

# HISTORIC AND DESIGN REVIEW COMMISSION

March 02, 2022

**HDRC CASE NO:** 2022-103  
**ADDRESS:** 112 COLLEGE ST  
**LEGAL DESCRIPTION:** NCB 405 BLK 22 LOT 3 THRU 8  
**ZONING:** D, HS  
**CITY COUNCIL DIST.:** 1  
**LANDMARK:** Individual Landmark  
**APPLICANT:** OMNI LA MANSION CORPORATION  
**OWNER:** OMNI LA MANSION CORPORATION  
**TYPE OF WORK:** Tree removal and patio modifications  
**APPLICATION RECEIVED:** February 09, 2022  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Rachel Rettaliata

## REQUEST:

The applicant is requesting a Certificate of Appropriateness to:

1. Remove three (3) palm trees.
2. Install new lighting.

## APPLICABLE CITATIONS:

*Sec. 35-680. - Demolition of Historic Features in the River Improvement Overlay Districts.*

Demolition of architectural features, artwork, furniture, and other items shown on the Robert Hugman plans as well as other historic Riverwalk construction dating back to Spanish Colonial times and including works by the WPA, the CCC and the National Youth Administration constitutes an irreplaceable loss to the quality, character, ambiance and atmosphere of the San Antonio Riverwalk in the river improvement overlay districts. Accordingly, these procedures provide criteria to prevent unnecessary damage to the unique character of the city's Riverwalk areas and character.

(a)Applicability. The provisions of this section apply to any application for demolition of important architectural features on or immediately adjacent to the river and or the Riverwalk in the river improvement overlay districts. Items shown on the Robert Hugman Plans for the Riverwalk in "RIO-3."

Heritage Trees. Removal or damage to heritage trees such as large Cypress trees and other, old significant trees at top of bank or along the Riverwalk is prohibited in all river improvement overlay districts. Except where the tree is damaged due to disease, age or physical condition and must be removed for the safety reasons. Then with a recommendation from the city arborist, or the official urban forester, the historic and design review commission may grant approval for demolition.

*Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

### 1. Topography

#### A. TOPOGRAPHIC FEATURES

- Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

### 3. Landscape Design

#### A. PLANTINGS

- i. *Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

## B. ROCKS OR HARDSCAPE

- i. *Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

## C. MULCH

*Organic mulch* – Organic mulch should not be used as a wholesale replacement for plant material. Organic mulch with appropriate plantings should be incorporated in areas where appropriate such as beneath a tree canopy.

- i. *Inorganic mulch* – Inorganic mulch should not be used in highly-visible areas and should never be used as a wholesale replacement for plant material. Inorganic mulch with appropriate plantings should be incorporated in areas where appropriate such as along a foundation wall where moisture retention is discouraged.

## D. TREES

- i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.
- iii. *Maintenance* – Proper pruning encourages healthy growth and can extend the lifespan of trees. Avoid unnecessary or harmful pruning. A certified, licensed arborist is recommended for the pruning of mature trees and heritage trees.

## 6. Non-Residential and Mixed Use Streetscapes

### D. LIGHTING

- i. *General*—See UDC Section 35-392 for detailed lighting standards (height, shielding, illumination of uses, etc.).
- ii. *Maintenance and alterations*—Preserve historic street lights in place and maintain through regular cleaning and repair as needed.
- iii. *Pedestrian lighting*—Use appropriately scaled lighting for pedestrian walkways, such as short poles or light posts (bollards).
- iv. *Shielding*—Direct light downward and shield light fixtures using cut-off shields to limit light spill onto adjacent properties.
- v. *Safety lighting*—Install motion sensors that turn lights on and off automatically when safety or security is a concern. Locate these lighting fixtures as discreetly as possible on historic structures and avoid adding more fixtures than necessary.

## FINDINGS:

- a. The primary structure at 112 College is commonly known as the Omni La Mansion del Rio. The property is currently owned by the Omni La Mansion Corporation. The property is designated as an individual landmark and is within the River Improvement Overlay.



- b. CASE HISTORY – The applicant received administrative approval in December 2020, to complete patio modifications including the removal of an existing set of stone stairs and handrailing and the installation of a new patio with pavers and a retaining wall. The applicant presented the proposal to remove three (3) palm trees in the existing patio area at the HDRC hearing on February 16, 2022, and was referred to a Design Review Committee (DRC) site visit. The site visit was held on February 24, 2022, and the replacement plans, tree removal, and mitigation plan was discussed.
- c. TREE REMOVAL – The applicant has proposed to remove three (3) palms along the Riverwalk at 112 College to accommodate patio modifications. The existing palm trees were likely planted as mature palms in 1979.
- d. TREES IN THE RIO – Generally, compliance with the City’s tree preservation requirements is reviewed by the City Arborist and does not require additional review by the HDRC in most instances. Heritage trees and significant trees located at the top of the bank or along the River Walk are not allowed to be removed without HDRC approval per UDC 35-680. On a case-by-case basis, tree removal may be approved by the HDRC with a recommendation from the City Arborist (Development Services) and Forester (Parks Department).
- e. According to the City Arborist, the palms proposed to be removed meet the significant/heritage definition. If the permit is approved for removal of the palms, mitigation will be required. There is also a Live oak tree within the area that will likely be heavily impacted. Based on the extent of impact to the root system of the tree there may be mitigation requirements for the oak tree as well. Tree review and inspection has not been completed by the City Arborist.
- f. LIGHTING – The applicant has proposed to install three (3) new lanterns in the each archway where the palms are currently located. Staff finds the proposal appropriate.
- g. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

**RECOMMENDATION:**

Staff recommends approval of the proposed plan as recommended by the City Arborist with the following stipulation:

ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

# Omni Hotels and Resorts

## La Mansion Del Rio Riverwalk



Street View of Hotel and Palms From  
Crocket St.



Street View of Hotel and Palms From  
Crocket St.



Street View of Hotel and Palms From  
The Navarro St. Bridge



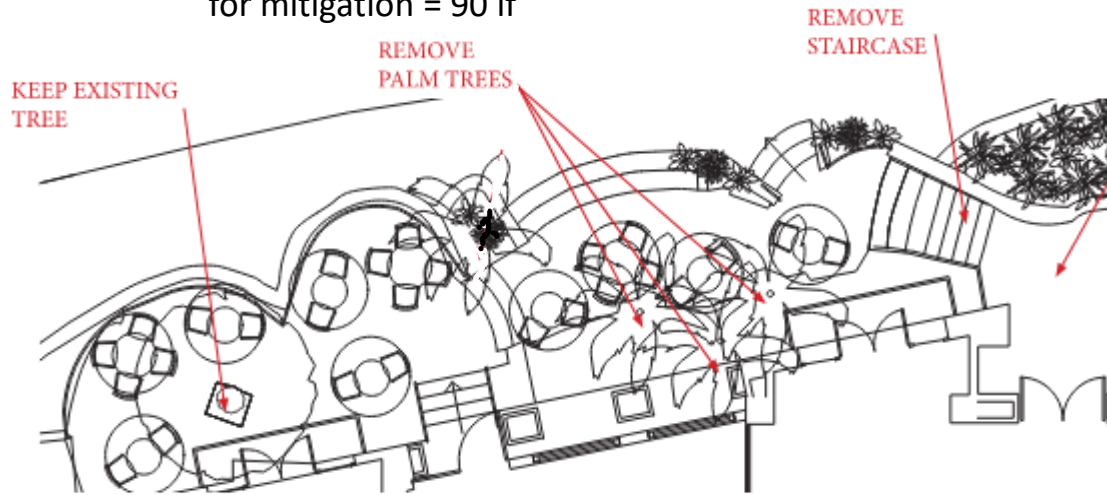
# Omni Hotels and Resorts La Mansion Del Rio Riverwalk



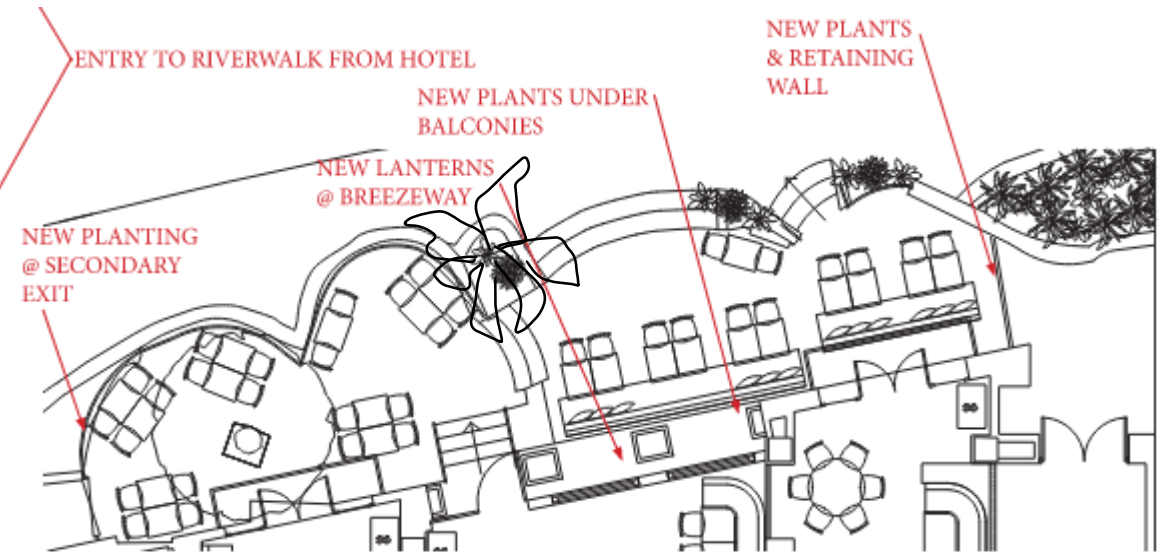
River Level View of Hotel Patio and Palms

# Omni Hotels and Resorts La Mansion Del Rio Riverwalk

Remove 180 lf of collective palm height  
Six – 15' tall palms have already been sourced  
for mitigation = 90 lf



EXISTING PATIO PLAN - 26 SEATS



PROPOSED PATIO PLAN - 44 SEATS

## PATIO OVERVIEW

By Duncan Design Group



# Omni Hotels and Resorts La Mansion Del Rio Riverwalk

## Mitigation Plan



Mr. Juan Guerra, Senior Horticulturist with CCDO would like to have six - 15' tall *Sabal floridiana* palms planted at riverwalk level by the Tobin Center.



The six mitigation palms would match these two *Sabal floridiana* that have been recently planted at the Tobin Center.

Six additional 15' tall *Sabal floridiana* palms will be planted throughout the Riverwalk with locations directed by Mr. Guerra (CCDO). These palms will make up the additional 90 If needed for complete mitigation. Mr. Guerra will have those locations for the design team later this week.







REMOVE STAIR-CASE



KEEP EXISTING TREE

REMOVE PALM TREES

REMOVE STAIRCASE

ENTRY TO RIVERWALK FROM HOTEL

NEW PLANTS UNDER BALCONIES

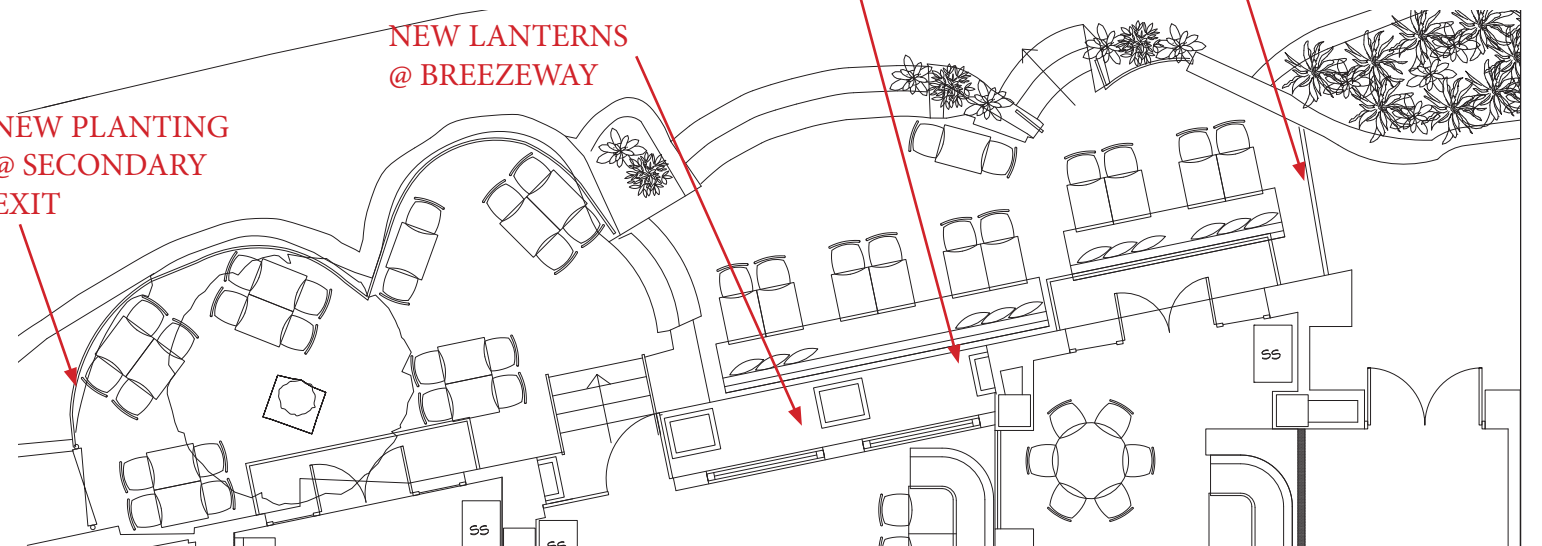
NEW PLANTS & RETAINING WALL

NEW LANTERNS @ BREEZEWAY

NEW PLANTING @ SECONDARY EXIT



EXISTING PATIO PLAN - 26 SEATS



PROPOSED PATIO PLAN - 44 SEATS

## PATIO OVERVIEW





STAIRS & HANDRAIL TO BE REMOVED



TREES & PLANTS TO BE REMOVED

## PATIO DEMO





NEW RETAINING WALL LOCATION  
FINISH TO MATCH STONE RETAINING WALL @ STAIRCASE  
ON OPPOSITE SIDE



## PATIO FINISHES





PAVERS TO MATCH EXISTING TO CONTINUE WHERE  
PLANTS & STAIRS ARE REMOVED  
ALL OTHER FINISHES TO REMAIN AS-IS

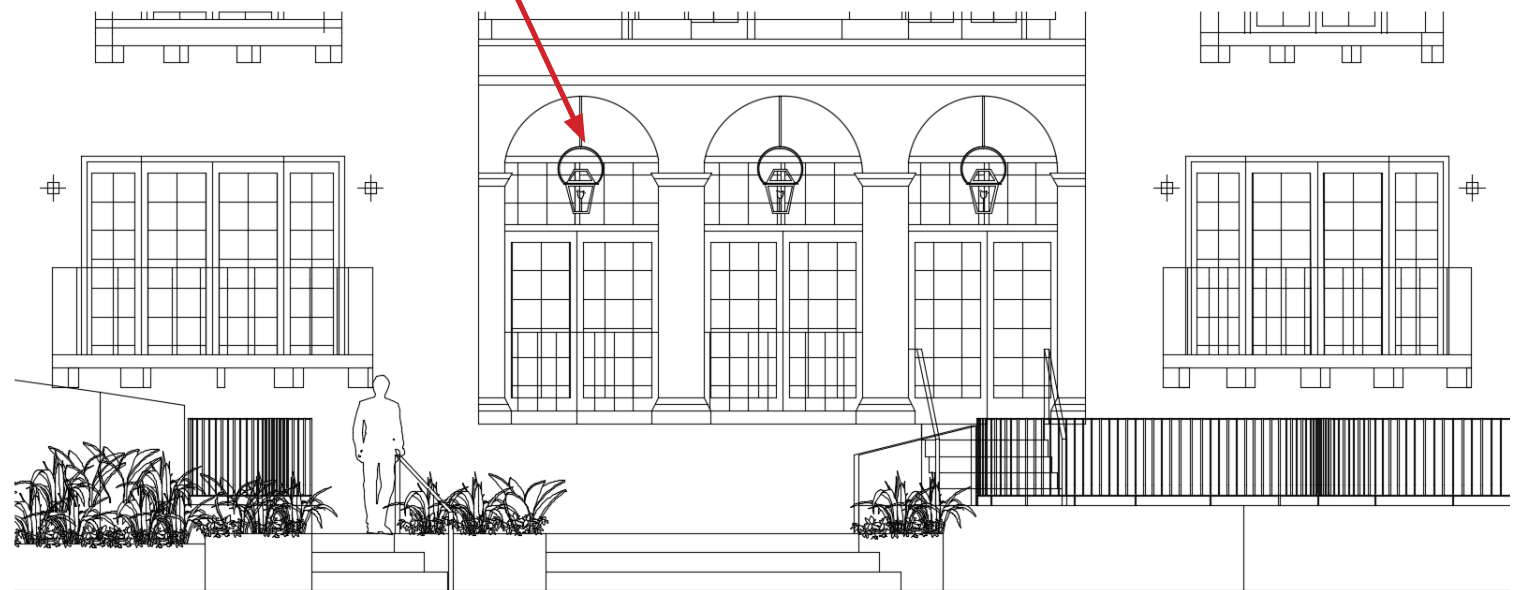


## PATIO FINISHES





NEW LANTERNS @ EACH ARCHWAY



## PATIO FINISHES



# LA MANSIÓN

## DEL RIO MOTOR HOTEL ADDITIONS

SAN ANTONIO, TEXAS

PATIO PROJECT AREA

### INDEX OF DRAWINGS

ISSUED DATE	LATEST REV. NO.	ISSUED DATE	LATEST REV. NO.	ISSUED DATE	LATEST REV. NO.
<b>ARCHITECTURAL</b>		<b>STRUCTURAL</b>		<b>MECHANICAL / ELECTRICAL</b>	
8-24-78	A-1	8-7-78	S-1	8-24-78	ME-1
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8-24-78	A-3	8-24-78	S-3	8-24-78	ME-3
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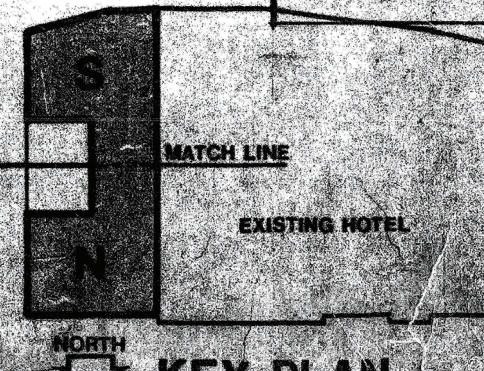
PROJECT AREA

### GENERAL NOTES:

- ALL UTILITY AND CITY FIXTURES SHOWN ARE EXISTING UNLESS OTHERWISE INDICATED AS NEW.
- GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND LOCATIONS OF EXISTING RELATED CONDITIONS AFFECTING THE NEW ADDITION AND COORDINATE DISCREPANCIES THROUGH THE ARCHITECT.
- REFER TO LANDSCAPE DRAWINGS FOR EXTERIOR TREATMENT OF PLANTING, PLANTING, ETC.
- ALIGN SOUTH WALL BUILDING LINE WITH EXISTING STRUCTURE.
- NEW CONCRETE SIDEWALKS TO MATCH EXISTING EXPANSION JOINT & CONTRACTION JOINT LOCATIONS.
- SITE PLAN INFORMATION WAS TAKEN FROM A SITE SURVEY DATED MAY 4, 1978, PREPARED BY DR. ROBERT E. ADAMS, CONSULTING ENGINEER, 2222 N. LOOP WEST, SUITE 100, SAN ANTONIO, TEXAS 78207.

### SYMBOLS:

EXISTING GRADE ELEVATION	CONCRETE
PROPOSED GRADE ELEVATION	CONCRETE MASONRY UNITS (CMU)
SHEET NUMBER	DRYWALL PARTITION (NEW)
DRAWING NUMBER	FACE BRICK
ELEVATION	NEW WALL CONSTRUCTION IN EXISTING STRUCTURE
SECTION/DETAIL	PARTITION TYPE (SEE SHEET A-12)
ROOM NUMBER	DEMOLITION OF EXIST. CONST.
DATA NUMBER	
WINDOW TYPE	



### REVISIONS:

NO.	DATE	DESCRIPTION
1	12-27-78	11-14-78
2	1-4-79	11-16-78
3	3-12-79	11-14-78
4	4-23-79	11-13-78
5	10-9-78	10-9-78
6	9-6-78	9-6-78

DATE 8-24-78

SHEET NUMBER

A-1

01 SITE PLAN  
SCALE: NTS

OMNI HOTELS & RESORTS

112 COLLEGE RESTAURANT • OMNI  
LA MANSION DEL RIO RIVERWALK  
112 COLLEGE ST  
SAN ANTONIO, TX 78205

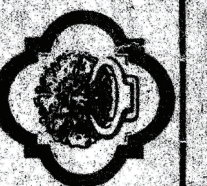
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DESIGN CONSULTANT



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DALLAS, TX 75207  
TEL: 214-748-4400  
WWW.DUNCANDESIGNGROUP.COM

Harwood K. Smith & Partners, Inc.  
Architects  
Paul M. Terrill, Jr.  
Ronald M. Brane  
Jack R. Yardey  
Ronald L. Skaggs



LA MANSIÓN  
DEL RIO MOTOR HOTEL ADDITIONS  
SAN ANTONIO, TEXAS

ISSUE:  
07/13/2020 PRELIMINARY DESIGN  
12/11/2020 FOR OWNER REVIEW  
12/18/2020 COA APPLICATION

REVISIONS:  
1. 12-27-78  
2. 1-4-79  
3. 3-12-79  
4. 4-23-79  
5. 10-9-78  
6. 9-6-78

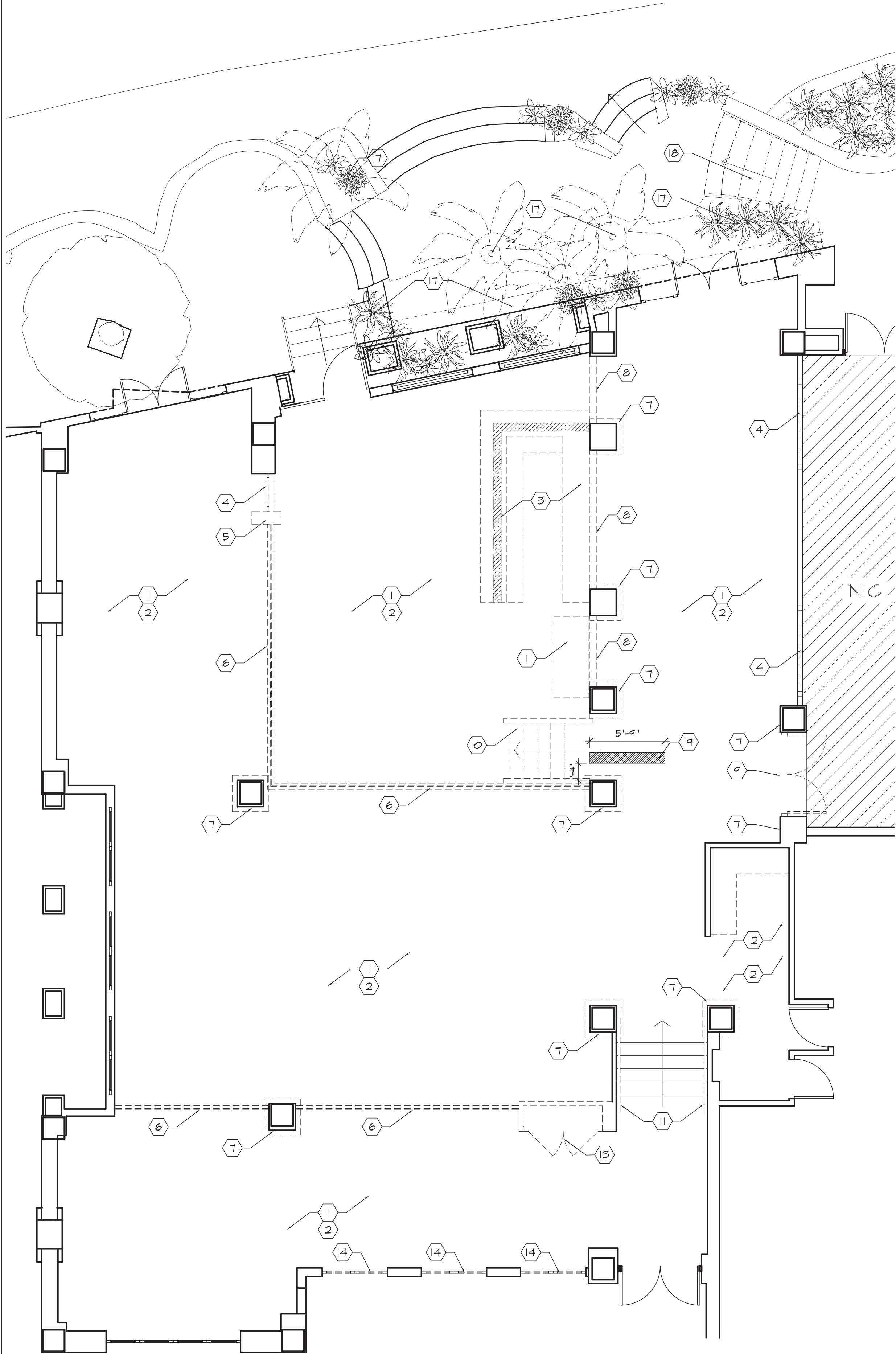
DATE: 03/30/2020  
PROJECT #: 480

SHEET NAME  
SITE PLAN

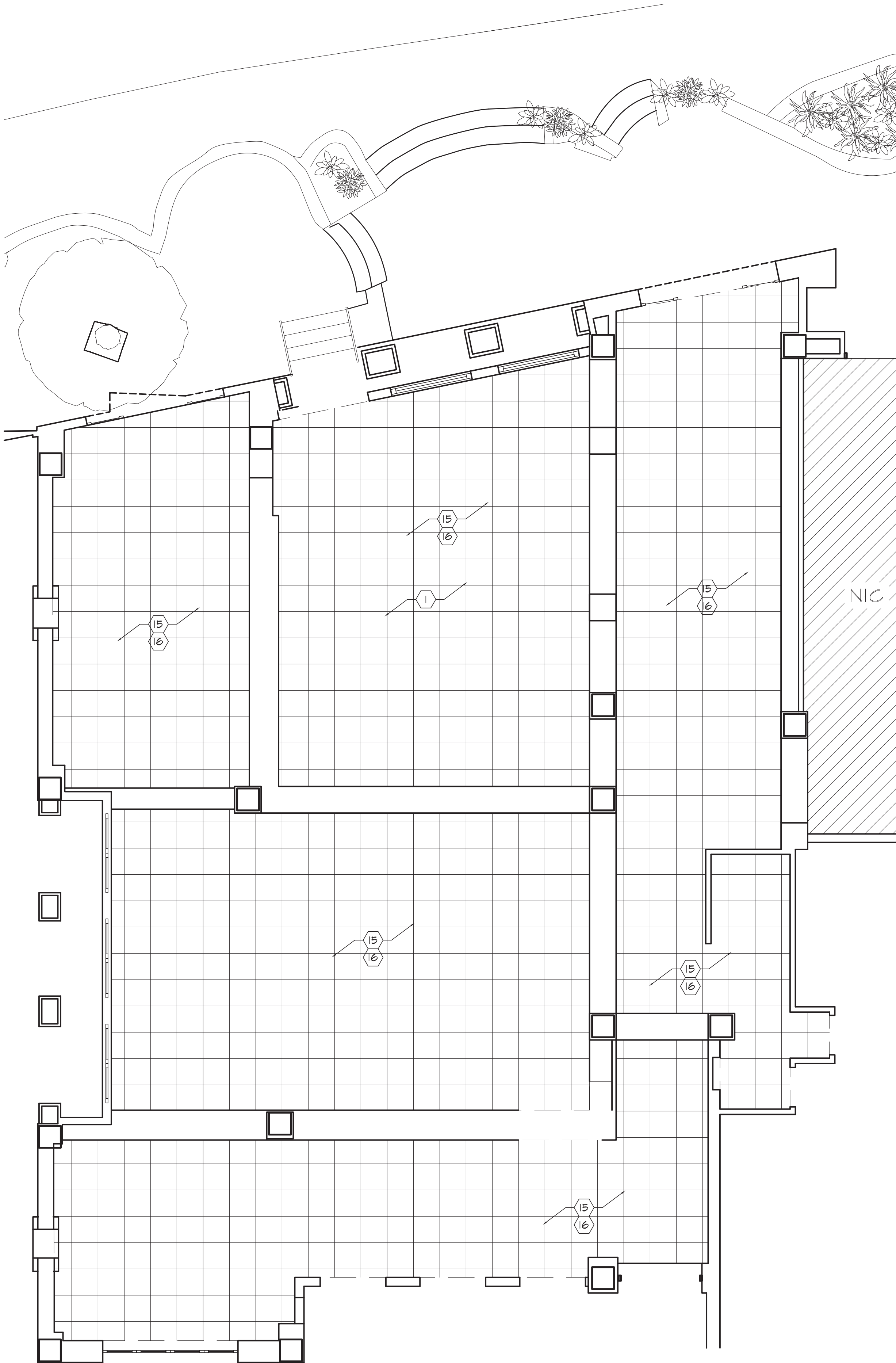
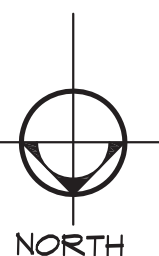
SHEET:

A1.0





01 DEMOLITION FLOOR PLAN  
SCALE: 3/16" = 1'-0"



02 DEMOLITION REFLECTED CEILING PLAN  
SCALE: 3/16" = 1'-0"



DEMOLITION KEY NOTES

1

REMOVE ALL FURNITURE, ART, ACCESSORIES & DECORATIVE LIGHTING. RETURN TO PROPERTY.

2

REMOVE ALL FLOOR FINISHES THROUGHOUT.

3

REMOVE BAR IN ITS ENTIRETY. TO INCLUDE EQUIPMENT, MILLWORK, LOW WALL, COUNTERTOP. REF MEP FOR NEW REQUIREMENTS. PROPERTY TO ASSESS EQUIPMENT RE-USE. CAP EXISTING PLUMBING

4

REMOVE WINDOW

5

REMOVE WALL

6

REMOVE PLATFORM TILE CAP AND HANDRAIL

7

REMOVE CROWN MOULDING AND BASE MOULDING AT COLUMNS

8

REMOVE LOW WALL TO BASE OF PLATFORM

9

REMOVE ENTRY GATE. RETURN TO PROPERTY.

10

REMOVE STAIRS AND HANDRAIL

11

REMOVE HANDRAIL

12

REMOVE ALL MILLWORK, EQUIPMENT, SHELVING, SPECIAL WALL FINISHES. PROPERTY TO ASSESS EQUIPMENT RE-USE

13

REMOVE WINE CABINET AND ALL COMPONENTS. REMOVE WALL AS INDICATED.

14

REMOVE WINDOWS. TO BE RE-CONFIGURED AS DOORS. REPAIR TO LIKE NEW CONDITION.

15

REMOVE ALL CEILING TILE AND GRID, LIGHTING, AND HVAC GRILLES

16

REMOVE ALL CROWN MOULDING

17

REMOVE PALM TREES AND PLANTS

18

REMOVE STONE STAIR AND HANDRAIL. SALVAGE STONE FOR REUSE

19

SAWCUT FOR POWER/DATA @ HOST STATION

DEMOLITION GENERAL NOTES

I.

EXISTING DRYWALL PARTITIONS OR FURRED SURFACES THAT REMAIN AFTER DEMOLITION SHALL BE PATCHED AND REPAIRED AS NECESSARY FOR A "LIKE NEW" APPEARANCE OR REPLACED, SO THAT THE WALL IS READY FOR NEW FINISHES WITHOUT FURTHER PREPARATION

II.

REFER TO DEMOLITION CEILING PLAN, ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION ITEMS.

III.

PROTECT ADJACENT AREAS THAT ARE NOT WITHIN THE CONSTRUCTION AREA.

IV.

ALL LIGHTING WITHIN THE AREA IS TO BE REMOVED UNLESS NOTED OTHERWISE. RETURN ALL LIGHT FIXTURES TO OWNER. REFER TO NEW LIGHTING PLAN AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. KITCHEN LIGHTING TO REMAIN.

V.

REMOVE ALL PLUMBING AND CAP LINES AT REMOVED AREAS.

VI.

DISPOSE OF ALL DEBRIS FROM SITE ON A DAILY BASIS.

VII.

NOTIFY DUNCAN DESIGN GROUP OF ANY DISCREPANCIES PRIOR OF ANY FURTHER DEMOLITION.

VIII.

SHORE ANY WALLS AS NECESSARY.

WALL LEGEND

—

EXISTING WALL TO REMAIN

- - - - -

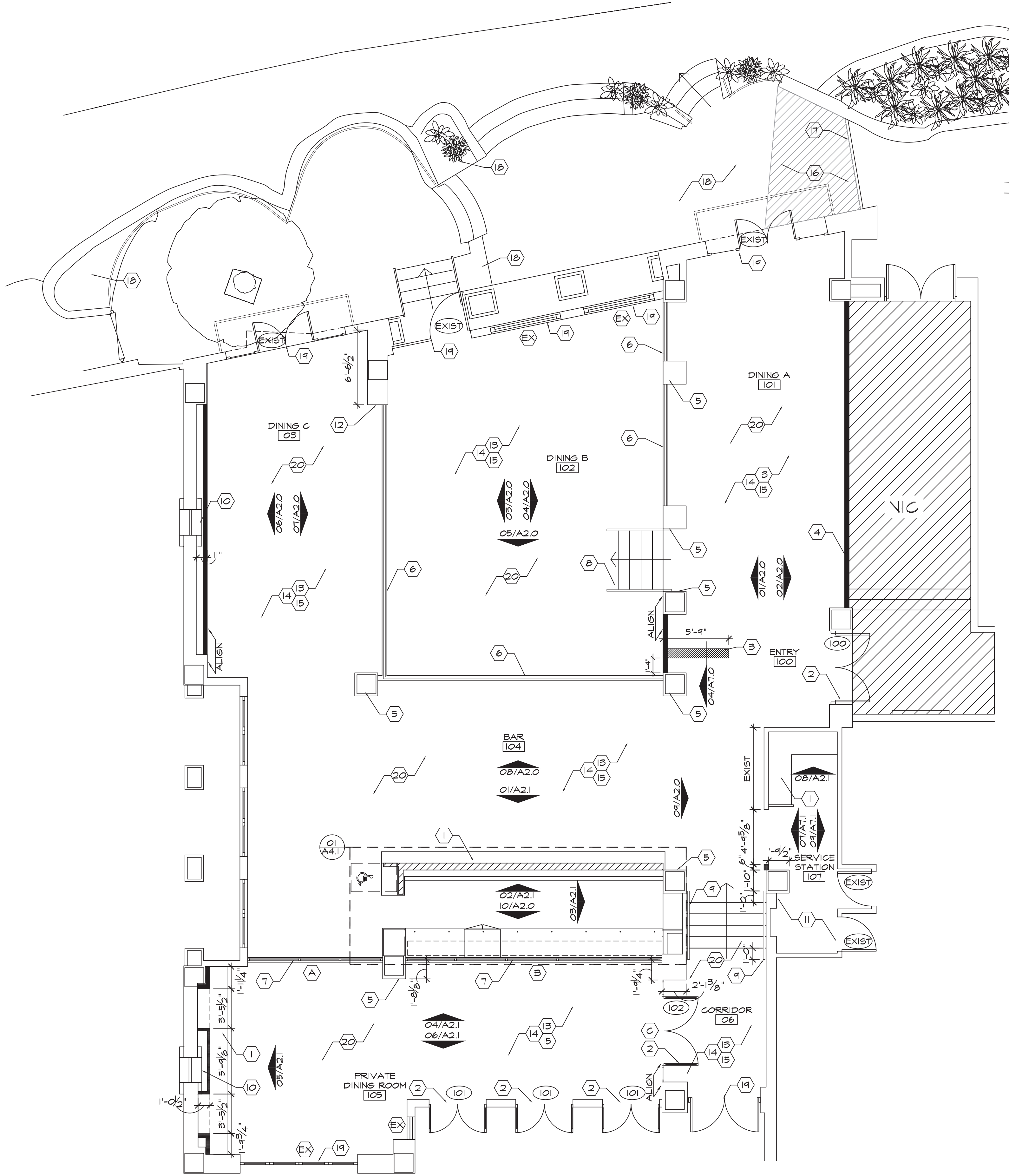
EXISTING WALL TO BE REMOVED

ISSUE:	
01/13/2020	PRELIMINARY DESIGN
12/11/2020	FOR OWNER REVIEW
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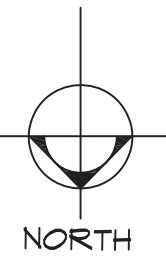
DATE:	03/30/2020
PROJECT #:	480





# 01 CONSTRUCTION FLOOR PLAN

SCALE: 3/16" = 1'-0"



## GENERAL NOTES

- ALL DIMENSIONS ARE TO THE FINISH GYP. BD., UNLESS NOTED OTHERWISE.
- ALL STUDS TO BE SPACED 16" O.C. UNLESS NOTED OTHERWISE. REFER TO PARTITION SCHEDULE FOR WALL TYPES.
- THE ABBREVIATION "O.S.C.I." SHALL MEAN "OWNER SUPPLIED, CONTRACTOR INSTALLED." THE ABBREVIATION (NIG) MEANS "NOT IN CONTRACT".
- OBJECTS PROTRUDING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 21" AND 80" ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4" IN WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES. OBJECTS MOUNTED WITH THEIR EDGES AT OR BELOW 21" ABOVE THE FINISH FLOOR MAY PROTRUDE AMOUNT ALLOWED BY CODE INTO HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES.
- KNEE SPACES TO BE 24" AFF. CLEAR BELOW APRON, 30" WIDE AND 19" DEEP SHALL BE PROVIDED AT FIXED TABLES OR COUNTERS FOR PERSONS IN WHEELCHAIRS, UNLESS NOTED OTHERWISE.
- TOPS OF TABLES AND COUNTERS SHALL BE 28" TO 34" FROM THE FLOOR.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DESIGNED IN ACCORDANCE WITH SECTION 3105A(1)Z.
- ALL ACCESSIBLE ENTRANCES SHALL BE DENOTED BY A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH ADDITIONAL:
  - ALL JOINTS BETWEEN MATERIALS SHALL BE CAULKED (LATEX).
  - MAXIMUM EFFORT TO OPEN DOORS SHALL NOT EXCEED 8 1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.
- FIRE ALARM INITIATING BOXES SHALL BE LOCATED 48" ABOVE FLOOR, COORDINATE WITH DUNCAN DESIGN GROUP OF ALL LOCATIONS.
- PROVIDE CAULKING AROUND ALL PLASTIC LAMINATE CABINETS AND COUNTERTOPS, AND AT LOCATIONS WHERE THE BOOTH TABLES HIT A WALL.
- UNDER NO CIRCUMSTANCES IS THE CONTRACTOR ALLOWED TO SUBSTITUTE MATERIALS UNLESS IT IS APPROVED BY WRITING FROM EITHER THE OWNER OR ARCHITECT.
- "TYP." MEANS TYPICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED.
- ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED, IN WRITING, TO ARCHITECT AND WILL BE CONSIDERED ONLY IF BETTER SERVICE FACILITIES, MORE ADVANTAGEOUS DELIVERY DATE, OR A LESS PRICE WITH CREDIT TO THE TENANT WILL BE APPROVED WITHOUT SACRIFICING QUALITY, APPEARANCE AND/OR FUNCTION.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR ANY OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.
- CONTRACTOR SHALL SUBMIT CONFIRMATIONS WITH DELIVERY DATES ON ORDERS, MATERIALS & EQUIPMENT OR ANY LONG LEAD TIME ITEMS.
- REFLECTED CEILING PLAN: THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL AND TELEPHONE ITEMS TO INCLUDE ALL PIPING DUCTWORK, AND CONDUIT) AND THAT ALL OF THE REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- DIMENSIONS ARE SHOWN ON THE CONSTRUCTION DOCUMENTS, DRAWINGS FINISH SHEET. THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES FOR REVIEW AND APPROVAL BY DESIGN FIRM, PRIOR TO CONSTRUCTION.
- SWITCHES SHALL BE MOUNTED TO ALIGN THE SWITCH PLATE CENTERLINE WITH THE DOOR LEVER CENTERLINE. WHEN MULTIPLE SWITCHES ARE SHOWN IN ONE LOCATION, THEY SHALL SHARE A COMMON SWITCHPLATE.
- EQUIPMENT ITEMS SHOWN OR REFERENCED ON THE PLANS ARE PROVIDED TENANT AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL FIREPROOF AS REQUIRED BY CODES ALL NEW PENETRATIONS GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.

## SPECIAL NOTES

- ALL WALL FINISHES AND DETAIL TAGS ARE LOCATED ON THE ELEVATIONS.
- ALL NEW CONSTRUCTION IS TO COMPLY WITH THE AMERICAN DISABILITY ACT GUIDELINES.
- ALL LIFE SAFETY DEVICES SHALL BE PROTECTED DURING CONSTRUCTION. ANY DEVICES THAT NEED TO BE RELOCATED SHALL BE REINSTALLED TO COMPLY WITH LOCAL, STATE AND NATIONAL CODES.
- CONTRACTOR TO PROVIDE THE CONTRACT OF A STATE LICENSED FIRE PROTECTION COMPANY TO MODIFY SPRINKLER HEADS & FIRE ALARM DEVICES. THIS COMPANY IS TO COORDINATE ALL DEVICE LOCATIONS WITH DESIGNER TO AVOID ANY DISCREPANCIES WITH ARTWORK OR ANY OTHER WALL MOUNTED DECOR. CONTRACTOR TO PROVIDE ALL FEES AND PERMITS ASSOCIATED WITH THIS TRADE.
- DIMENSIONS ARE FROM THE FINISHED FACE OF THE SPECIFIED PARTITION &/OR CENTER OF WALL. DO NOT SCALE DRAWINGS.
- NOTIFY DUNCAN DESIGN GROUP OF ANY DISCREPANCIES.
- PROVIDE F.R. BLOCKING WITHIN WALL AT ALL MILLWORK, DOORS, GRAB BARS, VANITIES, TOILET PARTITIONS, ETC.

## CONSTRUCTION NOTES

- PROVIDE AND INSTALL NEW MILLWORK; REF ELEVATIONS FOR ADDITIONAL INFORMATION
- PROVIDE AND INSTALL NEW DOOR AS SCHEDULED
- INFILL SAW CUT LOCATION AS REQ'D. REF: 04/A2.0
- INFILL WALL AT WINDOW LOCATIONS. SMOOTH AND PREP TO LEVEL V FINISH. PROVIDE AND INSTALL WALLCOVERING.
- PROVIDE AND INSTALL NEW COLUMN FINISHES AS DETAILED. REF: 01/A7.1
- PROVIDE AND INSTALL NEW LOW WALL AND HANDRAIL AS DETAILED. REF: 03/A7.4
- PROVIDE AND INSTALL NEW LOW WALL AND WINDOW SYSTEM AS DETAILED. REF: 02/A7.1
- PROVIDE AND INSTALL NEW STAIR AND HANDRAIL AS DETAILED. REF: 01/A7.4
- PROVIDE AND INSTALL NEW HANDRAIL AS DETAILED. REF: 02/A7.4
- NEW WALL TO COVER EXISTING WINDOWS AS SCHED. DO NOT DAMAGE WINDOW. PROVIDE AND INSTALL 3M FILM (NVS NIGHT VISION) @ ON EXISTING WINDOWS.
- REMOVE BOTTOM 12" OF EXISTING GYP. FOR INSTALLATION OF CEMENT BOARD.
- REMOVE WALL AND WINDOW AS INDICATED ON DEMO PLAN TO DIMENSION INDICATED. ADVISE OF ANY EXISTING COLUMNS WITHIN WALL
- REF A1.6 FOR FLOOR FINISHES
- REF A2.0 SERIES FOR WALL FINISHES
- REF A7.0 SERIES FOR DETAILS
- INFILL PATIO FLOORING WITH PAVERS TO MATCH EXISTING. USE ANY PAVERS SALVAGED FROM DEMO
- NEW STONE RETAINING WALL TO HEIGHT OF LANDING AT EXIT DOORS. PROVIDE RAILING AT TOP TO MATCH EXISTING. USE SALVAGED STONE FROM DEMO
- NEW LANDSCAPING PROVIDED BY OWNER
- WOOD AT EXISTING DOORS AND WINDOWS TO BE REFINISHED TO MATCH WD-05. RETURN TO 'LIKE NEW' CONDITIONS
- ALL WALLS NOT INDICATED W/ SPECIAL FINISH TO BE BROUGHT TO LEVEL V FINISH FOR WALLCOVERING. PROVIDE & INSTALL WALLCOVERING.

ALL DIMENSIONS ARE NOTED TO THE FINISHED EDGE OF WALLS ALL LOW WALL HEIGHTS TO TOP OF FINISHED SURFACE. REF. DETAILS

## WALL LEGEND

- NEW WALL AS SCHEDULED
- LOW WALL
- EXISTING WALL

NOTE: CONTRACTOR TO ISSUE RFI TO DUNCAN DESIGN GROUP WITH ANY DISCREPANCIES OR MISSING INFO.

## OMNI HOTELS & RESORTS

112 COLLEGE RESTAURANT • OMNI  
LA MANSION DEL RIO RIVERWALK  
112 COLLEGE ST  
SAN ANTONIO, TX 78205

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## DESIGN CONSULTANT



1350 MANUFACTURING ST.  
SUITE 103  
DALLAS, TX 75207  
TEL: 214-748-4400  
WWW.DUNCANDESIGNGROUP.COM

## ISSUE:

01/13/2020	PRELIMINARY DESIGN
12/11/2020	FOR OWNER REVIEW
12/18/2020	COA APPLICATION

## REVISIONS:

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DATE: 03/30/2020

PROJECT #: 480

## SHEET NAME

CONSTRUCTION FLOOR PLAN

## SHEET:

# A1.3





01 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



EXISTING PHOTO



EXISTING PHOTO

STAIR TO BE REMOVED



EXISTING PHOTO

STAIR TO BE REMOVED



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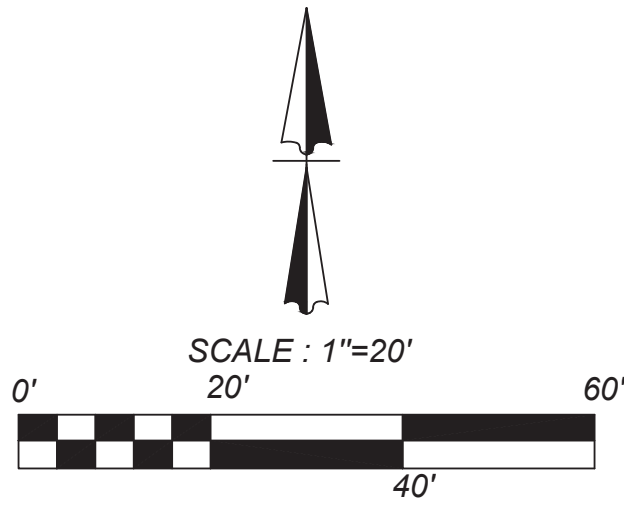
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EXTERIOR  
ELEVATIONS

SHEET:

A2.2





OMNI HOTELS  
& RESORTS

112 COLLEGE RESTAURANT • OMNI  
LA MANSION DEL RIO RIVERWALK  
112 COLLEGE ST  
SAN ANTONIO, TX 78205

DESIGN CONSULTANT

**KFW**  
ENGINEERS + SURVEYING  
3421 Paesanos Pkwy, Suite 200, San Antonio, TX 78231  
Phone #: (210) 979-8444 • Fax #: (210) 979-8441  
TBPE Firm #: 9515 • TBPLS Firm #: 10122300

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DATE: 12/18/20

PROJECT #:

COA APPLICATION

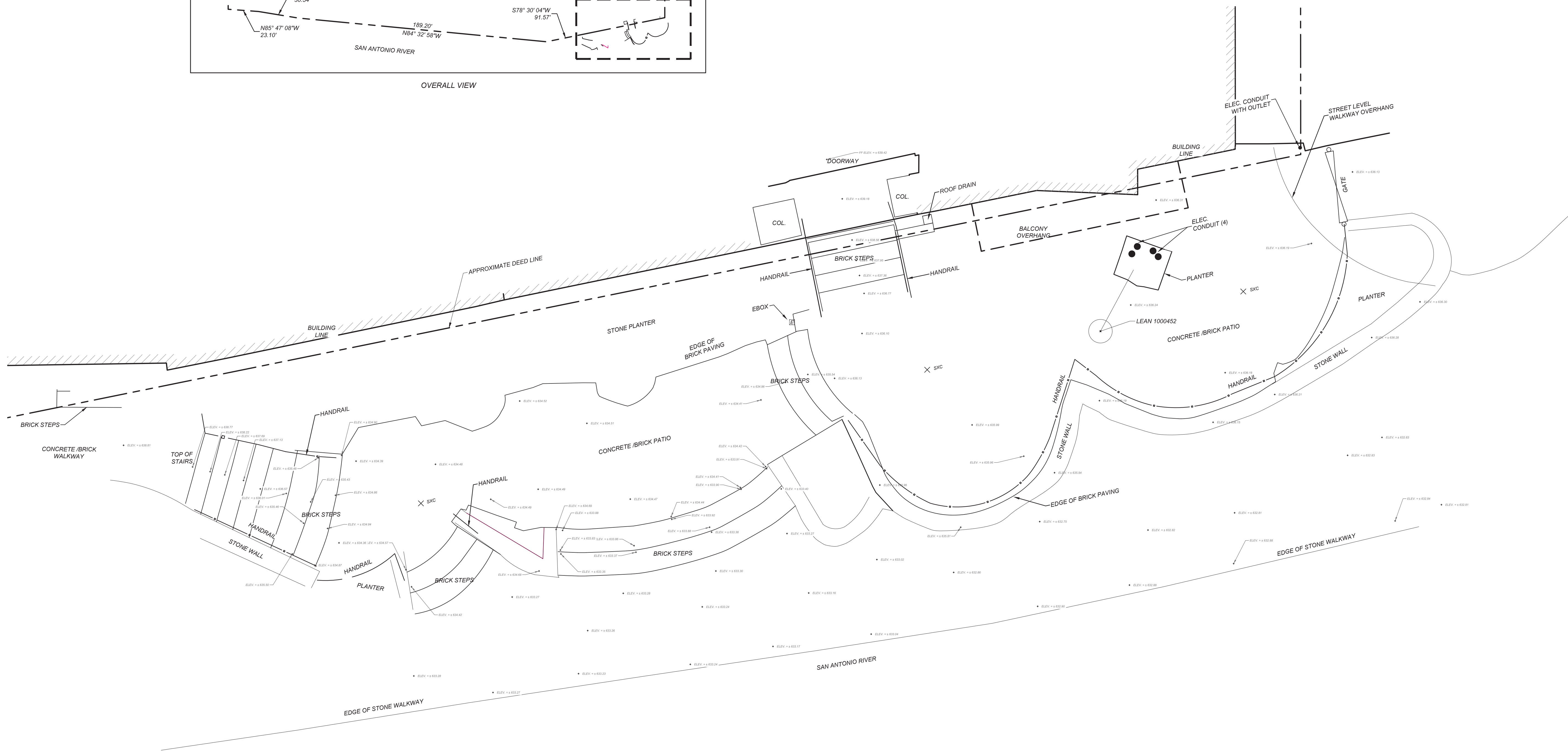
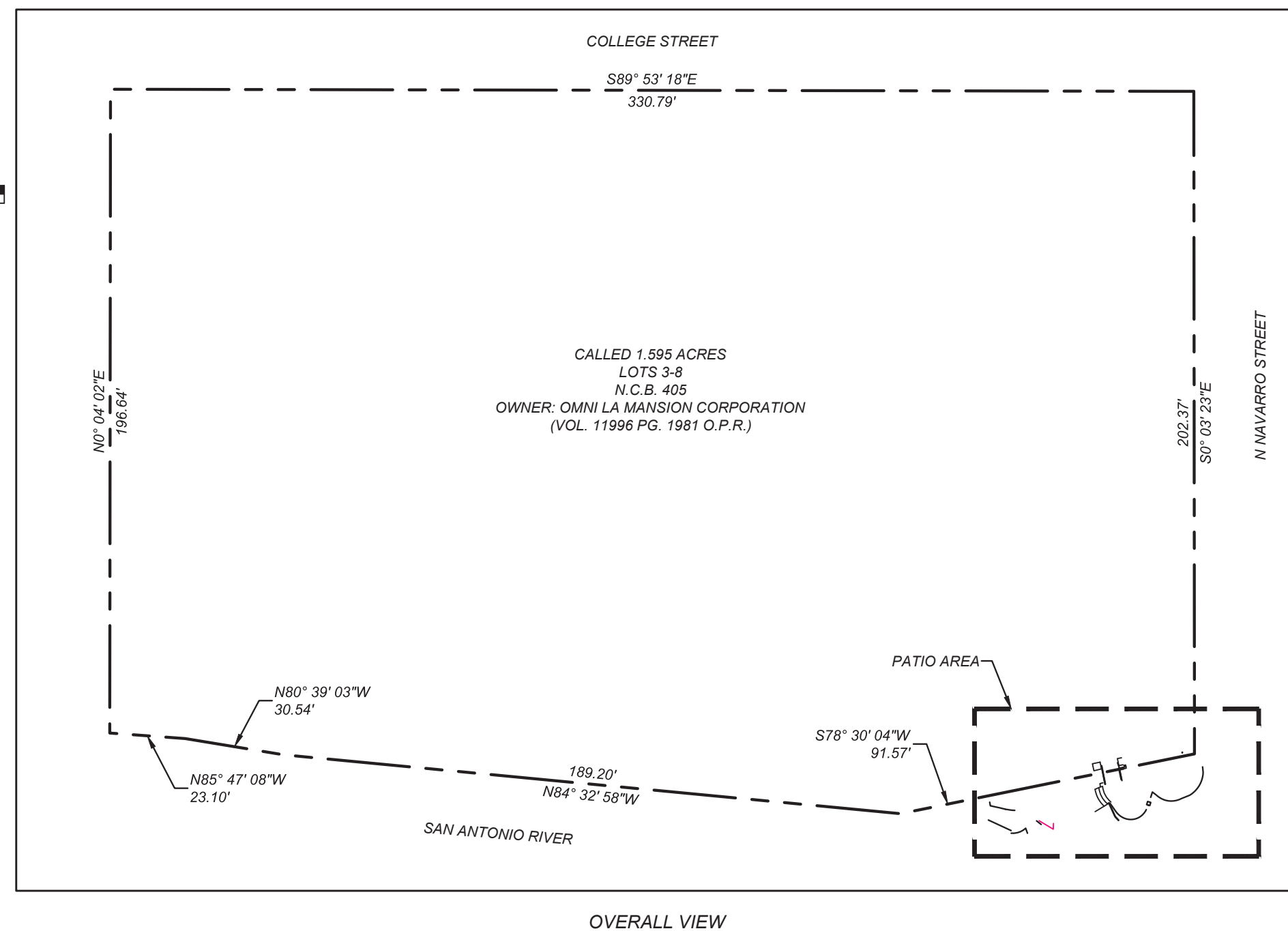
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AERIAL  
OVERLAY

SHEET:

C1







is	DETAILS	—	—
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to be changed  
by City Engineer.

ound present fountain  
d shrub and fern pockets,  
th pool and stepping stones  
front.

**BUILDING**

Cut earth down to 3' above water level.

Level Area  $\rightarrow 7510'$

**Remove**

Present  
Shrub Pocket

This crude irregular rock wall is built as directed by Architect.

For wall and wall on

Water wall and walkway, Type E.

Furn Bed  
 Large Beds.  
 Walk to Stairway - Type F.  
 Rock Wall is high. 3  
 Drain

Drain pipe and

2. Drain pipe  
rocks and ledges under walk.

Hand-drawn sketch of a landing area. A curved line represents a railing, with small circles indicating posts. The text "pipe railing and con. posts - See detail" is written along the curve. Below the railing, the word "LANDING" is written. A dashed line indicates a boundary or path. A small structure labeled "Seat" is shown at the bottom right.

LANDING

504













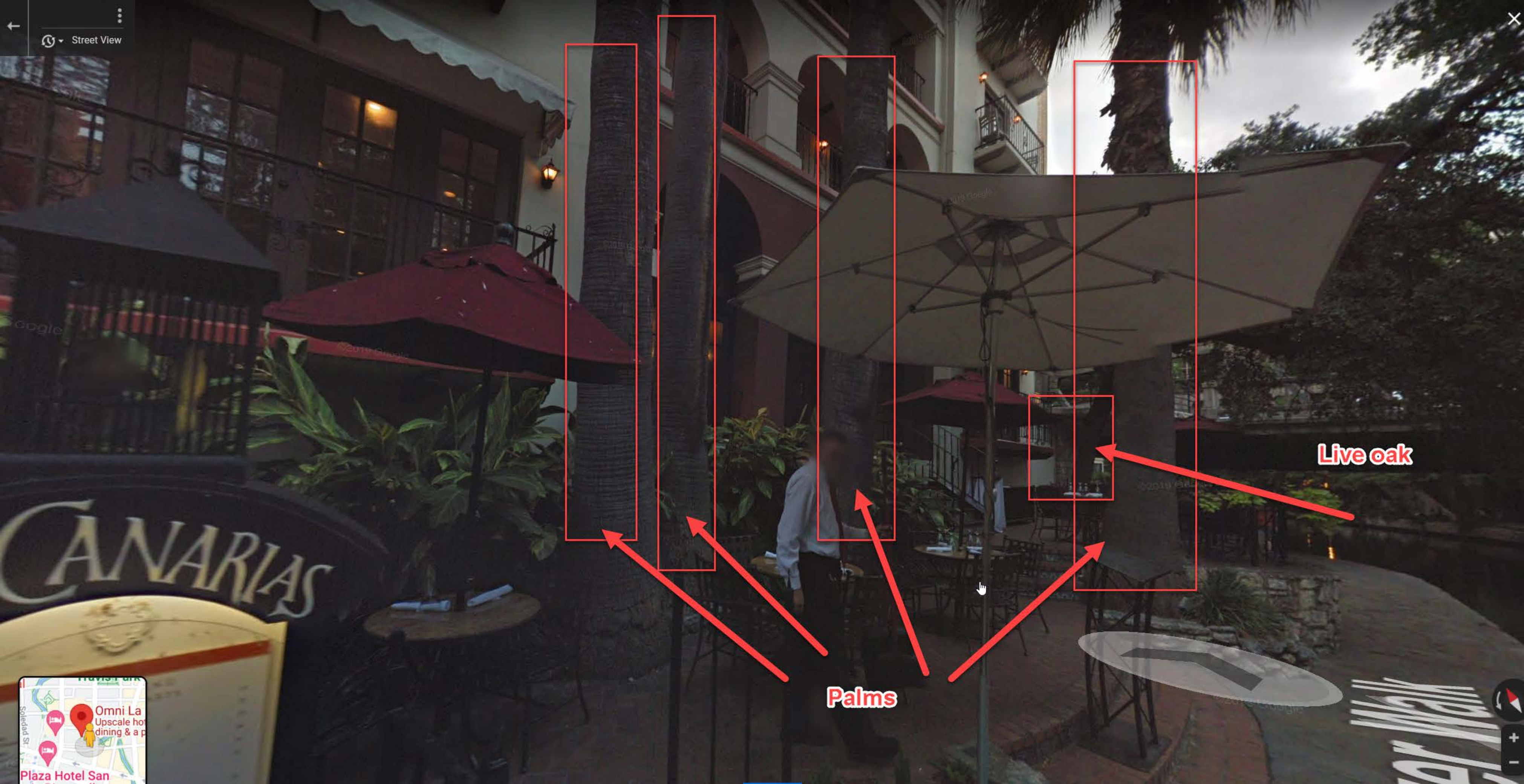
R. Norman Matheny photo

San Antonio's gracious Riverwalk draws families for a quiet stroll.

With Frutig, Livable Cities No. 3.

THE CHRISTIAN SCIENCE MONITOR  
NEWS AND PHOTO SERVICE OSHED





Live oak

Palms







# CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

## ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

December 22, 2020

**ADDRESS:** 112 COLLEGE ST  
**LEGAL DESCRIPTION:** NCB 405 BLK 22 LOT 3 THRU 8  
**PUBLIC PROPERTY:** No  
**RIVER IMPROVEMENT OVERLAY:** RIO-3  
**APPLICANT:** katy curtis/Duncan Design Group - 1350 Manufacturing St Ste 103  
**OWNER:** Ryan Raedisch/OMNI LA MANSION CORPORATION - 4001 MAPLE AVE STE 300  
**TYPE OF WORK:** Exterior alterations, Porch/Patio, Signage

### REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to remove an existing staircase at the river level patio, add new finishes, and replace an existing menu sign at the entrance steps.

**CITY OF SAN ANTONIO  
OFFICE OF HISTORIC PRESERVATION**

**DATE:** 12/22/2020 3:18:09 PM

**ADMINISTRATIVE APPROVAL TO:** PATIO ALTERATIONS - Remove existing stone stairs and handrail as noted on the site plan and create a new patio with pavers and retaining wall. Existing plants on the patio area may be removed and new landscaping installed in the those areas. Refinish exterior wood on the windows and doors.

MENU BOARD SIGN REPLACEMENT - Replace the existing menu board near the Riverwalk pedestrian right of way with a new free standing menu board that will be less than 2 square feet to be consistent with the UDC.

**APPROVED BY:** Katie Totman

**Shanon Shea Miller**  
Historic Preservation Officer

A Certificate of Appropriateness (COA) serves as a record of design approval and is valid for 180 days. Work that is not completed in accordance with this certificate may be subject to correction orders and other penalties.

A COA does not take the place of any required building permits nor does it authorize the use of a property beyond what is allowed by the Unified Development Code. Prior to beginning your construction project, please contact the Development Services Department at (210) 207-1111 to ensure that all requirements have been met.

This Certificate must remain posted on the job site for the duration of your project. Modifications to an approved design or an expired approval will require a re-issue of your Certificate of Appropriateness by OHP staff. Please contact OHP Staff at (210) 207-0035 with