

# HISTORIC AND DESIGN REVIEW COMMISSION

November 01, 2023

**HDRC CASE NO:** 2023-421  
**ADDRESS:** 3218 KAISER DR  
**LEGAL DESCRIPTION:** NCB 10777 LOT 10 (0.209 AC), 11 (0.209 AC), 12 (0.209 AC), P-4G (0.275 AC) & P-4K (4.086 AC)  
**ZONING:** NP-8  
**CITY COUNCIL DIST.:** 3  
**APPLICANT:** Raymond Aguilar/MP Studio LA  
**OWNER:** Alma Nunez/CITY OF SAN ANTONIO  
**TYPE OF WORK:** Park improvements  
**APPLICATION RECEIVED:** October 10, 2023  
**60-DAY REVIEW:** December 9, 2023  
**CASE MANAGER:** Rachel Rettaliata

## REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to complete park improvements as part of Phase 3 of the Jupe Manor Neighborhood Park Development project.

## APPLICABLE CITATIONS:

*Sec. 35-613. - Relocation of a Landmark or Property Located in a Historic District:*

(a) In considering whether to recommend approval or disapproval of a certificate application to relocate a building, object or structure designated a historic landmark or located in a historic district, the historic and design review commission shall be guided by the following considerations:

- (1) The historic character and aesthetic interest the building, structure or object contributes to its present setting;
  - (2) Whether there are definite plans for the area to be vacated and what the effect of those plans on the character of the surrounding area will be;
  - (3) Whether the building, structure, or object can be moved without significant damage to its physical integrity;
  - (4) Whether the proposed relocation area is compatible with the historical and architectural character of the building, object, or structure.
  - (5) Balancing the contribution of the property to the character of the historic district with the special merit of the application.
- (b) Should an application to relocate a building, object or structure be approved, the historic preservation officer shall ensure that the new location is already zoned historic or shall review whether such location should be designated.
- (c) The historic preservation officer may approve applications for relocation for properties deemed noncontributing to the historic character of a historic district.

*UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.*

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

*UDC Sec 35-642. – New Construction of Buildings and Facilities:*

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a

specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

## **FINDINGS:**

- a. The property located at 3218 Kaiser is commonly known as Jupe Manor Neighborhood Park. Jupe Manor Neighborhood Park is located southeast of downtown and is adjacent to Interstate 410. The site is situated with Paula Drive to the north, the I-410 Access Road to the east, Sinclair Road to the south, and Kaiser Drive to the west.
- b. **CASE HISTORY** – The development of the new park received HDRC approval on September 2, 2020, and included the installation of park equipment, a restroom, an open space lawn, a shade structure, a multi-use trail, a natural area, a perimeter fence, picnic seating, a drinking fountain, and lighting. The applicant has returned to the HDRC for approval of Phase 3 of the project, which includes the installation of a walking

trail to the existing trail system, a full court basketball court, a new shade pavilion, additional park lighting, picnic tables, and park benches.

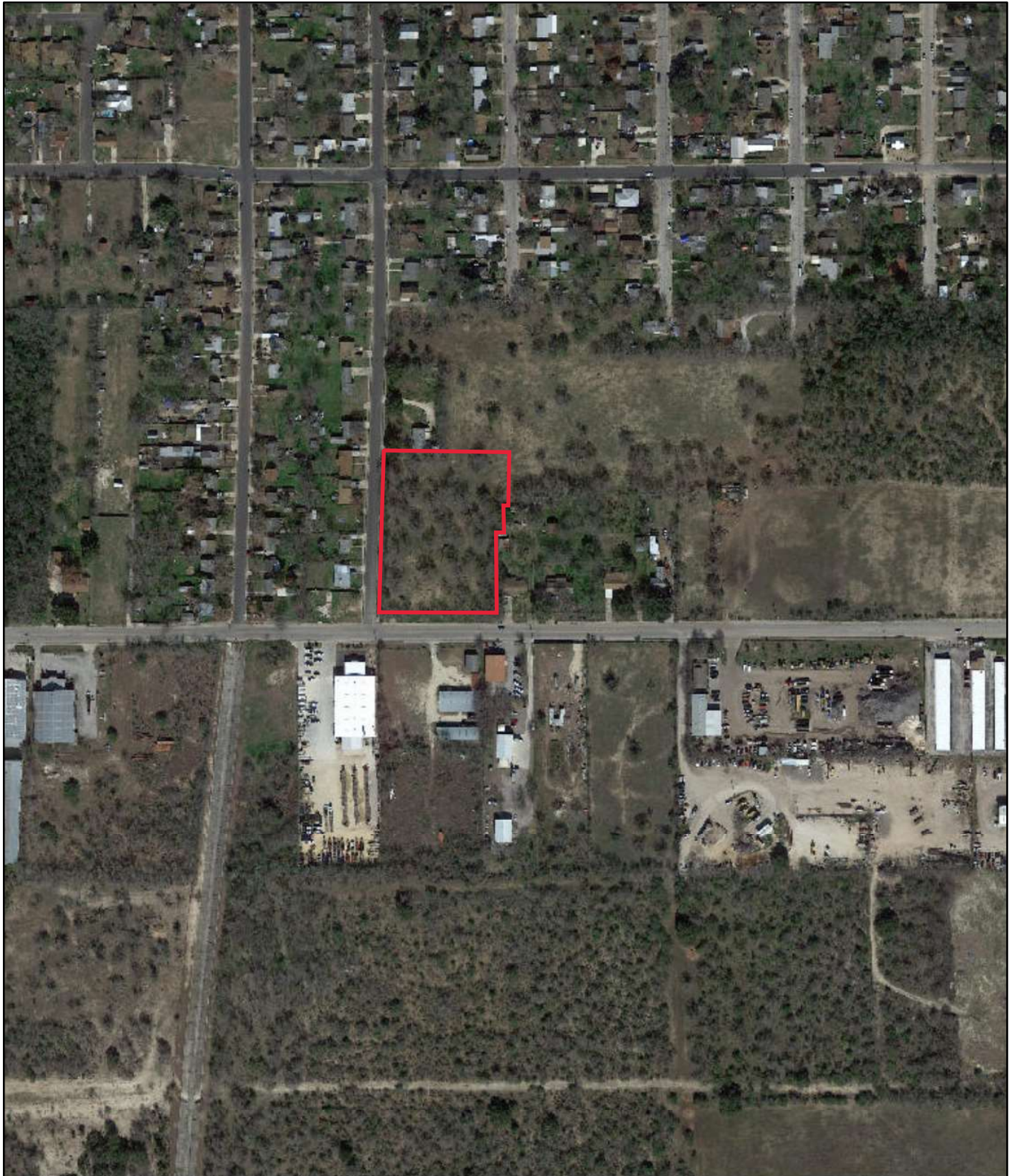
- c. PARK AMENITIES – The applicant has proposed to install park amenities such as a full court basketball court, a new shade pavilion, additional park lighting, picnic tables, fitness equipment, limestone benches, barbeque pits, and park benches. The proposed full court basketball court will be located to the east of the existing parking lot and playground area. Staff finds the proposal generally consistent with UDC Sec. 35-642.
- d. SHADE STRUCTURE – The applicant has proposed to install a new shade pavilion structure to the south of the existing parking lot and north of the playground area, over a set of picnic tables. The shade structure will be constructed of dark brown metal columns and grey metal shed roofs. The shade structure will total approximately 400 square feet. The materials and colors are appropriate and consistent with UDC Section 35-642b.
- e. WALKWAYS – The applicant has proposed to install a walking trail to the existing trail system. The new walkways will connect the existing walking trail to the south of the open lawn, will connect the existing walking trail to the new basketball court, and will extend from the existing parking lot to the north side of the park to Spokane Road and to the east side of the park. The walkway extension to the north of the park will require a gate to be relocated. UDC Sec. 35-642(b)(8) states that the site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places. Staff finds the proposal generally consistent with the UDC Sec. 35-642.
- f. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

## **RECOMMENDATION:**

Staff recommends approval based on findings a through f with the following stipulation:

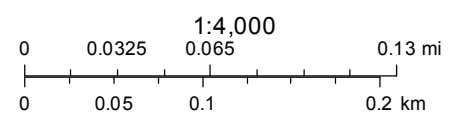
- i. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

# City of San Antonio One Stop



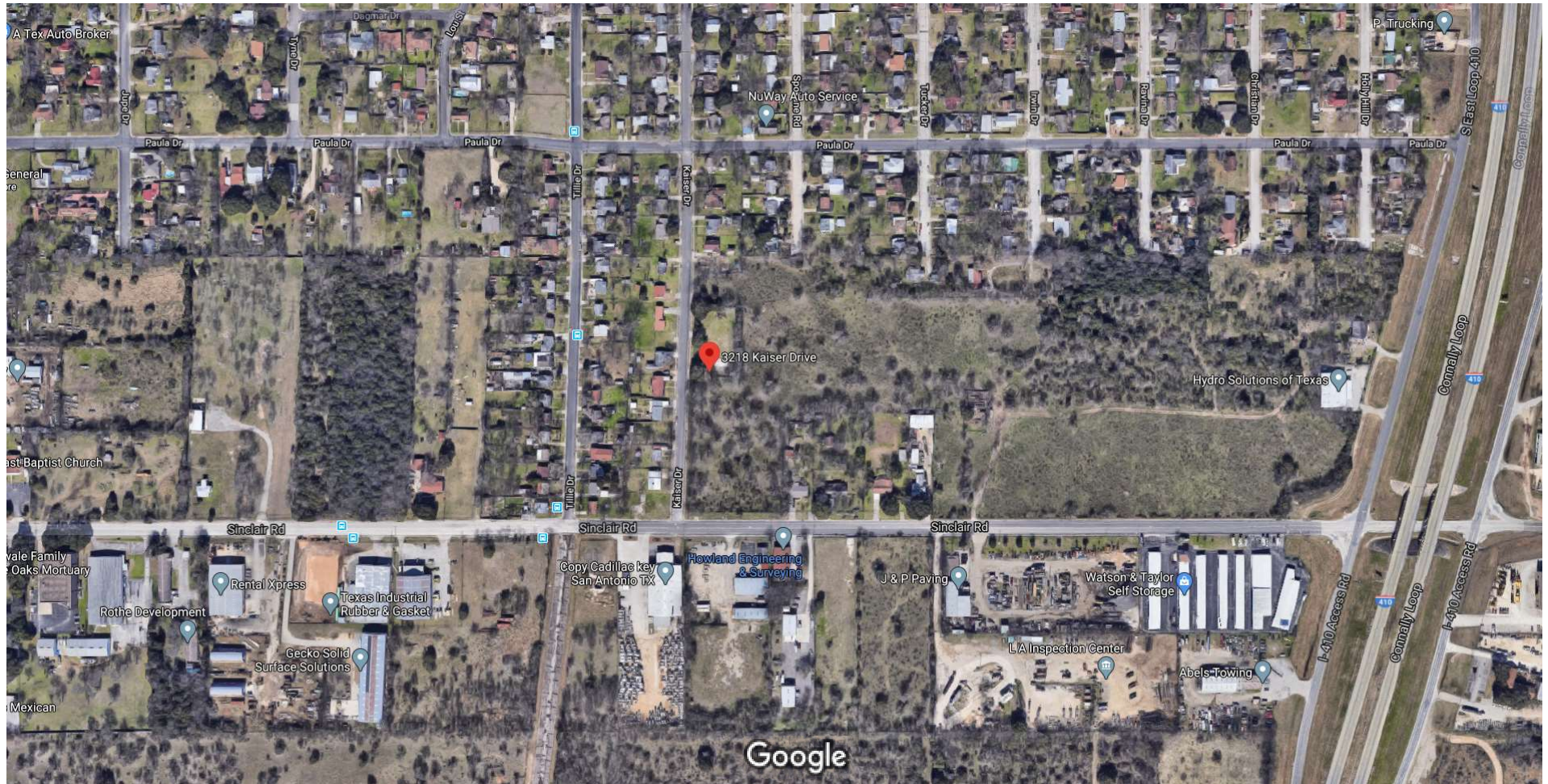
June 30, 2020

— User drawn lines





## Google Maps 3218 Kaiser Dr



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## Google Maps 3218 Kaiser Dr



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## Google Maps 3218 Kaiser Dr

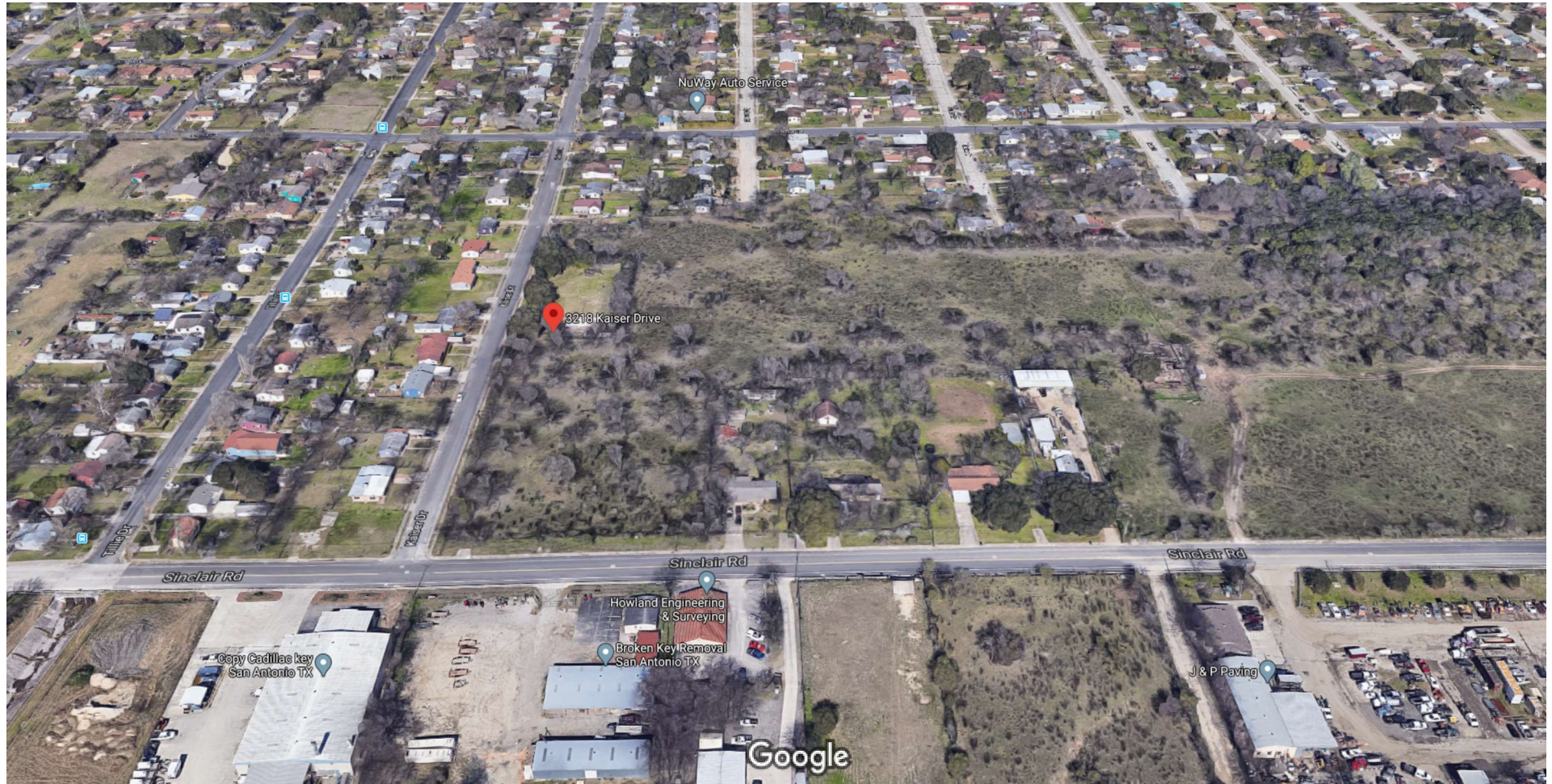


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100 ft



## Google Maps 3218 Kaiser Dr



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100 ft



# JUPE MANOR NEIGHBORHOOD PARK

## DEVELOPMENT - PHASE III

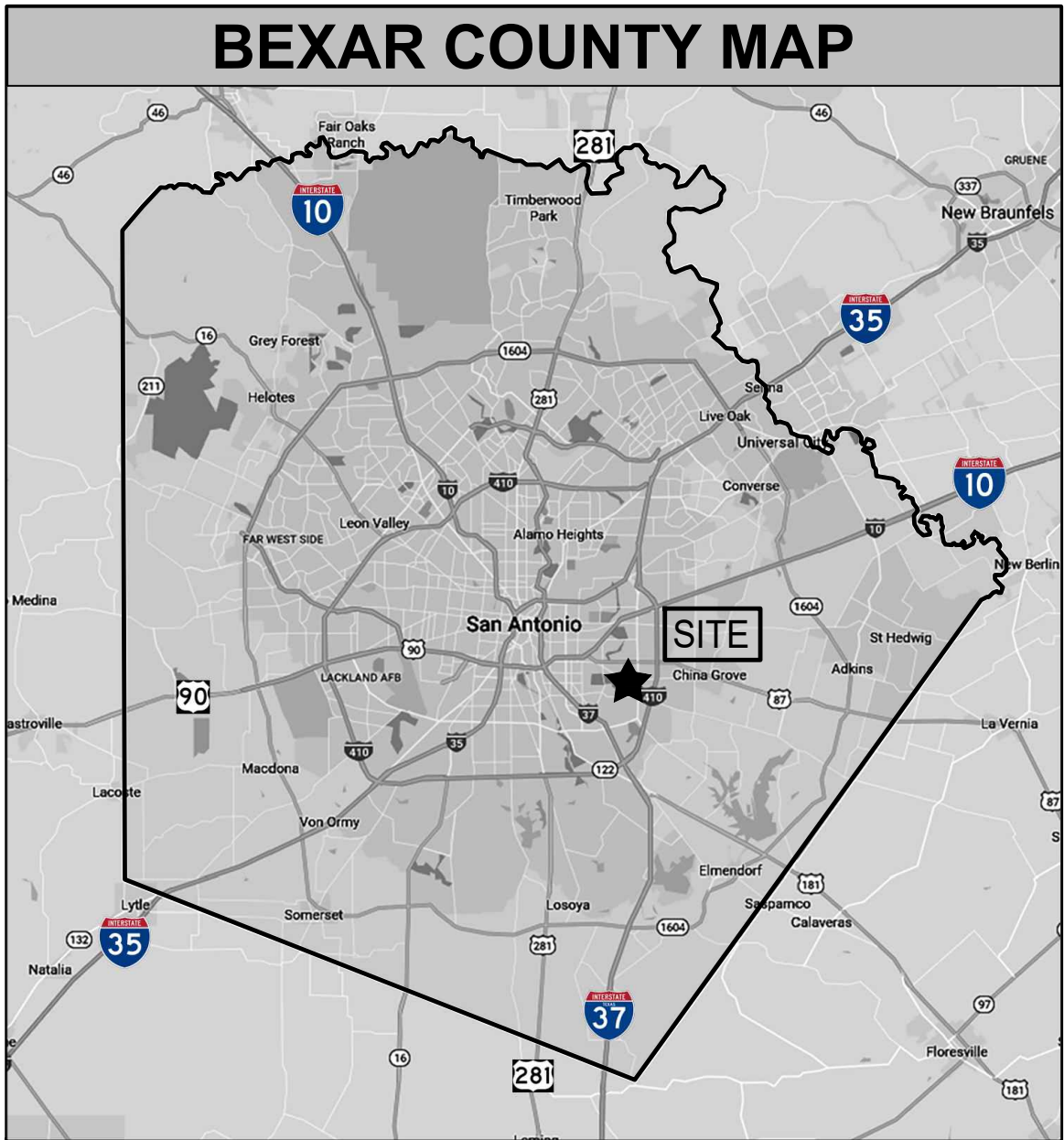
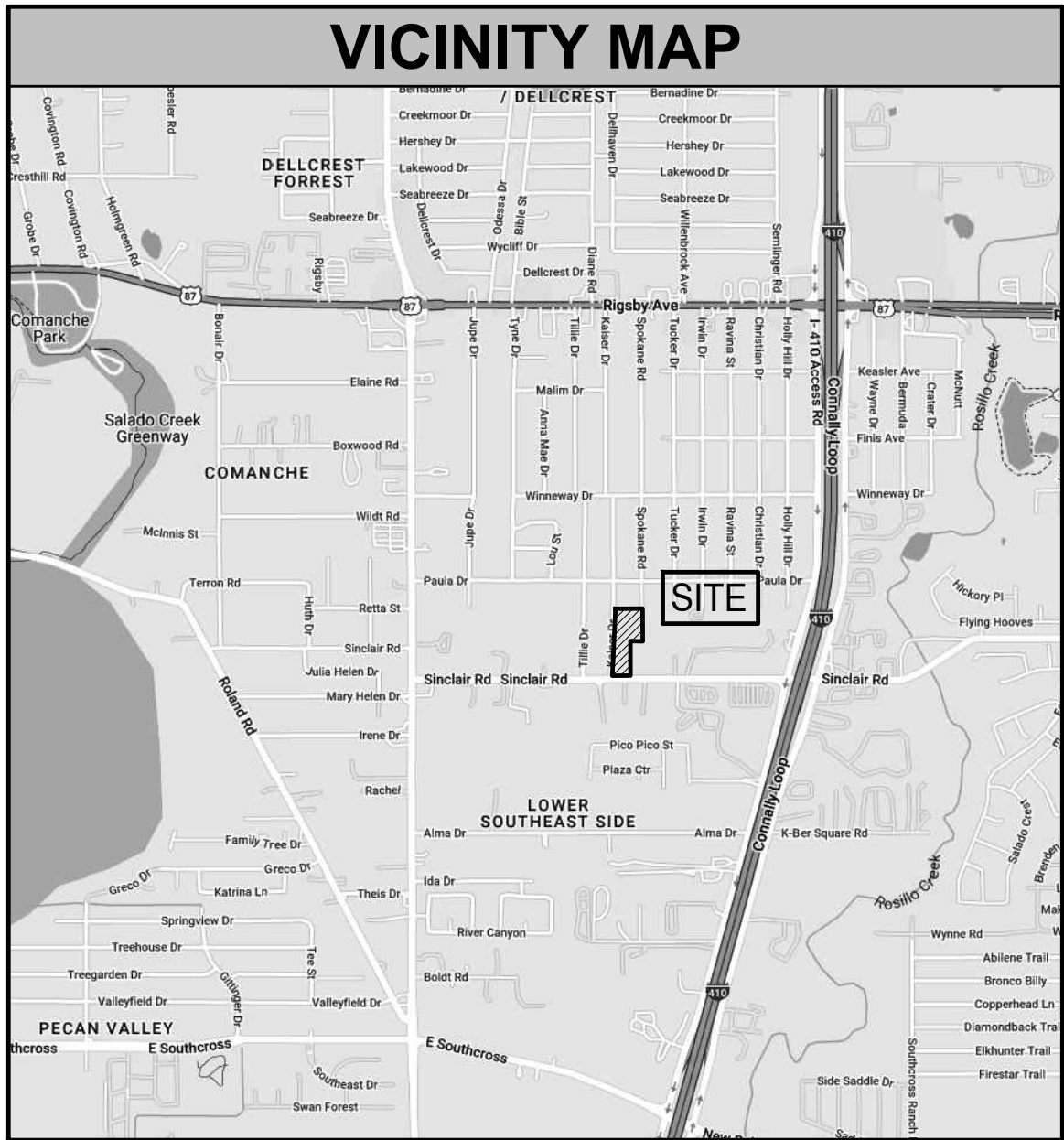
### 3218 KAISER DRIVE, SAN ANTONIO, TX 78222

SCOPE OF WORK: PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS NECESSARY TO CONSTRUCT PROPOSED PARK FACILITIES TO INCLUDE DEMOLITION OF EXISTING FENCING AND SELECTIVE HARDSCAPE, INSTALLATION OF PARK FURNISHINGS, BASKETBALL COURT, SHADE STRUCTURE, SECURITY LIGHTING, ASSOCIATED SIDEWALKS AND PAVING AND OTHER AMENITIES AS SHOWN PER THE PLANS AND SPECIFICATIONS.

CITY OF SAN ANTONIO	
mayor	council district 5
RON NIRENBERG	TERI CASTILLO
city manager	council district 6
ERIK WALSH	MELISSA CABELLO HAVRDA
director of parks & recreation	council district 7
HOMER GARCIA	MARINA ALDERETE GAVITO
council district 1	council district 8
SUKH KAUR	MANNY PELAEZ
council district 2	council district 9
JALEN MCKEE-RODRIGUEZ	JOHN COURAGE
council district 3	council district 10
PHYLLIS VIAGRAN	MARC WHYTE
council district 4	
ADRIANA ROCHA GARCIA	

INDEX OF SHEETS			
DATE	ISSUE	SHEET TITLE	SHEET NO.
REFERENCE			
OCTOBER 3, 2023	100% CD SET	COVER SHEET	LC 1.0
OCTOBER 3, 2023	100% CD SET	GENERAL NOTES & MATERIAL SCHEDULE	LC 1.1
OCTOBER 3, 2023	100% CD SET	OVERALL REFERENCE PLAN	LC 1.2
TREE PRESERVATION			
OCTOBER 3, 2023	100% CD SET	TREE PRESERVATION PLAN	TP 1.1
OCTOBER 3, 2023	100% CD SET	TREE INVENTORY & PRESERVATION NOTES & DETAILS	TP 2.1
GRADING			
OCTOBER 3, 2023	100% CD SET	GRADING PLAN	LG 1.1
SITEWORK			
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OCTOBER 3, 2023	100% CD SET	SITEWORK PLAN	LS 1.2
OCTOBER 3, 2023	100% CD SET	SITEWORK DIMENSION PLAN	LS 1.3
OCTOBER 3, 2023	100% CD SET	SITE WORK DETAILS	LS 2.1
OCTOBER 3, 2023	100% CD SET	SITE WORK DETAILS	LS 2.2
OCTOBER 3, 2023	100% CD SET	SHADE STRUCTURE DETAILS	LS 2.3
STRUCTURAL			
OCTOBER 3, 2023	100% CD SET	GENERAL NOTES & DETAILS	S1.0
OCTOBER 3, 2023	100% CD SET	FOUNDATION PLAN AND DETAILS	S2.0
MEP			
OCTOBER 3, 2023	100% CD SET	ENLARGED ELECTRICAL PLAN	E1.1
OCTOBER 3, 2023	100% CD SET	ELECTRICAL RISER AND DETAILS	E2.1
OCTOBER 3, 2023	100% CD SET	ELECTRICAL SPECIFICATIONS	E3.1

A PROJECT BY		
owner	landscape architect	structural - basketball court
CITY OF SAN ANTONIO - PUBLIC WORKS DEPARTMENT	MP STUDIO	HOFFER STRUCTURAL SOLUTIONS
CONTACT: ALMA NUNEZ 114 WEST COMMERCE ST. SAN ANTONIO, TEXAS 78283 O: 210.207.6123 E: alma.nunez@sanantonio.gov	CONTACT: MARK PADILLA 201 GROVETON STREET SAN ANTONIO, TEXAS 78210 O: 210.314.5582 E: mark@mpstud.io	CONTACT: MATTHEW HOFFER 845 PROTON RD. SAN ANTONIO, TEXAS 78258 O: 210.646.1665 E: mhofter@hofferss.com
mep engineer		
ESA MECHANICAL & ELECTRICAL ENGINEERING, INC.		
CONTACT: STEPHEN MITCHELL 1100 NW LOOP 410, SUITE 810 SAN ANTONIO, TEXAS 78213 O: 210.342.3483 E: stephen@esaengineers.net		



MPSTUDIO

201 GROVETON | SATX 78210  
210.314.5582 | MPSTUD.IO

STATUS

PROJECT

JUPE MANOR NEIGHBORHOOD PARK

PROJECT ADDRESS  
3218 KAISER DRIVE  
SAN ANTONIO, TEXAS 78222

OWNER | CLIENT  
CITY OF SAN ANTONIO  
114 W. COMMERCE  
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE  
ALMA NUNEZ  
210.207.6123  
ALMA.NUNEZ@SANANTONIO.GOV














SUBCONSULTANT

REVISIONS		
NO.	DATE	DESCRIPTION

ISSUE SETS		
NO.	DATE	DESCRIPTION

SHEET INFORMATION	
PROJECT NO.	
22054	
DATE ISSUED	
OCTOBER 3, 2023	
SHEET NAME	
COVER SHEET	
SHEET NUMBER	
LC 1.0	



MATERIALS SCHEDULE						
04 00 00 - MASONRY						
KEY	PHOTO	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
M.1		MESA GRANDE BLOCK: LIMESTONE BLOCK - size: (FULL) 24"HT X 24"W X 60"L size: (HALF) 24"HT X 24"W X 30"L	CREAM	SAWN & CHOPPED	co: AUSTIN BLOCK CO. phone: 833.400.9255 or <i>Approved Substitute</i>	● CONTRACTOR TO CONFIRM BLOCKS SHALL BE FREE FROM CRACK & FLAKING ALONG ALL FACES & EDGES. ● PROVIDE MORTAR COLOR SAMPLES FOR THE APPROVAL PRIOR TO INSTALLATION.
32 10 00 - BASES, BALLASTS, PAVING						
KEY	PHOTO	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
B.1		STANDARD CONCRETE	GREY	STANDARD	LOCAL SOURCE	●CONTRACTOR TO SUBMIT PRODUCT DATA & SAMPLES FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO ORDERING AND INSTALLATION
B.2		PAVERS	LIMESTONE WHITE	NEW BRICK BASKET WEAVE	co: CITY PARKS DEPT. TONY FORSHAGE e: tony.forshage@sanantonio.g ov	
B.3		BASKETBALL COURT SURFACING model: SPORTS MASTER SPORT SURFACING SYSTEM	court: YELLOW border: LIGHT BLUE 3 point area: ICE BLUE key: DARK GREEN top of key: ICE BLUE center court outer circle: ICE BLUE center court inner circle: YELLOW	STANDARD	co: SPORT MASTER SPORT SURFACES phone: 830.420.3335	
11 68 00 - PLAY FIELD EQUIPMENT AND STRUCTURE						
KEY	PHOTO	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
G.1		FITNESS EQUIPMENT model: SWITCH GLIDER ZZXX0499	FRAME: BLACK FEATURES: DARK GREY	STANDARD	co: PLAYWORLD - DAN LIBBY phone: 806.717.4893 e: dan@psbt.com	●CONTRACTOR TO SUBMIT PRODUCT DATA & SAMPLES FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO ORDERING AND INSTALLATION ●INSTALL PER MANUFACTURERS' RECOMMENDATION ●SUPPLY SPECS FOR APPROVE ALTERNATE
G.2		FITNESS EQUIPMENT model: THE TWISTER ZZXX0487	FRAME: BLACK FEATURES: DARK GREY	STANDARD		
G.3		FITNESS EQUIPMENT model: RECUMBENT BIKE ZZXX0488	FRAME: BLACK FEATURES: DARK GREY	STANDARD		
G.4		BARBECUE GRILL model: ASW-20 ACCESSIBLE PARK GRILL	BLACK	STANDARD	co: PILOT ROCK BY RJ THOMAS MFG. CO. phone: 210.207.3249	
32 33 00 - SITE FURNISHINGS						
KEY	PHOTO	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
S.1		PICNIC TABLE model: MONOLINE ADA COMMUNITY TABLE	frame: CAMPFIRE EMBERS table top: WOOD	POWDER COAT	co: SITE PIECES phone: 214.519.1064 e: info@lightspek.com	●CONTRACTOR TO SUBMIT PRODUCT DATA & SAMPLES FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO ORDERING AND INSTALLATION ●INSTALL PER MANUFACTURERS' RECOMMENDATION ●SUPPLY SPECS FOR APPROVE ALTERNATE
S.2		SHADE STRUCTURE model: NORTHWEST 20'X20'	columns: DARK BROWN - RAL 6006 roof top and bottom: GREY - RAL 7035	STANDARD	co: PARK PLACE RECREATION phone: 800.626.0238 e: andy@miracleparkplace.com	
S.3		BASKETBALL GOAL FIRST TEAM LEGEND SUPREME BASKETBALL HOOP - 42"X72" ACRYLIC BACKBOARD 6" SQ. POST, HEAVY DUTY FLEX GOAL, LEGEND EXTENSION ARM	CLEAR ACRYLIC	STANDARD	co: JUST BASKETBALL GOALS phone: 800.543.9020	
26 56 00 - EXTERIOR LIGHTING						
KEY	PHOTO	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
L.1		PEDESTRIAN LIGHT mfr: KIM LIGHTING model: UR20 EDGE-LIT POST	metal: BLACK	BLACK GLOSS SMOOTH	co: 2M LIGHTING contact: ZACK MERRILL phone: 210.599.4040 e: zack@2mll.com	●INSTALL PER MANUFACTURERS' RECOMMENDATION ●OR ●SUPPLY SPECS FOR APPROVE ALTERNATE
L.2		SHADE STRUCTURE DOWN LIGHT mfr: McGRAW EDISON model: TT TOP TIER TT-D6-830-U-MQ-BK-SG-TR-TT/W G	BLACK	STANDARD		

MATERIALS WITH "✱" SYMBOL TO BE BID AS ADD ALTERANTE

GENERAL NOTES:

- CONTRACTOR SHALL LOCATE AND VERIFY THE CONDITION OF ALL EXISTING UTILITIES, INCLUDING CONTACTING LINE LOCATION SERVICES, PRIOR TO ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR ANY COSTS INCURRED FOR BODILY INJURY AND/OR DAMAGE TO THE OWNER'S PROPERTY OR SAID UTILITIES.
  - CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ASPECTS OF A SAFE WORK SITE INCLUDING, BUT NOT LIMITED TO, PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION AND COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS ON, OR ADJACENT TO, THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS CAUSED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
  - CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK REQUIRING INSPECTION IN COORDINATING THE PROJECT SCHEDULE.
  - ANY PROPOSED ALTERNATES OR SUBSTITUTIONS TO THE WORK BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND/OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF TRASH ON A DAILY BASIS AND MAINTAINING A CLEAN JOBSITE.
  - CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVICING TEMPORARY TOILET FACILITIES.
  - UNLESS SPECIFIED OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.
  - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYMENT OF ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT WITH COSTS INCLUDED IN THE BID. (PLAN REVIEW FEES ARE PAID BY OWNER.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME AWARE OF REQUIRED INSPECTIONS THAT ARE ASSOCIATED WITH PERMITS ISSUED FOR THE WORK AND TO SCHEDULE THESE INSPECTIONS AT THE APPROPRIATE STAGE OF CONSTRUCTION. (EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, ROUGH-IN ELECTRICAL, ROUGH-IN PLUMBING, IRRIGATION PIPING, FOUNDATION STEEL FOR STRUCTURES, INCLUDING WALLS, FIRE INSPECTIONS RELATED TO ENTRY GATES AND STRUCTURES, AND OTHER INSPECTIONS AS THEY MAY APPLY.)
  - CONTRACTOR SHALL COORDINATE THE WORK OF SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS COORDINATE CONSTRUCTION ACTIVITIES WITH OTHER CONTRACTORS WORKING ON THE SITE.
  - CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK ANY VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.
  - UPON COMPLETION OF CONSTRUCTION AND PRIOR TO APPROVAL, CONTRACTOR SHALL PROVIDE PROTECTION OF ALL FINISHED WORK IN PLACE, THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH AND CONSTRUCTION DEBRIS AND REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTLING OR EROSION THAT HAS OCCURRED DUE TO CONSTRUCTION ACTIVITIES.
  - UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR SUBSTANTIAL COMPLETION INSPECTION TO THE OWNER AND LANDSCAPE ARCHITECT TO DETERMINE ACCEPTABILITY. WHERE INSPECTED WORK DOES NOT COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL REPLACE REJECTED WORK AND NOTIFY THE OWNER OR LANDSCAPE ARCHITECT FOR REINSPECTION AS APPROPRIATE FOR ACCEPTANCE AND PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.
- END OF NOTES

GENERAL LANDSCAPE NOTES

PART 1 :

LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE IN ITS EXISTING CONDITION AND SHALL TIE NEW WORK TO EXISTING CONDITIONS AND CONTROLS (SUCH AS EXISTING GRADES AND WALK ELEVATIONS) AS NECESSARY TO MEET THE INTENT OF THE PLANS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY DAMAGE TO ANY UTILITIES OR PROPERTY THAT MAY OCCUR IN THE EXECUTION OF HIS CONTRACT WORK. WHEN WORK REQUIRES CROSSING EXISTING WALKS OR CURBS WITH EQUIPMENT, LANDSCAPE CONTRACTOR SHALL PROVIDE APPROVED BRIDGE MATERIAL SUCH AS WOOD PLANKS AND EARTH TO PREVENT DAMAGE TO FINISHED WORK. LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS THAT MAY BE WORKING ON THE SITE SIMULTANEOUSLY AND SHALL COORDINATE STAGING OF HIS WORK WITH OWNER AND LANDSCAPE ARCHITECT.

REFERENCES

- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z60.1 - NURSERY STOCK.
- TEXAS STATE DEPARTMENT OF AGRICULTURE (TDA) - NURSERY FLORAL LICENSING PROGRAM.

1.1 SUBMITTALS FOR REVIEW

- PRODUCT DATE: LIST OF CHEMICALS TO BE USED ON SITE.

B.) SAMPLES:

- 1 QUART SAMPLES OF EACH SOIL AMENDMENT WITH ANALYTICAL DATA FROM A RECOGNIZED TESTING LABORATORY SHOWING MANUFACTURER'S GUARANTEED ANALYSIS.
- 1 CUBIC FOOT SAMPLES OF PREMIXED BACKFILL MIXES.

C.) TEST RESULTS:

- PROVIDE SOIL SAMPLE TEST RESULTS INDICATING PH, FERTILITY LEVELS, AND PERCENTAGES OF SAND, SILT, AND CLAY.
- PROVIDE RECOMMENDATIONS FOR SOIL AMENDMENTS AND FERTILIZERS BASED ON SOIL ANALYSIS; FOR CONTRACT PURPOSES, USE MIXTURE SPECIFIED IN THIS SECTION.

1.2 MATERIALS

A.) PLANT MATERIALS:

- CERTIFIED IN ACCORDANCE WITH TDA REQUIREMENTS.

B.) TOPSOIL:

- USE SITE GENERATED SOIL FROM PLANTING PREPARATIONS, REASONABLY FREE FROM CLAY LUMPS, COARSE SANDS, STONES, ROOTS, FOREIGN MATTER.
- IF SUFFICIENT ON-SITE MATERIALS DO NOT EXIST, PROVIDE SIMILAR OFF-SITE TOPSOIL FROM APPROVED LOCAL SOURCE. SUBMIT SAMPLE AND SOURCE FOR APPROVAL PRIOR TO DELIVERY OF ANY SOIL TO SITE.

C.) MULCH:

- SHREDDED, COMPOSTED HARDWOOD BARK OF VARYING LENGTH BY NEW EARTH LLC ph: 210-6615180 OR APPROVED SUBSTITUTE, PARTIALLY DECOMPOSED; FREE FROM STICKS, STONES, CLAY, AND GROWTH AND GERMINATION-INHIBITING INGREDIENTS.

D.) SOIL AMENDMENTS:

- SOIL SULFUR: AGRICULTURAL GRADE SULFUR CONTAINING MINIMUM 99 PERCENT SULFUR EXPRESSED AS ELEMENTAL.
- IRON SULFATE: 20 PERCENT IRON EXPRESSED AS METALLIC IRON DERIVED FROM FERRIC AND FERROUS SULFATE AND 10 PERCENT SULFUR EXPRESSED AS ELEMENTAL. WHEN REQUIRED BY SOIL TESTS.
- GYPSUM: AGRICULTURAL GRADE, CONTAINING MINIMUM 98 PERCENT CALCIUM SULFATE, WHEN REQUIRED BY SOIL TEST.
- HERBICIDE: PRE-EMERGENT TYPE; SURFLAN OR APPROVED SUBSTITUTE.
- FERTILIZER FOR TREES AT PLANTING: PLANT HEALTH CARE GROUP "PHC TREE SAVER" APPLIED AS PER P.H.C.G. DIRECTIONS AND APPLICATION RATES.
- FERTILIZER FOR LAWN: PLANT HEALTH CARE GROUP "PHC FOR TURF" 15-1-6" APPLIED AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET.
- SOIL INOCULATES FOLLOWING TREE PLANTING: PLANT HEALTH CARE GROUP "PHC INJECTABLE INOCULANT FOR TREES" APPLIED AS PER PHCG MIXING DIRECTIONS AND APPLICATION RATES.
- FERTILIZER FOR PLANTER BED MIX: PLANT HEALTH CARE GROUP "HEALTHY START 3-4-3" APPLIED AT A RATE OF 25 POUNDS CUBIC YARD OF PLANT BED MIX.

H.) TURF:

- ALL SEED USED SHALL BE HIGH QUALITY, EXTRA FANCY, TREATED LAWN TYPE SEED AT 98% PURITY AND 85% GERMINATION, AND SHALL BE FURNISHED IN SEALED STANDARD CONTAINERS WITH SIGNED COPIES OF A STATEMENT FROM THE VENDOR CERTIFYING THAT EACH CONTAINER OF SEED DELIVERED IS FULLY LABELED IN ACCORDANCE WITH THE TEXAS STATE AGRICULTURAL CODE AND IS EQUAL TO OR BETTER THAN THE REQUIREMENT OF THESE SPECIFICATIONS. LAWN SEED TO BE FREE OF WEEDS OR NOXIOUS GRASS SEEDS.
- SEED WHICH HAS BECOME WET, MOLDY OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE WILL NOT BE ACCEPTED.
- GRASS SEED SCHEDULE:
  - BERMUDA GRASS SEED.
  - MARCH- OCTOBER SHALL BE SPECIFIED BERMUDA.
  - OCTOBER- MARCH SHALL BE ANNUAL RYE GRASS.
- "HYDRO-MULCH" AS MANUFACTURED BY CONVED, OR APPROVAL EQUAL.
- THE HYDO-MULCH SHALL BE COMPOSED OF WOOD CELLULOSE FIBER AND CONTAIN NO GERMINATION OR GROWTH-INHIBITING FACTORS.
- HYRO-SEEDING ADDITIVE (BINDER): ECOLOGY CONTROL-M BINDER ORGANIC SEEDING ADDITIVE.
- SOD: PROVIDE FULL, DARK GREEN, UNIFORM, STRONGLY ROOTED SOD IN 16" X 24" STRIPS FREE FROM WEEDS, UNDESIRABLE GRASSES, DISEASES AND PESTS. SOD SHALL BE CUT FROM THE FIELD NO LONGER THAN 48 HOURS BEFORE PLANTING. ROOTS OF SOD SHALL BE KEPT MOIST.
- BRACING: TREE ANCHORS SHALL BE AS PER DETAILS.
- TREE PAINT: MORRISON TREE SEAL, CABORT TREE PAINT, OR OTHER PRODUCT APPROVED BY LANDSCAPE ARCHITECT.
- PLANTER BED EDGING SHALL BE 3/16"X 4" STEEL EDGING WITH MANUFACTURERS STANDARD GREEN FINISH.

PART 2 EXECUTION:

2.1 PREPARATION

LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE AT APPROXIMATELY FINISH GRADE LESS ANY SETTLEMENT THAT MAY HAVE OCCURRED SINCE SITE CONSTRUCTION AND BACKFILLING. THIS GRADE SHALL BE RAKED TO REMOVE ALL DEBRIS INCLUDING STICKS, CLODS, AND STONES AND SHALL BE FINE GRADED TO ELIMINATE ALL HUMPS, RUTS, DEPRESSIONS AND ABRUPT CHANGES IN GRADE AND ANY AREA THAT COULD CAUSE WATER TO POND.

- IF VEGETATION IS GROWING IN PLANTING/LAWN AREA, APPLY HERBICIDE AT RATES RECOMMENDED BY MANUFACTURER. ALLOW TO DIE, AND THEN GRUB OUT ROOTS TO MINIMUM 1/2 INCH DEPTH.

2.2 LAWN APPLICATION

A.) COORDINATION:

- HYDROMULCH AND SOD AFTER TREE, SHRUB AND GROUNDCOVER INSTALLATION IS COMPLETE.
- CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR TO INSURE FUNCTIONAL IRRIGATION SYSTEM PRIOR TO ANY LAWN INSTALLATION.

B.) PREPARATION:

- PRE-PLANT WEED CONTROL:
  - IF WEEDS EXIST WITHIN PROPOSED LANDSCAPE AREAS AT THE BEGINNING OF WORK, SPRAY WITH A NON SELECTIVE SYSTEMIC CONTACT HERBICIDE, AS RECOMMENDED AND APPLIED BY AN APPROVED LICENSED APPLICATOR. CLEAR AND REMOVE THESE EXISTING WEEDS UPON HERBICIDE'S COMPLETED ACTION BY GRUBBING OFF ALL PLANTS AT LEAST 1/2"-1" BELOW THE SURFACE OF THE SOIL.
  - CONTRACTOR TO SCARIFY GROUND SURFACE TO A MINIMUM 2" DEPTH FOR ALL GRASSES AND REMOVE ALL STICKS, TRASH, ROCKS AND OTHER DEBRIS GREATER THAN 1" AND DISPOSE OFF SITE.
  - IF EXISTING SOIL IN AN AREA IS FOUND TO BE CONTAMINATED OR OTHERWISE UNSUITABLE, CONTRACTOR SHALL PROVIDE COST PER CUBIC YARD TO REPLACE WITH SOIL SUITABLE FOR TURF.
  - CONTRACTOR TO RAKE ENTIRE AREA, LEVELING ANY IMPERFECTIONS IN THE GRADE. LANDSCAPE CONTRACTOR TO ENSURE THAT THERE WILL BE POSITIVE DRAINAGE AND NO PONDING ON SITE. FINISHED GRADE OF LAWN AREAS TO BE 1/2" BELOW TOP OF CURBS, SIDEWALKS AND OTHER PAVEMENTS. REMOVE ANY LARGE (GREATER THAN 1") DIRT CLODS, ROCKS, AND TRASH AND PREPARE A SMOOTH, LEVEL, LOOSE AND COARSE SURFACE. LANDSCAPE ARCHITECT TO APPROVE FINE GRADING PRIOR TO ANY LAWN INSTALLATION. LAWN BED SHALL BE MOIST (BUT NOT MUDDY) TO RECEIVE SEED AND SOD.

C.) HYDROMULCH APPLICATION:

- FOR ALL HYDROMULCH AREAS, INSTALL SOD STRIPS OF BERMUDA GRASS AT ALL BACKS OF CURBS WITHIN THE LIMITS OF CONSTRUCTION.
- LAWN AREAS TO BE SEEDED IMMEDIATELY AFTER PREPARATION OF THE BED. APPLY A UNIFORM COAT OF HYDROMULCH AT THE RATES SPECIFIED BELOW:
  - SEED (REF. SCHEDULE, 1.6 H-3):
    - BERMUDA (HULLED) -2 LBS./1,000 S.F.
    - ANNUAL RYE GRASS -8 LBS./1,000 S.F.
  - WOOD CELLULOSE FIBER MULCH - 60 LBS./1,000 S.F.
- FERTILIZER: "PHC FOR TURF" AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET.
- INCORPORATE A TACKIFIER WITH MULCH CAP. DELAY IRRIGATION 8 HOURS TO PERMIT TACKIFIER TO SET.
- SEED AREAS WITHIN SEEDING LIMITS INDICATED ON THE PLAN AND AREAS DISTURBED BY CONSTRUCTION OPERATIONS.
- PROTECT EXISTING UTILITIES (INCLUDING IRRIGATION SYSTEM), PLANTING, PAVING, FENCING, AND OTHER SITE AMENITIES FROM DAMAGE CAUSED BY HYDROMULCHING OPERATION.
- IMMEDIATELY FOLLOWING APPLICATION OF HYDROMULCH, THE CONTRACTOR SHALL WASH EXCESS HYDROMULCHING MATERIAL FROM PREVIOUSLY PLANTED MATERIAL, ARCHITECTURAL FEATURES, ETC.. CARE SHALL BE EXERCISED TO AVOID WASHING OR ERODING MULCH MATERIALS FROM LAWN AREA.
- UPON ESTABLISHMENT OF LAWN, APPLY A POST EMERGENT HERBICIDE FOR CONTROL OF NUT GRASS AND WEEDS. FERTILIZE AT 45 DAY INTERVALS WITH SPECIFIED PLANT HEALTH GROUP'S FERTILIZER AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET DURING AT 45 DAY INTERVALS DURING THE 90 DAY MAINTENANCE PERIOD.
- DURING THE MONTHS OF OCTOBER THROUGH MARCH CONTRACTOR SHALL HYDROSEED ALL LAWN AREAS WITH ANNUAL RYE GRASS. THE CONTRACTOR SHALL RETURN TO THE SITE BETWEEN APRIL 1ST AND MAY 15 TO RE-PREPARE SEED BED AND HYDROMULCH WITH SPECIFIED BERMUDA SEED IN ORDER TO ESTABLISH A PERMANENT TURF COVER IN ALL LAWN AREAS.

2.3 ACCEPTANCE

- PRIOR TO SCHEDULING A SUBSTANTIAL COMPLETION INSPECTION LANDSCAPE CONTRACTOR SHALL THOROUGHLY CLEAN SITE OF ALL DEBRIS AND TRASH AND REPAIR ANY DAMAGE TO FINISH GRADE. WHEN LANDSCAPE WORK IS COMPLETE A SUBSTANTIAL COMPLETION INSPECTION WILL BE HELD. FOLLOWING COMPLETION OF ANY PUNCH LIST ITEMS GENERATED FROM THE SUBSTANTIAL COMPLETION INSPECTION A FINAL INSPECTION WILL BE HELD AND IF FOUND ACCEPTABLE A CERTIFICATE OF FINAL ACCEPTANCE WILL BE ISSUED.
- LANDSCAPE CONTRACTOR SHALL CONTINUE MAINTENANCE UNTIL FINAL ACCEPTANCE AT WHICH TIME THE SPECIFIED MAINTENANCE PERIOD WILL BEGIN.

END OF NOTES



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STATUS



10-03-2023

PROJECT

JUPE MANOR  
NEIGHBORHOOD  
PARK

PROJECT ADDRESS

3218 KAISER DRIVE  
SAN ANTONIO, TEXAS 78222

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CITY OF SAN ANTONIO

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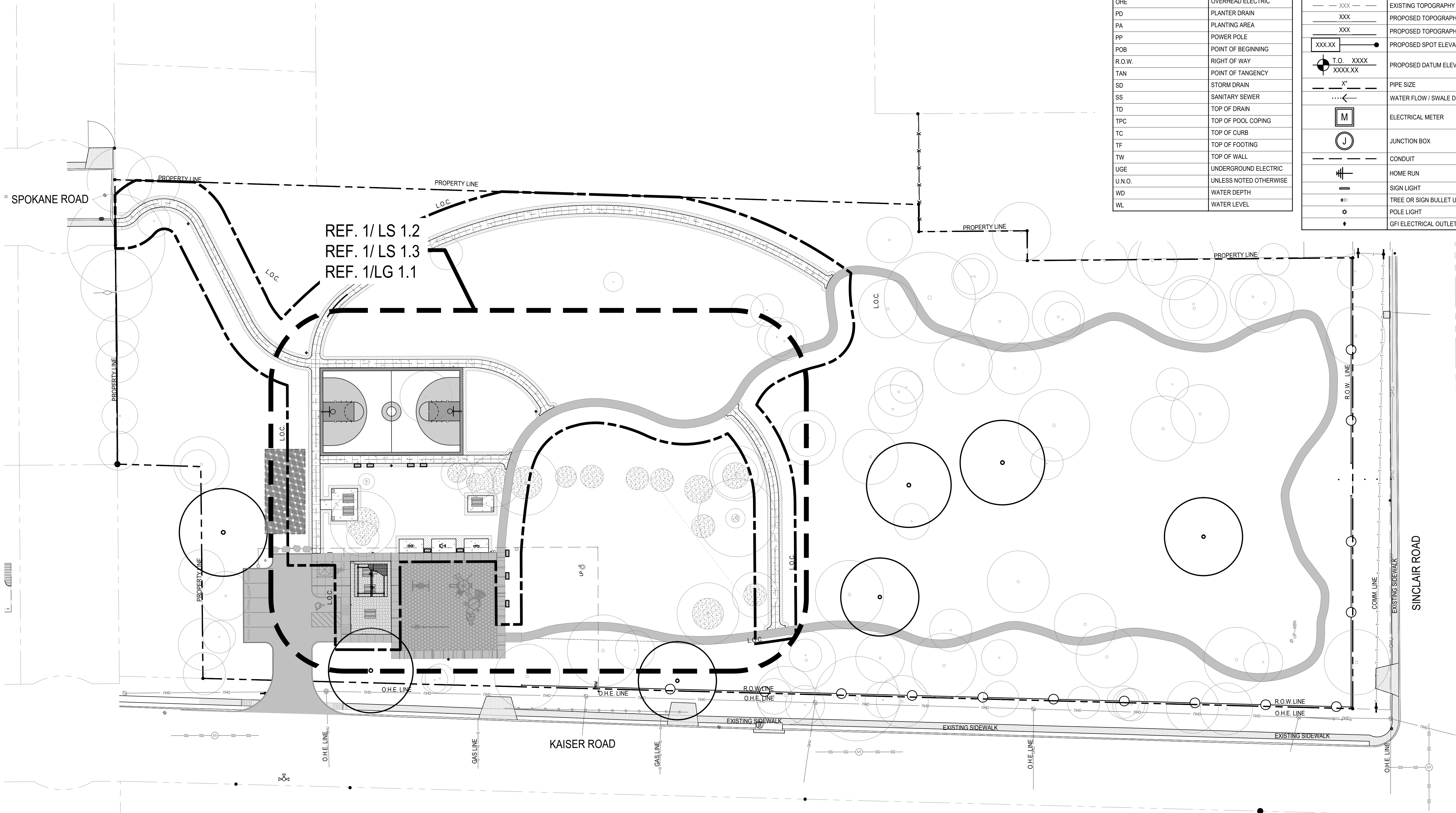
SHEET NAME

GENERAL NOTES  
& MATERIALS  
SCHEDULE

SHEET NUMBER

LC 1.1





1 OVERALL REFERENCE  
PLAN

GENERAL LEGEND	
ABBREVIATIONS	
SYMBOL	DESCRIPTION
AD	AREA DRAIN
BC	BOTTOM OF CURB
BOC	BACK OF CURB
BW	BOTTOM OF WALL
CL	CENTER LINE
ESMT	EASEMENT
EOP	EDGE OF PAVEMENT
EJ	EXPANSION JOINT
FOC	FACE OF CURB
FFE	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
HP	HIGH POINT
INV	INVERT OF PIPE
L.O.C.	LIMITS OF CONSTRUCTION
N.I.C.	NOT IN CONTRACT
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHE	OVERHEAD ELECTRIC
PD	PLANTER DRAIN
PA	PLANTING AREA
PP	POWER POLE
POB	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
TAN	POINT OF TANGENCY
SD	STORM DRAIN
SS	SANITARY SEWER
TD	TOP OF DRAIN
TPC	TOP OF POOL COPING
TC	TOP OF CURB
TF	TOP OF FOOTING
TW	TOP OF WALL
UGE	UNDERGROUND ELECTRIC
U.N.O.	UNLESS NOTED OTHERWISE
WD	WATER DEPTH
WL	WATER LEVEL

GENERAL LEGEND	
SYMBOLS & LINE TYPES	
SYMBOL	DESCRIPTION
REF:	
	ENLARGEMENT AREA W/ CALLOUT
	DETAIL CALLOUT
	MATERIALS & FINISHES CALLOUT
	SECTION CALLOUT
	ELEVATION CALLOUT
XXXXX	SITWORK LABEL
QTY-XXX	PLANTING LABEL
--- XXX ---	EXISTING TOPOGRAPHY - MINOR
--- XXX ---	EXISTING TOPOGRAPHY - MAJOR
--- XXX ---	PROPOSED TOPOGRAPHY - MINOR
--- XXX ---	PROPOSED TOPOGRAPHY - MAJOR
XXX.XX	PROPOSED SPOT ELEVATION
	PROPOSED DATUM ELEVATION
--- X" ---	PIPE SIZE
--->---	WATER FLOW / SWALE DIRECTION
	ELECTRICAL METER
	JUNCTION BOX
---	CONDUIT
	HOME RUN
	SIGN LIGHT
	TREE OR SIGN BULLET UPLIGHT
	POLE LIGHT
	GFI ELECTRICAL OUTLET



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SHEET NAME

OVERALL REFERENCE PLAN

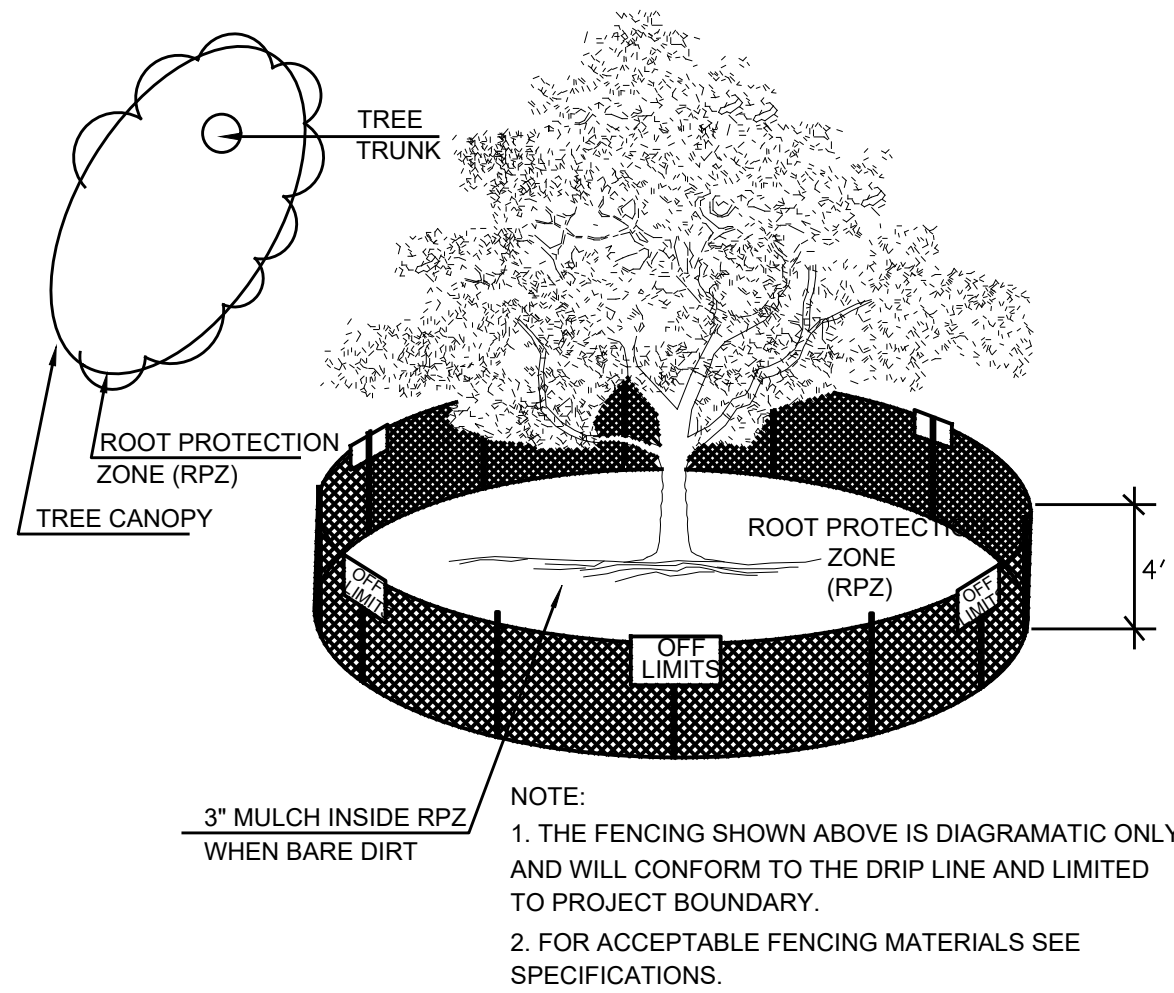
SHEET NUMBER

LC 1.2



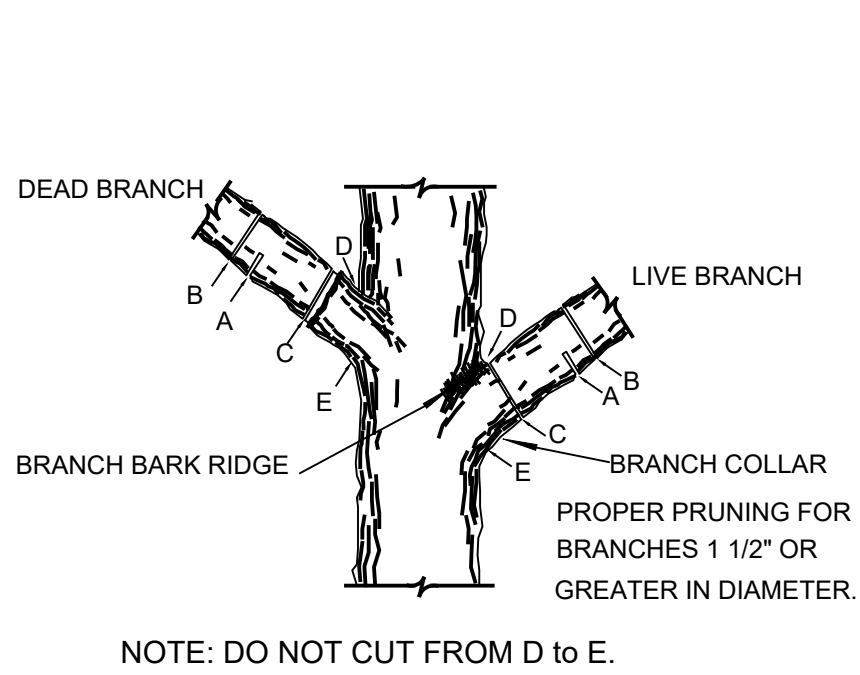






## 1 EXISTING TREE PROTECTION

ELEVATION - PLAN - 3D VIEW NOT TO SCALE

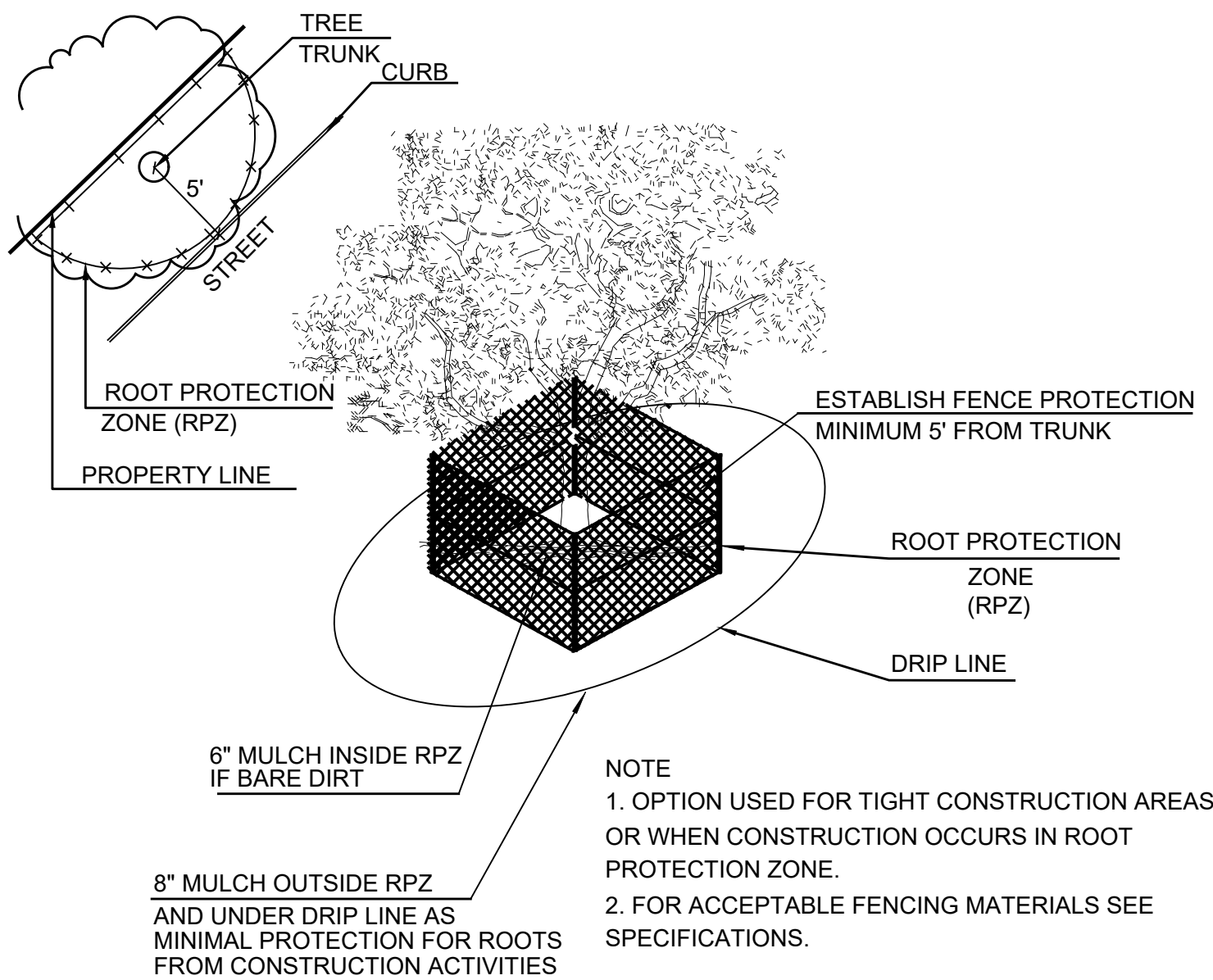


- NOTE: DO NOT CUT FROM D to E.
- FIRST CUT - TO PREVENT THE BARK FROM BEING PEELED WHEN THE BRANCH FALLS.
  - SECOND CUT - TO REDUCE THE WEIGHT OF BRANCH.
  - FINAL CUT - ALLOW FOR HEALING COLLAR BUT NO STUBS
  - BRANCH RIDGES - INDENT PROPERLY BRANCH RIDGES WHICH ARE SITE FOR DECAY.

FOR OAKS ONLY: PAINT ALL WOUNDS OR CUTS WITH PRUNING PAINT WITHIN 20 MIN TO PREVENT THE SPREAD OF OAK WILT.

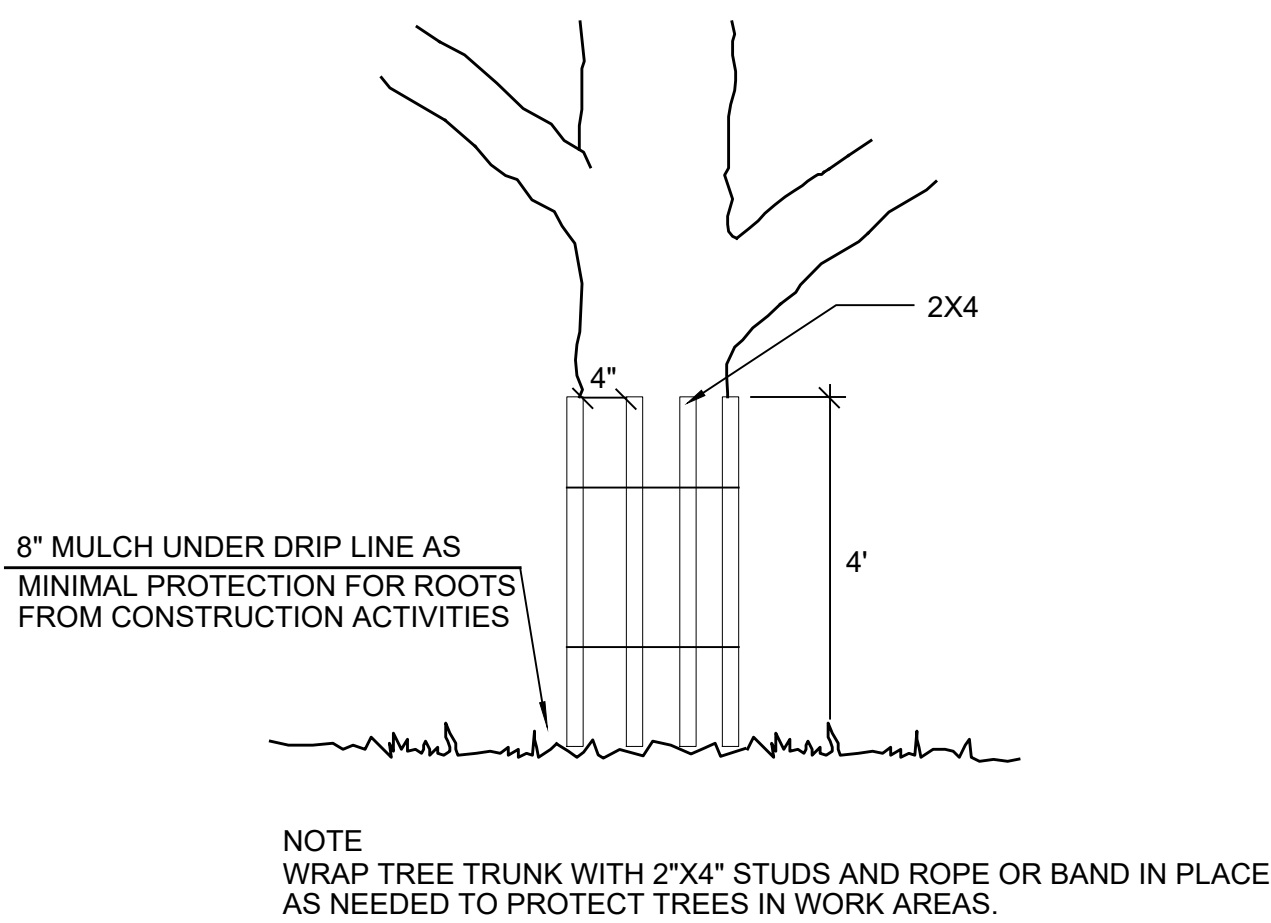
## 2 TREE BRANCH PRUNING

ELEVATION NOT TO SCALE



## 3 LEVEL II A TREE PROTECTION

ELEVATION NOT TO SCALE

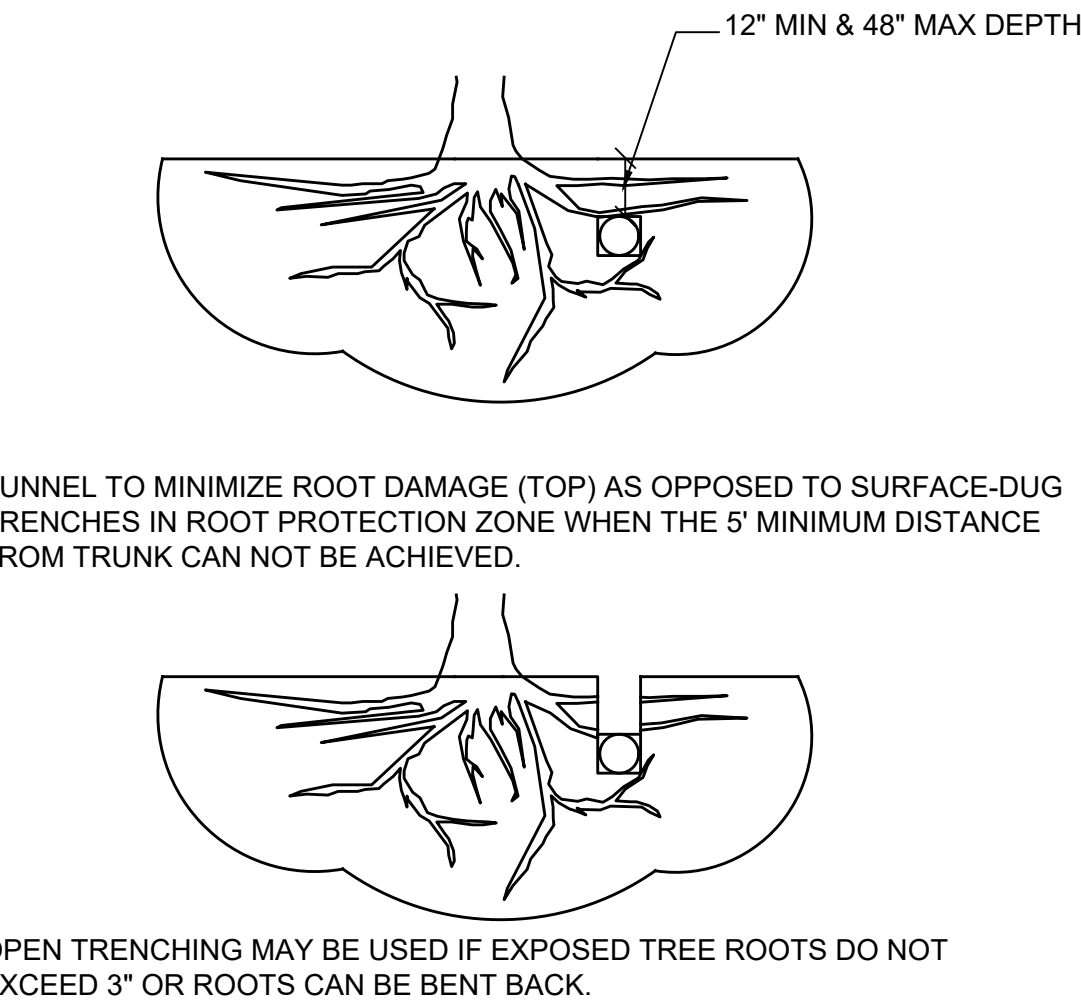


## 4 LEVEL II B TREE PROTECTION

ELEVATION NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



## 5 BORING THROUGH TREE ROOT (RPZ)

SECTION NOT TO SCALE

JUPE MANOR PHASE 2 TREE INVENTORY													
Tag #	Species	Tree Caliper	Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Additional Inches Preserved for Mitigation ***
			Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	
1005	HACKBERRY	30"										30	
1006	HUISACHE	10"						10					
1007	HACKBERRY	20"						20					
1008	MESQUITE	16"						16					
1020	HACKBERRY	20"						20					
1021	HACKBERRY	10"						10					
1022	MOUNTAIN LAUREL	5"	5										
1023	PECAN	16"			16								
1030	HACKBERRY	19"						19					
1031	HACKBERRY	14"						14					
1092	HACKBERRY	10"						10					
1093	HACKBERRY	10"						10					
1094	HACKBERRY	12"						12					
1095	HACKBERRY	12"						12					
1098	PECAN	14"			14								
1099	HACKBERRY	17"						17					
1100	HACKBERRY	24"										24	
1101	PECAN	6"			6								
1102	HACKBERRY	14"						14					
1103	HACKBERRY	17"						17					
1104	HACKBERRY	14"						14					
1105	HACKBERRY	14"						14					
1106	HACKBERRY	14"						14					
1107	HACKBERRY	13"						13					
1108	HACKBERRY	20"						20					
1109	HACKBERRY	16"						16					
1110	HACKBERRY	11"						11					
1111	HACKBERRY	10"						10					
1112	PECAN	10"			10								
1113	PECAN	6"			6								
Sub. Tot. Inches=			0	5	16	36	0	313	0	0	0	54	0
Total inches by category=				5		52		313		0		54	
Preservation percentage=			100%		Significant		96%		Heritage Preservation:		100%		
Mitigation required (Commercial) =			-3		Commercial (inches):		-203		Heritage Mitigation (inches)=		0		
Mitigation required (Residential) =					Residential (inches)=								

JUPE MANOR PARK TREE INVENTORY R.O.W													
Tag #	Species	Tree Caliper	Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Additional Inches Preserved for Mitigation ***
			Removed	Presened	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	
1015	HACKBERRY N.I.C	11"					11						
1032	HACKBERRY	11"					11						
1033	HACKBERRY	18"					18						
1034	HACKBERRY	12"					12						
1037	HACKBERRY	26"										26	
1038	HACKBERRY	11"					11						
1039	HACKBERRY	16"					16						
1047	HACKBERRY	10"					10						
1051	HACKBERRY	10"					11						
1052	HACKBERRY	10"					12						
1053	HACKBERRY	10"					13						
1054	HACKBERRY	17"					17						
1058	HACKBERRY	20"					20						
1059	HACKBERRY	11"					11						
1060	HACKBERRY	18"					18						
Sub. Tot. Inches =			0	0	0	0	0	191	0	0	0	26	0
Total inches by category=				0		0		191		0		26	
Preservation percentage=			#DIV/0!		Significant		100%		Heritage Preservation:		100%		
Mitigation required (Commercial) =			0		Commercial (inches):		-114.6		Heritage Mitigation (inches)=		0		
Mitigation required (Residential) =					Residential (inches)=								

## EXISTING TREE NOTES

- ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE PROTECTION AS SHOWN ON TREE PROTECTION DETAIL ON THIS SHEET.
- ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
- NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY CITY INSPECTOR.
- TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
- THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
- THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS 1 FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE WOULD HAVE A 5-FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. LIVE OAK WOUNDS SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT OAK WILT.
- ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.
- GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.
- TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.
- TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION.
- EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.



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### SUBCONSULTANT

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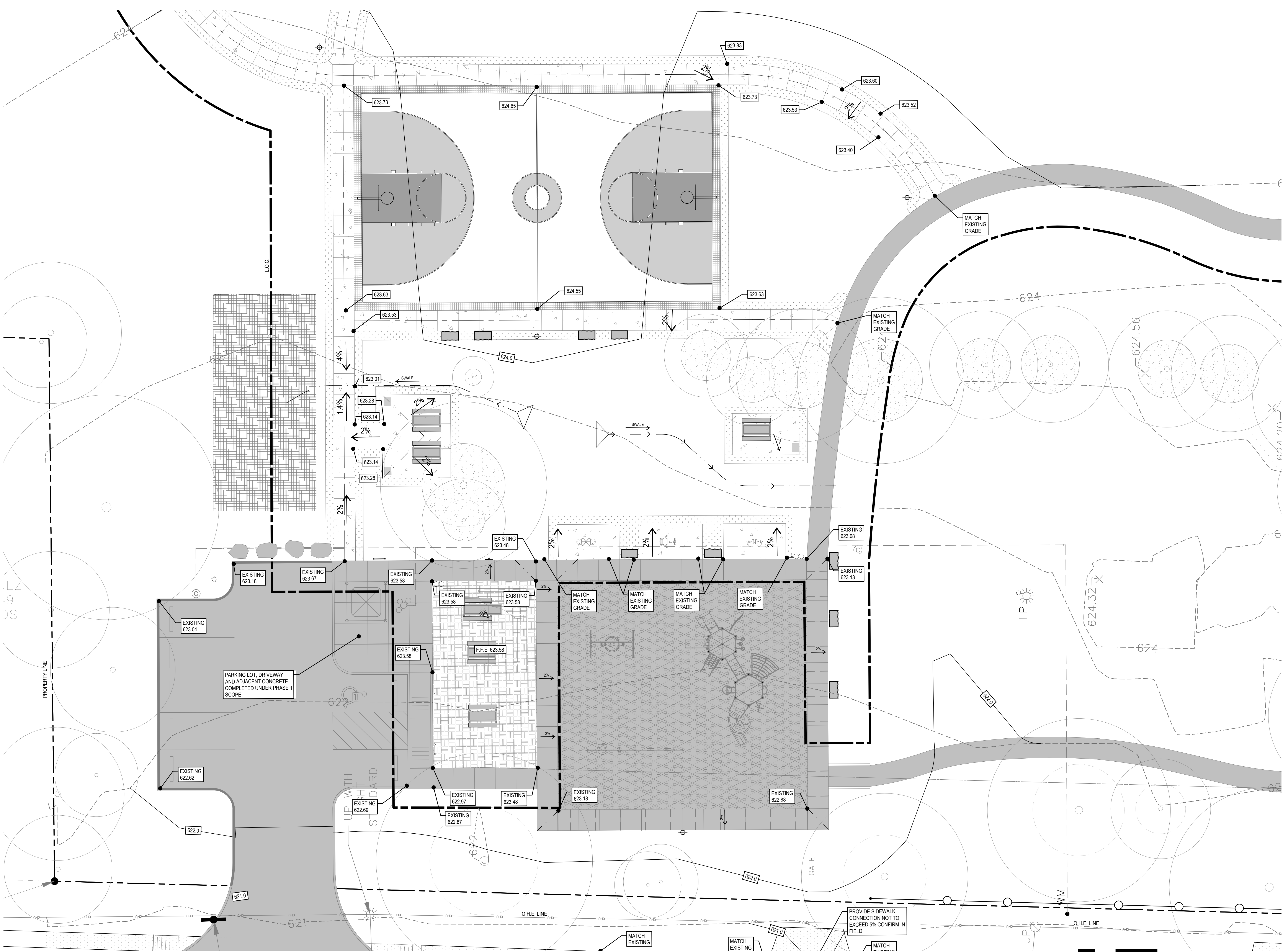
#### SHEET NAME

## TREE INVENTORY & PRESERVATION NOTES & DETAILS

#### SHEET NUMBER

## TP 2.1





1 GRADING  
PLAN



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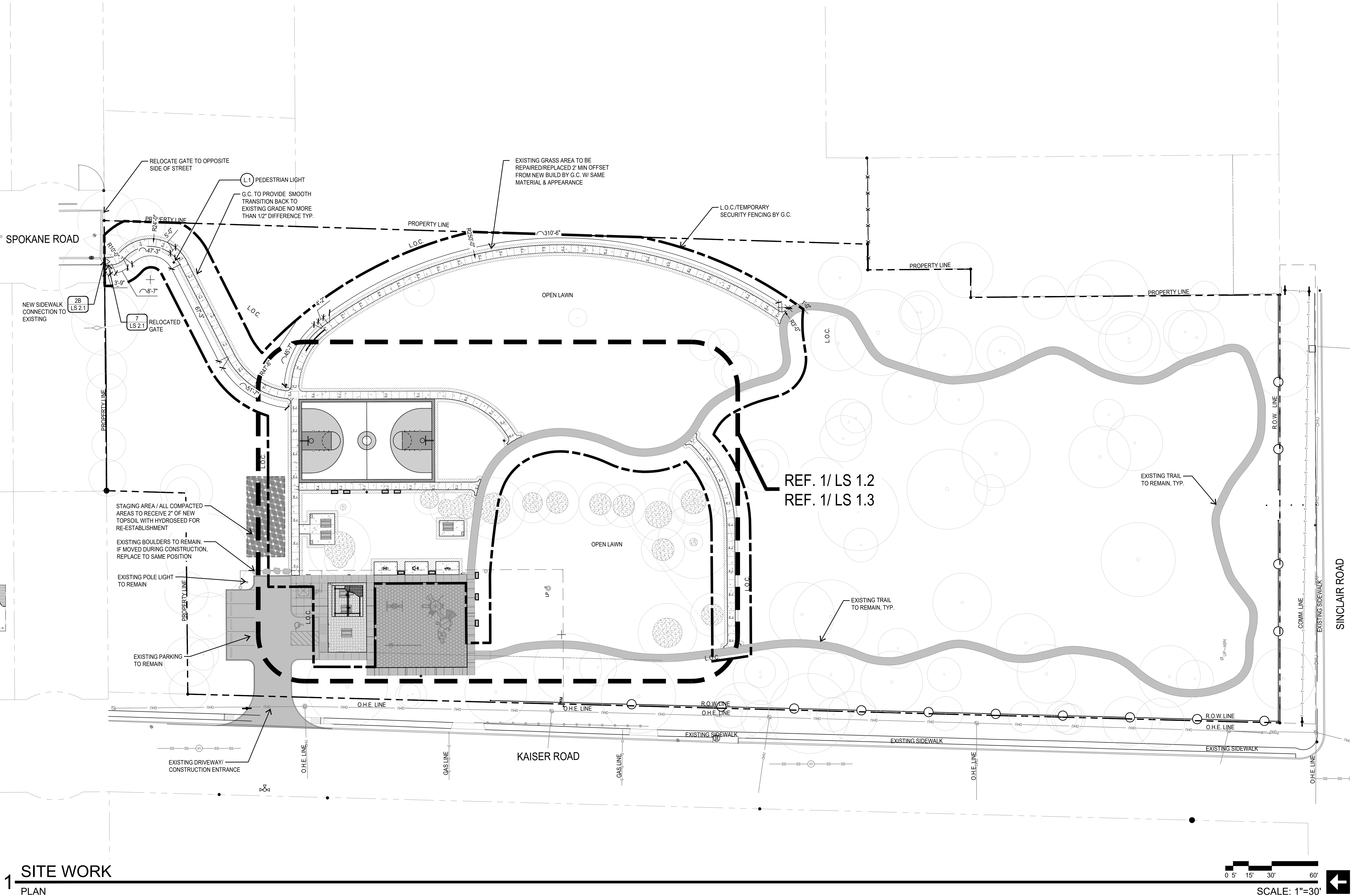
SHEET NAME

### GRADING PLAN

SHEET NUMBER

**LG 1.1**





NOTE: CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY EXCAVATION. ALL NEW SITE WORK, STRUCTURES, & UTILITY LINES (ELECTRIC, IRRIGATION, ETC.) TO AVOID IMPACTS/ TRENCHING WITHIN TREES IDENTIFIED TO BE PRESERVED INCLUDING THEIR INDIVIDUAL TREE CRITICAL ROOT PROTECTION ZONES OR OUTLINE OF TREE.

ALL DISTURBED AREAS TO BE LEVELED AND RAKED OUT. G.C. WILL CALL AND ARRANGE FOR UTILITY LOCATING WITH THE PUBLIC ENTITIES STAKE OUT PROVIDERS. ALL PUBLIC UTILITIES TO BE STAKED OUT PRIOR TO GROUNDBREAKING. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION (LOC) TO BE CLEANED AND SMOOTHED FOR FINISH GRADE. APPLY HYDROMULCH AS NOTED ON PLANS. CONTRACTOR TO USE TOPSOIL TO HELP RE-ESTABLISH DISTURBED AREAS. ENSURE ALL DEBRIS AND ROCKS 1" OR GREATER ARE SIFTED OUT FOR A MINIMUM 2" OF TOPSOIL TO BE USED WITH HYDROSEED MIX. ALL DISTURBED AREAS FOR SITE WORK AND UTILITY TRENCHING SHALL BE CONSIDERED AS PART OF SCOPE AND RE-ESTABLISHMENT BY G.C PRIOR TO FINAL APPROVAL.



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## OWNER | CLIENT

**CITY OF SAN ANTONIO**  
114 W. COMMERCE  
SAN ANTONIO, TX 78283

## OWNER'S REPRESENTATIVE

**ALMA NUNEZ**  
210.207.6123  
ALMA.NUNEZ@SANANTONIO.GOV

## SUBCONSULTANT

## REVISIONS

NO.	DATE	DESCRIPTION

## ISSUE SETS

NO.	DATE	DESCRIPTION

SHEET INFORMATION

PROJECT NO.

22054

DATE ISSUED

OCTOBER 3, 2023

**SHEET NAME**

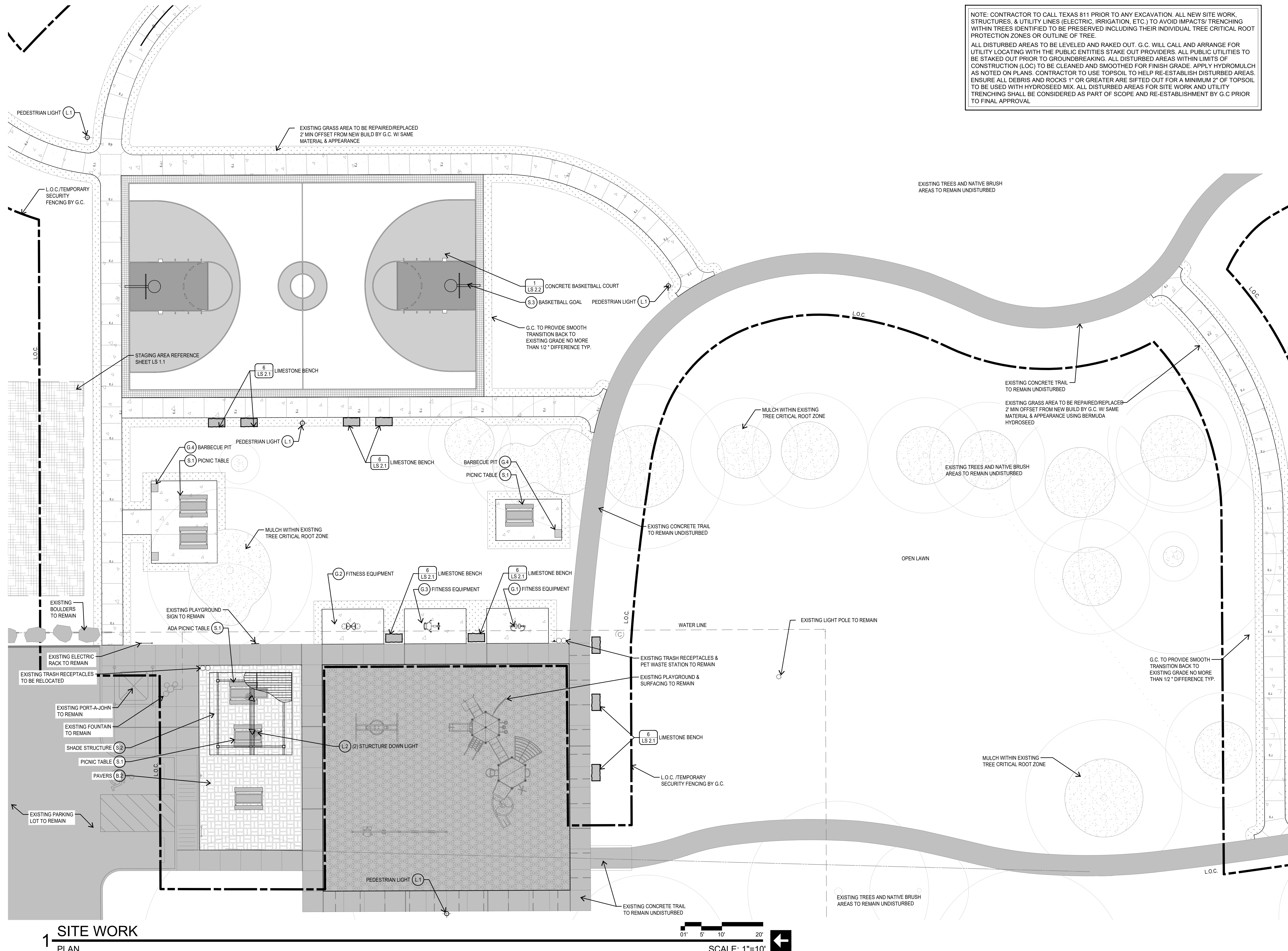
## SITework PLAN

**SHEET NUMBER**

## LS 1.2

NOTE: CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY EXCAVATION, ALL NEW SITE WORK, STRUCTURES, & UTILITY LINES (ELECTRIC, IRRIGATION, ETC.) TO AVOID IMPACTS/ TRENCING WITHIN TREES IDENTIFIED TO BE PRESERVED INCLUDING THEIR INDIVIDUAL TREE CRITICAL ROOT PROTECTION ZONES OR OUTLINE OF TREE.

ALL DISTURBED AREAS TO BE LEVELLED AND RAKED OUT. G.C. WILL CALL AND ARRANGE FOR UTILITY LOCATING WITH THE PUBLIC ENTITIES STAKE OUT PROVIDERS. ALL PUBLIC UTILITIES TO BE STAKED OUT PRIOR TO GROUNDBREAKING. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION (LOC) TO BE CLEANED AND SMOOTHED FOR FINISH GRADE. APPLY HYDROMULCH AS NOTED ON PLANS. CONTRACTOR TO USE TOPSOIL TO HELP RE-ESTABLISH DISTURBED AREAS. ENSURE ALL DEBRIS AND ROCKS 1" OR GREATER ARE SIFTED OUT FOR A MINIMUM 2" OF TOPSOIL. TO WHOEVER IS LOANED FROM ALL DISTURBED AREAS FOR SITE WORK AND UTILITY TRENCING SHALL BE CONSIDERED AS PART OF SCOPE AND RE-ESTABLISHMENT BY G.C. PRIOR TO FINAL APPROVAL.



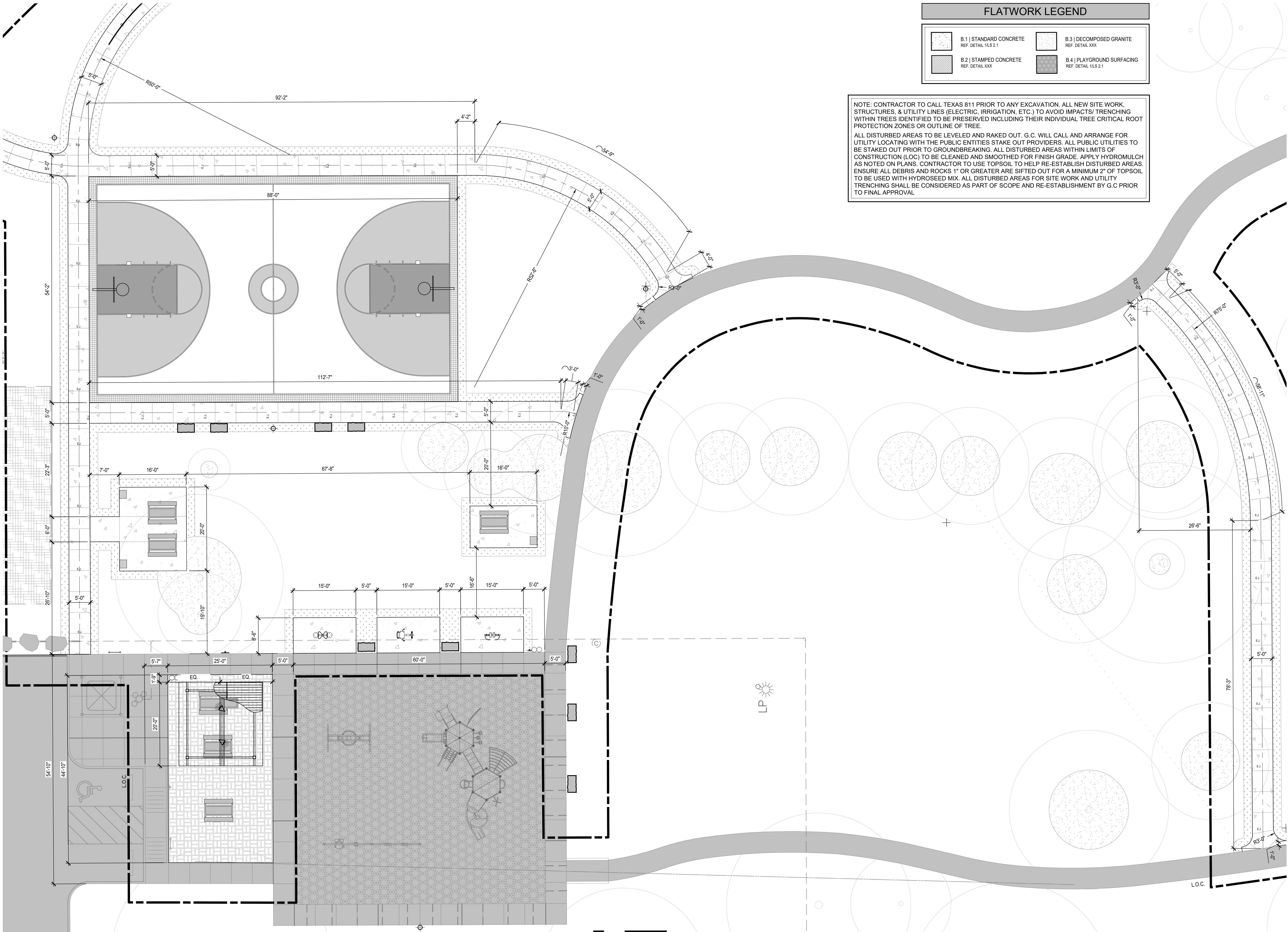
# 1 SITE WORK

01' 5' 10' 20'

SCALE: 1"=10'

←





FLATWORK LEGEND

B.1   STANDARD CONCRETE REF. DETAIL 11.S 2.1	B.3   DECOMPOSED GRANITE REF. DETAIL XXX
B.2   STAMPED CONCRETE REF. DETAIL XXX	B.4   PLAYGROUND SURFACING REF. DETAIL 11.S 2.1

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201 GROVETON | SATX 78210  
210.314.5582 | MPSTUD.IO

STATUS



10-03-2023

PROJECT

JUPE MANOR  
NEIGHBORHOOD  
PARK

PROJECT ADDRESS

3218 KAISER DRIVE  
SAN ANTONIO, TEXAS 78222

OWNER | CLIENT

CITY OF SAN ANTONIO

114 W. COMMERCE  
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

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SHEET INFORMATION

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22054

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OCTOBER 3, 2023

SHEET NAME

SITWORK  
DIMENSION PLAN

SHEET NUMBER

LS 1.3

1 SITE WORK DIMENSION  
PLAN

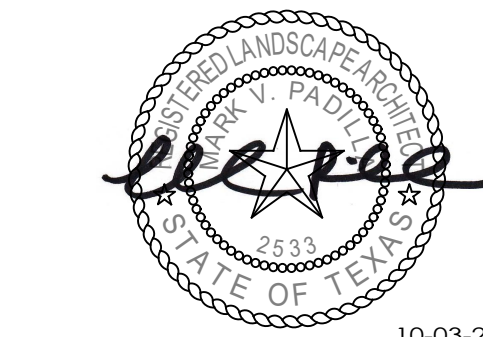


SCALE: 1"=20'









**JUPE MANOR  
NEIGHBORHOOD  
PARK**

**PROJECT ADDRESS**  
3218 KAISER DRIVE  
SAN ANTONIO, TEXAS 78227

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114 W. COMMERCE  
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**OWNER'S REPRESENTATIVE**  
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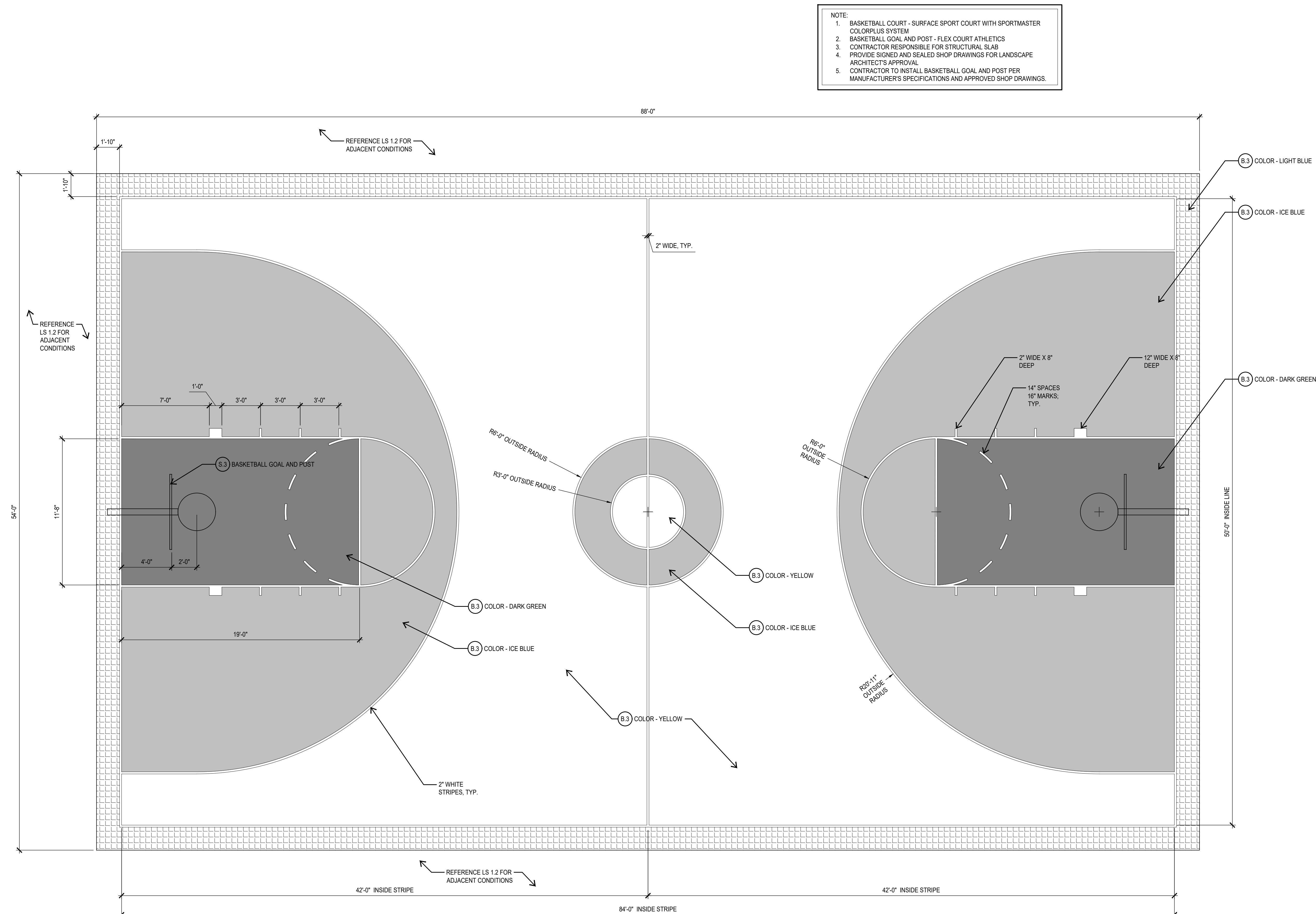
## SHEET INFORMATION

**PROJECT NO.**  
22054  
**DATE ISSUED**  
OCTOBER 3, 2023  
**SHEET NAME**

## SITework DETAIL

**SHEET NUMBER**

## LS 2.2





	<table><tr><th colspan="3">REQUIRED STRUCTURAL SPECIAL INSPECTIONS</th></tr><tr><th>SPECIAL INSPECTION</th><th>FREQUENCY</th><th>REFERENCE STANDARDS</th></tr><tr><td><u>IBC 1704.2.5 - INSPECTION OF FABRICATORS</u></td><td>NOT REQ'D</td><td></td></tr><tr><td>FABRICATION AND IMPLEMENTATION PROCEDURES. THE SPECIAL INSPECTOR SHALL VERIFY THAT THE FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVIDE A BASIS FOR INSPECTION CONTROL OF THE WORKMANSHIP AND THE FABRICATOR'S ABILITY TO CONFORM TO APPROVED CONSTRUCTION DOCUMENTS AND REFERENCE STANDARDS. THE SPECIAL INSPECTOR SHALL REVIEW THE PROCEDURES FOR COMPLETENESS AND ADEQUACY RELATIVE TO THE CODE REQUIREMENTS FOR THE FABRICATOR'S SCOPE OF WORK.</td><td>CONTINUOUS</td><td></td></tr><tr><td>EXCEPTION: SPECIAL INSPECTIONS SHALL NOT BE REQUIRED WHERE THE FABRICATOR IS APPROVED IN ACCORDANCE WITH IBC SECTION 1704.2.5.2.</td><td></td><td></td></tr><tr><td><u>IBC 1705.3 - CONCRETE CONSTRUCTION</u></td><td></td><td></td></tr><tr><td>1. INSPECTION OF REINFORCING STEEL, INCLUDING PRE STRESSING TENDONS, AND PLACEMENT.</td><td>PERIODIC</td><td>ACI 318: 3.5, 7.1-7.7 IBC 1910.4</td></tr><tr><td>2. INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH ABOVE REQUIREMENTS SET FORTH IN IBC 1705.2.2 - STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL</td><td></td><td></td></tr><tr><td>3. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USED</td><td>PERIODIC</td><td>ACI 318: 8.1.3, 21.2.8 IBC 1909.5, 1909.1</td></tr><tr><td>4. 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PERIODIC		<p><b>STRUCTURAL SPECIAL INSPECTION NOTES:</b></p> <p><b>SI-1</b> SPECIAL INSPECTIONS ARE NOT REQUIRED FOR CONSTRUCTION OF A MINOR NATURE OR AS WARRANTED BY CONDITIONS IN THE JURISDICTION AS APPROVED BY THE BUILDING OFFICIAL.</p> <p><b>SI-1</b> UNLESS OTHERWISE REQUIRED BY THE BUILDING OFFICIAL, SPECIAL INSPECTIONS ARE NOT REQUIRED FOR GROUP 1 OCCUPANCIES THAT ARE ACCESSORY TO A RESIDENTIAL OCCUPANCY INCLUDING, BUT NOT LIMITED TO, THOSE LISTED IN IBC SECTION 312.1.</p> <p><b>SI-2</b> THE OWNER OR THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE APPROVED AGENCIES TO PERFORM INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED UNDER SECTION 1705 OF THE INTERNATIONAL BUILDING CODE (2018). THESE INSPECTIONS ARE IN ADDITION TO THE INSPECTIONS IDENTIFIED IN SECTION 110.</p> <p><b>SI-3</b> DUTIES AND RESPONSIBILITIES OF THE SPECIAL INSPECTOR:</p> <ol style="list-style-type: none"><li>THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON EMPLOYED OR RETAINED BY AN APPROVED AGENCY WHO SHALL PROVE TO THE SATISFACTION OF THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND THE BUILDING OFFICIAL THAT HE/SHE HAS THE COMPETENCE NECESSARY TO INSPECT A PARTICULAR TYPE OF CONSTRUCTION REQUIRING SPECIAL INSPECTION.</li><li>THE SPECIAL INSPECTOR IS RESPONSIBLE TO REVIEW THE APPROVED CONSTRUCTION DOCUMENTS THOROUGHLY AND SUFFICIENTLY AHEAD OF CONSTRUCTION TO ESTABLISH THEIR ABILITY TO INSPECTION OF THOSE ITEMS ENTRUSTED TO THEM. ALL ERRORS AND/OR OMISSIONS IN THE APPROVED PLANS THAT CREATE AND FORM OF AMBIGUITY OR DOUBT FOR THE SPECIAL INSPECTOR SHALL BE BROUGHT TO THE ATTENTION OF THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE.</li><li>THE SPECIAL INSPECTOR IS RESPONSIBLE FOR VERIFICATION OF ITEMS DETAILED IN THE DESIGN DRAWINGS AND SPECIFICATIONS BUILT INTO THE PROJECT.</li><li>THE SPECIAL INSPECTOR SHALL NOT SUGGEST, DIRECT, OR APPROVE DEVIATION FROM THE DESIGN DRAWINGS AND SPECIFICATIONS OR THE APPROVED SHOP AND ERECTION DRAWINGS, OR APPROVE SUCH DEVIATION, WITHOUT THE WRITTEN APPROVAL BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE.</li><li>THE SPECIAL INSPECTOR SHALL BRING NON-COMPLYING ITEMS TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. IF CORRECTING THE NON-COMPLYING ITEMS IS NOT IN A TIMELY MANNER OR IGNORED, THE SPECIAL INSPECTOR IS TO PREPARE, SIGN AND SUBMIT A NOTICE OF NON-COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, THE BUILDING OFFICIAL, THE CONTRACTOR AND THE OWNER.</li><li>THE SPECIAL INSPECTOR IS RESPONSIBLE TO KEEP RECORDS OF INSPECTIONS. THE SPECIAL INSPECTOR SHALL PREPARE, SIGN AND SUBMIT INSPECTION REPORTS TO THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE REPORTS OF REQUIRED SPECIAL INSPECTIONS. REPORTS SHALL INDICATE THAT WORK INSPECTED WAS OR WAS NOT COMPLETED IN CONFORMANCE TO APPROVED CONSTRUCTION DOCUMENTS.</li><li>THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTIONS WAS, TO THE BEST OF THE SPECIAL INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS AND APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE. CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED AT A POINT IN TIME AGREED UPON PRIOR TO THE START OF WORK BY THE APPLICANT AND THE BUILDING OFFICIAL.</li></ol> <p><b>SI-4</b> WHERE SPECIAL INSPECTION REQUIREMENTS DUPLICATE THE REQUIREMENTS OF SPECIFIED QUALITY ASSURANCE TESTING, DUPLICATE INSPECTIONS WILL NOT BE REQUIRED.</p>	<p><b>STRUCTURAL EARTHWORK FOR GRADE SUPPORTED FOUNDATIONS:</b></p> <p><b>SE-1</b> THE CONCRETE FOUNDATION WAS DESIGNED FOR A BUILDING PAD WITH A MAXIMUM PVR OF 1". THE BUILDING PAD WAS DESIGNED AND RECOMMENDATIONS PREPARED BY ECS SOUTHWEST LLP OF SAN ANTONIO IN REPORT NO. 20-1143. BUILDING PAD CUT AND FILL RECOMMENDATIONS FOR A 1" PVR HAVE BEEN REPRODUCED BELOW FOR CONVENIENCE. THE SOILS REPORT ALSO INCLUDES OTHER RECOMMENDATIONS THAT EFFECT THE LONG TERM PERFORMANCE OF THE FOUNDATION WHICH ARE BEYOND THE SCOPE OF HOFFER STRUCTURAL SOLUTION'S SERVICES. THE CONTRACTOR AND OWNER SHALL REVIEW THE SOILS REPORT AND IMPLEMENT RECOMMENDATIONS PROVIDED WITHIN (I.E. LANDSCAPING VEGETATION, ROOT BARRIERS, SITE DRAINAGE, BUILDING PAD DRAINAGE SYSTEMS, ROOF DRAINS, SOIL MOISTURE MAINTENANCE, ETC.)</p> <p><b>SE-2</b> BEFORE ANY CONSTRUCTION IS BEGUN, PERFORM ROUGH GRADING AND CUT SWALES SO THAT GROUNDS WILL DRAIN AWAY FROM THE COURT. MAINTAIN DRAINAGE DURING ALL PHASES OF CONSTRUCTION SO THAT STORM WATER WILL BE CONDUCTED AWAY FROM THE BUILDING. KEEP EXCAVATIONS PUMPED FREE OF STORM WATER AT ALL TIMES.</p> <p><b>SE-3</b> PRECAUTIONS SHALL BE TAKEN TO PROTECT OPEN EXCAVATIONS FROM EXCESSIVE LOSS OR GAIN IN NATURAL MOISTURE LEVEL PRIOR TO PLACEMENT OF BASE MATERIAL. KEEP MOIST DURING DRY WEATHER AND KEEP STORM WATER PUMPED OUT, INCLUDING NIGHTS AND WEEKENDS, DURING RAINS.</p> <p><b>SE-4</b> IN THE AREA OCCUPIED BY THE FOUNDATION, PLUS 1'-0", REMOVE A MINIMUM OF 2'-0" EXPANSIVE SOIL INCLUDING ALL ORGANIC MATERIALS, ROOTS, ETC. FROM THE SITE. DO NOT USE FOR UNDER FLOOR FILL. REMOVE ADDITIONAL MATERIAL AS NECESSARY TO PROVIDE 2'-0" OF SELECT FILL. THE EXCAVATION SHALL BE BENCHMARKED IN HORIZONTAL PLANES AS REQUIRED TO MEET MINIMUM CUT AND FILL REQUIREMENTS.</p> <p><b>SE-5</b> SELECT FILL SHALL CONFORM TO TxDOT SPECIFICATIONS, ITEM 247, TYPE "A" GRADE 2, OR AS APPROVED BY THE GEOTECHNICAL ENGINEER. NO DIRT FILL SHALL BE USED UNDER THE BUILDING FOUNDATION. SUBMIT WRITTEN CERTIFICATION OF COMPLIANCE WITH TxDOT, ITEM 247 SPECIFICATIONS BY TEST PERFORMED ON FIELD EXAMPLES.</p> <p><b>SE-6</b> FOR A DISTANCE OF 1'-0" OUTSIDE OF THE FOUNDATION LINE, AND BEGINNING AT THE LOW END, BUILD UP TO THE ELEVATION OF THE BOTTOM OF THE SLAB WITH SELECT FILL. REFERENCE SE-4 FOR MINIMUM FILL THICKNESS REQUIREMENTS. ALL FILL SHALL BE PLACED IN 8" LOOSE HORIZONTAL LIFTS AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D698 MAINTAINING MOISTURE CONTENT WITHIN 2 PERCENTAGE POINT OF OPTIMUM.</p> <p><b>SE-7</b> PERFORM ALL EARTHWORK DESCRIBED ABOVE BEFORE TRENCHING FOR GRADE BEAMS OR MECHANICAL LINES.</p>	<p>GENERAL NOTES:</p> <p><b>GN-1</b> THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (2021) AS AMENDED AND ADOPTED BY THE CITY OF SAN ANTONIO, AND APPLICABLE INDUSTRY STANDARDS (AISC, ACI, ETC.).</p> <p><b>GN-2</b> DESIGN CRITERIA: DEAD LOADS - THE WEIGHT OF THE MATERIALS FORMING THE PERMANENT PART OF THE BUILDING. A SUPERIMPOSED DEAD LOAD OF 5 PSF HAS BEEN APPLIED FOR MECHANICAL DUCTS, CONDUITS, CEILING, ETC.</p> <table><tr><th colspan="2">LIVE LOADS - IN ACCORDANCE WITH IBC SECTION 1607</th></tr><tr><td>FLOORS:</td><td>N/A</td></tr><tr><td>ALL FLOORS</td><td>100 PSF</td></tr></table> <p><b>LIVE LOADS REDUCTIONS - N/A</b></p> <p><b>EARTHQUAKE LOADS - PER IBC SECTIONS 1613</b></p> <table><tr><th>GEOTECHNICAL CRITERIA - REF. GEOTECHNICAL (REPORT)</th><th></th></tr><tr><td>SOIL BEARING CAPACITY</td><td>1800 PSF</td></tr></table> <p><b>GN-3</b> THE STRUCTURE HAS BEEN DESIGNED TO RESIST DESIGN LOADS ONLY AS A COMPLETED STRUCTURE. CONTRACTOR SHALL CONSIDER ALL LOADS APPLIED TO THE PARTIALLY COMPLETED STRUCTURE AND PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS ARE MADE. ANY PROPOSED APPLICATION OF CONSTRUCTION LOADS WHICH EXCEED THE DESIGN LOADS WILL REQUIRE REANALYSIS AND PROBABLE REDESIGN.</p> <p><b>GN-4</b> THE FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL ENGINEERING STUDY PREPARED BY ECS SOUTHWEST LLP (PROJECT NO. 20-1143, DATED JANUARY 2, 2020). THE GEOTECHNICAL ENGINEERING STUDY REPORT INCLUDES OTHER RECOMMENDATIONS THAT EFFECT THE LONG TERM PERFORMANCE OF THE FOUNDATION WHICH ARE BEYOND THE SCOPE OF HOFFER STRUCTURAL SOLUTION'S SERVICES. THE CONTRACTOR AND OWNER SHALL REVIEW THE SOILS REPORT AND IMPLEMENT RECOMMENDATIONS PROVIDED WITH (I.E. LANDSCAPING VEGETATION, ROOT BARRIERS, SITE DRAINAGE, ROOF DRAINS, SOIL MOISTURE MAINTENANCE, ETC.)</p> <p><b>GN-5</b> PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR AND FABRICATOR SHALL VERIFY ALL QUANTITIES, DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.</p> <p><b>GN-6</b> VERIFY REQUIREMENTS OF OTHER TRADES (MECHANICAL, ELECTRICAL, ETC.) PRIOR TO PROCEEDING WITH FABRICATION OR INSTALLATION OF MATERIALS.</p> <p><b>GN-7</b> UTILITIES PENETRATING BUILDING SHALL BE FLEXIBLE, USING SLEEVE JOINTS, BENDS, LOOPS, ETC. TO PERMIT MOVEMENTS DUE TO EXPANSIVE UNDERLYING SOILS.</p> <p><b>GN-8</b> THE DETAILS DESIGNATED AS "TYPICAL DETAILS", APPLY GENERALLY TO THE DRAWINGS IN ALL AREAS WHERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN DETAILS.</p> <p><b>GN-9</b> COMPLETED SHOP DRAWINGS SHALL BE PROVIDED FOR FABRICATED ITEMS, REFERENCE INDIVIDUAL SECTIONS FOR SPECIFIC REQUIREMENTS. SUBMIT AN ELECTRONIC COPY IN PDF FORMAT OR A MINIMUM OF FOUR PRINTED COPIES OF EACH SUBMITTAL WITH ADDITIONAL COPIES AS DIRECTED BY THE ARCHITECT. SHOP DRAWINGS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR AND SUBMITTED THROUGH THE ARCHITECT/ENGINEER PRIOR TO FABRICATION. THE STRUCTURAL DRAWINGS ARE COPYRIGHTED AND SHALL NOT BE REPRODUCED FOR SHOP DRAWINGS.</p> <p><b>GN-10</b> CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER AT LEAST 24 HOURS IN ADVANCE OF ANY CONCRETE POUR OR OTHER ACTION THAT WILL COVER UP STRUCTURAL ELEMENTS SO THE ENGINEER CAN CONDUCT PERIODIC SITE OBSERVATIONS AS REQUIRED TO PROVIDE A FINAL LETTER OF GENERAL COMPLIANCE TO THE OWNER AND/OR BUILDING AUTHORITY. PERIODIC SITE OBSERVATIONS ARE SOLELY FOR THE PURPOSE OF DETERMINING IF THE WORK IS PROCEEDING IN GENERAL ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND ARE NOT INTENDED TO BE A COMPREHENSIVE OR EXHAUSTIVE CHECK OF THE QUALITY AND/OR QUANTITY OF THE WORK. THESE OBSERVATIONS DO NOT CONSTITUTE THE SPECIAL INSPECTION REQUIREMENTS OF THE IBC SECTION 1704.</p> <p><b>GN-11</b> THE ENGINEER SHALL NOT HAVE CONTROL OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK; FOR THE ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p><b>GN-12</b> THE OWNER SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY TO PERFORM CONSTRUCTION MATERIALS TESTING FOR THE PROJECT. REFERENCE SPECIFIC SECTIONS FOR TESTING REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNER OF THIS REQUIREMENT AND COORDINATE THESE SERVICES AS NECESSARY THROUGHOUT THE PROCESS OF CONSTRUCTION.</p> <p><b>GN-13</b> ASSUMPTIONS HAVE BEEN MADE BY THIS OFFICE REGARDING EXISTING CONDITIONS. ACTUAL CONDITIONS MAY VARY FROM THOSE ASSUMED. THE CONTRACTOR IS TO REPORT ANY SUCH DISCREPANCIES TO THE ENGINEER FOR POSSIBLE MODIFICATIONS NEEDED TO THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH FURTHER WORK.</p>	LIVE LOADS - IN ACCORDANCE WITH IBC SECTION 1607		FLOORS:	N/A	ALL FLOORS	100 PSF	GEOTECHNICAL CRITERIA - REF. GEOTECHNICAL (REPORT)		SOIL BEARING CAPACITY	1800 PSF																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
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<u>IBC 1704.2.5 - INSPECTION OF FABRICATORS</u>	NOT REQ'D																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
FABRICATION AND IMPLEMENTATION PROCEDURES. THE SPECIAL INSPECTOR SHALL VERIFY THAT THE FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVIDE A BASIS FOR INSPECTION CONTROL OF THE WORKMANSHIP AND THE FABRICATOR'S ABILITY TO CONFORM TO APPROVED CONSTRUCTION DOCUMENTS AND REFERENCE STANDARDS. THE SPECIAL INSPECTOR SHALL REVIEW THE PROCEDURES FOR COMPLETENESS AND ADEQUACY RELATIVE TO THE CODE REQUIREMENTS FOR THE FABRICATOR'S SCOPE OF WORK.	CONTINUOUS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
EXCEPTION: SPECIAL INSPECTIONS SHALL NOT BE REQUIRED WHERE THE FABRICATOR IS APPROVED IN ACCORDANCE WITH IBC SECTION 1704.2.5.2.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
<u>IBC 1705.3 - CONCRETE CONSTRUCTION</u>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
1. INSPECTION OF REINFORCING STEEL, INCLUDING PRE STRESSING TENDONS, AND PLACEMENT.	PERIODIC	ACI 318: 3.5, 7.1-7.7 IBC 1910.4																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
2. INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH ABOVE REQUIREMENTS SET FORTH IN IBC 1705.2.2 - STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
3. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USED	PERIODIC	ACI 318: 8.1.3, 21.2.8 IBC 1909.5, 1909.1																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
4. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS	PERIODIC	ACI 318: 3.8.6, 8.1.3, 21.2.8 IBC 1909.1																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
5. VERIFYING USE OF REQUIRED DESIGN MIX	PERIODIC	ACI 318: CH4.5.2-5.4 IBC 1904.2, 1910.2, 1910.3																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
6. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TEST, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	CONTINUOUS	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8 IBC 1910.10																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
7. INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	CONTINUOUS	ACI 318: 5.9.5, 10 IBC 1910.6, 1910.7, 1910.8																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
8. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUE	PERIODIC	ACI 318: 5.11-5.13 IBC 1910.9																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
9. VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO STRESSING OF TENDONS IN POST TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS	PERIODIC	ACI 318: 6.2																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
11. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED	PERIODIC	ACI 318: 6.1.1																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
<u>IBC 1705.6 - SOILS</u>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
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1. WHERE IBC SECTION 1803 DOES NOT REQUIRE REPORTING OF MATERIALS AND PROCEDURES FOR FILL PLACEMENT, THE SPECIAL INSPECTOR SHALL VERIFY THAT THE IN-PLACE DRY DENSITY OF THE COMPACTED FILL IS NOT LESS THAN 90 PERCENT OF THE MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH ASTM D 1557.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
VERIFICATION THAT PROPER MATERIALS AND PROCEDURES ARE USED DURING FILL PLACEMENT IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT	PERIODIC																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY	PERIODIC																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	PERIODIC																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	PERIODIC																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESS DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	CONTINUOUS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT THE SITE HAS BEEN PREPARED PROPERLY.	PERIODIC																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
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201 GROVETON | SATX 78210  
210.314.5582 | MPSTUD.IO



10-2-23

**JUPE MANOR  
NEIGHBORHOOD  
PARK**

### PROJECT ADDRESS

3218 KAISER DRIVE  
SAN ANTONIO, TEXAS 78222

## OWNER | CLIENT

**CITY OF SAN ANTONIO**  
114 W. COMMERCE  
SAN ANTONIO, TX 78283

**OWNER'S REPRESENTATIVE**

**ALMA NUNEZ**  
210.207.6123  
ALMA.NUNEZ@SANANTONIO.GOV

**SUBCONSULTANT**

**HOFFER  
STRUCTURAL  
SOLUTIONS**  
(210)646-1665  
WWW.HOFFERSS.COM  
TX Firm Reg No. F-21750

## REVISIONS

NO.	DATE	DESCRIPTION

## ISSUE SETS


## SHEET INFORMATION

**PROJECT NO.**  
22054  
**DATE ISSUED**  
OCTOBER 3, 2023  
**SHEET NAME**

## GENERAL, NOTES & DETAILS

**SHEET NUMBER**

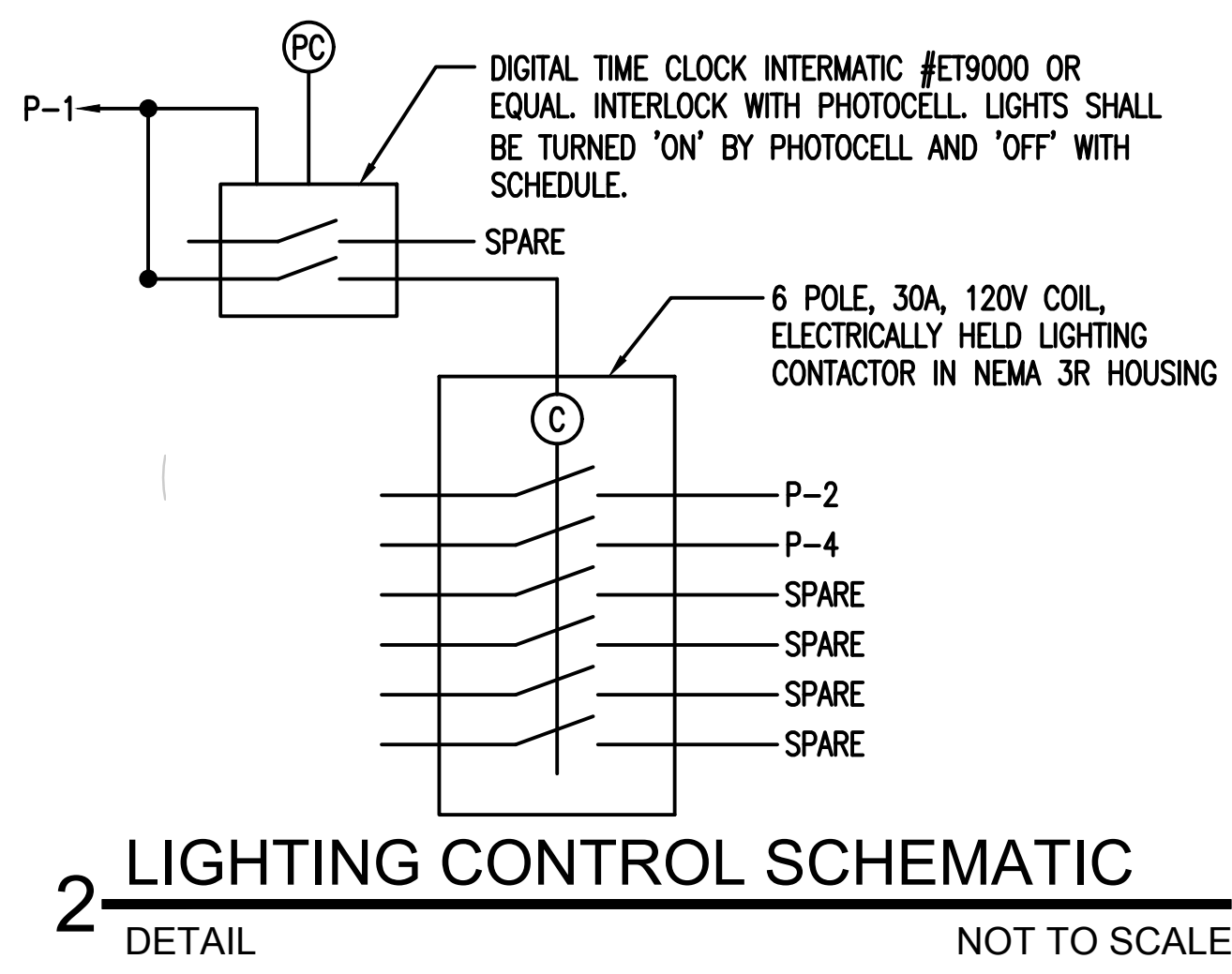
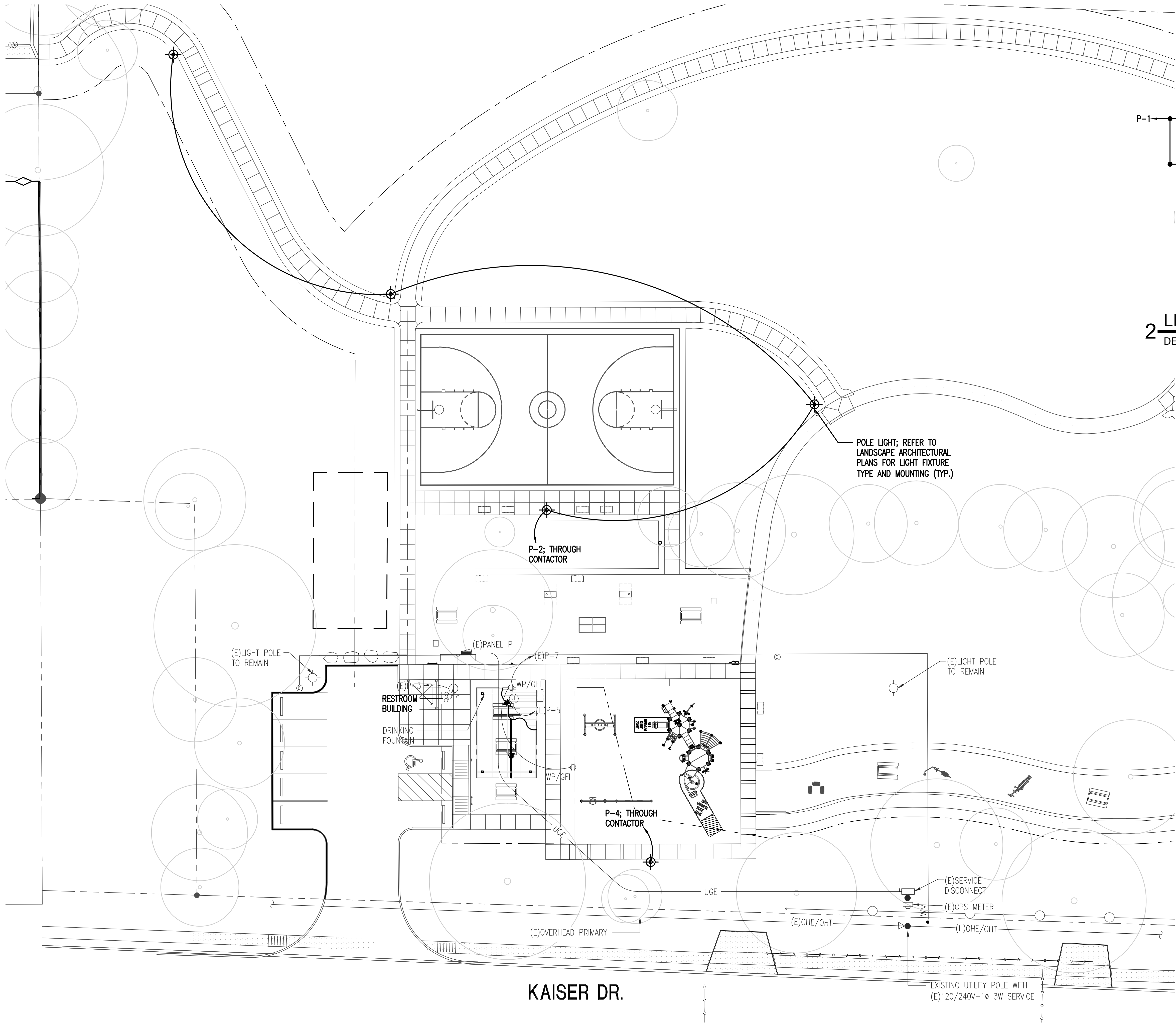
—

# S.I.U.









1 ELECTRICAL SITE PLAN  
PLAN  
SCALE: 1/16"=1'-0"

STATE OF TEXAS  
Professional Engineer  
STEPHEN MITCHELL  
99313  
EXP. 3-31-24  
ENGINEERING & COMMISSIONING  
**SKYE MEP**  
8610 Broadway, Suite 415  
San Antonio, Texas 78217  
State of Texas Firm Registration No. F-19468  
Job No. 19056

**MP**  
STUDIO  
201 GROVETON | SATX 78210  
210.314.5582 | MPSTUD.IO  
STATUS  
PROJECT  
**JUPE MANOR  
NEIGHBORHOOD  
PARK  
DEVELOPMENT**  
PROJECT ADDRESS  
3218 KAISER ROAD  
SAN ANTONIO, TEXAS 78222  
OWNER | CLIENT  
**CITY OF SAN ANTONIO**  
114 W. COMMERCE  
SAN ANTONIO, TX 78283  
OWNER'S REPRESENTATIVE  
**ALMA NUNEZ**  
210.207.6123  
ALMA.NUNEZ@SANANTONIO.GOV

SUBCONSULTANT		
REVISIONS		
ISSUE SETS		
NO.	DATE	DESCRIPTION
SHEET INFORMATION		
PROJECT NO.		
19056		
DATE ISSUED		
SEPTEMBER 29, 2023		
SHEET NAME		
ENLARGED ELECTRICAL PLAN		
SHEET NUMBER		
E1.1		





PANEL TYPE :	NEMA 3R
MOUNTING:	SURFACE
FED FROM:	SEE RISER

LOAD ANALYSIS  
PROJECT: JUPE MANOR PARK - COSA  
AREA (SF): N/A VOLTS:

LOAD DESCRIPTION			CONNECTED KVA	DIVERSITY	DEMAND KVA
RECEPTACLES:			2	1.0/0.5	2
LIGHTING:			1	1.25	1
FUTURE LIGHTING:			1	1.25	1
TOTAL KVA:					4
TOTAL AMPS:					10
SERVICE ENTRANCE SIZE, AMPS:					60

NOTE: NOT ALL MARKS MAY BE USED. DASHED ITEMS INDICATE REMOVAL

28. ALL ELECTRICAL GEAR SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER. TANDEM AND HALF-SPACE CIRCUIT BREAKERS SHALL NOT BE USED.



3218 KAISER ROAD  
SAN ANTONIO, TEXAS 78222

OWNER | CLIENT

OWNER | CLIENT

CITY OF SAN ANTONIO

114 W. COMMERCE  
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

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210.207.6123  
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ALMA.NUNEZ@SANANTONIO.GO



19056

DATE ISSUED

SEPTEMBER 29, 2023

**SHEET NAME**

## Electrical Riser and Details

**SHEET NUMBER**

## E2.1







# JUPE MANOR PARK

New shade pavilion structure with concrete pad replacing  
decomposed granite area

3218 KAISER DR. SAN ANTONIO, TX 78222





New basketball court and walk trails connecting to the existing trail system

