

HISTORIC AND DESIGN REVIEW COMMISSION

August 18, 2021

HDRC CASE NO: 2021-394
COMMON NAME: 100-200 Blocks Quentin
ZONING: UZROW, H
CITY COUNCIL DIST.: 7
DISTRICT: Monticello Park Historic District
APPLICANT: Maitham Humoud/COSA-PWD
OWNER: HAWK AUSTIN & CHIRSTIAN STEPHANIE AGUILERA
TYPE OF WORK: Sidewalk improvements
APPLICATION RECEIVED: July 30, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to install new sidewalks on Quentin Drive between Shearer and Lake Boulevards.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

1. Topography

A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

3. Landscape Design

A. PLANTINGS

- i. *Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

- i. *Impervious surfaces*—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

C. MULCH

Organic mulch – Organic mulch should not be used as a wholesale replacement for plant material. Organic mulch with appropriate plantings should be incorporated in areas where appropriate such as beneath a tree canopy.

- i. *Inorganic mulch* – Inorganic mulch should not be used in highly-visible areas and should never be used as a wholesale replacement for plant material. Inorganic mulch with appropriate plantings should be incorporated in areas where appropriate such as along a foundation wall where moisture retention is discouraged.

D. TREES

- i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.
- iii. *Maintenance* – Proper pruning encourages healthy growth and can extend the lifespan of trees. Avoid unnecessary or harmful pruning. A certified, licensed arborist is recommended for the pruning of mature trees and heritage trees.

4. Residential Streetscapes

A. PLANTING STRIPS

- i. *Street trees*—Protect and encourage healthy street trees in planting strips. Replace damaged or dead trees with trees of a similar species, size, and growth habit as recommended by the City Arborist.
- ii. *Lawns*— Maintain the use of traditional lawn in planting strips or low plantings where a consistent pattern has been retained along the block frontage. If mulch or gravel beds are used, low-growing plantings should be incorporated into the design.
- iii. *Alternative materials*—Do not introduce impervious hardscape, raised planting beds, or other materials into planting strips where they were not historically found.

B. PARKWAYS AND PLANTED MEDIANS

- i. *Historic plantings*—Maintain the park-like character of historic parkways and planted medians by preserving mature vegetation and retaining historic design elements. Replace damaged or dead plant materials with species of a like size, growth habit, and ornamental characteristics.
- ii. *Hardscape*—Do not introduce new pavers, concrete, or other hardscape materials into parkways and planted medians where they were not historically found.

C. STREET ELEMENTS

- i. *Site elements*—Preserve historic street lights, street markers, roundabouts, and other unique site elements found within the public right-of-way as street improvements and other public works projects are completed over time.
- ii. *Historic paving materials*—Retain historic paving materials, such as brick pavers or colored paving, within the public right-of-way and repair in place with like materials.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. *Width and alignment*— Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

- i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.
- ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

8. Americans with Disabilities Act (ADA) Compliance

A. HISTORIC FEATURES

- i. *Avoid damage*—Minimize the damage to the historic character and materials of the building and sidewalk while complying with all aspects of accessibility requirements.
- ii. *Doors and door openings*—Avoid modifying historic doors or door openings that do not conform to the building and/or accessibility codes, particularly on the front façade. Consider using a discretely located addition as a means of providing accessibility.

B. ENTRANCES

- i. *Grade changes*—Incorporate minor changes in grade to modify sidewalk or walkway elevation to provide an accessible entry when possible.
- ii. *Residential entrances*—The preferred location of new ramps is at the side or rear of the building when convenient for the user.
- iii. *Non-residential and mixed use entrances*—Provide an accessible entrance located as close to the primary entrance as possible when access to the front door is not feasible.

C. DESIGN

- i. *Materials*—Design ramps and lifts to compliment the historic character of the building and be visually unobtrusive as to minimize the visual impact, especially when visible from the public right-of-way.
- ii. *Screening*—Screen ramps, lifts, or other elements related to ADA compliance using appropriate landscape materials. Refer to Guidelines for Site Elements for additional guidance.
- iii. *Curb cuts*—Install new ADA curb cuts on historic sidewalks to be consistent with the existing sidewalk color and texture while minimizing damage to the historical sidewalk.

FINDINGS:

- a. The 100-200 Block of Quentin Drive is located on the north side of the Monticello Park Historic District. The project is bound by Shearer and Lake Boulevards. The streetscape features historic curbing and does not currently feature sidewalks. The Public Works Department has proposed to install sidewalks and driveway approaches as part of the 2021 Sidewalk IMP Project.
- b. **SIDEWALK INSTALLATION** – The applicant has proposed to install sidewalks on the north and south sides of Quentin Drive between Shearer and Lake Boulevards. The applicant has not provided sidewalk dimensions or the set back from the existing curbing at this time. Guideline 5.A.iii for Site Elements states that the installation of new sidewalks should follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree. Additionally, Guideline 5.C.i for Site Elements states that historic curbing should be retained wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile. Staff finds the proposal generally appropriate, and that the applicant should provide dimensions for the proposed sidewalks and sidewalk setbacks.
- c. **DRIVEWAY APPROACH INSTALLATION** – The applicant has proposed to install new driveway approaches along the project area. The Historic Design Guidelines for Site Elements state that the width and configuration of original curb cuts should be maintained when replacing historic driveways. The introduction of new curb cuts where not historically found should be avoided. Staff finds that any modifications to existing driveway approach widths or material will require additional review.
- d. **ADA RAMP INSTALLATION** – The applicant has proposed to install ADA ramps at the corners of Shearer Boulevard and Quentin Drive. Guideline 8.C.iii for Site Elements states that new ADA curb cuts on historic

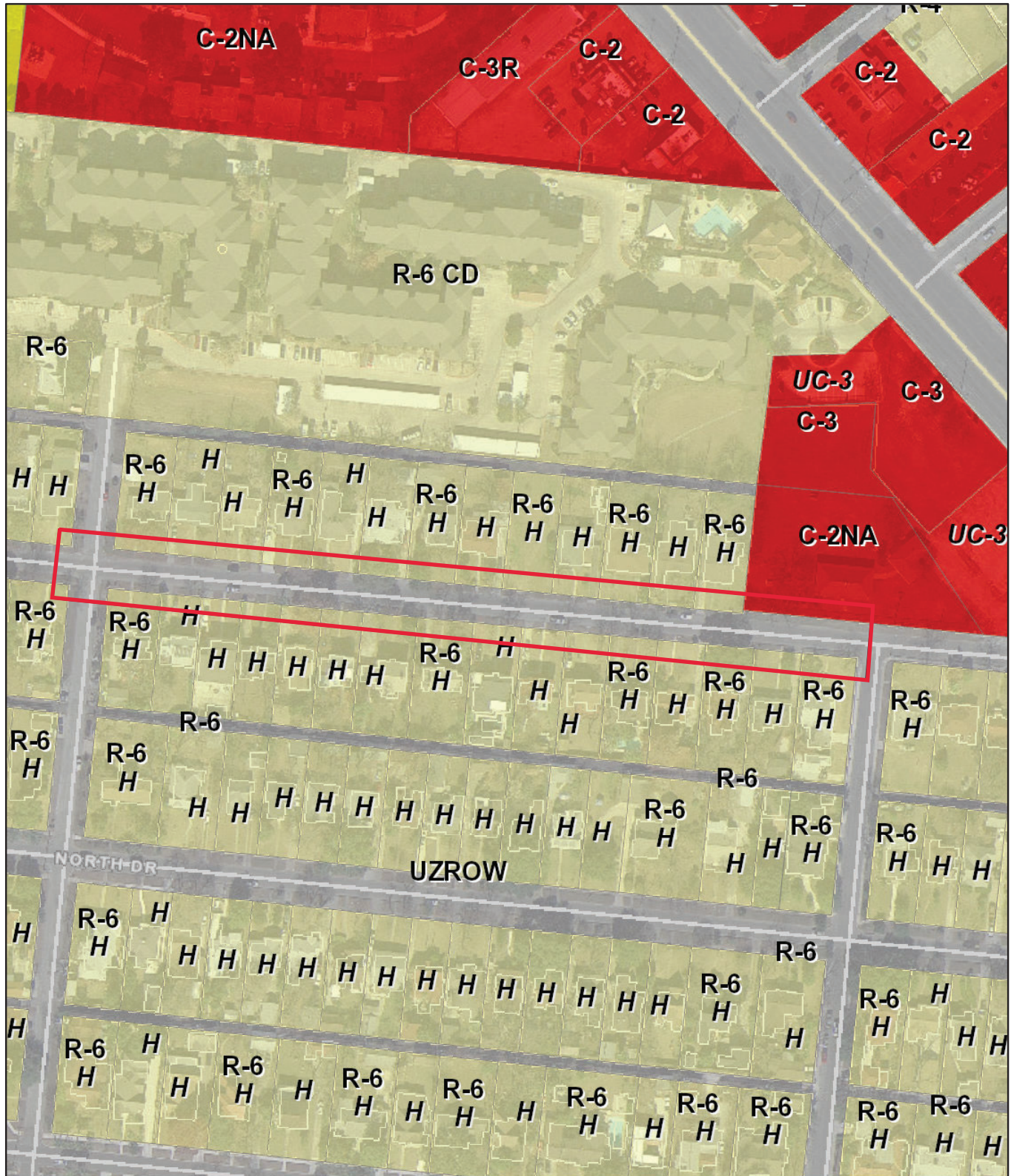
sidewalks should be installed to be consistent with the existing sidewalk color and texture while minimizing damage to the historic sidewalk. The 200 block of Quentin does not currently feature a historic sidewalk; however, the south side of the 300 block of Quentin Drive features a historic sidewalk and the corners of the intersection of Shearer Boulevard and Quentin Drive feature historic curbing. The Monticello Park Historic District currently features red truncated dome panels. Staff finds that the installation of new truncated dome panels should match existing truncated dome pads in the district.

RECOMMENDATION:

Staff recommends approval of the proposed sidewalk improvements based on findings a through d with the following stipulations:

- i. That the applicant submits measured site plans showing the width of the proposed sidewalks and the sidewalk setback from the historic curbing to staff for review and approval prior to the issuance of a Certificate of Appropriateness.
- ii. That the historic curbing is retained and any curbing that requires replacement matches the existing in material, width, and profile.
- iii. That the applicant maintains the width of existing driveway approaches and walkways. Any modifications to the footprint of the existing driveway approaches and walkways will require additional review and approval by staff.
- iv. That the historic driveway apron width at 254 Quentin be maintained and not widened to accommodate the existing non-compliant front yard parking pad.
- v. That the applicant installs truncated dome panels to match the existing truncated dome panels in the district.

City of San Antonio One Stop



August 11, 2021

— User drawn lines

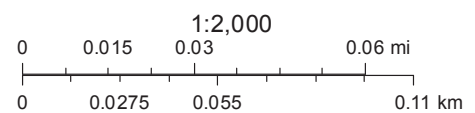
Recorded Plats

CoSA Addresses

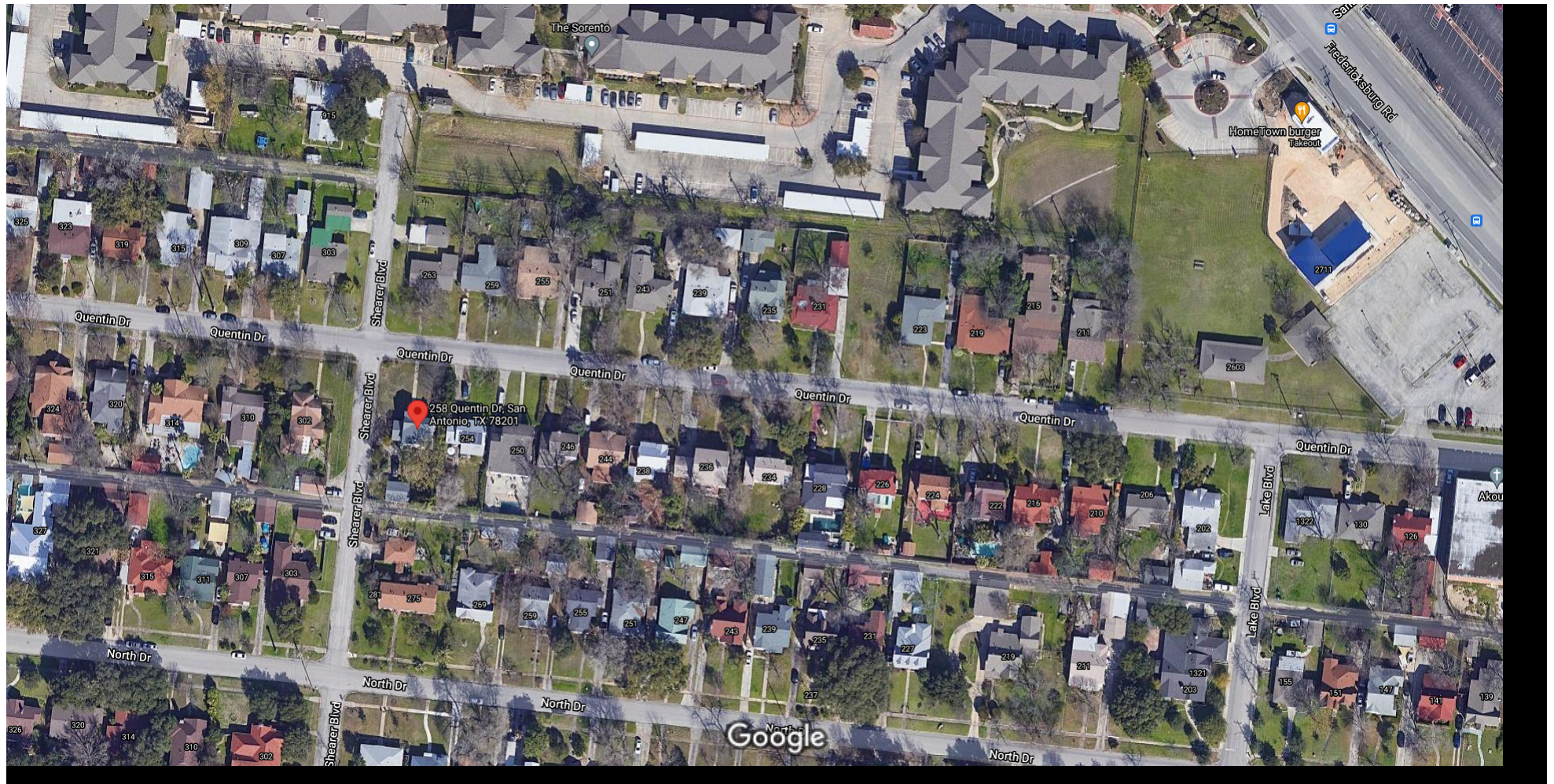
Community Service Centers

Pre-K Sites

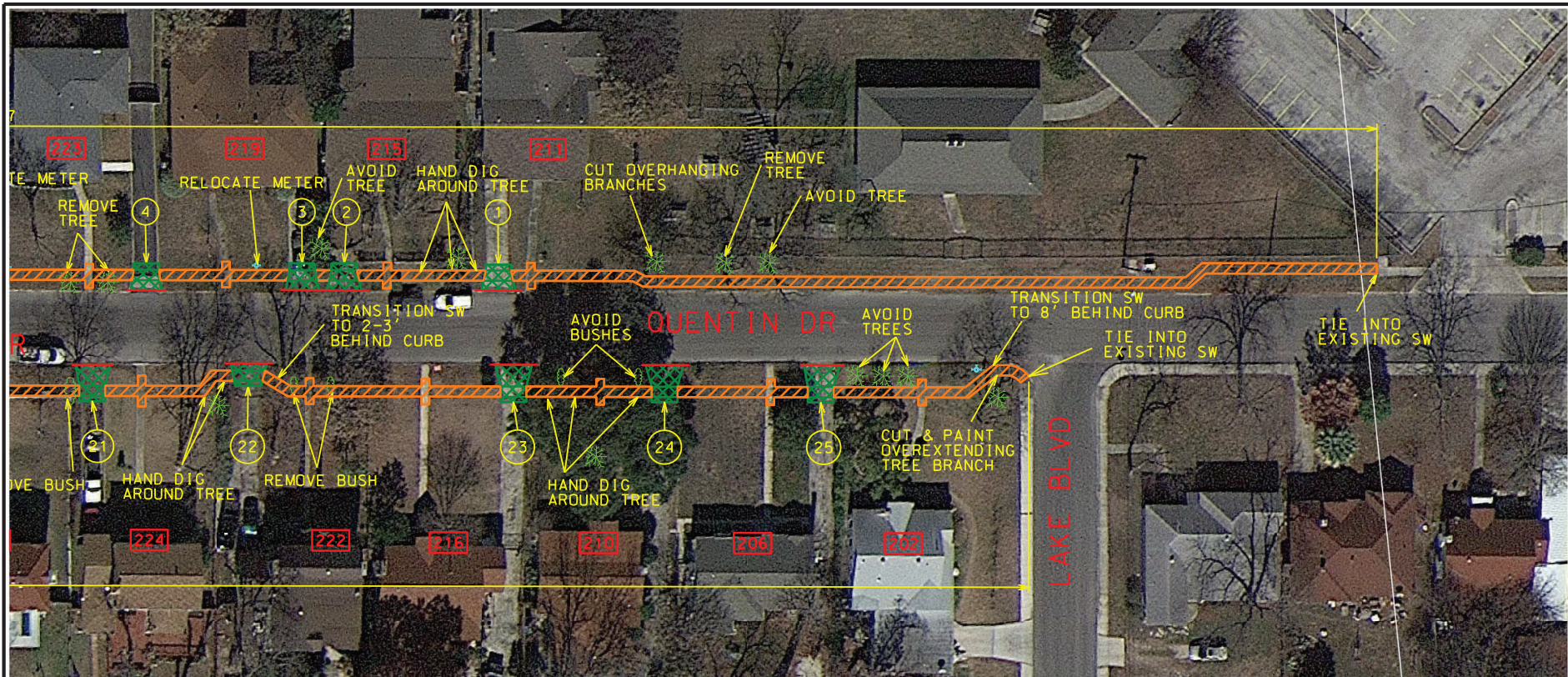
BCAD Parcels



Google Maps 258 Quentin Dr



Imagery ©2021 CAPCOG, Maxar Technologies, Map data ©2021 Google 50 ft



- GENERAL NOTE**
- CONTRACTOR SHALL REMOVE AND REPLACE TOPSOIL AND SODDING BETWEEN THE BACK OF SIDEWALK AND MAYBE UNTO 4 FEET (4') TOWARDS THE PROPERTY LINE.
 - LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS AND DEPTHS AND SHALL BE RESPONSIBLE FOR THEIR PROTECTION DURING CONSTRUCTION.
 - CONTRACTOR SHALL SAW CUT, REMOVE AND REPLACE ASPHALT ROADWAY ONE FOOT (1') AWAY FROM AND PARALLEL TO CURB AND DRIVEWAYS THAT ARE TO BE REMOVED AND REPLACED. SEE CO-SA STANDARD STANDARD DETAILS.
 - DRIVEWAY MEASUREMENTS IN THIS DRAWING MAY NOT BE ACTUAL. CONTRACTOR WILL REMOVE DRIVEWAY, ONLY AS REQUIRED TO ATTAIN 14% MAX SLOPE GRADE OF SIDEWALK APRON.
 - INSPECTION SHALL CLEAR ALL SITEWORK & ISSUE CERTIFICATE PRIOR TO PLACING CONCRETE. COORDINATE WITH INSPECTIONS AS REQUIRED.
 - ALL NEWLY CONSTRUCTED PEDESTRIAN TRAVELING SURFACE MUST NOT EXCEED $\pm 2\%$ CROSS SLOPE. NON-COMFORMING SECTIONS WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
 - ALL RAMPS AT TURNING RADIUS SHALL BE BUILT TO COMMERCIAL GRADE STRENGTH

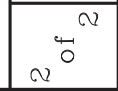
NO.	REVISIONS	INIT.	DATE



City of San Antonio
Public Works
Department



CITY OF SAN ANTONIO
SIDEWALKS & SPECIAL PROJS
- SIDEWALK CONSTRUCTION -



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