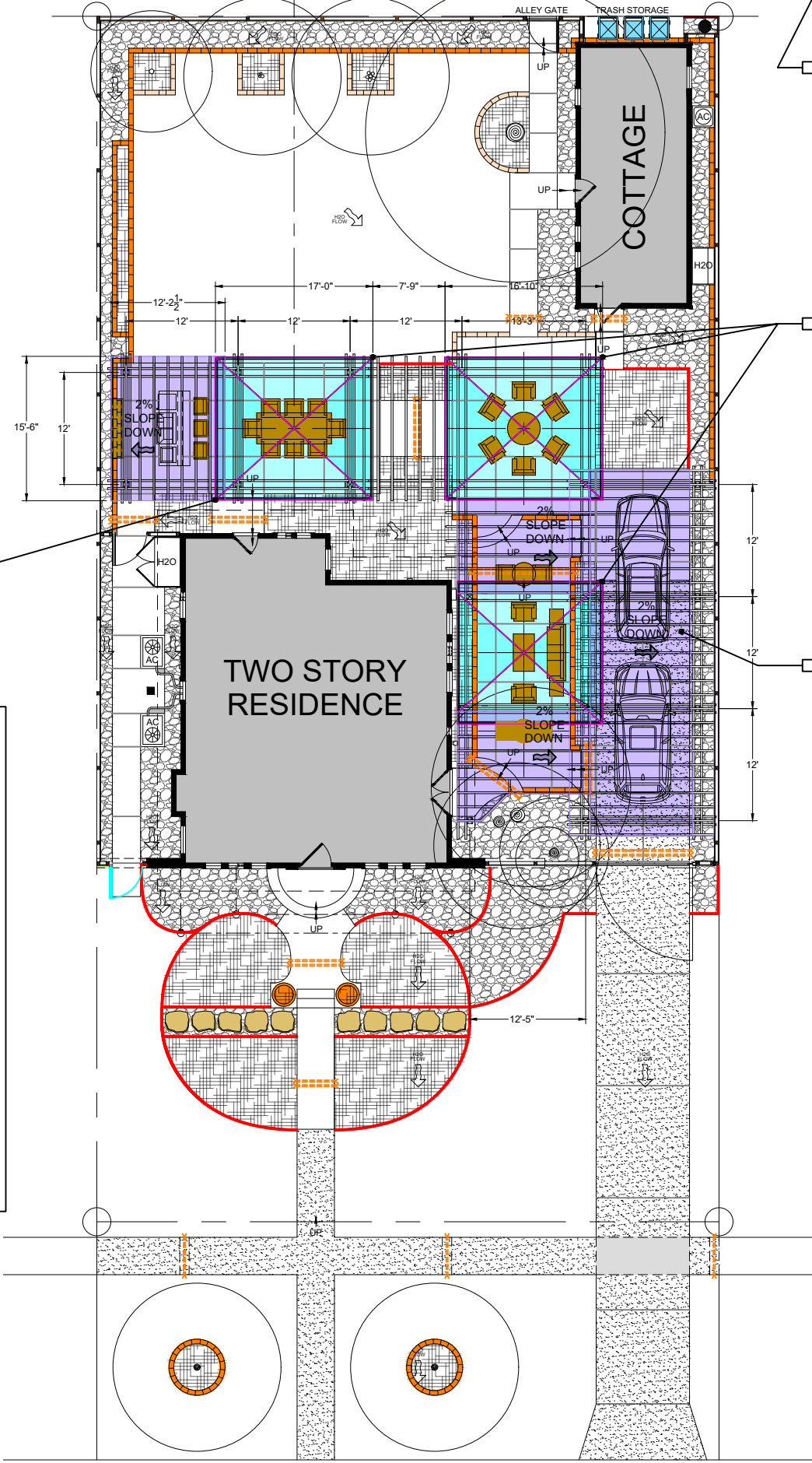
GENERAL NOTES:

ALL WOOD CONSTRUCTION
SIZING, ELEVATION PROFILES,
STRUCTURAL and AESTHETIC
CHARACTER WILL BE
CONTROLLED BY AND ARE
SUBJECT TO REVISION BY THE
CONSTRUCTION SUPERVISOR

ALL NEW FENCING AND GATES
WILL NOT EXCEED 6'-0" IN HEIGHT
ABOVE GRADE, ANYWHERE
AROUND THE FENCELINE.

ALL 2% SLOPED TOPGAL
COVERED ROOFS WILL BE SLOPED
AWAY FROM THE RESIDENCE

ALL (3) HIP ROOFED PAVILIONS
WILL FEATURE GUTTERS and
DOWNSPOUTS DIRECTED
AWAY FROM THE RESIDENCE



PROPOSED OPEN ROOF, POLYAL COVERED,
HIP ROOFED, AND CARPORT PERGOLAS

SCALE: 1/16"=1'-0"

PERGOLA ROOF COVER TYPE KEY

1	Open Web Cedar Wood Pergola Roof
2	Open Web Cedar Wood Hip Roof On Pergola w/ Standing Seam TopGal Cover
3	Open Web Cedar Wood Pergola w/ Standing Seam, 2% Slope TopGal Cover

1
L-6

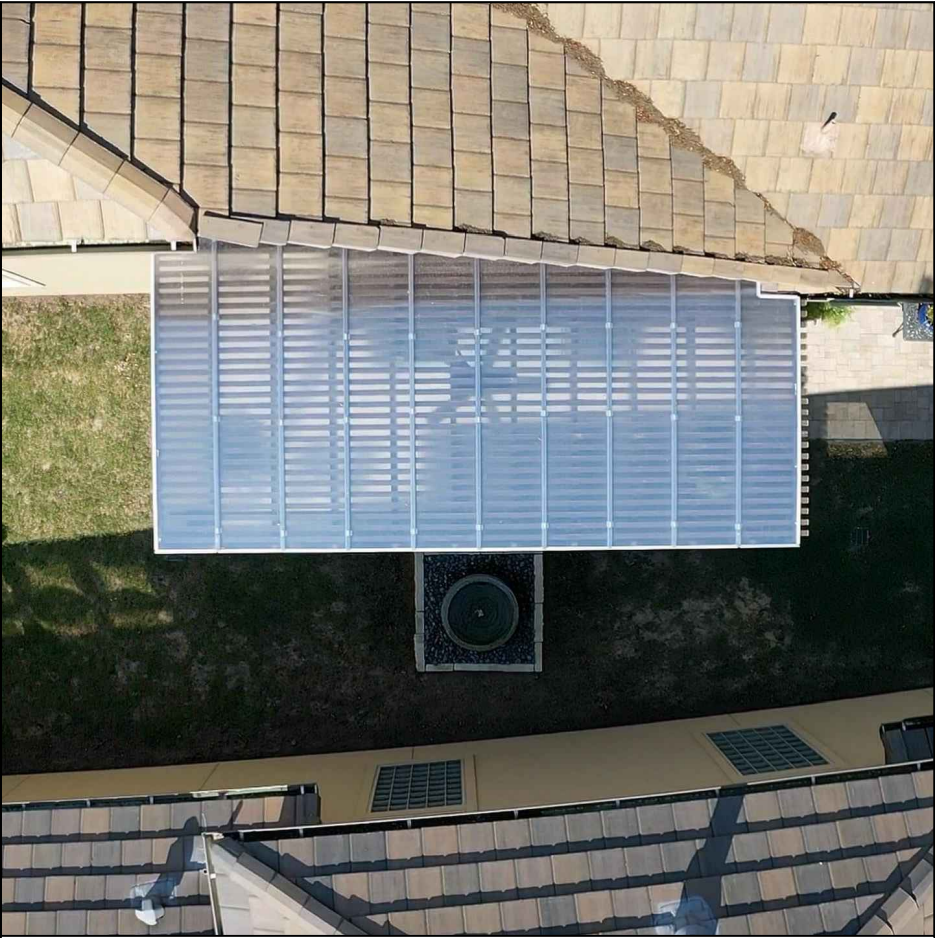
LANDSCAPE ENHANCEMENTS FOR:
THE JAIMESON RESIDENCE
207 WEST MULBERRY AVENUE
SAN ANTONIO, TEXAS 75812

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SHEET #: L-6 of L-15 Sheets
PROJECT #: VHSD-052



1A
L-6A PREMIUM TOPGAL STANDING SEAM,
CLEAR TRANSPARENT, PERGOLA COVER



3A
L-6A PREMIUM TOPGAL STANDING SEAM,
CLEAR TRANSPARENT, PERGOLA COVER



2A
L-6A PREMIUM TOPGAL STANDING SEAM,
CLEAR TRANSPARENT, PERGOLA COVER



4A
L-6A SHALLOW SLOPED EXISTING ROOF-LINE
AT FRONT ELEVATION OF THE RESIDENCE

1
L-6A ENLARGED SITE PHOTO IMAGES
SHOWN IN CONTEXT ON PAGE L-5A
SCALE: Photo Images are Not to Scale

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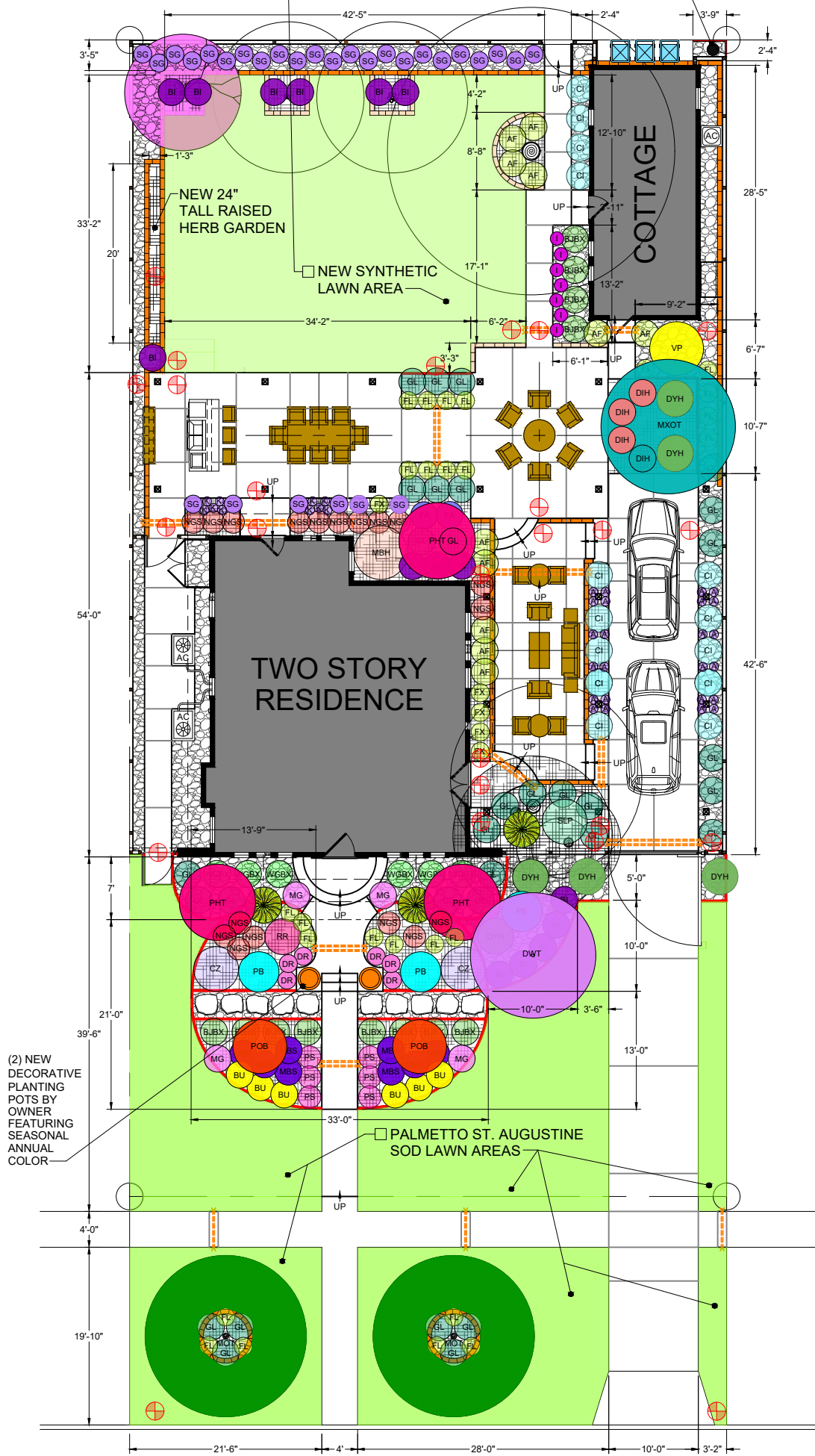
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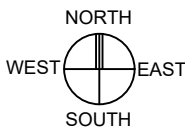


SYNTHETIC LAWN TURF MANUFACTURED by GLOBAL SYN-TURF, INC.
DISTRIBUTED by TRITON TURF - PRODUCT NAME: TRITON 1080,
5960 Inglewood Drive Pleasanton, CA 94588

EXISTING WOODEN UTILITY POLE



WEST MULBERRY AVENUE



1 PROPOSED LANDSCAPE PLAN
L-7 SCALE: 1/16" = 1'-0"

LANDSCAPE ITEM KEY		
1	Artificial Turf (Type to be Selected by Owner)	
2	Black Mulch Bed Topping	
3	Edging at Bedlines (Edging Type to be Selected by Owner)	
4	New Arbor Post Locations (Sizing/Type to be Selected by the Construction Supervisor)	
5	New Buried Irrigation/ Elec. Sleeve Locations (Sizing/Type to be Selected by the Construction Supervisor)	
6	New Lawn Area	
7	New 3' Wide Pebblecrete Paving	
8	6"x6" x Random Length Limestone Border	
9	New River Rock Pebble Field Topping Area	
10	New Steel Border Edging	
11	New 6"x8"x Random Length Chopped Limestone Block Border at Grade	
12	New 6"x8"x Random Length Chopped Limestone Block Retaining Wall	
13	New 6' Tall Horizontal Slat, Cedar Wood Privacy Fence w/ 6"x6" Wood Posts	

4 LANDSCAPE ITEM KEY
L-7 SCALE: Not to Scale

Ajuga	Asparagus Fern	Awabuki Viburnum	Baby Jade Boxwood
Bearded Iris	Bicolor Iris	Bulbine	Cast Iron Plant
Crape Myrtle Tree	Desert Willow Tree	Drift Rose	Dwf. Indian Hawthorn
Dwarf Yaupon Holly (male)	Fall Aster	Flax Lily	Foxtail Fern
Giant Liriope	Katy Ruellia	Majestic Beauty Indian Hawthorn Shrub	Mexican Bush Sage
Mexican Olive Tree	Monterrey Oak Tree	Nandina Gulfstream	Pink Skullcap
Plumbago	Possumhaw Holly Tree (female)	Pride of Barbados	Rock Rose
Society Garlic	Split Leaf Philodendron	Variegated Ginger	Variegated Privet
Winter Gem Boxwood			

2 PLANT IMAGES
L-7 SCALE: Not to Scale

PLANT LEGEND					
Item	Tag	Color	Plant and Item Type	Size	Qty.
1	A		Ajuga	1 Gal	24
2	AF		Asparagus Fern	5 Gal	11
3	AV		Awabuki Viburnum	15 Gal	NA
4	BJBX		Baby Jade Boxwood	5 Gal	12
5	I		Bearded Iris	5 Gal	7
6	BI		Bicolor Iris	5 Gal	14
7	BU		Bulbine (Utilized Like an Annual)	5 Gal	6
8	CI		Cast Iron Plant	5 Gal	14
9	CZ		Cenizo	15 Gal	2
10	CMT		Crape Myrtle Tree	15 Gal	1
11	DWT		Desert Willow Tree	15 Gal	1
12	DR		Drift Rose	5 Gal	6
13	DIH		Dwarf Indian Hawthorn	5 Gal	3
14	DYH		Dwarf Yaupon Holly	5 Gal	6
15	FA		Fall Aster	5 Gal	2
16	FL		Flax Lily	5 Gal	26
17	FX		Foxtail Fern	5 Gal	5
18	GL		Giant Liriope	5 Gal	26
19	K		Katy Ruellia	5 Gal	10
20	MBH		Majestic Beauty Hawthorn Shrub	15 Gal	1
21	MBS		Mexican Bush Sage	5 Gal	8
22	MXOT		Mexican Olive Tree	15 Gal	1
23	MG		Monterrey Oak Tree	15 Gal	2
24	MG		Muhly Grass	5 Gal	4
25	NGS		Nandina Gulfstream	5 Gal	18
26	PS		Pink Skullcap	5 Gal	6
27	PB		Plumbago	5 Gal	3
28	PHT		Possumhaw Holly Tree (female)	15 Gal	3
29	POB		Pride of Barbados	5 Gal	2
30	RR		Rock Rose	5 Gal	1
31	SG		Society Garlic	5 Gal	29
32	SLP		Split Leaf Philodendron	5 Gal	1
33	VG		Variegated Ginger	5 Gal	3
34	VP		Variegated Privet, or Awabuli Viburnum	5 Gal	1
35	WGBX		Winter Gem Boxwood	5 Gal	6
TOTAL PLANTS:					265

3 PLANT LEGEND
L-7 SCALE: Not to Scale

NOTE: NA= NOT APPLICABLE / NOT USED

LANDSCAPE ENHANCEMENTS
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207 WEST MULBERRY AVENUE
SAN ANTONIO, TEXAS 75812

VHS OUTDOOR LIVING COMPANY
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GRAPHIC SCALE:
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SHEET #: L-7 of L-15 Sheets
PROJECT #: VHSD-052



1A
L-7B

SYNTHETIC LAWN TURF MANUFACTURED BY GLOBAL SYN-TURF, INC.

1
L-7B

ENLARGED PHOTO IMAGE
SHOWN IN CONTEXT ON PAGE L-7
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1A
L-10
FRONT STREET VIEW LOOKING SOUTH-WEST



2A
L-10
FRONT STREET VIEW LOOKING SOUTH



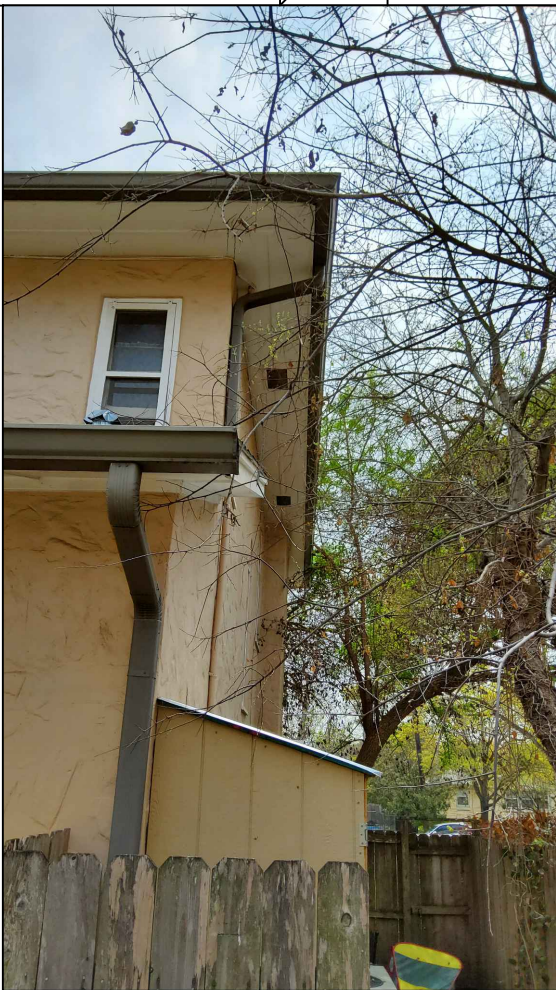
3A
L-10
COTTAGE WEST ELEVATION LOOKING EAST



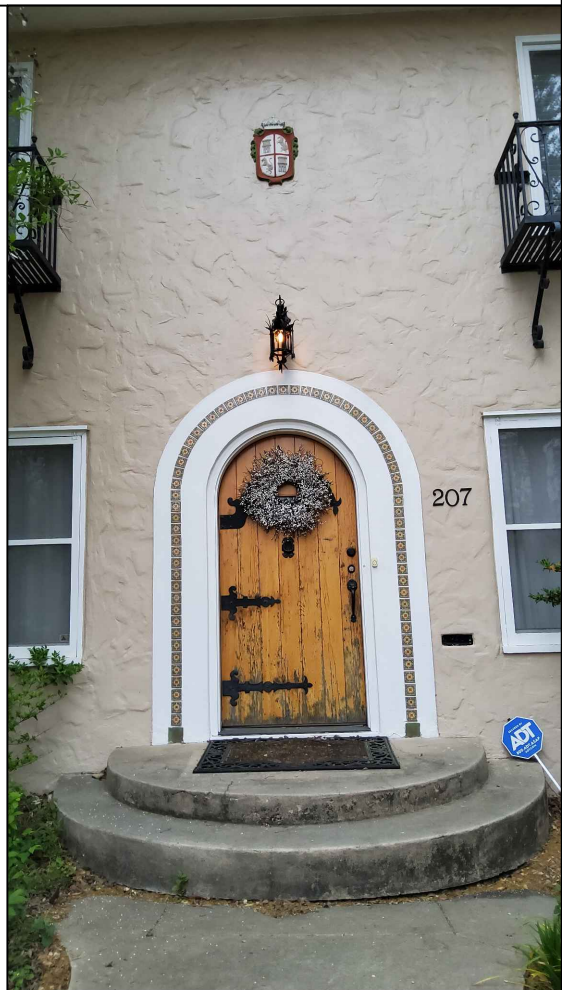
4A
L-10
COTTAGE WEST ELEVATION LOOKING NORTH



5A
L-10
COTTAGE EAST ELEVATION LOOKING NORTH



6A
L-10
HOUSE NORTH ELEVATION LOOKING SOUTH



7A
L-10
SOUTH ELEVATION FRONT ENTRANCE TILEWORK



8A
L-10
TILEWORK DETAIL AT FRONT ENTRANCE

1
L-10

ENLARGED SITE PHOTO IMAGES SHOWN BY REQUEST
SCALE: Photo Images are Not to Scale

LANDSCAPE ENHANCEMENTS FOR:
THE JAIMESON RESIDENCE
207 WEST MULBERRY AVENUE
SAN ANTONIO, TEXAS 75812

BY: **VHS OUTDOOR LIVING COMPANY**
14726 BULVERDE ROAD
SAN ANTONIO, TEXAS 78247
TEL: 210-287-7027; www.vhslandscaping.com

REVISION DATE: 05-06-21
ENLARGED PHOTO IMAGES
REVISION DATE:
DATE: 04-19-21
DESIGNER: JERRY WILSON
SHEET #: L-10 of L-15 Sheets
PROJECT #: VHSD-052

<div>1A</div> <div>L-11</div> <div>WEST MULBERRY AVENUE (LOOKING NORTH)</div> <div></div> <div>T14 T1 T2 T5 T6 T3</div>	<div>2A</div> <div>L-11</div> <div></div> <div>T1</div>	<div>3A</div> <div>L-11</div> <div></div> <div>T1</div>
<div>4A</div> <div>L-11</div> <div></div> <div>T1</div>	<div>5A</div> <div>L-11</div> <div></div> <div>T1</div>	<div>6A</div> <div>L-11</div> <div></div> <div>T1 T2</div>
<div>7A</div> <div>L-11</div> <div></div> <div>T2</div>	<div>8A</div> <div>L-11</div> <div></div> <div>T2</div>	<div>9A</div> <div>L-11</div> <div></div> <div>T2</div>
<div>10A</div> <div>L-11</div> <div></div> <div>T3 T4</div>	<div>11A</div> <div>L-11</div> <div></div> <div>T3 T4 T5 T6</div>	<div>12A</div> <div>L-11</div> <div></div> <div>T2 T1 T3 T5 T4 T6 T7</div>

1

L-11

PRIMARY EXISTING TREE PHOTO IMAGES

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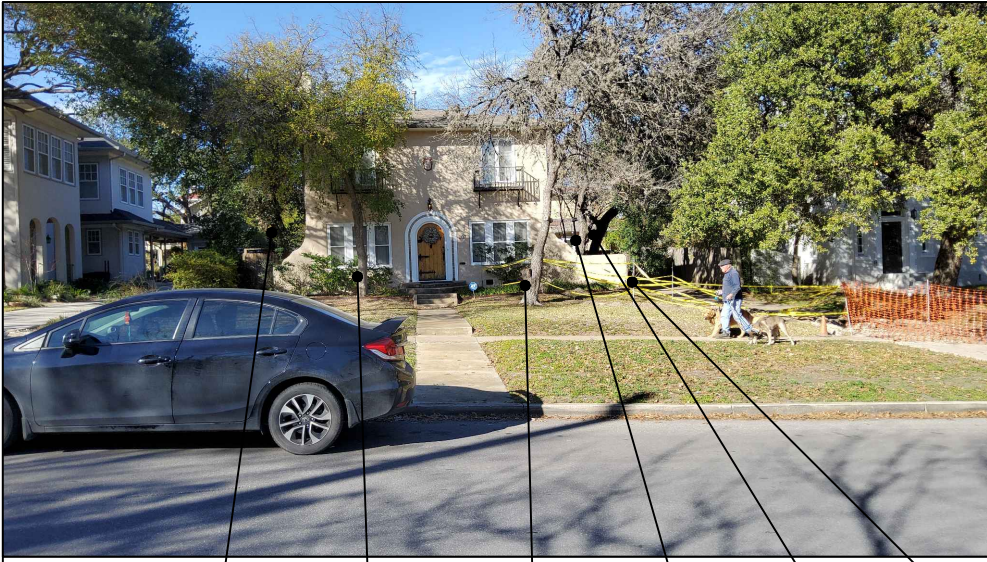
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SHEET #: L-11 of L-15 Sheets

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1A
L-11A

WEST MULBERRY AVENUE
(LOOKING NORTH)



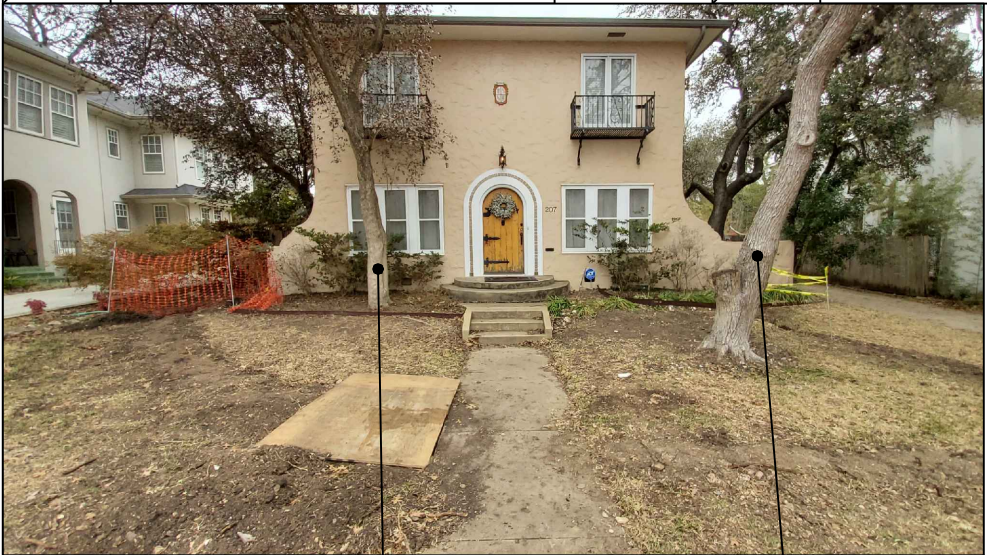
2A
L-11A

FRONT YARD
(LOOKING NORTH-WEST)



3A
L-11A

FRONT YARD (LOOKING
(LOOKING UP-NORTH)



2A
L-11A

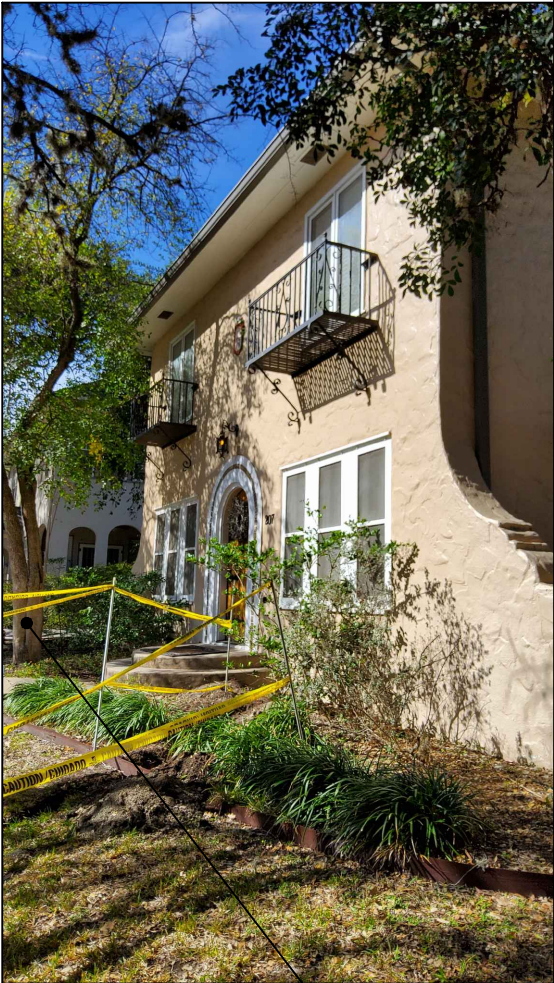
T1 T2



T1

4A
L-11A

FRONT YARD (LOOKING
(LOOKING UP-NORTH)



T1

5A
L-11A

FRONT YARD (LOOKING
(LOOKING UP-NORTH)

1
L-11A

ENLARGED TREE PHOTO IMAGES
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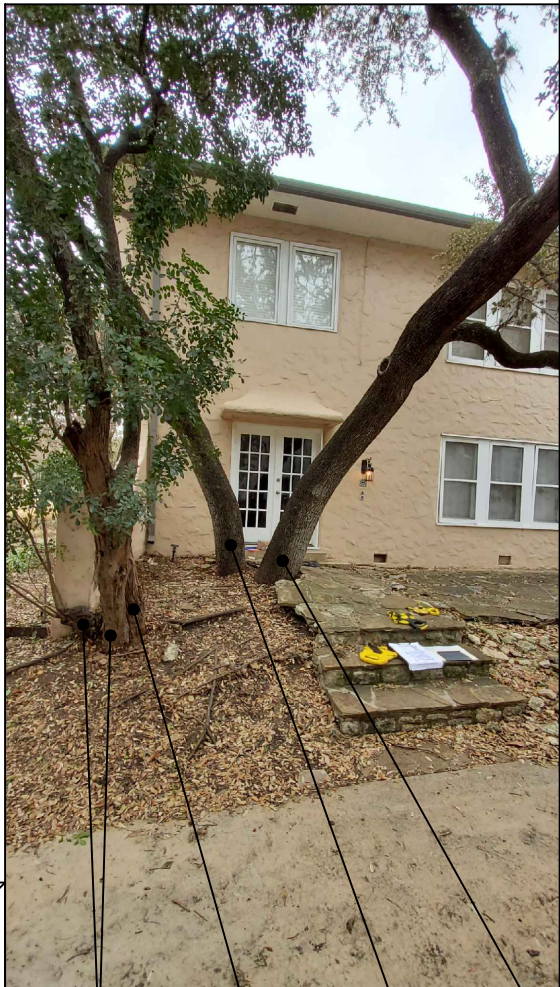
1A
L-11B
T2



2A
L-11B
T2



4A
L-11B
T3 T4



5A
L-11B
T3 T4 T5 T6



3A
L-11B
T2



6A
L-11B
T2 T1 T3 T5 T4 T6 T7

1
L-11B

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SHEET #: L-11B of L-15 Sheets
PROJECT #: VHSD-052

<div>1A</div> <div>L-12</div>  <div>T3 T4 T5 T6 T7</div>	<div>2A</div> <div>L-12</div>  <div>T7</div>	<div>3A</div> <div>L-12</div>  <div>T7</div>
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<div>7A</div> <div>L-12</div>  <div>T10 T7 T6 T5 T13</div>	<div>8A</div> <div>L-12</div>  <div>T12</div>	<div>9A</div> <div>L-12</div>  <div>POLE T11 T10 T9</div>
<div>10A</div> <div>L-12</div>  <div>T12 T11</div>	<div>11A</div> <div>L-12</div>  <div>T11 T12</div>	<div>12A</div> <div>L-12</div>  <div>T11 T12 T13 T10 T9 T8</div>

1

L-12

PRIMARY EXISTING TREE PHOTO IMAGES

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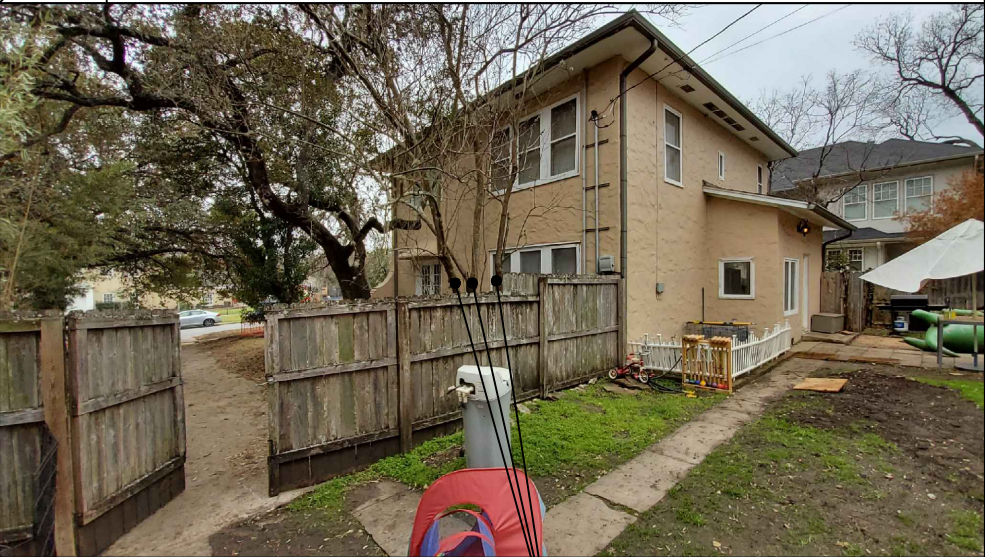
1A
L-12A
T3 T4 T5 T6 T7



2A
L-12A
T7



3A
L-12A
T7



4A
L-12A
T7



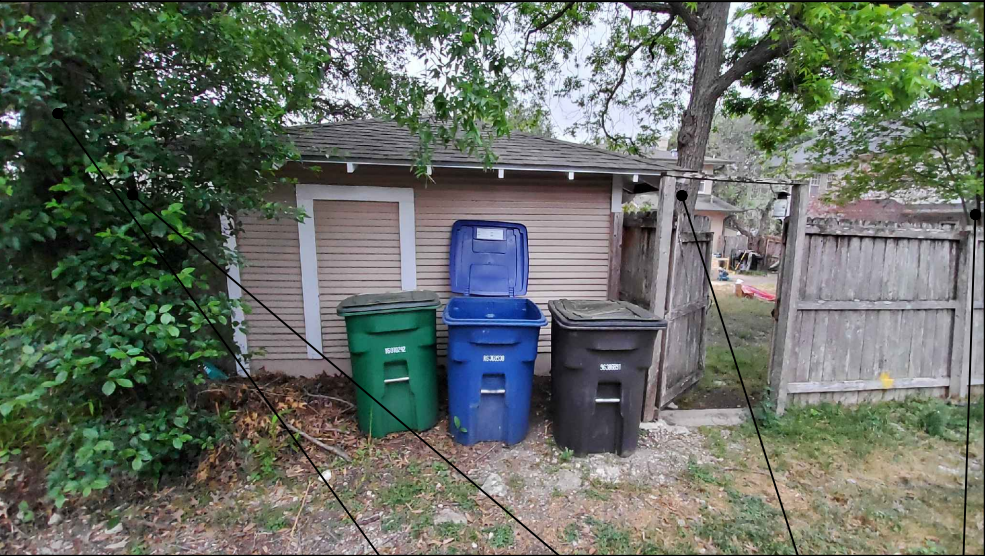
5A
L-12A
T8 T9 T10



6A
L-12A
T10 T7 T6 T5 T13



7A
L-12A
T12



8A
L-12A
POLE T11 T10 T9

1
L-12A

ENLARGED TREE PHOTO IMAGES
BY REQUEST ORIGINALLY SHOWN ON PAGE L-12

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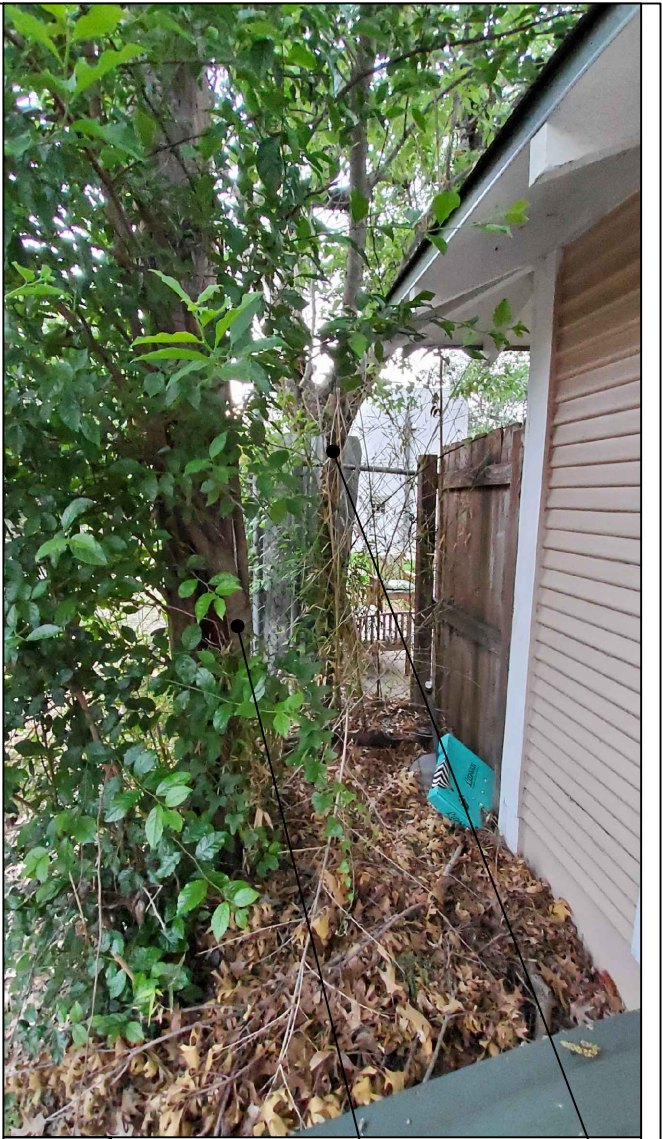
DATE: 04-19-21
DESIGNER: JERRY WILSON
SHEET #: L-12A of L-15 Sheets
PROJECT #: VHSD-052



1A
L-12B
T9
T10



2A
L-12B
T12
T11



3A
L-12B
T11
T12



4A
L-12B
T11
T12
T13
T10
T9
T8

1
L-12B

ENLARGED TREE PHOTO IMAGES
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<div>1A</div> <div>L-13</div>  <div>T14</div>	<div>2A</div> <div>L-13</div>  <div>T14</div>	<div>3A</div> <div>L-13</div>  <div>T14</div>
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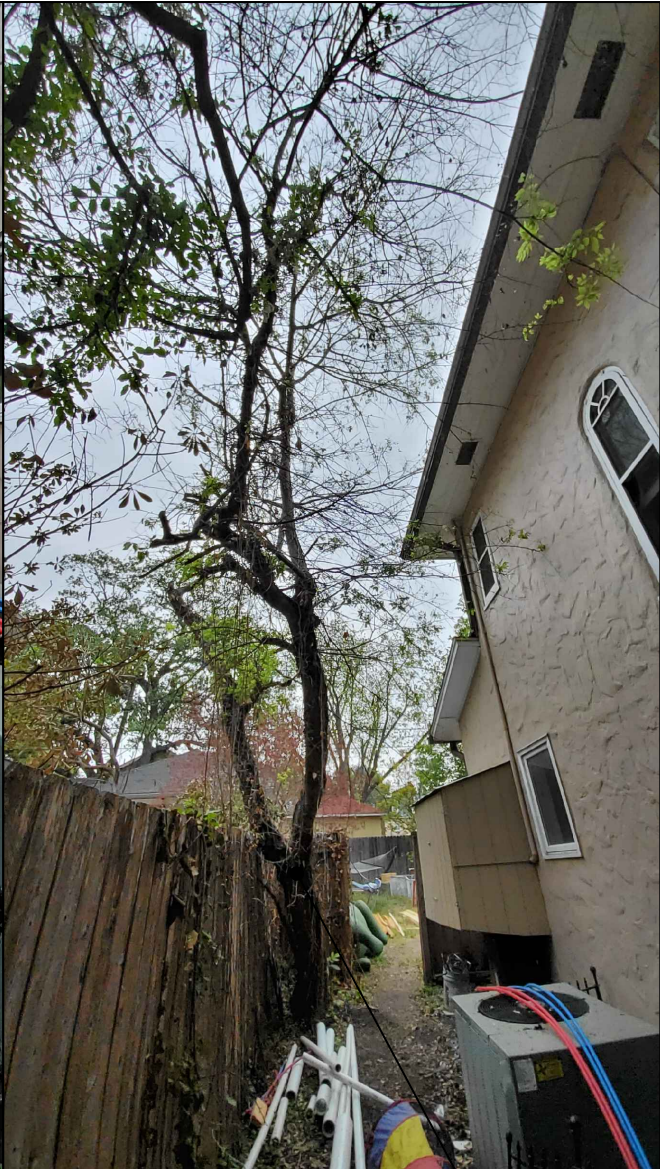
1A
L-13A

T14



2A
L-13A

T14



3A
L-13A

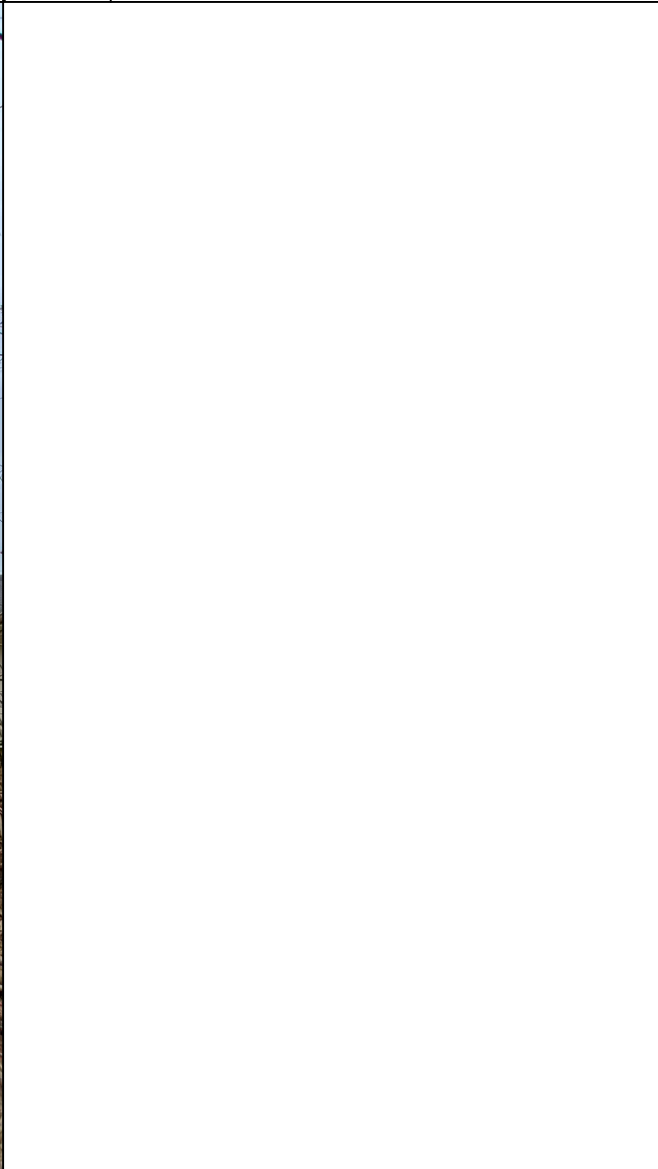
T14



4A
L-13A

T15

T14



5A
L-13A

T14

T15

1
L-13A

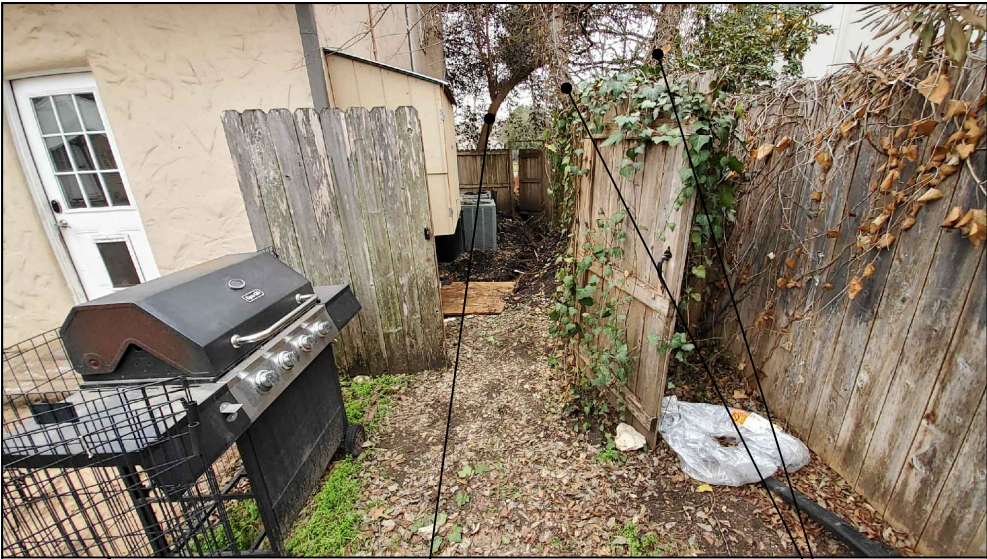
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1A
L-13B
T15 T14



2A
L-13B
T14 T15



3A
L-13B
T14 T15



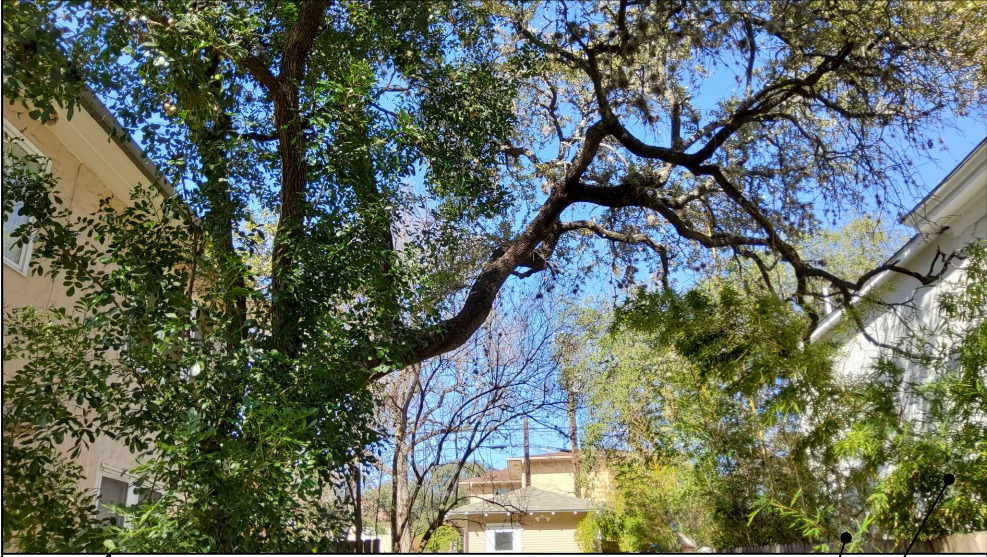
4A
L-13B
T14 T15



5A
L-13B
Existing End of East Property Fenceline
Showing Neighbor's Bamboo Row



6A
L-13B
Existing End of East Property Fenceline
Showing Neighbor's Bamboo Row



7A
L-13B
Existing East Property Fenceline
Showing Neighbor's Bamboo Row



1
L-13B

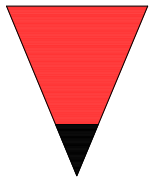
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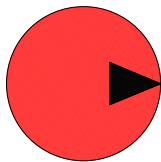
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(11 Items)

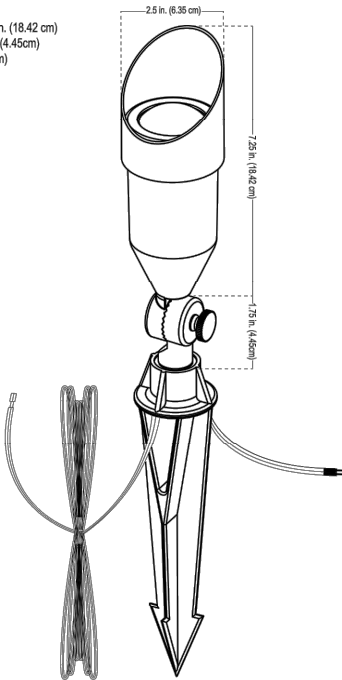


(5 Items)

ALLIANCE Specification Sheet

Model: BL200 (MR16 Bullet Light)

Fixture Length: 7.25 in. (18.42 cm)
Base Height: 1.75 in. (4.45cm)
Width: 2.5 in. (6.35 cm)



Notes:

Project:
Type:

Specifications and Features:

Body: Solid brass with an aged brass finish
Knuckle: Solid brass with dial adjustment for easy adjustments
Shroud: Brass with a clear glass convex lens and double o-ring gasket
Socket: Spring loaded ceramic bi-pin socket with dual contact and lamp clips
Wire: Industry First, double wire lead pre-connected to the fixture, 16 awg (UL listed), brown
-25 foot wire lead, pre-stripped for easy wire connection
-18 inch wire lead, LED connection ready
Stake: Plastic ground stake, attached to the fixture (8.5 in; 21.6 cm length)
Warranty: Lifetime warranty on fixture housing
Certification: Complies with the requirements of UL-1838 and CAN/CSA-C22.2 No. 250.7. Identified with the ETL and cETL Listed Mark.



Lamp Options

Model #	Base Type	Angle	Wattage	Lumen Output
LMR16-LED-4W-NS	MR16	15°	4w	250lm
LMR16-LED-4W-F	MR16	45°	4w	250lm
LMR16-LED-4W-WF	MR16	60°	4w	250lm
LMR16-LED-5W-NS	MR16	15°	5w	310lm
LMR16-LED-5W-F	MR16	45°	5w	310lm
LMR16-LED-5W-WF	MR16	60°	5w	310lm
LMR16-LED-6W-F	MR16	45°	6w	400lm
LMR16-35-36 (Halogen)	MR16	45°	35w	310lm

LED Ordering Guide: Model-Lamp Wattage-Lamp Angle
Example: BL200-LED-5W-F

Accessories Available:

Mounting Accessories:	MR16 Accessories:
RISER6 - 6" brass riser, aged brass finish	Linear Lens
RISER12 - 12" brass riser, aged brass finish	Frosted Lens
RISER18 - 18" brass riser, aged brass finish	Spread Lens
RISERADJ - Adjustable plastic riser, aged brass cap	Blue Lens
RMB - Round Mounting Base	Hex Louver
GUTTERMOUNT	

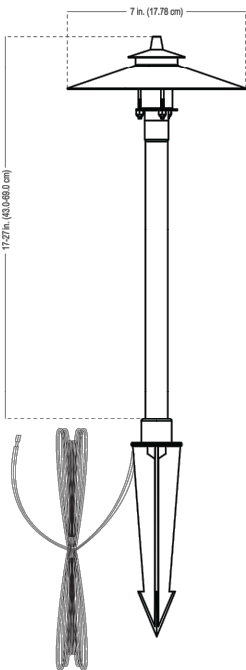
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Rev. 2/2015

ALLIANCE Specification Sheet

Model: PL200 (Path Light)

Fixture Height: 17-27 in. (43.0-69.0 cm)
Stem Diameter: 1.6 in. (4.1 cm)
Hat Diameter: 7 in. (17.78 cm)



Notes:

Project:
Type:

Specifications and Features:

Stem: Adjustable brass stem, 17"-27" length, aged brass finish
Hat: Solid brass area light hat
Socket: Spring loaded ceramic bi-pin socket with dual contact
Lens: Clear glass lens
Wire: 25' Foot wire lead, 16 awg (UL listed), brown, Pre-connected to the fixture, Pre-stripped for easy wire connection
Stake: Solid brass stake, attached to the fixture with a set screw (8.5 in; 21.6 cm length)
Warranty: Lifetime warranty on fixture housing
Certifications: Complies with the requirements of UL-1838 and CAN/CSA-C22.2 No. 250.7. Identified with the ETL and cETL Listed Mark.



Lamp Options

Model #	Base Type	Wattage	Lumen Output
LBIPIN-LED-200LM	Bipin/G4	2.5w	200lm
LBIPIN-LED-250LM	Bipin/G4	3w	250lm

LED Ordering Guide: Model-LED
Example: PL200-LED

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Rev. 7/2013

1A

ENLARGED LIGHTING FIXTURE SPECIFICATION SHEET

L-14A

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WEST MULBERRY AVENUE

PROPOSED FRONT ENTRANCE GARDEN, BALANCED
WITH NEW TREE LOCATIONS and LANDSCAPE ACCENTS

1

FRONT PERSPECTIVE CONCEPT SKETCH

L-15

SCALE: Not to Scale

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