

HISTORIC AND DESIGN REVIEW COMMISSION

August 18, 2021

HDRC CASE NO: 2021-389
ADDRESS: 125 MAGNOLIA DR
LEGAL DESCRIPTION: NCB 6530 BLK 2 LOT 7
ZONING: R-4,H
CITY COUNCIL DIST.: 1
DISTRICT: River Road Historic District
APPLICANT: Sheryle Leal/Precision Contracting
OWNER: OLGUIN HANNAH
TYPE OF WORK: Window replacement, construction of a front porch, exterior modifications, site modifications, roof replacement
APPLICATION RECEIVED: July 26, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Stephanie Phillips

REQUEST:

The applicant is requesting a Certificate of Appropriateness to:

1. Replace non-original windows at the rear of the property.
2. Replace the existing asphalt shingle roof with a standing seam metal roof.
3. Modify the existing front door configuration to feature a pair of sliding glass doors. The current front door configuration features an enclosed front porch with a screen door flanked by full height screen windows.
4. Construct a new front porch. The porch will extend the full width of the façade and will project 9' towards the public right-of-way.
5. Install a new concrete ribbon driveway to replace the existing full width concrete driveway.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.

- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. *Security bars*—Install security bars only on the interior of windows and doors.
- ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

8. Architectural Features: Foundations

A. MAINTENANCE (PRESERVATION)

- i. *Details*—Preserve the height, proportion, exposure, form, and details of a foundation such as decorative vents, grilles, and lattice work.
- ii. *Ventilation*—Ensure foundations are vented to control moisture underneath the dwelling, preventing deterioration.
- iii. *Drainage*—Ensure downspouts are directed away and soil is sloped away from the foundation to avoid moisture collection near the foundation.
- iv. *Repair*—Inspect foundations regularly for sufficient drainage and ventilation, keeping it clear of vegetation. Also inspect for deteriorated materials such as limestone and repair accordingly. Refer to maintenance and alteration of applicable materials, for additional guidelines.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement features*—Ensure that features such as decorative vents and grilles and lattice panels are replaced in-kind when deteriorated beyond repair. When in-kind replacement is not possible, use features matching in size, material, and design. Replacement skirting should consist of durable, proven materials, and should either match the existing siding or be applied to have minimal visual impact.
- ii. *Alternative materials*—Cedar piers may be replaced with concrete piers if they are deteriorated beyond repair.

- iii. *Shoring*—Provide proper support of the structure while the foundation is rebuilt or repaired.
- iv. *New utilities*—Avoid placing new utility and mechanical connections through the foundation along the primary façade or where visible from the public right-of-way.

Standard Specifications for Original Wood Window Replacement or Existing Windows

- **SCOPE OF REPAIR:** When individual elements such as sills, muntins, rails, sashes, or glazing has deteriorated, every effort should be made to repair or reconstruct that individual element prior to consideration of wholesale replacement. For instance, applicant should replace individual sashes within the window system in lieu of full replacement with a new window unit.
- **MISSING OR PREVIOUSLY-REPLACED WINDOWS:** Where original windows are found to be missing or previously-replaced with a nonconforming window product by a previous owner, an alternative material to wood may be considered when the proposed replacement product is more consistent with the Historic Design Guidelines in terms of overall appearance. Such determination shall be made on a case-by-case basis by OHP and/or the HDRC. Whole window systems should match the size of historic windows on property unless otherwise approved.
- **MATERIAL:** If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- **TRIM:** Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- **GLAZING:** Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- **COLOR:** Replacement windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- **INSTALLATION:** Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- **FINAL APPROVAL:** If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

FINDINGS:

- a. The primary structure located at 125 Magnolia Dr is a 1-story residential structure constructed circa 1923 in the Craftsman style. The house features woodlap siding, one over one windows, a prominent side brick chimney, and an enclosed front porch with a screen window and door system. The structure is contributing to the River Road Historic District.
- b. **ALUMINUM WINDOWS** – In general, the use of aluminum windows in new construction or as replacement products became more prevalent during the post-war construction boom and grew in popularity into the mid-20th century. The quality, durability, and repairability of these windows is less than their wood predecessors which were constructed by hand using quality, old-growth lumber. Wood windows were designed to be integral to the structure in which they were installed and were intended to be repaired and maintained over time. In contrast, aluminum windows cannot be easily spot-repaired once they fail, were factory-produced, and were generally not integral to the overall intentional design of the structures in which they were installed. Aluminum windows are also more susceptible to condensation as a result of their materiality which can contribute to long-term damage of other elements. A proposed replacement window product that is in keeping with the

architectural style or construction period of the house and maintains a similar historic visual appearance could be considered consistent with the Guidelines.

- c. **WINDOW REPLACEMENT** – The applicant has requested to replace several existing aluminum windows in the primary structure with new aluminum clad wood windows as specifically indicated on the submitted drawings. All existing wood windows will be restored. The existing aluminum windows are not original and likely replaced original one over one windows previously. The existing windows feature a more narrow width and proportion than typical historic one over one windows. As proposed, the new aluminum clad wood windows will feature profiles, proportions, dimensions, insets, and detailing that are more consistent with historic window profiles and are generally consistent with staff's standard window stipulations. Three windows on the west elevation will feature traditional profiles and insets, but will have non-traditional configurations: two garden windows to be replaced, and one large garden window to fit within the existing opening of two non-original aluminum windows. Staff has noted that several of the existing windows exhibit evidence of improper repairs and the deterioration or loss of functional elements. Based on these observations and the non-original nature of the windows, staff generally finds that window replacement, as well as the opening size modifications, are acceptable and will not result in the loss of character defining features. Staff finds the garden window replacements and adjustments on the west elevation to be appropriate based on the existing garden window conditions and the opening locations, two of which are completely obscured from the public right-of-way.
- d. **ROOF REPLACEMENT: SHINGLE TO METAL** – The applicant has requested to replace the existing asphalt composition shingle roof with a new standing seam metal roof to meet staff's standard stipulations. According to the Guidelines, metal roofs may be used on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Staff finds that a metal roof is appropriate for the Craftsman style of the home.
- e. **FRONT ENTRYWAY CONFIGURATION MODIFICATIONS** – The applicant has proposed to modify the existing front door and entryway configuration. The current configuration features a screen door centered between two full-height window screens with a mullion and muntin pattern that echoes the proportion of the existing historic windows on the house. The door and window screens fill the opening of the original front porch as evidenced on the 1911-1951 Sanborn Map. Based on the submitted elevations, the applicant has proposed to replace this configuration with two sliding glass doors and infill the remaining wall with siding. Per the Historic Design Guidelines, alterations to porches should result in a space that functions, and is visually interpreted as, a porch. Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows or screens are necessary. Staff finds that the existing porch configuration visually reads as an enclosed front porch, which helps clearly tell the story of the evolution of the home. Staff finds that the removal of this configuration and enclosure with sliding glass doors eliminates this condition. Staff finds that the existing screened porch configuration should be retained. Outfitting the existing screens and door with glass, or installing fixed panes clad with a similar mullion and muntin pattern, is eligible for administrative approval.
- f. **NEW FRONT PORCH** – The applicant has proposed to install a front porch with a low-sloping shed roof with rafter tails. The porch will measure approximately 25 feet in length, just shy of the width of the front façade, and will extend 9 feet in depth towards the street. Per the setback diagram submitted by the applicant of the property, a 10' setback will remain from the street. According to Guideline 7.A.i, new porches should not be added where historically present and new front porch elements should be simple as to not distract from the historic character of the building. Details should not convey a false sense of historic appearance. Per Sanborn Maps, there is evidence that a recessed porch existed historically on this property and was enclosed over time as noted in finding e. The current proposal requests to add a second porch where one did not historically exist. Additionally, based on the information provided, the front porch may have a setback that is more shallow than existing porches on surrounding properties. Staff does not find the proposal consistent with the Guidelines.
- g. **RIBBON DRIVEWAY** – The applicant has proposed to install a ribbon driveway to replace the existing concrete driveway. Staff finds the request appropriate with the stipulations listed in the recommendation.
- h. **ADMINISTRATIVE APPROVAL** – The applicant has proposed several scopes of work that are eligible for administrative approval, including wood window repair, wood screen repair, trim repair and in-kind replacement, siding patching and repair, and the installation of a new water heater, softener, and AC unit.

RECOMMENDATION:

Item 1, Staff recommends approval of the selective, non-original window replacement based on findings b and c with the following stipulations:

- i. That the applicant installs a fully wood or aluminum clad wood window that meet staff's standard window stipulations and submits updated specifications to staff for review and approval. The windows should feature an inset of two (2) inches within facades and should feature profiles that are found historically within the immediate vicinity. Meeting rails must be no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.

Item 2, Staff recommends approval of the roof replacement based on finding d with the following stipulations:

- i. That the applicant installs a standing seam metal roof featuring panels that are 18 to 21 inches wide, seams that are 1 to 2 inches high, a crimped ridge seam, and a standard galvalume finish. Panels should be smooth without striation or corrugation. Ridges are to feature a double-munch or crimped ridge configuration; no vented ridge caps or end caps are allowed. An on-site inspection must be scheduled with OHP staff prior to the start of work to verify that the roofing material matches the approved specifications. All chimney, flue, and related existing roof details must be preserved.

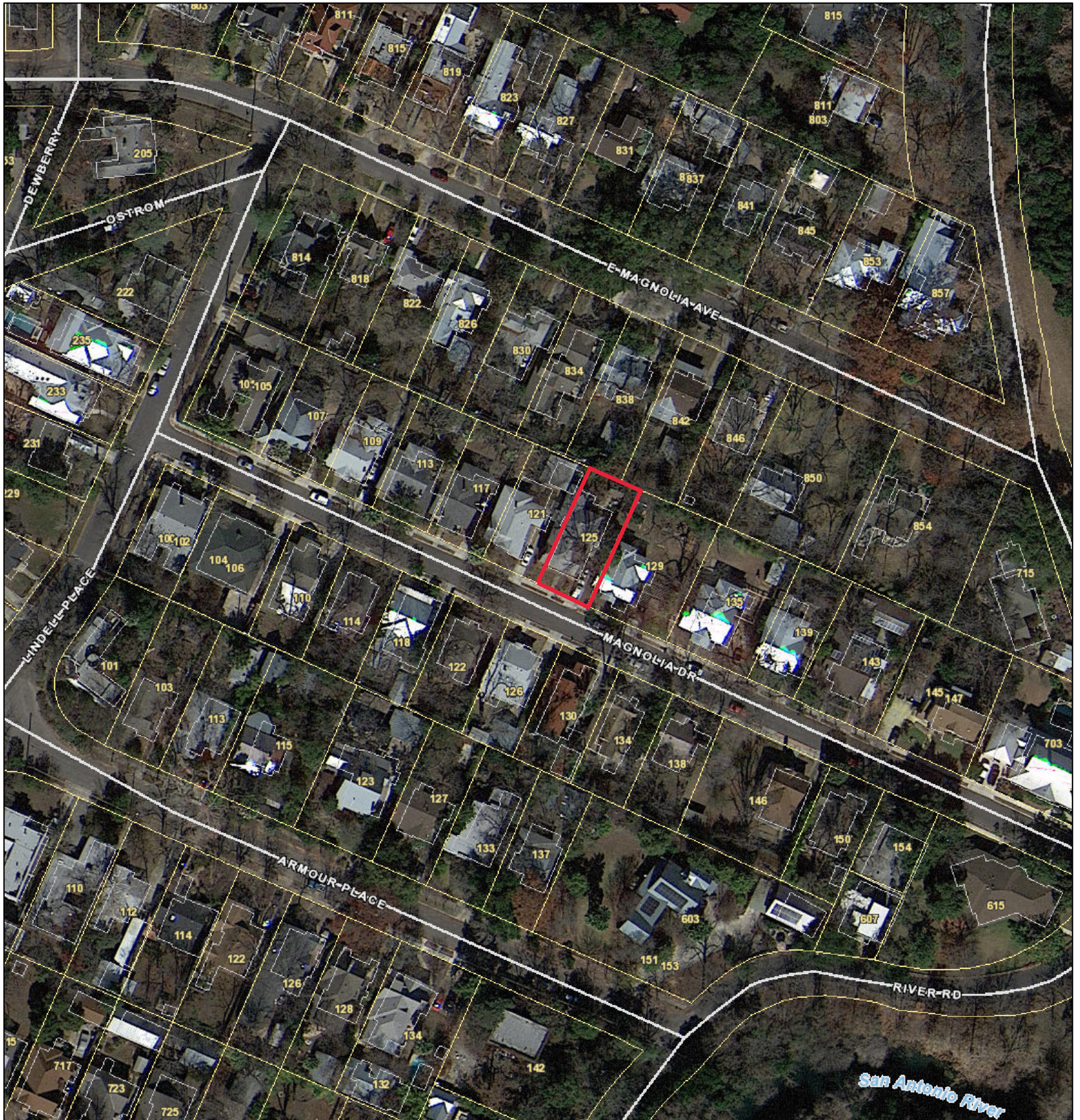
Item 3, Staff does not recommend approval of the front entryway modifications as proposed based on finding e. Staff finds that this existing configuration should be retained. Outfitting the existing screens with glass, or installing fixed panes clad with a similar mullion and muntin pattern, is eligible for administrative approval.

Item 4, Staff does not recommend approval of the construction of a new front porch based on finding f. If the HDRC finds that a new front porch is appropriate, staff recommends the following stipulations:

- i. That the porch elements comply with the following stipulations: **RAILING** - The proposed railings (on the steps) should feature both a top and bottom rail. The bottom rail should feature a vertical orientation and should be installed approximately three to four inches above the porch decking. Both top and bottom rails should be constructed from 2"x4" members. The proposed railing should not feature an overall height of more than three (3) feet. **COLUMNS** - The proposed wood columns should be no wider than 6' square, feature both capital and base trim and chamfered corners. **DECKING** - The proposed porch decking should feature 1" x 3" tongue-and-groove wood members laid perpendicular to the front façade plane.
- ii. That the applicant submits a setback diagram study that includes the two immediate adjacent properties to illustrate the proposed front porch setback relative to the existing neighbors. The depth of the new front porch must not exceed the depth of the neighboring properties. If the proposed 9' depth creates a setback that is closer to the street than the immediate neighbors, the depth must be reduced and updated drawings must be submitted. This diagram is required to be submitted to staff for review and approval prior to the issuance of a Certificate of Appropriateness.

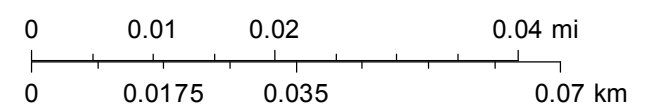
Item 5, Staff recommends approval of the installation of a ribbon driveway with the stipulation that the total width of the driveway not exceed 10 feet and the concrete approach flare to a maximum width of 12 feet.

City of San Antonio One Stop



August 11, 2021

1:1,000









Property of
City of San Antonio

Y6241694

R6 405584











125 Magnolia Dr.

Left side elevation: New water Heater closet to be constructed.



Front elevation: New Covered Porch to be constructed.





Right side back elevation: Removal of existing decking and construct new in same footprint.



4827 Whirlwind Drive, San Antonio, Texas 78259
PH: 210.961-8488 www.precisioncontracting.com

125 MAGNOLIA DR.

SAN ANTONIO TX 78212

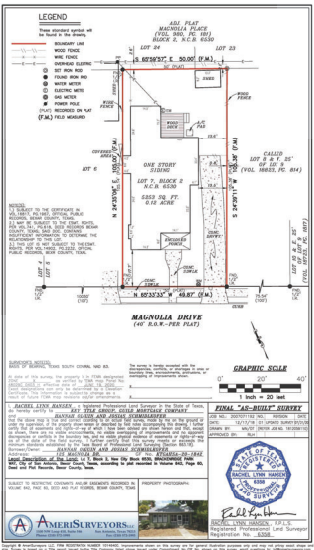
GENERAL NOTES:

1. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A WATER-TIGHT AND WEATHER-TIGHT BUILDING. THE CONTRACTOR SHALL REVIEW ALL DETAILS RELATING TO THIS INTENT AND BY ENTERING INTO THIS CONSTRUCTION CONTRACT, WARRANTS FOR ONE YEAR THE ASSURANCE OF THESE DETAILS.
 2. THE INTENT OF THE DRAWINGS IS TO PROVIDE FOR A PLUMB, LEVEL AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED.
 3. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH CURRENT INTERNATIONAL RESIDENTIAL BUILDING CODE AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS.
 4. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF OR HERSELF WITH EXISTING CONDITIONS, DRAWINGS AND SPECIFICATIONS.
 5. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND SHOULD BE FIELD VERIFIED AND COORDINATED WITH WORK OF ALL TRADES.
 6. DETAILS ARE MEANT TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO MEET JOB DIMENSIONS OR CONDITIONS, ALL INCLUDED AS PART OF THE WORK.
 7. THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.
 8. THE CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PADS AND PANELS AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT AND EQUIPMENT MANUFACTURERS.
 9. ALL WIDTHS ARE SHOWN AND DIMENSIONED WITH NOMINAL DIMENSIONS (I.E. 8" = 8 1/2").
 10. ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
 11. CONTRACTOR TO PROVIDE DUMPSTER AND TEMPORARY TOILET. SITE SHOULD BE CLEANED REGULARLY.
 12. ALL DIMENSIONS ARE TO FACE OF STUD OR WALL FACE UNLESS OTHERWISE NOTED.
 13. INTERIOR WALLS TO BE 2X4 WOOD STUDS AT 16" O.C., UNLESS OTHERWISE NOTED FOR PLUMBING WALLS.
 14. EXTERIOR WALLS SHALL MATCH EXISTING STRUCTURE. IF NEW CONSTRUCTION, SHALL BE 2X4 WOOD STUDS AT 16" O.C., UNLESS OTHERWISE NOTED.
 15. ALL RESIDENTIAL STRUCTURES SHALL USE 5/8" TYPE X SHEETROCK FOR ALL NEW STRUCTURE AND WHERE GREATER THAN SOLE OF A WALL SURFACE IS REMOVED, CONCRETE BOARD OR HARDIE BACKER TYPE MATERIAL AT ALL "WET AREAS" USE GEMENT BACKER BOARD AT ALL TILED WALLS, OR FULL SET MORTAR BACKING AT TILED WALLS.
 16. ELECTRICAL AND HVAC INSTALLER TO COORDINATE THEIR WORK.
 17. A/C PLAN TO BE PROVIDED BY CONTRACTOR AND COORDINATED WITH DESIGNER AND OTHER TRADES. BUILDING CODES, PROVIDE COST ESTIMATE FOR HIGH EFFICIENCY VARIABLE SPEED ZONED SYSTEM WITH MAXIMUM EFFICIENCY FILTERING SYSTEM.
 18. EXTERIOR WALL SHEATHING: 1" PLYWOOD, WRAPPED WITH TYVEK EXTERIOR WATER RESISTANT BARRIER. SEE PROJECT MANUAL FOR CORRECT INSTALLATION OF TYVEK.
 19. FOR WATER DISTRIBUTION PIPING ONLY TYPE L SHALL BE USED. TYPE M COPPER, CPVC, IPEX NOT ALLOWED.
 20. INTERIOR WALLS TO BE LIGHT TEXTURE FINISH WITH 3 COATS PAINT (SATIN). INTERIOR TRIM TO BE PREPARED FOR PAINTING - 3 COATS PAINT (SEMI-GLOSS) INTERIOR TRIM - ALL INTERIOR TRIM TO BE PAINTED MGGD.
 21. ALL PLYWOOD AND HARDWOODS AT CABINETS AND SHELVING TO BE "PREMIUM GRADE" AND TO BE FORMALDEHYDE FREE.
 22. PROVIDE SINKER CLEANOUTS AS REQUIRED TO SERVICE ALL PLUMBING. VERIFY LOCATIONS WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.
 23. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS FOR BACKFLOW PREVENTION DEVICES ON ALL INDIVIDUAL PIECES OF EQUIPMENT AS INDICATED IN TCEQ REGULATIONS.
 24. CONTRACTOR SHALL INSTALL VACUUM BREAKER DEVICES ON ALL EXTERIOR HOSE BIRS.
 25. CONTRACTOR SHALL INSTALL ARC FAULT CIRCUIT INTERRUPTION PROTECTION ON ALL ELECTRICAL CIRCUITS PER NEC 210.12.
 26. SMOKE DETECTORS ARE REQUIRED IN EACH BEDROOM ENTRY AND ADJOINING HALL. CEILING. SMOKE DETECTORS SHALL BE ELECTRICALLY HARDWIRED WITH A BATTERY BACKUP. ALL SMOKE DETECTORS SHALL ALSO BE ELECTRICALLY INTERCONNECTED SO THAT IF ONE GOES INTO ALARM, ALL GO INTO ALARM. DETECTORS SHALL MEET INTERNATIONAL RESIDENTIAL CODE SECTION 911.1.
 27. COMPLIANCE WITH IRC R610.2 FOR WINDOW STILLS.
 28. WATER STRIPS MUST BE METAL ABOVE GROUND. SCHEDULE 40 PVC MAY ONLY BE USED FOR EXTERIOR PIPING THAT IS UNDERGROUND.
 29. ALL WALLS WITH DRAIN-WASTE-VENT PLUMBING SHALL BE 2X6 LUMBER.
 30. ATTIC ACCESS: MINIMUM OPENING 28 3/4" X 54" SHALL SUPPORT 350 LBS WITH 20 MINUTES FIRE RESISTANCE.
 31. ALL MECHANICAL EQUIPMENT EXHAUST MUST TERMINATE ON THE EXTERIOR OF THE STRUCTURE.
 32. ALUMINUM WIRING IS PROHIBITED AND 12/2 WITH GROUND IS THE SMALLEST CONDUCTOR SIZE ALLOWED.
 33. NO GREEN/PURPLE ROCK FOR TUB/SHOWER ENCLOSURE.
 34. LOCATE ALL ROOF VENTS FROM STREET VIEW WHERE POSSIBLE. PAINT TO MATCH ROOF COLOR.
- STANDARDS AND REGULATIONS
THE IBC, IBCS, IBCS STANDARDS OF CONSTRUCTION INDUSTRY AND BUILDING CODES HAVE THE SAME FORCE AND EFFECT ON PERFORMANCE OF THE WORK AS IF COPIED DIRECTLY INTO CONTRACT DOCUMENTS. GOVERNING REGULATIONS HAVE PREFERENCE OVER NONPREFERENCE STANDARDS. IN SO FAR AS DIFFERENT STANDARDS MAY CONTAIN OVERLAPPING OR CONFLICTING REQUIREMENTS, COMPLY WITH LOCAL BUILDING CODES AND INDUSTRY STANDARDS. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE TO THESE STANDARDS AND REGULATIONS AND FOR THE CONSTRUCTION PERMITS. THE INSTALLATION SHALL MEET THE MINIMUM STANDARD PRESCRIBED IN THE LATEST EDITION AND AMENDMENTS OF THE FOLLOWING STANDARDS. THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL CODES AND THE NEC.
1. BUILDING CODES 2018 INT. RESIDENTIAL CODE
 2. PLUMBING CODE 2018 UNIFORM PLUMBING CODE
 3. MECHANICAL 2018 INTERNATIONAL MECHANICAL CODE
 4. ELECTRICAL CODE 2017 NATIONAL ELECTRICAL CODE
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING INDICATED ON DRAWINGS IS TO APPLY TO ATTN CONTRACTOR ON GENERAL LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL, PLUMBING AND MECHANICAL SIZING, AND SHALL ADHERE TO THESE CODES.

GENERAL NOTES:

1. ALL BASE IS TO MATCH EXISTING. FIELD VERIFY.
2. ALL NEW INTERIOR WALLS TO BE 5/8" GNB PAINTED. COORDINATE COLORS IN OWNER. COORDINATE FINAL TEXTURE IN OWNER.
3. ALL EXISTING INTERIOR WALLS & CEILINGS PROVIDE NEW FLOAT TEXTURE AND PAINT.
4. ALL NEW FLOORS TO MATCH EXISTING. COORDINATE IN OWNER.
5. COORDINATE REPLACEMENT OF ANY EXISTING DOORS IN OWNER PRIOR TO ORDERING.
6. STYLE AND SIZE OF ALL NEW DOORS AND WINDOWS ARE TO BE COORDINATED IN OWNER PRIOR TO ORDERING.
7. PROVIDE LINE ITEM PRICING TO REPLACE ALL WINDOWS.

SITE SURVEY



PROJECT INFO

OWNER
JOSIAS SCHMIDLKOFER & HANNAH OLGUIN
125 MAGNOLIA DR.
SAN ANTONIO, TEXAS 78212
(210) 777-6869
SCHMIDLKOFER.JOSIAS@GMAIL.COM
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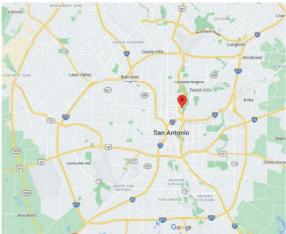
DESIGNER
JASON MORAN
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(210) 865-1908 (CELL)
JEN.MORAN10@GMAIL.COM

CONTRACTOR
PRECISION CONTRACTING
4027 PATTERLAND DR
SAN ANTONIO, TEXAS 78217
(210) 961-8480
CONTACT: CODY MARSHALL
(210) 784-8444

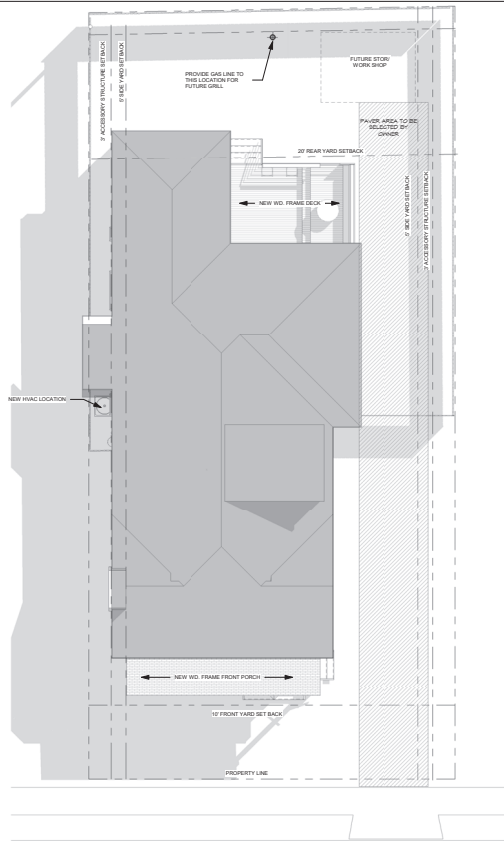
AREA TABULATIONS:

EXISTING AC.....1,766 SF
EXISTING GARAGE.....270 SF
NEW ADDITION.....312 SF
TOTAL.....2,952 SF

LOCATION MAP

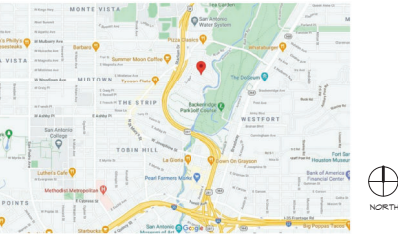


SITE PLAN



1 SITE PLAN
18" = 1'-0"

VICINITY MAP



JASON MORAN
COLLABORATIVE DESIGNER

125 MAGNOLIA DR.
SAN ANTONIO TX 78212

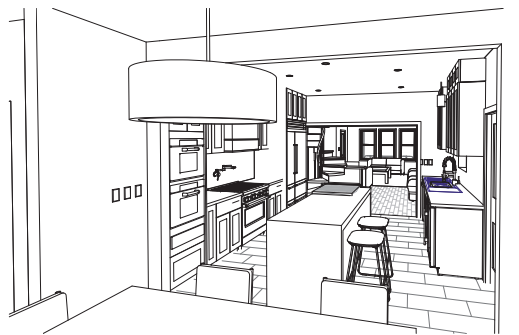
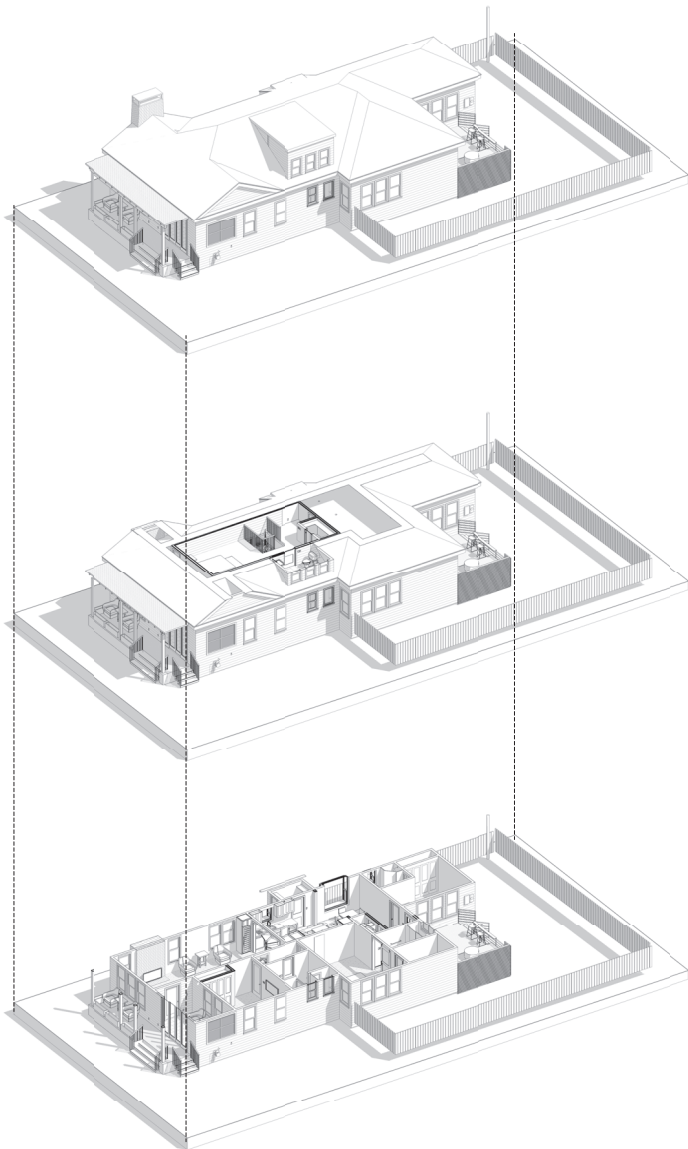
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COVER

PROJECT NO: 202007
DRAWN BY: JM

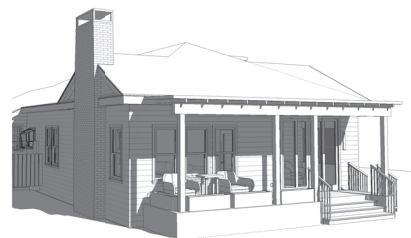
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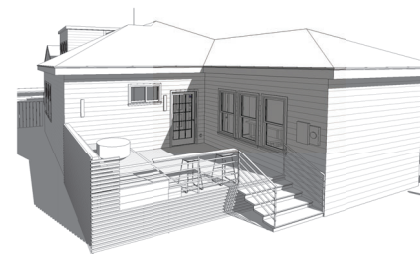
5 INTERIOR VIEW



4 INTERIOR VIEW



7 FRONT DECK



6 BACK DECK

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VIEWS

PROJECT NO: 202007

DRAWN BY: JM

A-1.2

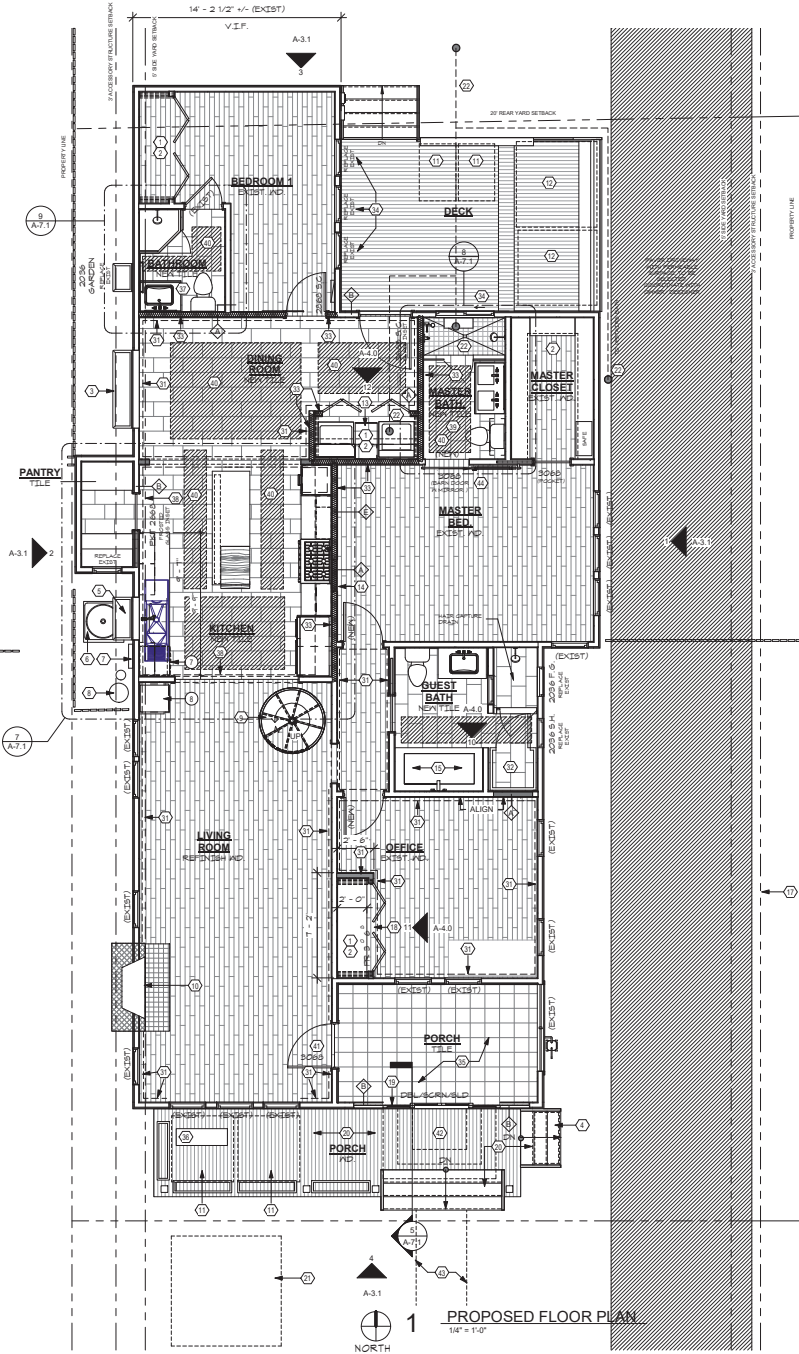
WALL

- EXISTING PARTITION TO BE
- EXISTING PARTITION TO
- NEW INTERIOR PARTITION: 2x4 STUDS KILN DRIED SOUTHERN YELLOW PINE 12 OR BETTER @ 16" O.C. WITH 5/8" TYPE GYP.
- NEW INTERIOR PARTITION: 2x6 STUDS @ 16" O.C. WITH 5/8" TYPE GYP. BD. EA. SIDE
- NEW EXTERIOR WALL CONSTRUCTION TO MATCH EXISTING ADJACENT FINISH MATERIAL. PROVIDE FOR 2x STUDS KILN DRIED SOUTHERN YELLOW PINE 12 OR BETTER @ 16" O.C. INTERIOR FINISH TO BE 5/8" TYPE "X" GYP. BD. FINISH & PAINT TO MATCH EXISTING PROVIDE FOR EXTERIOR SHEATHING AND VAPOR BARRIER AS REQUIRED.

FLOOR PLAN KEY NOTES:

- NOTE: PROVIDE SUBMITTAL TO OWNER FOR ALL ITEMS SPECIFIED PRIOR TO ORDERING FOR OWNER APPROVAL.
- NEW CLOSET WITH PIVOT POCKET HARDWARE CLOSET DOORS. HAFELE CONCEPTA SERIES HARDWARE. 8'-0" TALL MILLWORK DOORS
 - CLOSET ORGANIZATION MILLWORK. RE. INTERIOR ELEVATIONS
 - NEW PREFAB GARDEN KIDNOON AT DEMO. FIELD VERIFY EXACT SIZE.
 - SLIDING DRAWER IN NEW FRAMED STAIR.
 - UPDATE GARDEN KIDNOON ABOVE SINK.
 - NEW HVAC LOCATION
 - NEW HVAC
 - NEW WATER SIFT/ FILTER TO BE PROVIDED BY OWNER.
 - EXISTING SPIRAL STAIR TO BE REPLACED WITH NEW METAL SPIRAL STAIR. MODIFY EXISTING OPENING AS REQUIRED FOR NEW (ENLARGED) STAIR. COORDINATE EXACT DIMENSIONS IN FIELD W/ DESIGNER.
 - REFINISH EXISTING FIREPLACE/HEARTH
 - RADWATER CAPTURE BELOW DECK.
 - SLIDING DRAWER BELOW NEW FRAMED DECK
 - NEW CLOSET AND ORGANIZER FOR LAUNDRY. NEW PIVOT POCKET HARDWARE
 - DEMO EXISTING CLOSETS & FIREPLACE FOR ADD SPACE IN KITCHEN
 - NEW WHIRLPOOL BATH. REPLACE BEAD BD. WITH SUB.
 - REVERSE CLOSET TO OPEN TO BATH.
 - NEW RIBBON DRIVEWAY
 - NEW CLOSET PIVOT POCKET HARDWARE CLOSET DOORS.
 - NEW MILLWORK FOR OFFICE ORGANIZATION. ALL PIVOT POCKET DOORS TO BE 8'-0" TALL
 - NEW SCREEN SLIDING DOORS
 - NEW KD. FRAMED FRONT PORCH & STEPS. ALLOW FOR TPE WOOD
 - RADWATER OVERFLOW INTO NEW DRYWELL.
 - PLUMB IN GREY WATER. TERMINATION POINT TO BE COORDINATE W/ OWNER
 - EXISTING ROOF TO BE REPLACED WITH METAL ROOF.
 - APPROX. LOCATION OF HVAC UNITS
 - EXTEND ROOM TO ALLOW FOR CLOSET
 - RE-LEVEL & REFINISH EXISTING FLOOR. REINFORCE AS REQUIRED FOR PROPER STRUCTURE
 - NEW PORCH & ROOF STRUCTURE
 - EXISTING ATTIC ROOM TO REMAIN.
 - RELOCATED SINK FROM BEDROOM 1. NEW TOILET TO BE SELECTED
 - RELOCATE EXISTING CLAMPFOOT TUB FROM LEVEL 1
 - PICTURE RAIL. COORDINATE W/ OWNER ON STYLE & SELECTION
 - MILLWORK LINEN CLOSET.
 - PROVIDE FOR SOUND BATT INSULATION
 - NEW KIDNOONS SHALL HAVE ELECTRONIC CONTROL FROSTED FILM
 - AT EXISTING SCREEN PORCH. PATCH/ REPLACE EXISTING SCREEN/ WOOD TRIM AS REQUIRED FOR "LIKE NEW" APPEARANCE. PATCH AND REPLACE EXISTING TILE AS REQUIRED FOR LIKE NEW APPEARANCE.
 - NEW HANGING SKINS BENCH. COORDINATE W/ OWNER
 - NEW LOW (ADA) HEIGHT SINK & MILLWORK TO BE SELECTED BY OWNER
 - GROWN MOULDING. PROFILE TO BE SELECTED BY OWNER.
 - REPLACE EXISTING SINK AND CABINET WITH NEW ALLOW FOR 2 FAUCETS
 - NEW LIT MEDICINE CABINET/ MIRROR. PROVIDE POWER AS REQUIRED
 - PROVIDE FOR RADIANT FLOOR HEAT UNDER TILE AT HATCHED AREAS
 - NEW "CRAFTSMAN STYLE" FRONT DOOR. MODIFY TO ACCEPT MAIL SLOT RE-USED FROM PREVIOUS DOOR. TO BE SELECTED BY OWNER. MODIFY EXISTING JAMB FOR PROPER WORKING CONDITION.
 - DEMO EXISTING FRONT STEPS TO AL FOR NEW FRONT PORCH.
 - DEMO EXISTING WALKWAY TO ALLOW FOR NEW (DESIGN TO BE DETERMINED)
 - CONCEALED TRACK "BARN DOOR" WITH GLASS MIRROR. COORDINATE SPEC W/ OWNER.

2 ATTIC FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

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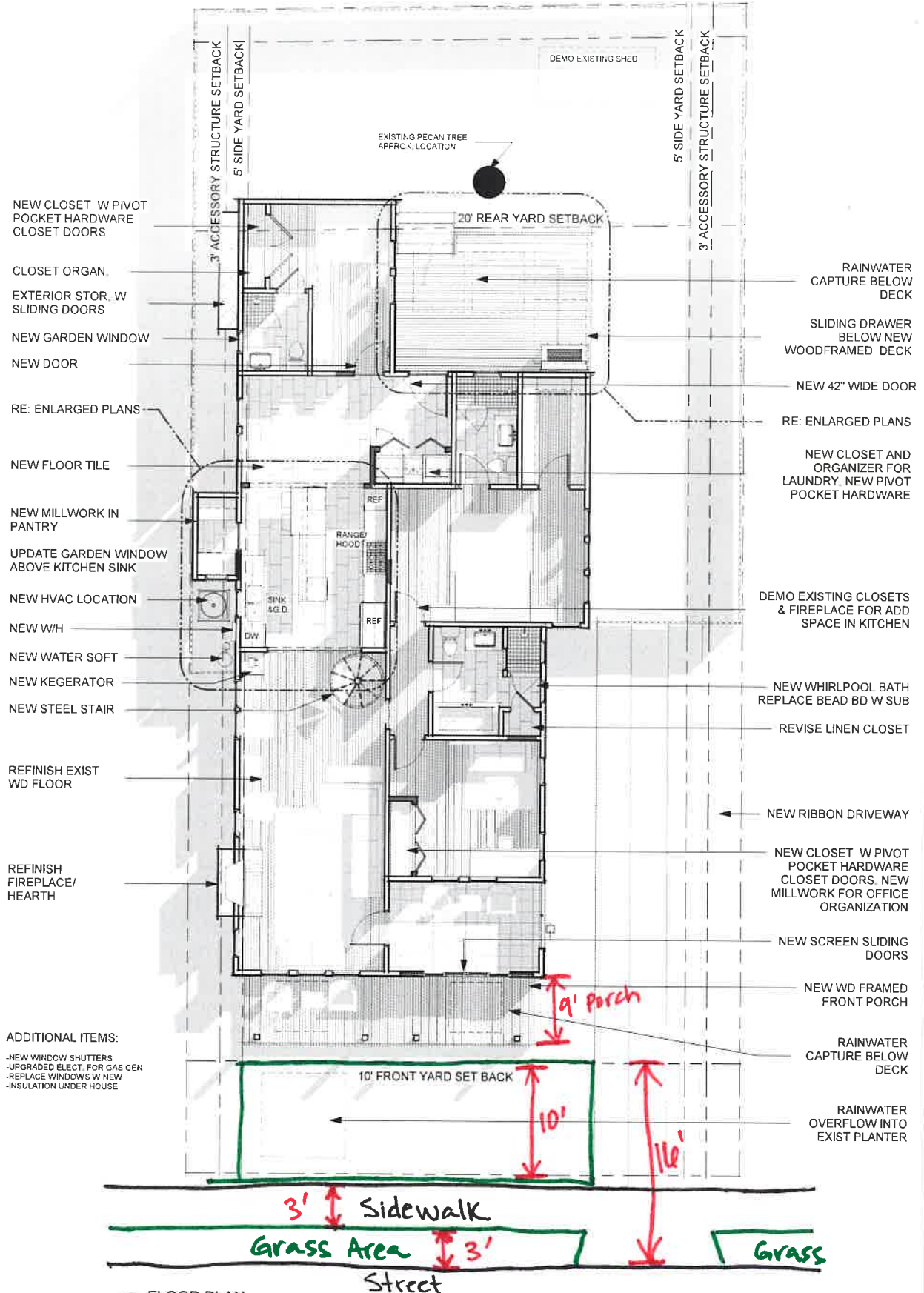
FLOOR PLAN

PROJECT NO: 202007
DRAWN BY: JM

A-2.0

125 Magnolia Dr

Preliminary Plan



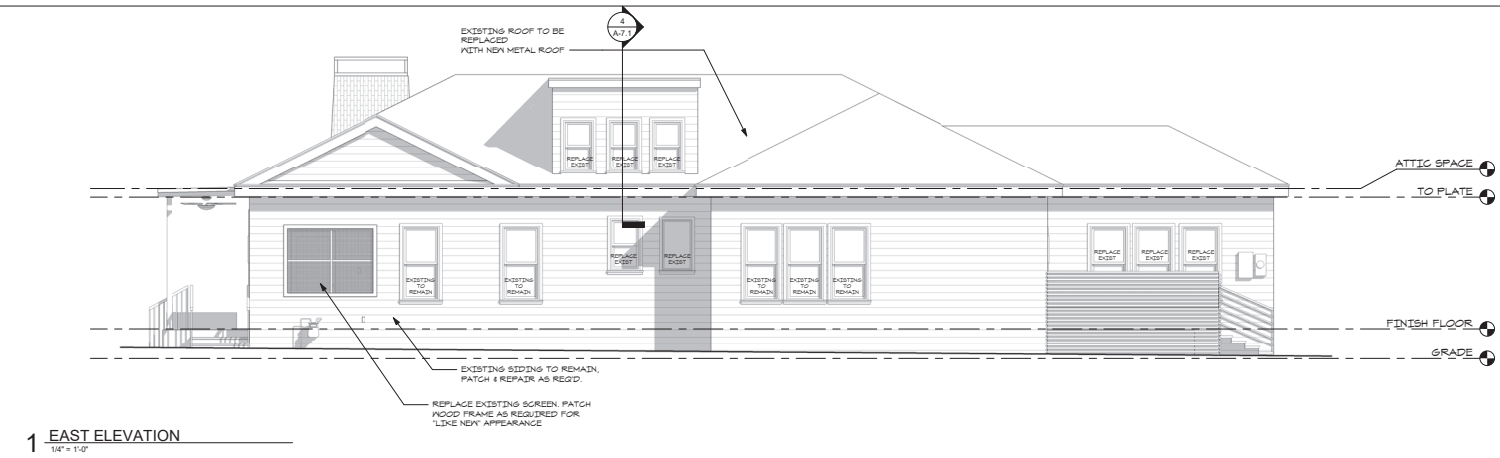
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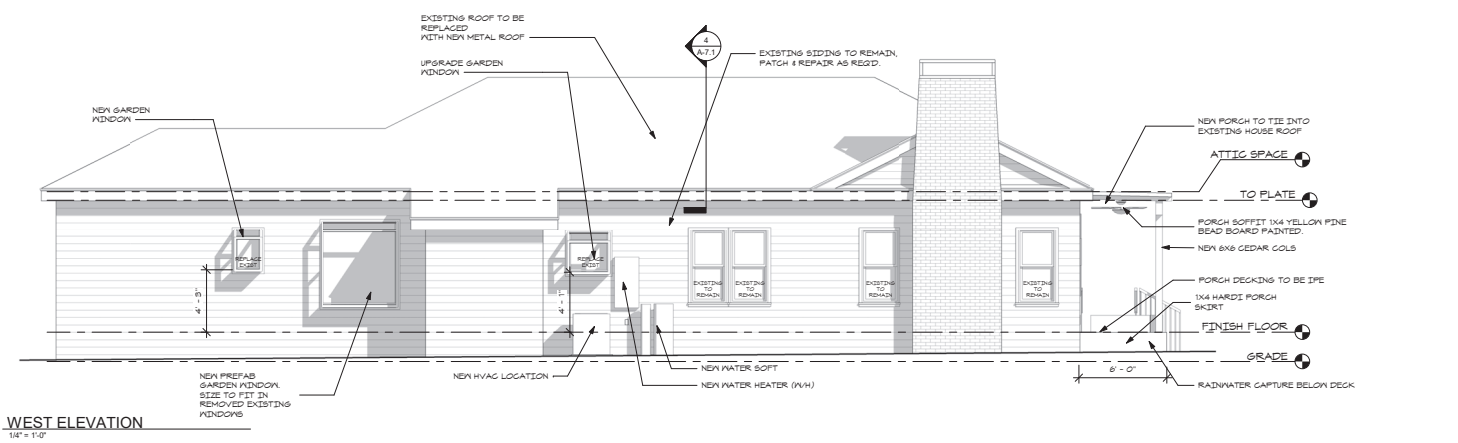
ELEVATIONS

PROJECT NO: 202007
DRAWN BY: JM

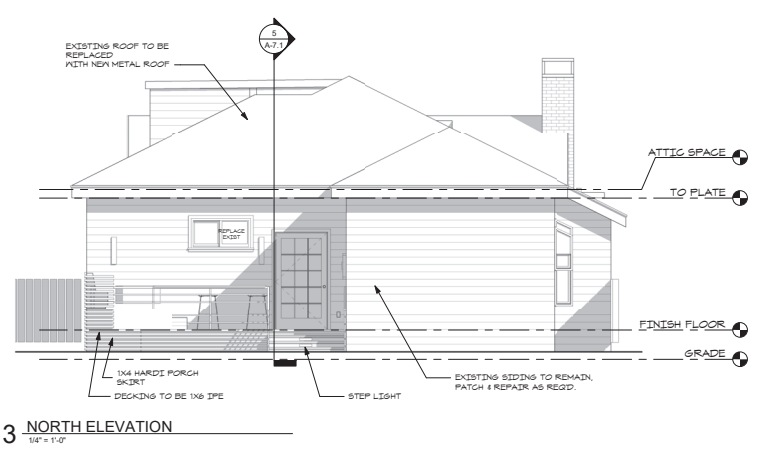
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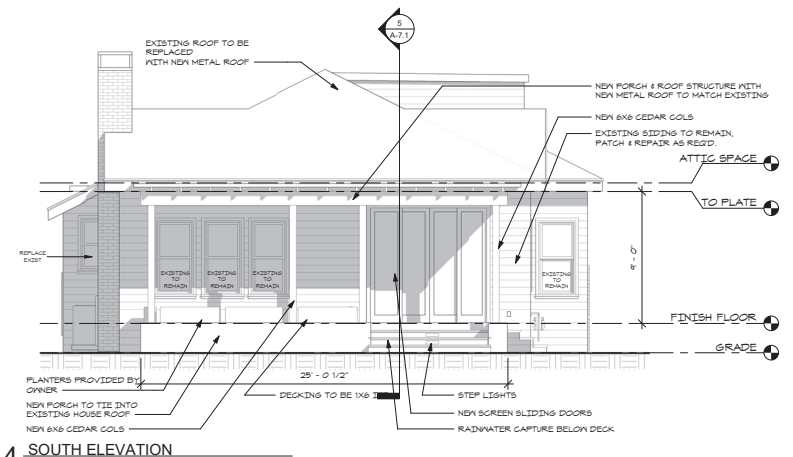
1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"

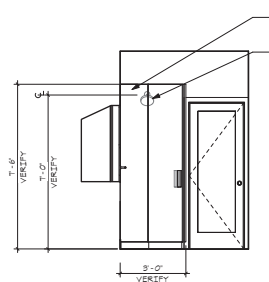
APPLIANCES LEGEND:

- ① 48" SUB-ZERO REFRIGERATOR/ FREEZER - PRO4850
- ② 36" BLUE STAR RANGE - PLATINUM SERIES
- ③ BLUE STAR VENTHOOD - LINEAR SERIES
- ④ MIELE STEAM OVEN - DGC 6765 XXL (PLUMBED PER SPEC)
- ⑤ DRY AGER - DRYAGER UX500
- ⑥ MIELE WINE REFRIGERATOR 24" KWT 6722
- ⑦ DISHWASHER BY MIELE - G 7966 SCVI
- ⑧ MIELE SPEED OVEN - H 6700 (PLUMBED PER SPEC)
- ⑨ KALAMAZOO HYBRID FIRE GRILL - K750HB
- ⑩ MIELE VACUUM SEAL - DGC 6765
- ⑪ MIELE WARMING DRAWER - 6380 FB
- ⑫ THE GALLEY SINK - WORKSTATION
- ⑬ GARBAGE DISPOSAL - TO BE SELECTED BY OWNER
- ⑭ WATER ZIP HYDRO TAP

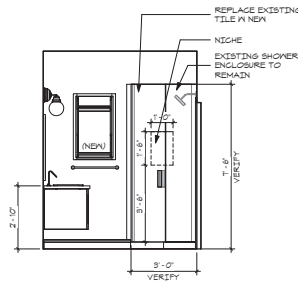
ELEVATIONS LEGEND

- ① LIGHT FIXTURE AS SCHEDULED
- ② TILE TO BE SELECTED
- ③ SOLID SURFACE TOP
- ④ REMOVABLE BUTCHER BLOCK IN STAINLESS STEEL INSERT
- ⑤ WATERFALL EDGE PROFILE
- ⑥ BASE AS SCHEDULED
- ⑦ DECORATIVE FINISH TO BE DETERMINED
- ⑧ PROVIDE WATER LINE / DRAIN TO APPLIANCE AS REQUIRED. RE: PRODUCT SPECIFICATIONS FOR REQUIREMENTS.
- ⑨ SOLID SURFACE TO BE DETERMINED
- ⑩ POT FILLER TO BE SELECTED
- ⑪ OUTLET MOUNTED IN MILLWORK

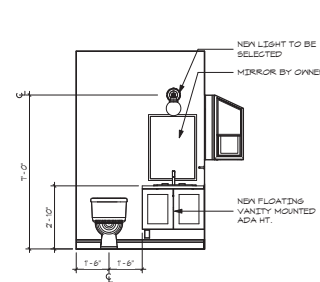
GENERAL NOTES:
1. REVIEW ALL APPLIANCES SELECTED WITH MILLWORK SELECTIONS FOR COORDINATION. PROVIDE SUBMITTALS & SHOP DRAWINGS TO OWNER AND DESIGNER FOR REVIEW PRIOR TO FABRICATION.
2. VERIFY ALL FIELD DIMENSIONS PRIOR TO SHOP DRAWINGS.



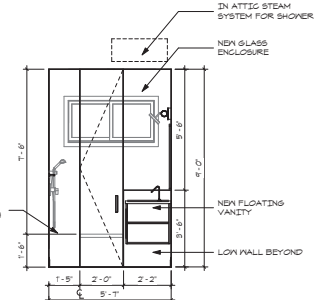
1 BATH RM
38" x 1'-0"



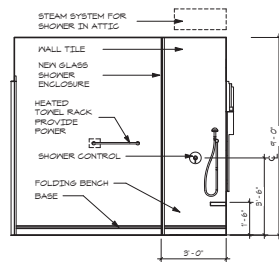
2 BATH RM
38" x 1'-0"



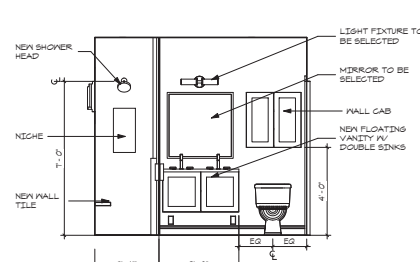
3 BATH RM
38" x 1'-0"



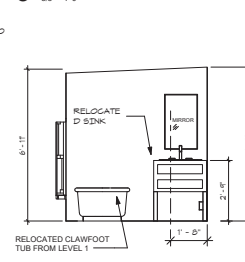
4 MASTER BATH
38" x 1'-0"



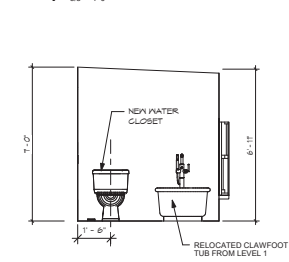
5 MASTER BATH
38" x 1'-0"



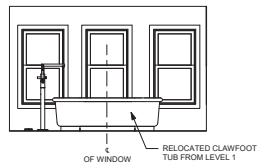
6 MASTER BATH
38" x 1'-0"



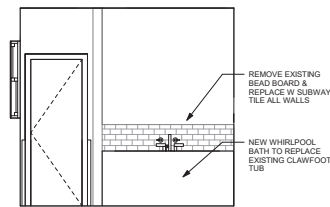
7 ATTIC BATHROOM
38" x 1'-0"



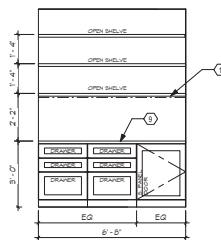
8 ATTIC BATHROOM
38" x 1'-0"



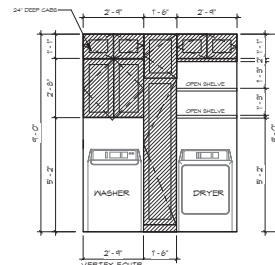
9 ATTIC BATHROOM
38" x 1'-0"



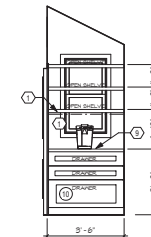
10 GUEST BATHROOM
38" x 1'-0"



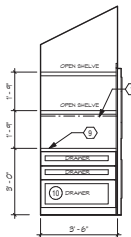
11 OFFICE CLOSET
38" x 1'-0"



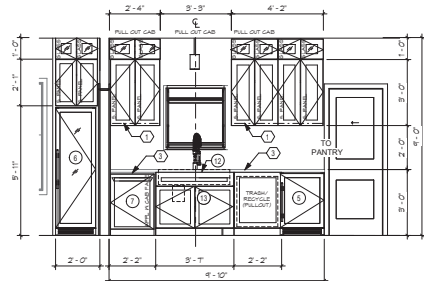
12 LAUNDRY
38" x 1'-0"



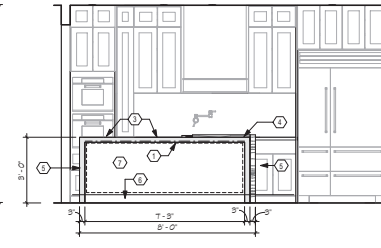
13 PANTRY
38" x 1'-0"



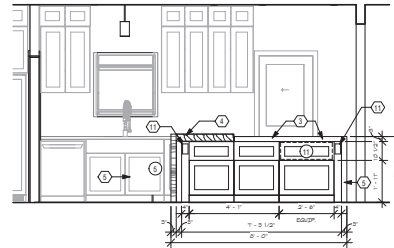
14 PANTRY
38" x 1'-0"



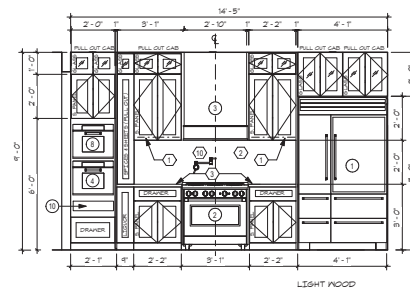
15 ELEVATION AT KITCHEN
38" x 1'-0"



16 ELEVATION AT KITCHEN
38" x 1'-0"



17 ELEVATION AT KITCHEN
38" x 1'-0"



18 ELEVATION AT KITCHEN
38" x 1'-0"

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INTERIOR ELEVATIONS

PROJECT NO: 202007
DRAWN BY: JM

A-4.0

POWER & LIGHTING

GENERAL NOTES:

- REPLACE ALL EXISTING OUTLETS TO MEET CURRENT CODE
- COORDINATE ANY LIGHTS ON DIMMERS WITH OWNER

- 4" RECESSED CAN LIGHT
- RECESSED CAN AT SHOWER MOISTURE RESISTANT
- WALL MOUNTED LIGHT FIXTURE (INTERIOR)
- DIMMER
- 6"X24" SURFACE MOUNTED LINEAR UTILITY LIGHT
- SMALL PENDANT LIGHT
- WALL MOUNTED WALL SCONCE (EXTERIOR)
- 3 WAY LIGHT SWITCH
- LARGE PENDANT LIGHT FIXTURE TO BE SELECTED BY OWNER
- AUBE 54" 3 BLADE CEILING FAN WITH REMOTE
- UNDERCAB LIGHTS ON DIMMER
- LIGHT PATH
- LIGHT SWITCH
- DOOR CHIME
- DOOR CHIME
- DUPLEX OUTLET
- 220V OUTLET
- GFI GROUND FAULT INTERRUPTED
- WEATHER PROOF
- RECESSED FLOOR OUTLET. VERIFY EXACT LOCATION IN OWNER
- HEATER / VENT

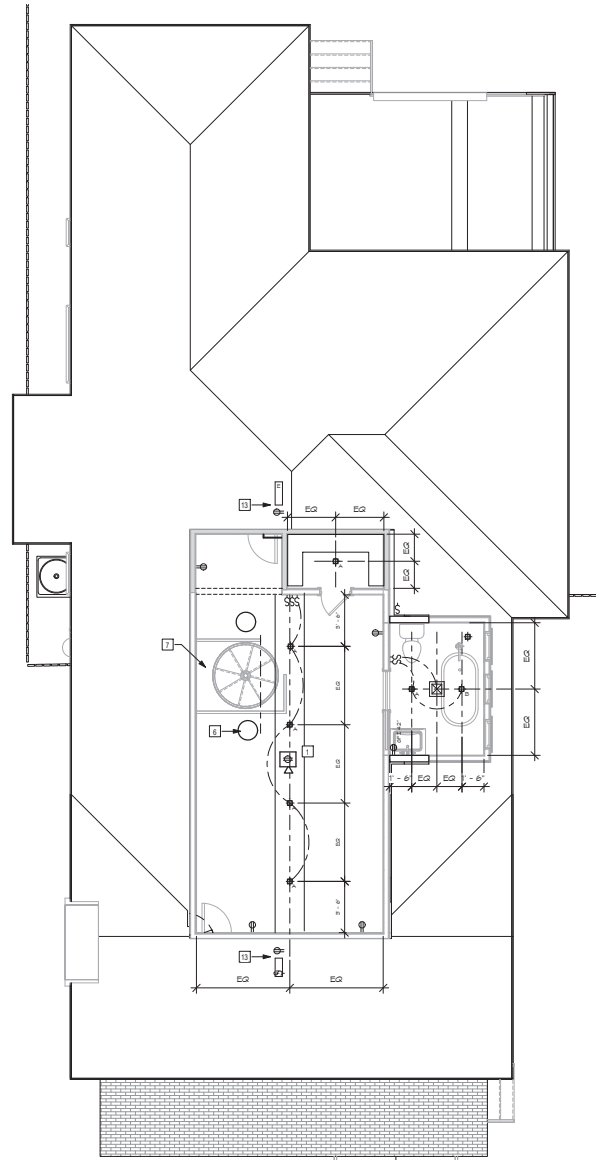
POWER & LIGHTING KEYED NOTES:

- OUTLET TO BE MOUNTED IN CEILING ABOVE. VERIFY EXACT LOCATION IN OWNER PRIOR TO INSTALL.
- LED TAPE MOUNTED TO HEADER OF DOOR AT TRIM, SWITCHED.
- NEW LOCATION OF SWITCH
- POTENTIAL LOCATION OF FUTURE OWNER PROVIDED GENERATOR. VERIFY REQUIREMENTS WITH OWNER. PROVIDE PRICING FOR PRE WIRE / PLUMB REQUIREMENTS.
- AT EXISTING BATHROOM, ALL LIGHT FIXTURE LOCATIONS TO REMAIN. COORDINATE IN OWNER ON ANY REPLACEMENTS. ENSURE TO MOUNT EXISTING VENT TO EXTERIOR PER CODE.
- NEW SOLAR TUBES
- ENLARGE OPENINGS AT SPIRAL STAIR. COORDINATE EXACT SCOPE IN FIELD IN ENGINEER / FRAMING SUBCONTRACTOR.
- UPGRADE EXISTING ELECTRICAL PANEL
- LINEAR EXTERIOR LED TAPE LIGHT IN STORAGE DRAWERS
- STEP LIGHTS (ALL STEPS LIGHTS SHALL BE ON PHOTOCELL)
- FLOOR MOUNTED OUTLET. VERIFY EXACT LOCATION IN OWNER PRIOR TO INSTALL.
- STUB OUT POWER FOR FUTURE LANDSCAPE LIGHTING
- OUTLET AND LIGHT IN ATTIC. VERIFY EXACT LOCATION IN DESIGNER



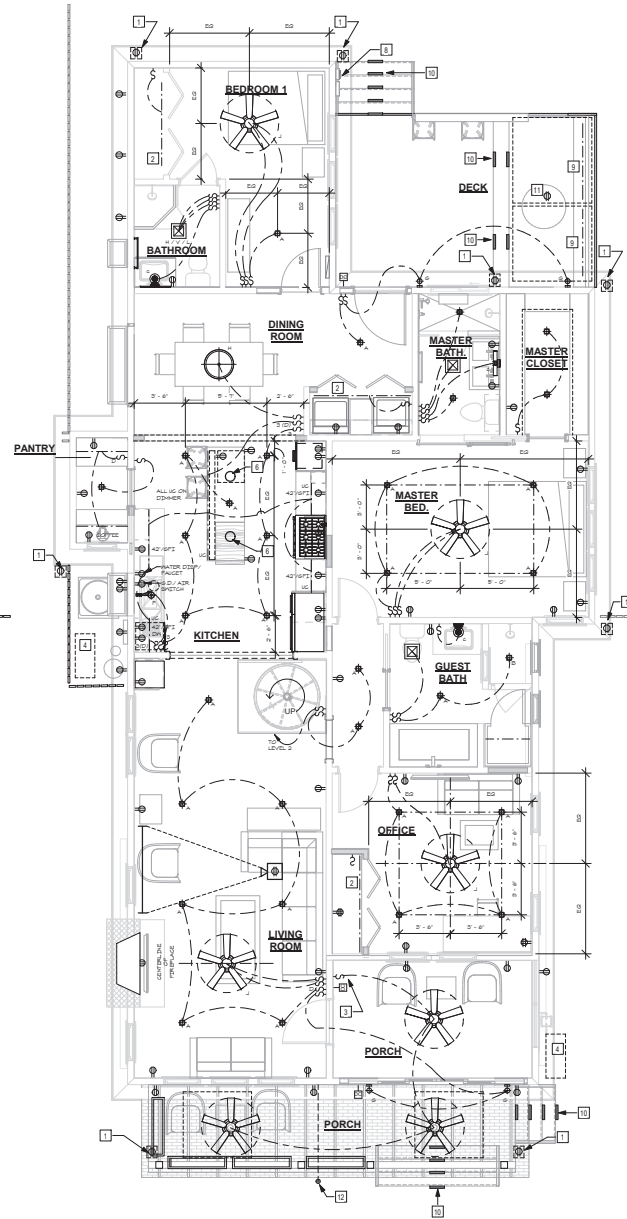
2 ATTIC POWER & LIGHTING

1/4" = 1'-0"



3 POWER & LIGHTING LEVEL 1

1/8" = 1'-0"



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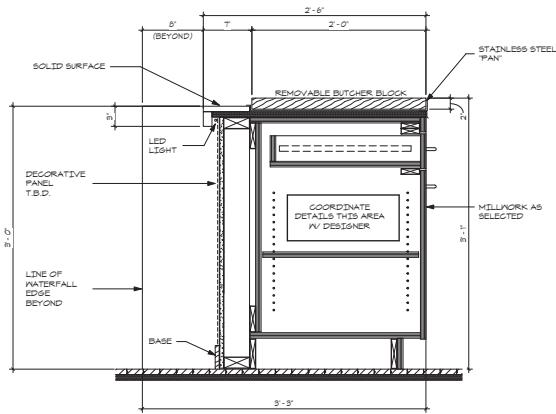
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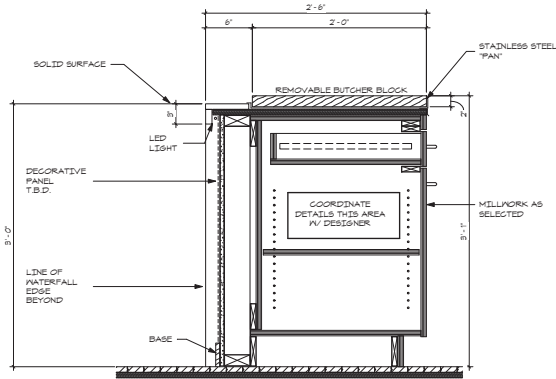
POWER & LIGHTING PLAN

PROJECT NO: 202007
DRAWN BY: JM

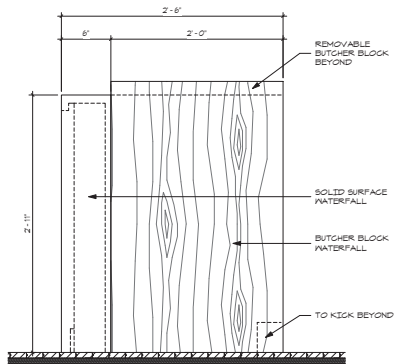
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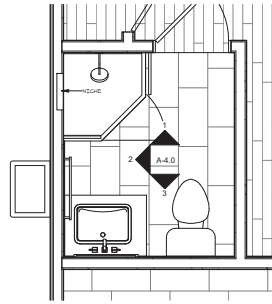
1 DETAIL @ BUTCHER BLOCK
1 1/2" = 1'-0"



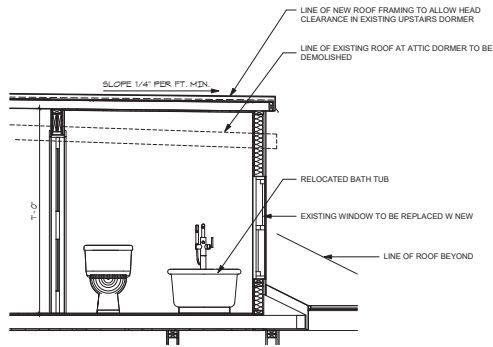
6 DETAIL @ BAR SEATING
1 1/2" = 1'-0"



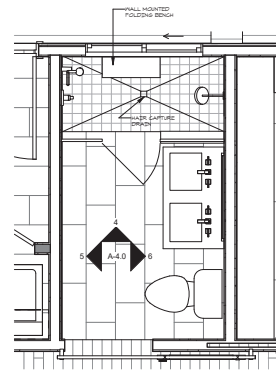
3 WATER FALL EDGE
1 1/2" = 1'-0"
OPTION WITH BUTCHER BLOCK



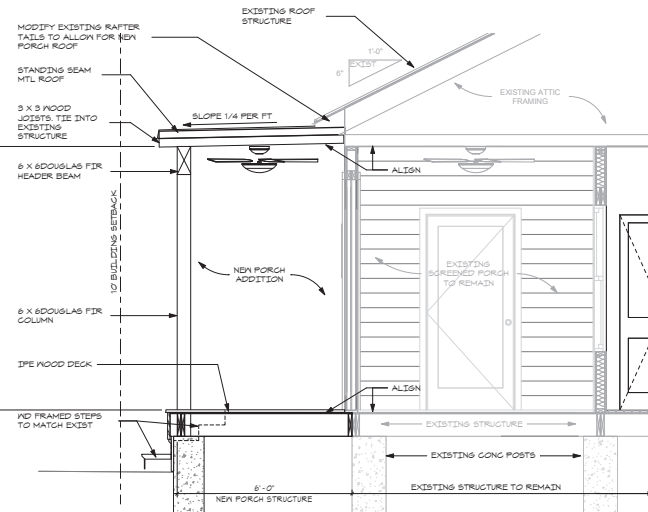
9 ENLARGED PLAN AT BATH
1/2" = 1'-0"



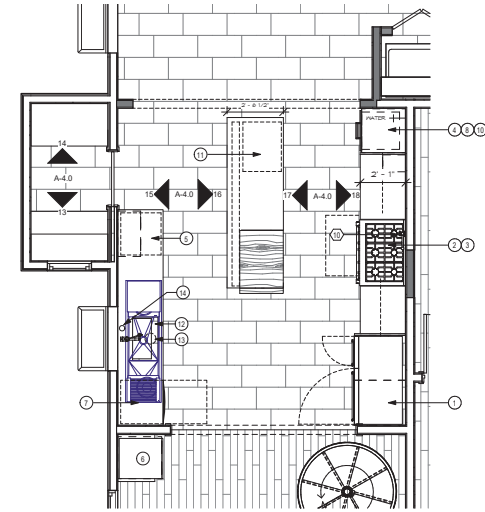
4 SECTION AT BATHROOM
1/2" = 1'-0"



8 ENLARGED PLAN AT MASTER BATH
1/2" = 1'-0"



5 SECTION AT NEW PATIO
1/2" = 1'-0"



7 ENLARGED PLAN AT KITCHEN
3/8" = 1'-0"

APPLIANCES LEGEND:

- | | |
|--|--|
| ① 48" SUB-ZERO REFRIGERATOR FREEZER - PRO4850 | ⑦ DISHWASHER BY MIELE - G 7966 SCVI |
| ② 36" BLUE STAR RANGE - PLATINUM SERIES | ⑧ MIELE SPEED OVEN - H 6700 |
| ③ BLUE STAR VENTHOOD - LINEAR SERIES | ⑨ KALAMAZOO HYBRID FIRE GRILL - K750HB |
| ④ MIELE STEAM OVEN - DGC 6785 XXL (PLUMBED PER SPEC) | ⑩ MIELE VACUUM SEAL - DGC 6785 |
| ⑤ DRY AGER - DRYAGER UX500 | ⑪ MIELE WARMING DRAWER - 6380 FB |
| ⑥ MIELE WINE REFRIGERATOR 24" KWT 6722 | ⑫ THE GALLEY SINK - WORKSTATION |
| | ⑬ GARBAGE DISPOSAL - TO BE SELECTED BY OWNER |

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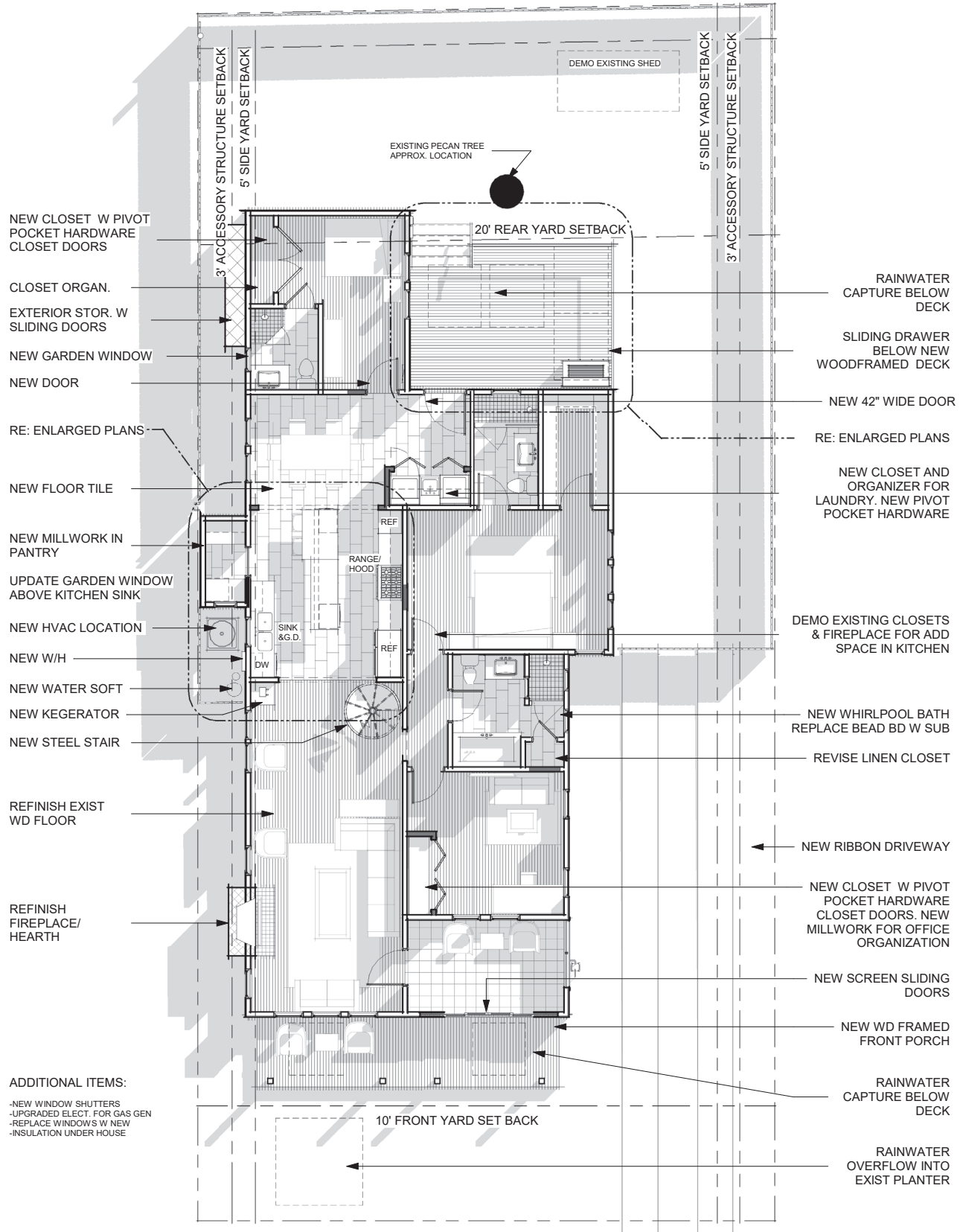
DETAILS

PROJECT NO: 202007
DRAWN BY: JM

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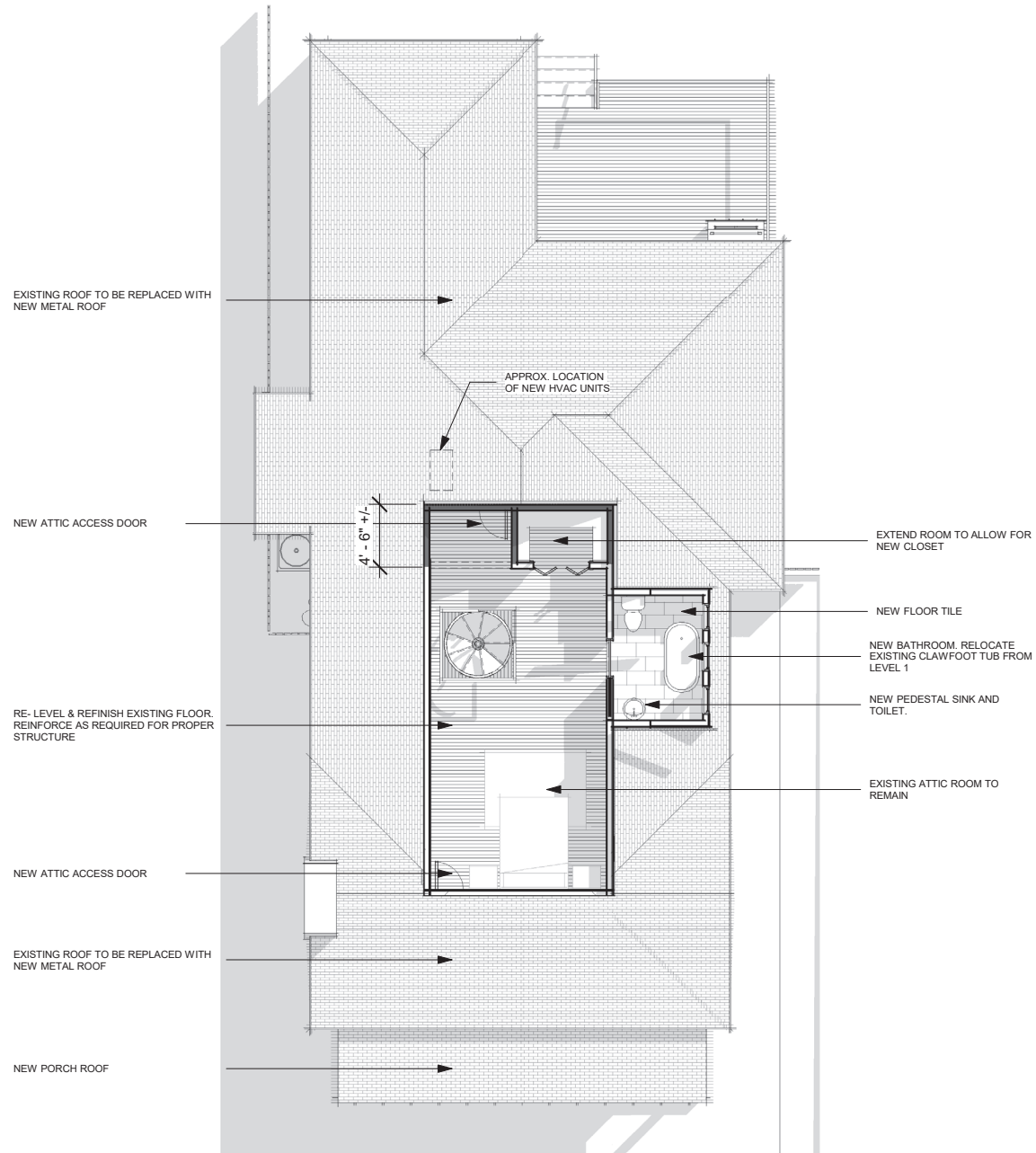
Preliminary Plan



① FLOOR PLAN
1/8" = 1'-0"

125 Magnolia Dr

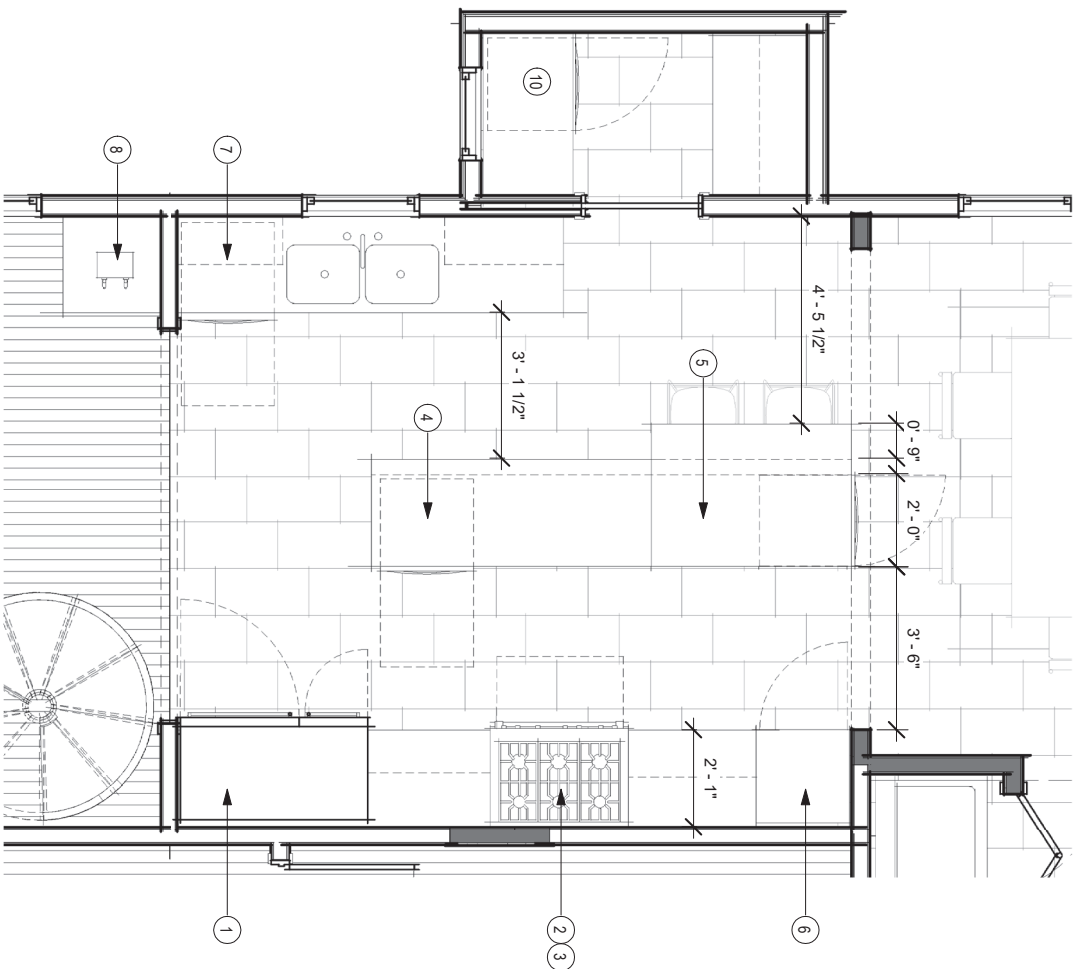
Preliminary Plan



① Attic Floor Plan
1/8" = 1'-0"

125 Magnolia Dr

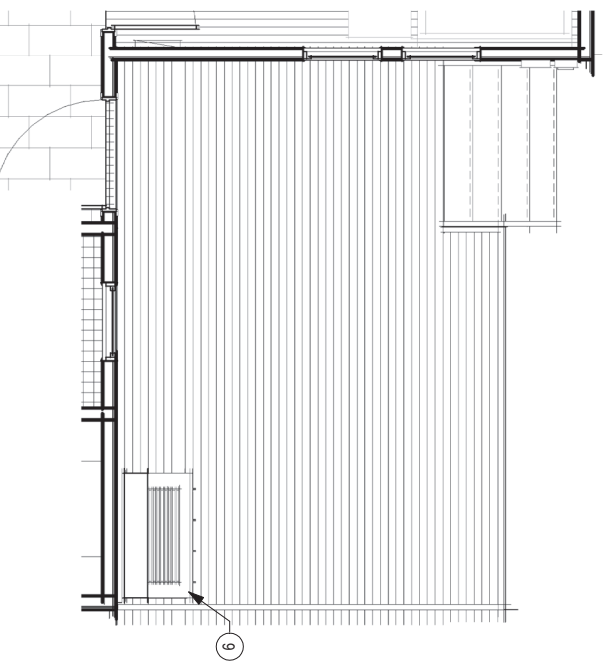
Enlarged Floor Plan



1 ENLARGED PLAN AT KITCHEN
3/8" = 1'-0"

APPLIANCES:

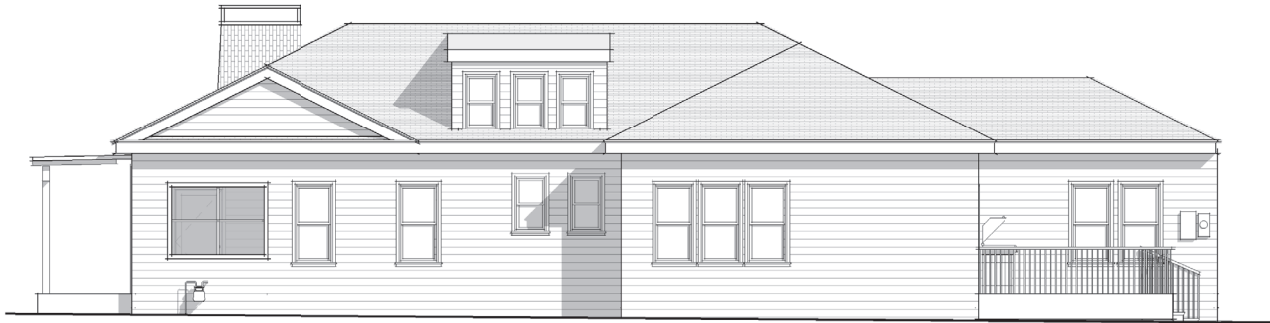
1. 48" SUB-ZERO REFRIGERATOR/FREEZER - PRO4850
2. 36" BLUE STAR RANGE - PLATINUM SERIES
3. BLUE STAR VENTHOOD - LINEAR SERIES
4. MIELE STEAM OVEN - DGC 6860 AM
5. DRY AGER - DRYAGER UX500
6. MIELE WINE REFRIGERATOR
7. DISHWASHER BY MIELE - G 7966 SCVI
8. 24" KALAMAZOO KEGEGATOR - ARCADIA DUAL ZONE
9. KALAMAZOO HYBRID FIRE GRILL - K750HB
10. SUBZ-ZERO 24" BELOW COUNTER BEV FRIDGE



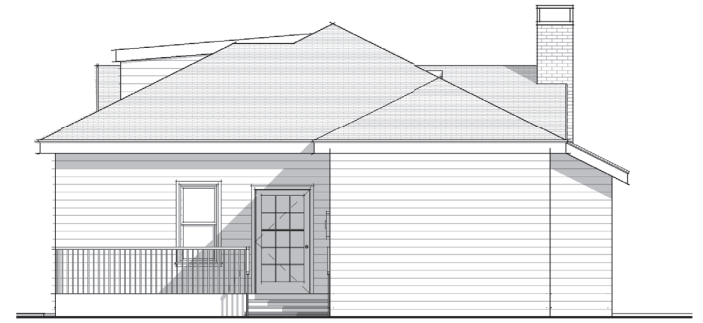
2 ENLARGED PLAN BACK DECK
1/4" = 1'-0"

125 Magnolia Dr

Preliminary Plan



① East
1/8" = 1'-0"



③ North
1/8" = 1'-0"



② West
1/8" = 1'-0"



④ South
1/8" = 1'-0"

125 Magnolia Dr

Precedent Images



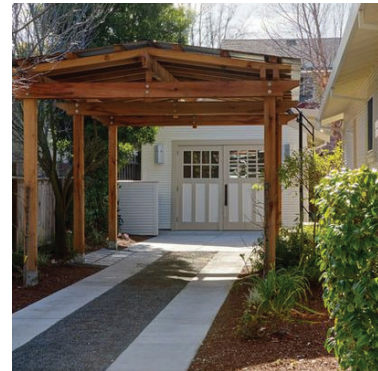
HAWA PIVOT POCKET HARDWARE
HAWA-Concepta Series Pivot and Slide-In
Pocket Door System (or similar)



"HIDDEN LAUNDRY ROOM" WITH HAWA PIVOT POCKET
HARDWARE
HAWA-Concepta Series Pivot and Slide-In Pocket Door System



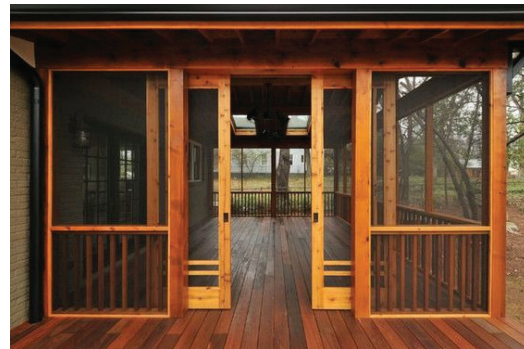
NEW METAL STAIR TO REPLACE EXIST



RIBBON DRIVEWAY CONCEPT



WOOD FRAMED FRONT PORCH



DOUBLE SLIDING SCREEN PORCH DOORS



Slimline Under Deck Kit

BELOW DECK WATER RETENTION CONCEPT



BELOW DECK DRAWER STORAGE CONCEPT