### HISTORIC AND DESIGN REVIEW COMMISSION

### November 01, 2023

HDRC CASE NO: ADDRESS:	<b>2023-421</b> 3218 KAISER DR
LEGAL DESCRIPTION:	NCB 10777 LOT 10 (0.209 AC), 11 (0.209 AC), 12 (0.209 AC), P-4G (0.275 AC) & P-4K (4.086 AC)
ZONING:	NP-8
<b>CITY COUNCIL DIST.:</b>	3
APPLICANT:	Raymond Aguilar/MP Studio LA
<b>OWNER:</b>	Alma Nunez/CITY OF SAN ANTONIO
TYPE OF WORK:	Park improvements
<b>APPLICATION RECEIVED:</b>	October 10, 2023
60-DAY REVIEW:	December 9, 2023
CASE MANAGER:	Rachel Rettaliata

### **REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to complete park improvements as part of Phase 3 of the Jupe Manor Neighborhood Park Development project.

### **APPLICABLE CITATIONS:**

### Sec. 35-613. - Relocation of a Landmark or Property Located in a Historic District:

(a)In considering whether to recommend approval or disapproval of a certificate application to relocate a building, object or structure designated a historic landmark or located in a historic district, the historic and design review commission shall be guided by the following considerations:

(1)The historic character and aesthetic interest the building, structure or object contributes to its present setting;(2)Whether there are definite plans for the area to be vacated and what the effect of those plans on the character of the surrounding area will be;

(3)Whether the building, structure, or object can be moved without significant damage to its physical integrity;

(4)Whether the proposed relocation area is compatible with the historical and architectural character of the building, object, or structure.

(5)Balancing the contribution of the property to the character of the historic district with the special merit of the application.

(b)Should an application to relocate a building, object or structure be approved, the historic preservation officer shall ensure that the new location is already zoned historic or shall review whether such location should be designated. (c)The historic preservation officer may approve applications for relocation for properties deemed noncontributing to the historic character of a historic district.

### UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

### UDC Sec 35-642. – New Construction of Buildings and Facilities:

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a

specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

### **FINDINGS:**

- a. The property located at 3218 Kaiser is commonly known as Jupe Manor Neighborhood Park. Jupe Manor Neighborhood Park is located southeast of downtown and is adjacent to Interstate 410. The site is situated with Paula Drive to the north, the I-410 Access Road to the east, Sinclair Road to the south, and Kaiser Drive to the west.
- b. CASE HISTORY The development of the new park received HDRC approval on September 2, 2020, and included the installation of park equipment, a restroom, an open space lawn, a shade structure, a multi-use trail, a natural area, a perimeter fence, picnic seating, a drinking fountain, and lighting. The applicant has returned to the HDRC for approval of Phase 3 of the project, which includes the installation of a walking

trail to the existing trail system, a full court basketball court, a new shade pavilion, additional park lighting, picnic tables, and park benches.

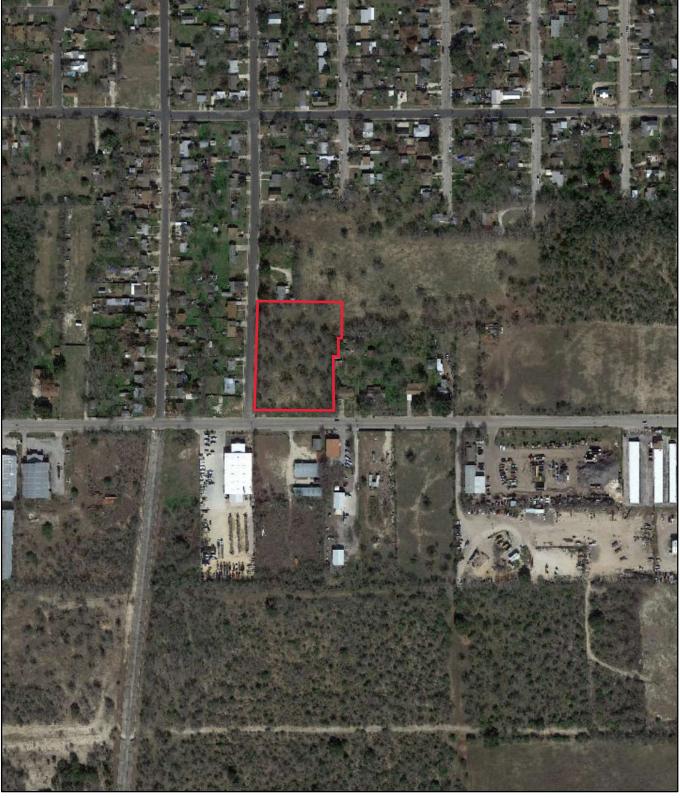
- c. PARK AMENITIES The applicant has proposed to install park amenities such as a full court basketball court, a new shade pavilion, additional park lighting, picnic tables, fitness equipment, limestone benches, barbeque pits, and park benches. The proposed full court basketball court will be located to the east of the existing parking lot and playground area. Staff finds the proposal generally consistent with UDC Sec. 35-642.
- d. SHADE STRUCTURE The applicant has proposed to install a new shade pavilion structure to the south of the existing parking lot and north of the playground area, over a set of picnic tables. The shade structure will be constructed of dark brown metal columns and grey metal shed roofs. The shade structure will total approximately 400 square feet. The materials and colors are appropriate and consistent with UDC Section 35-642b.
- e. WALKWAYS The applicant has proposed to install a walking trail to the existing trail system. The new walkways will connect the existing walking trail to the south of the open lawn, will connect the existing walking trail to the new basketball court, and will extend from the existing parking lot to the north side of the park to Spokane Road and to the east side of the park. The walkway extension to the north of the park will require a gate to be relocated. UDC Sec. 35-642(b)(8) states that the site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places. Staff finds the proposal generally consistent with the UDC Sec. 35-642.
- f. ARCHAEOLOGY The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

### **RECOMMENDATION:**

Staff recommends approval based on findings a through f with the following stipulation:

i. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

# City of San Antonio One Stop



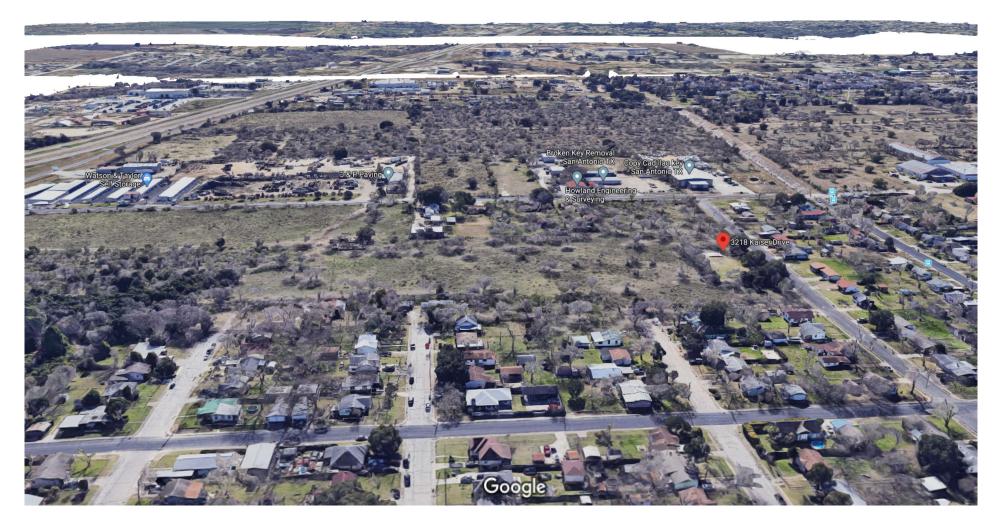
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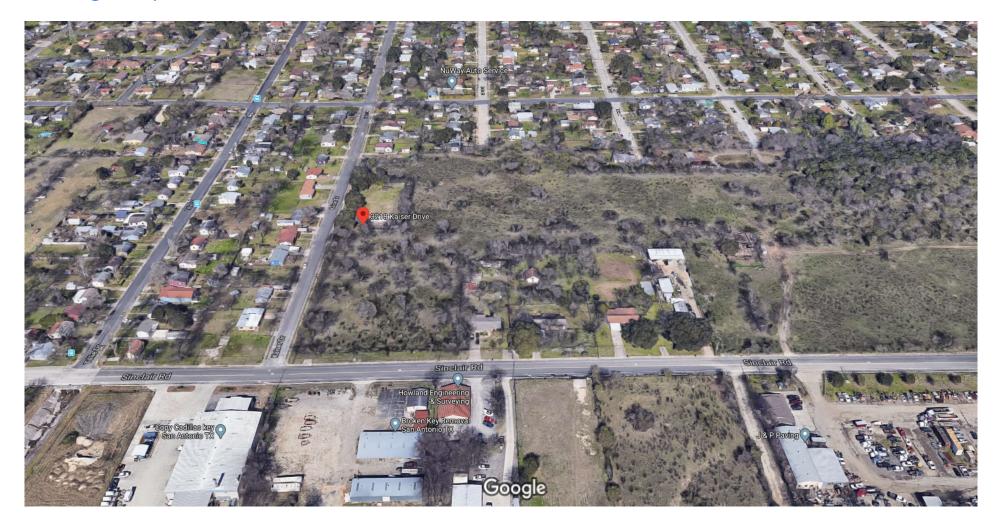


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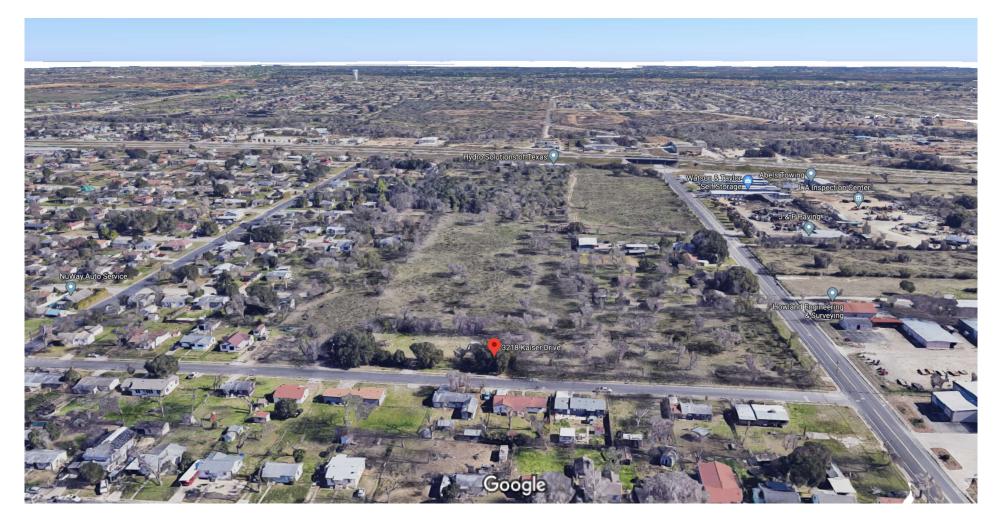


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# JUPE MANOR NEIGHBORHOOD PARK DEVELOPMENT - PHASE III 3218 KAISER DRIVE, SAN ANTONIO, TX 78222

SCOPE OF WORK: PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS NECESSARY TO CONSTRUCT PROPOSED PARK FACILITIES TO INCLUDE DEMOLITION OF EXISTING FENCING AND SELECTIVE HARDSCAPE, INSTALLATION OF PARK FURNISHINGS, BASKETBALL COURT, SHADE STRUCTURE, SECURITY LIGHTING, ASSOCIATED SIDEWALKS AND PAVING AND OTHER AMENITIES AS SHOWN PER THE PLANS AND SPECIFICATIONS.

# **CITY OF SAN ANTONIO**

# mayor **RON NIRENBERG**

city manager ERIK WALSH

director of parks & recreation HOMER GARCIA

council district 1

# SUKH KAUR

council district 2 JALEN MCKEE-RODRIGUEZ

council district 3 PHYLLIS VIAGRAN

council district 4

**ADRIANA ROCHA GARCIA** 

council district 5 **TERI CASTILLO** 

council district 6 MELISSA CABELLO HAVRDA

council district 7

MARINA ALDERETE GAVITO

council district 8 MANNY PELAEZ

council district 9 JOHN COURAGE

council district 10 MARC WHYTE



REFERENC OCTOBER 3, 2023

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GRADING

OCTOBER 3, 2023

SITEWORK OCTOBER 3, 2023 OCTOBER 3, 2023 OCTOBER 3, 2023 OCTOBER 3, 2023

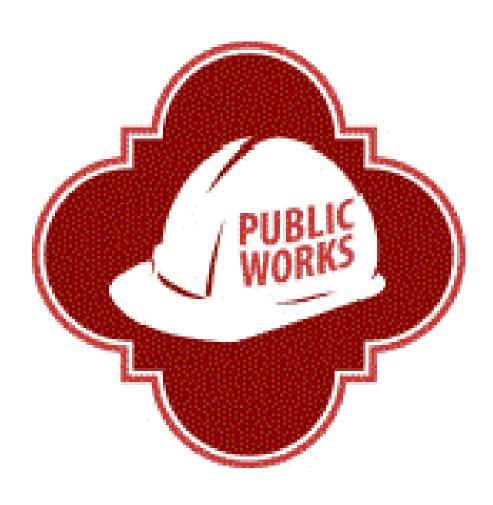
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	INDEX	OF SHEETS	
	ISSUE	SHEET TITLE	SHEET NO.
2	E		
	100% CD SET	COVER SHEET	LC 1.0
	100% CD SET	GENERAL NOTES & MATERIAL SCHEDULE	LC 1.1
	100% CD SET	OVERALL REFERENCE PLAN	LC 1.2
S	SERVATION		
	100% CD SET	TREE PRESERVATION PLAN	TP 1.1
	100% CD SET	TREE INVENTORY & PRESERVATION NOTES & DETAILS	TP 2.1
	100% CD SET	GRADING PLAN	LG 1.1
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	100% CD SET	SITEWORK PLAN	LS 1.1
	100% CD SET	SITEWORK PLAN	LS 1.2
	100% CD SET	SITEWORK DIMENSION PLAN	LS 1.3
	100% CD SET	SITE WORK DETAILS	LS 2.1
	100% CD SET	SITE WORK DETAILS	LS 2.2
	100% CD SET	SHADE STRUCTURE DETAILS	LS 2.3
2	AL		
	100% CD SET	GENERAL NOTES & DETAILS	S1.0
	100% CD SET	FOUNDATION PLAN AND DETAILS	S2.0
	100% CD SET	ENLARGED ELECTRICAL PLAN	E1.1
	100% CD SET	ELECTRICAL RISER AND DETAILS	E2.1
	100% CD SET	ELECTRICAL SPECIFICATIONS	E3.1

# owner

# CITY OF SAN ANTONIO -**PUBLIC WORKS** DEPARTMENT CONTACT: ALMA NUNEZ

114 WEST COMMERCE ST. SAN ANTONIO, TEXAS 78283 O: 210.207.6123 E: alma.nunez@sanantonio.gov

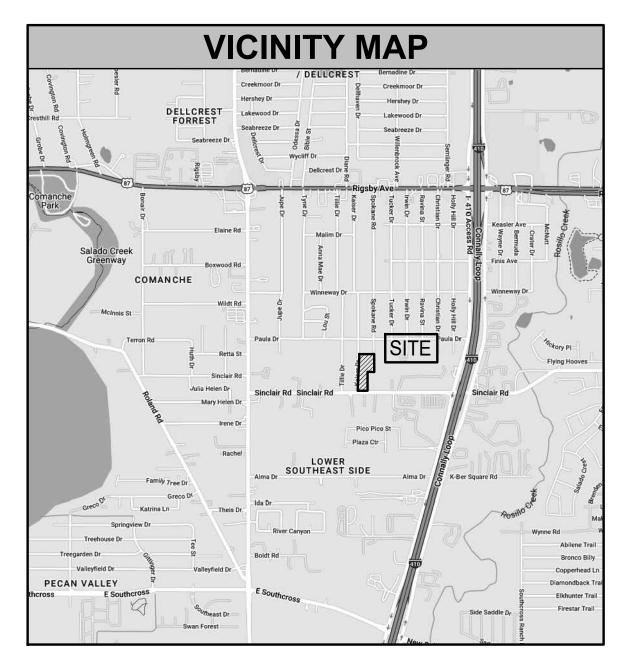
# mep engineer

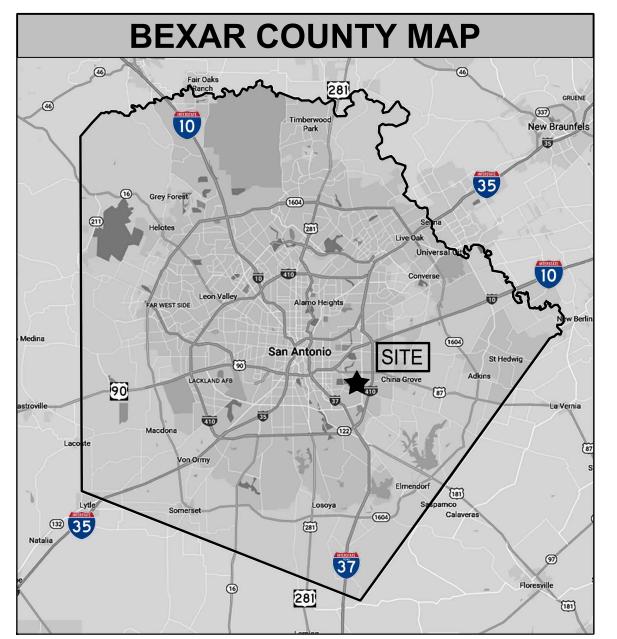
ESA MECHANICAL & ELECTRICAL ENGINEERING, INC. CONTACT: STEPHEN MITCHELL 1100 NW LOOP 410, SUITE 810 SAN ANTONIO, TEXAS 78213 O: 210.342.3483 E: stephen@esaengineers.net

# **A PROJECT BY**

landscape architect **MP STUDIO** 

CONTACT: MARK PADILLA 201 GROVETON STREET SAN ANTONIO, TEXAS 78210 O: 210.314.5582 E: mark@mpstud.io





structural - basketball court HOFFER STRUCTURAL SOLUTIONS CONTACT: MATTHEW HOFFER 845 PROTON RD. SAN ANTONIO, TEXAS 78258

O: 210.646.1665 E: mhoffer@hofferss.com STUDIO

201 GROVETON | SATX 78210 210.314.5582 | MPSTUD.IO

STATUS

PROJECT

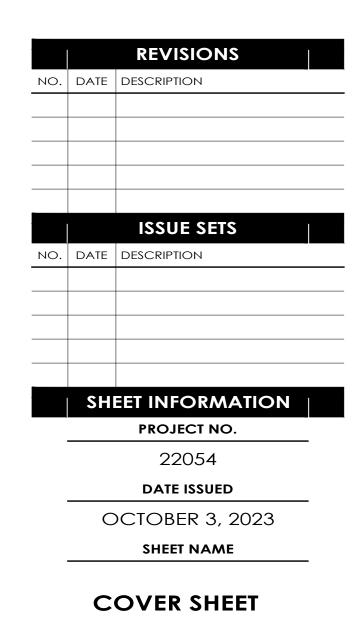
# JUPE MANOR NEIGHBORHOOD PARK

**PROJECT ADDRESS** 3218 KAISER DRIVE SAN ANTONIO, TEXAS 78222

OWNER | CLIENT **CITY OF SAN ANTONIO** 114 W. COMMERCE SAN ANTONIO, TX 78283

**OWNER'S REPRESENTATIVE** ALMA NUNEZ 210.207.6123 ALMA.NUNEZ@SANANTONIO.GOV





SHEET NUMBER



1	00 00 - MASONRY					
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M.1		MESA GRANDE BLOCK: LIMESTONE BLOCK - size: (FULL) 24"HT X 24"W X 60"L size: (HALF) 24"HT X 24"W X 30"L	CREAM	SAWN & CHOPPED	co: AUSTIN BLOCK CO. phone: 833.400.9255 or Approved Substitute	<ul> <li>CONTRACTOR TO CONFIRM BLOCKS SHALL BE FREE FROM CRACK &amp; FLAKING ALONG ALL FACES &amp; EDGES.</li> <li>PROVIDE MORTAR COLOR</li> </ul>
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B.2		PAVERS	LIMESTONE WHITE	NEW BRICK BASKET	co: CITY PARKS DEPT. TONY FORSHAGE	
	1			WEAVE	e: tony.forshage@sanantonio.g	
B.3		BASKETBALL COURT	court:	STANDARD	ov co: SPORT MASTER	
0.0		SURFACING model: SPORTS MASTER SPORT SURFACING SYSTEM	YELLOW border: LIGHT BLUE 3 point area: ICE BLUE key: DARK		SPORT SURFACES phone: 830.420.3335	
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		model: SWITCH GLIDER ZZXX0499	BLACK FEATURES: DARK GREY		LIBBY phone: 806.717.4893 e: dan@pstxi.com	DATA & SAMPLES FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO ORDERING AND INSTALLATION •INSTALL PER MANUFACTURERS' RECOMMENDATION •SUPPLY SPECS FOR APPROVE ALTERNATE
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G.3	ADD ALTERNATE	FITNESS EQUIPMENT model: RECUMBENT BIKE ZZXX0488	FRAME: BLACK FEATURES: DARK GREY	STANDARD		
G.4		BARBECUE GRILL model: ASW-20 ACCESSIBLE PARK GRILL	BLACK	STANDARD	co: PILOT ROCK BY RJ THOMAS MFG. CO. phone: 210.207.3249	
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S.1		PICNIC TABLE model: MONOLINE ADA COMMUNITY TABLE	frame: CAMPFIRE EMBERS table top: WOOD	POWDER COAT	co: SITE PIECES phone: 214.519.1064 e: infor@lightspek.com	•CONTRACTOR TO SUBMIT PRODUCT DATA & SAMPLES FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO ORDERING AND INSTALLATION •INSTALL PER MANUFACTURERS' RECOMMENDATION •SUPPLY SPECS FOR APPROVE ALTERNATE
S.2		SHADE STRUCTURE model: NORTHWEST 20'X20'	columns: DARK BROWN - RAL 6006 roof top and bottom: GREY - RAL 7035	STANDARD	co: PARK PLACE RECREATEION phone: 800.626.0238 e: andy@miracleparkplace.com	
		BASKETBALL GOAL FIRST TEAM LEGEND SUPREME BASKETBALL HOOP - 42"X72" ACRYLIC BACKBOARD 6" SQ. POST, HEAVY DUTY FLEX GOAL, LEGEND EXTENSION ARM	CLEAR ACRYLIC	STANDARD	co: JUST BASKETBALL GOALS phone: 800.543.9020	
S.3						
		LIGHTING				
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26	56 00 - EXTERIOR		COLOR metal: BLACK	FINISH BLACK GLOSS SMOOTH	CONTACT co: 2M LIGHTING contact: ZACK MERRILL phone: 210.599.4040 e: zack@2meli.com	REMARKS •INSTALL PER MANUFACTURERS' RECOMMENDATION •OR •SUPPLY SPECS FOR APPROVE ALTERNATE

# MATERIALS WITH "\* SYMBOL TO BE BID AS ADD ALTERANTE

ITRACTOR SHALL LOCATE AND VERIFY THE CONDITION OF ALL EXISTING UTILITIES, INCLUDING CONTACTING LINE LOCATION SERVICES, PRIOR TO ANY EXCAVATION. ACTOR IS RESPONSIBLE FOR ANY COSTS INCURRED FOR BODILY INJURY AND/OR DAMAGE TO THE OWNER'S PROPERTY OR SAID UTILITIES.

INTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS DRE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.

INTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ASPECTS OF A SAFE WORK SITE INCLUDING, BUT NOT LIMITED TO, PROVIDING FOR TRAFFIC CONTROL, ALATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION AND COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL ILATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.

INTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS ON, OR ADJACENT TO, THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE OVEMENTS CAUSED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.

INTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK REQUIRING INSPECTION IN RDINATING THE PROJECT SCHEDULE.

PROPOSED ALTERNATES OR SUBSTITUTIONS TO THE WORK BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING FOR OVAL. CHANGES TO THE SCOPE OF WORK AND/OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR TITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

INTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF TRASH ON A DAILY BASIS AND MAINTAINING A CLEAN JOBSITE.

INTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS

INTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVICING TEMPORARY TOILET FACILITIES.

NLESS SPECIFIED OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY ALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.

ONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR INING AND PAYMENT OF ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT WITH COSTS INCLUDED IN THE BID. (PLAN REVIEW FEES PAID BY OWNER.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME AWARE OF REQUIRED INSPECTIONS THAT ARE ASSOCIATED WITH PERMITS ISSUED FOR THE AND TO SCHEDULE THESE INSPECTIONS AT THE APPROPRIATE STAGE OF CONSTRUCTION. (EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, ROUGH-IN ELECTRICAL, SH-IN PLUMBING, IRRIGATION PIPING, FOUNDATION STEEL FOR STRUCTURES, INCLUDING WALLS, FIRE INSPECTIONS RELATED TO ENTRY GATES AND STRUCTURES, OTHER INSPECTIONS AS THEY MAY APPLY.)

CONTRACTOR SHALL COORDINATE THE WORK OF SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS ELL AS COORDINATE CONSTRUCTION ACTIVITIES WITH OTHER CONTRACTORS WORKING ON THE SITE.

ONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO JMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK ANY VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.

IPON COMPLETION OF CONSTRUCTION AND PRIOR TO APPROVAL, CONTRACTOR SHALL PROVIDE PROTECTION OF ALL FINISHED WORK IN PLACE, THOROUGHLY CLEAN PROJECT SITE OF ALL TRASH AND CONSTRUCTION DEBRIS AND REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND SETTLING OR EROSION THAT HAS OCCURRED DUE TO CONSTRUCTION ACTIVITIES.

PON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR SUBSTANTIAL COMPLETION INSPECTION TO THE OWNER AND SCAPE ARCHITECT TO DETERMINE ACCEPTABILITY. WHERE INSPECTED WORK DOES NOT COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL REPLACE REJECTED ( AND NOTIFY THE OWNER OR LANDSCAPE ARCHITECT FOR REINSPECTION AS APPROPRIATE FOR ACCEPTANCE AND PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.

F NOTES

# **GENERAL LANDSCAPE NOTES**

APE CONTRACTOR SHALL ACCEPT THE SITE IN ITS EXISTING CONDITION AND SHALL TIE NEW WORK TO EXISTING CONDITIONS AND CONTROLS (SUCH AS EXISTING AND WALK ELEVATIONS) AS NECESSARY TO MEET THE INTENT OF THE PLANS.

CAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY DAMAGE TO ANY UTILITIES OR PROPERTY THAT MAY OCCUR IN THE ION OF HIS CONTRACT WORK. WHEN WORK REQUIRES CROSSING EXISTING WALKS OR CURBS WITH EQUIPMENT, LANDSCAPE CONTRACTOR SHALL PROVIDE /ED BRIDGE MATERIAL SUCH AS WOOD PLANKS AND EARTH TO PREVENT DAMAGE TO FINISHED WORK. LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK THER CONTRACTORS THAT MAY BE WORKING ON THE SITE SIMULTANEOUSLY AND SHALL COORDINATE STAGING OF HIS WORK WITH OWNER AND LANDSCAPE

MERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z60.1 - NURSERY STOCK. EXAS STATE DEPARTMENT OF AGRICULTURE (TDA) - NURSERY FLORAL LICENSING PROGRAM.

/ITTALS FOR REVIEW DUCT DATE: LIST OF CHEMICALS TO BE USED ON SITE.

1 QUART SAMPLES OF EACH SOIL AMENDMENT WITH ANALYTICAL DATA FROM A RECOGNIZED TESTING LABORATORY SHOWING MANUFACTURER'S GUARANTEED ANALYSIS.

1 CUBIC FOOT SAMPLES OF PREMIXED BACKFILL MIXES. RESULTS:

PROVIDE SOIL SAMPLE TEST RESULTS INDICATING PH, FERTILITY LEVELS, AND PERCENTAGES OF SAND, SILT, AND CLAY.

PROVIDE RECOMMENDATIONS FOR SOIL AMENDMENTS AND FERTILIZERS BASED ON SOIL ANALYSIS; FOR CONTRACT PURPOSES, USE MIXTURE SPECIFIED IN THIS SECTION.

T MATERIALS

### CERTIFIED IN ACCORDANCE WITH TDA REQUIREMENTS.

USE SITE GENERATED SOIL FROM PLANTING PREPARATIONS, REASONABLY FREE FROM CLAY LUMPS, COARSE SANDS, STONES, ROOTS, FOREIGN MATTER. IF SUFFICIENT ON-SITE MATERIALS DO NOT EXIST, PROVIDE SIMILAR OFF-SITE TOPSOIL FROM APPROVED LOCAL SOURCE. SUBMIT SAMPLE AND SOURCE FOR APPROVAL PRIOR TO DELIVERY OF ANY SOIL TO SITE.

SHREDDED, COMPOSTED HARDWOOD BARK OF VARYING LENGTH BY NEW EARTH LLC ph. 210-6615180 OR APPROVED SUBSTITUTE. PARTIALLY DECOMPOSED; FREE FROM STICKS, STONES, CLAY, AND GROWTH AND GERMINATION-INHIBITING INGREDIENTS.

AMENDMENTS: SOIL SULFUR: AGRICULTURAL GRADE SULFUR CONTAINING MINIMUM 99 PERCENT SULFUR EXPRESSED A ELEMENTAL.

IRON SULFATE: 20 PERCENT IRON EXPRESSED AS METALLIC IRON DERIVED FROM FERRIC AND FERROUS SULFATE AND 10 PERCENT SULFUR EXPRESSED AS ELEMENTAL. WHEN REQUIRED BY SOIL TESTS. GYPSUM: AGRICULTURAL GRADE, CONTAINING MINIMUM 98 PERCENT CALCIUM SULFATE, WHEN REQUIRED BY SOIL TEST.

HERBICIDE: PRE-EMERGENT TYPE; SURFLAN OR APPROVED SUBSTITUTE.

FERTILIZER FOR TREES AT PLANTING: PLANT HEALTH CARE GROUP "PHC TREE SAVER" APPLIED AS PER P.H.C.G. DIRECTIONS AND APPLICATION RATES. FERTILIZER FOR LAWN: PLANT HEALTH CARE GROUP "PHC FOR TURF 15-1-6" APPLIED AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET. SOIL INOCULATES FOLLOWING TREE PLANTING: PLANT HEALTH CARE GROUP "PHC INJECTABLE INOCULANT FOR TREES". APPLIED AS PER PHCG MIXING DIRECTIONS AND APPLICATION RATES.

FERTILIZER FOR PLANTER BED MIX: PLANT HEALTH CARE GROUP "HEALTHY START 3-4-3" APPLIED AT A RATE OF 25 POUNDS CUBIC YARD OF PLANT BED MIX.

ALL SEED USED SHALL BE HIGH QUALITY, EXTRA FANCY, TREATED LAWN TYPE SEED AT 98% PURITY AND 85% GERMINATION, AND SHALL BE FURNISHED IN SEALED STANDARD CONTAINERS WITH SIGNED COPIES OF A STATEMENT FROM THE VENDOR CERTIFYING THAT EACH CONTAINER OF SEED DELIVERED IS FULLY LABELED IN ACCORDANCE WITH THE TEXAS STATE AGRICULTURAL CODE AND IS EQUAL TO OR BETTER THAN THE REQUIREMENT OF THESE SPECIFICATIONS. LAWN SEED TO BE FREE OF WEEDS OR NOXIOUS GRASS SEEDS. SEED WHICH HAS BECOME WET, MOLDY OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE WILL NOT BE ACCEPTED.

GRASS SEED SCHEDULE: BERMUDA GRASS SEED:

MARCH- OCTOBER SHALL BE SPECIFIED BERMUDA.

OCTOBER- MARCH SHALL BE ANNUAL RYE GRASS.

"HYDRO-MULCH" AS MANUFACTURED BY CONWED, OR APPROVAL EQUAL. THE HYDO-MULCH SHALL BE COMPOSED OF WOOD CELLULOSE FIBER AND CONTAIN NO GERMINATION OR GROWTH-INHIBITING FACTORS.

HYRO-SEEDING ADDITIVE (BINDER): ECOLOGY 'CONTROL-M BINDER' ORGANIC SEEDING ADDITIVE. SOD: PROVIDE FULL, DARK GREEN, UNIFORM, STRONGLY ROOTED SOD IN 16" X 24" STRIPS FREE FROM WEEDS, UNDESIRABLE GRASSES, DISEASES AND PESTS. SOD SHALL BE CUT FROM THE FIELD NO LONGER THAN 48 HOURS BEFORE PLANTING. ROOTS OF SOD SHALL BE KEPT MOIST.

BRACING: TREE ANCHORS SHALL BE AS PER DETAILS. TREE PAINT: MORRISION TREE SEAL, CABORT TREE PAINT, OR OTHER PRODUCT APPROVED BY LANDSCAPE ARCHITECT. 10. PLANTER BED EDGING SHALL BE 3/16"X 4" STEEL EDGING WITH MANUFACTURERS STANDARD GREEN FINISH.

### PART 2 EXECUTION 2.1 PREPARATION

LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE AT APPROXIMATELY FINISH GRADE LESS ANY SETTLEMENT THAT MAY HAVE OCCURRED SINCE SITE CONSTRUCTION AND BACKFILLING. THIS GRADE SHALL BE RAKED TO REMOVE ALL DEBRIS INCLUDING STICKS, CLODS, AND STONES AND SHALL BE FINE GRADED TO ELIMINATE ALL HUMPS, RUTS, DEPRESSIONS AND ABRUPT CHANGES IN GRADE AND ANY AREA THAT COULD CAUSE WATER TO POND. A.) IF VEGETATION IS GROWING IN PLANTING/LAWN AREA, APPLY HERBICIDE AT RATES RECOMMENDED BY MANUFACTURER. ALLOW TO DIE, AND THEN GRUB OUT ROOTS TO MINIMUM 1/2 INCH DEPTH.

### 2.2 LAWN APPLICATION

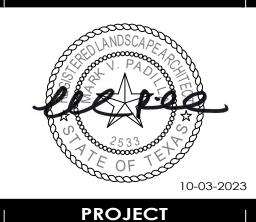
2.2 LA	WN AP	PLICATION
A.) C0	DORDI	NATION:
	1.	HYDROMULCH AND SOD AFTER TRE
	1.	CONTRACTOR TO COORDINATE WIT
B.) PF	REPAR	ATION:
	1.	PRE-PLANT WEED CONTROL:
		IF WEEDS EXIST WITHIN PROPOSEI
		RECOMMENDED AND APPLIED BY
		ACTION BY GRUBBING OFF ALL PLA
	2.	CONTRACTOR TO SCARIFY GROUN
	Ζ.	
	0	GREATER THAN 1" AND DISPOSE O
	3.	IF EXISTING SOIL IN AN AREA IS F
		REPLACE WITH SOIL SUITABLE FOR
	4.	CONTRACTOR TO RAKE ENTIRE ARE
		DRAINAGE AND NO PONDING ON SI
		ANY LARGE (GREATER THAN 1") DIF
		TO APPROVE FINE GRADING PRIOR
C.) H	∕DRON	IULCH APPLICATION:
	1.	FOR ALL HYDROMULCH AREAS, INS
	2.	LAWN AREAS TO BE SEEDED IMMED
		A. SEED (REF. SCHEDULE, 1.6 H
		1). BERMUDA (HULLED) -2
		2). ANNUAL RYE GRASS -
		B. WOOD CELLULOSE FIBER MU
		C. FERTILIZER: "PHC FOR TURF
		D. INCORPORATE A TACKIFIER
	3.	SEED AREAS WITHIN SEEDING LIMIT
	4.	PROTECT EXISTING UTILITIES (INCL
	т.	HYDROMULCHING OPERATION.
	5.	IMMEDIATELY FOLLOWING APPLIC
	5.	PLANTED MATERIAL, ARCHITECTUR
	6	UPON ESTABLISHMENT OF LAWN, A
	6.	
		SPECIFIED PLANT HEALTH GROUP
	_	DAY MAINTENANCE PERIOD.
	7.	DURING THE MONTHS OF OCTOBER
		SHALL RETURN TO THE SITE BETWE
		ESTABLISH A PERMANENT TURF CC
2.3 AC	CEPTA	
A.)	PRIOF	R TO SCHEDULING A <u>SUBSTANTIAL C</u>
		IR ANY DAMAGE TO FINISH GRAD
	COMF	PLETION OF ANY PUNCH LIST ITEMS
	ACCE	PTABLE A CERTIFICATE OF FINAL AC
D١		

END OF NOTES



201 GROVETON | SATX 78210 210.314.5582 | MPSTUD.IO

STATUS



JUPE MANOR

# **NEIGHBORHOOD** PARK

**PROJECT ADDRESS** 3218 KAISER DRIVE SAN ANTONIO, TEXAS 78222

OWNER | CLIENT

CITY OF SAN ANTONIO 114 W. COMMERCE SAN ANTONIO, TX 78283

**OWNER'S REPRESENTATIVE** ALMA NUNEZ 210.207.6123 ALMA.NUNEZ@SANANTONIO.GOV

SUBCONSULTANT

REE. SHRUB AND GROUNDCOVER INSTALLATION IS COMPLETE. /ITH IRRIGATION CONTRACTOR TO INSURE FUNCTIONAL IRRIGATION SYSTEM PRIOR TO ANY LAWN INSTALLATION.

ED LANDSCAPE AREAS AT THE BEGINNING OF WORK, SPRAY WITH A NON SELECTIVE SYSTEMIC CONTACT HERBICIDE, AS AN APPROVED LICENSED APPLICATOR. CLEAR AND REMOVE THESE EXISTING WEEDS UPON HERBICIDE'S COMPLETED ANTS AT LEAST 1/2"-1" BELOW THE SURFACE OF THE SOIL. JND SURFACE TO A MINIMUM 2" DEPTH FOR ALL GRASSES AND REMOVE ALL STICKS, TRASH, ROCKS AND OTHER DEBRIS OFF SITE.

FOUND TO BE CONTAMINATED OR OTHERWISE UNSUITABLE, CONTRACTOR SHALL PROVIDE COST PER CUBIC YARD TO R TURF.

REA, LEVELING ANY IMPERFECTIONS IN THE GRADE. LANDSCAPE CONTRACTOR TO ENSURE THAT THERE WILL BE POSITIVE SITE. FINISHED GRADE OF LAWN AREAS TO BE 1/2" BELOW TOP OF CURBS, SIDEWALKS AND OTHER PAVEMENTS. REMOVE DIRT CLODS, ROCKS, AND TRASH AND PREPARE A SMOOTH, LEVEL, LOOSE AND COARSE SURFACE. LANDSCAPE ARCHITECT R TO ANY LAWN INSTALLATION. LAWN BED SHALL BE MOIST (BUT NOT MUDDY) TO RECEIVE SEED AND SOD.

STALL SOD STRIPS OF BERMUDA GRASS AT ALL BACKS OF CURBS WITHIN THE LIMITS OF CONSTRUCTION. EDIATELY AFTER PREPARATION OF THE BED. APPLY A UNIFORM COAT OF HYDROMULCH AT THE RATES SPECIFIED BELOW:

-2 LBS./1,000 S.F.

S -8 LBS./1,000 S.F.

/ULCH - 60 LBS../1,000 S.F. F" AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET

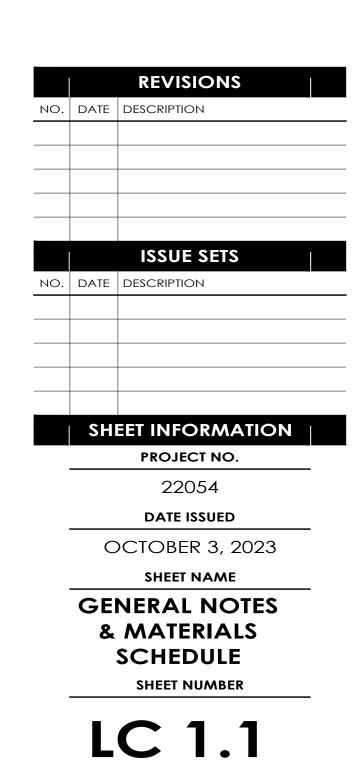
R WITH MULCH CAP. DELAY IRRIGATION 8 HOURS TO PERMIT TACKIFIER TO SET.

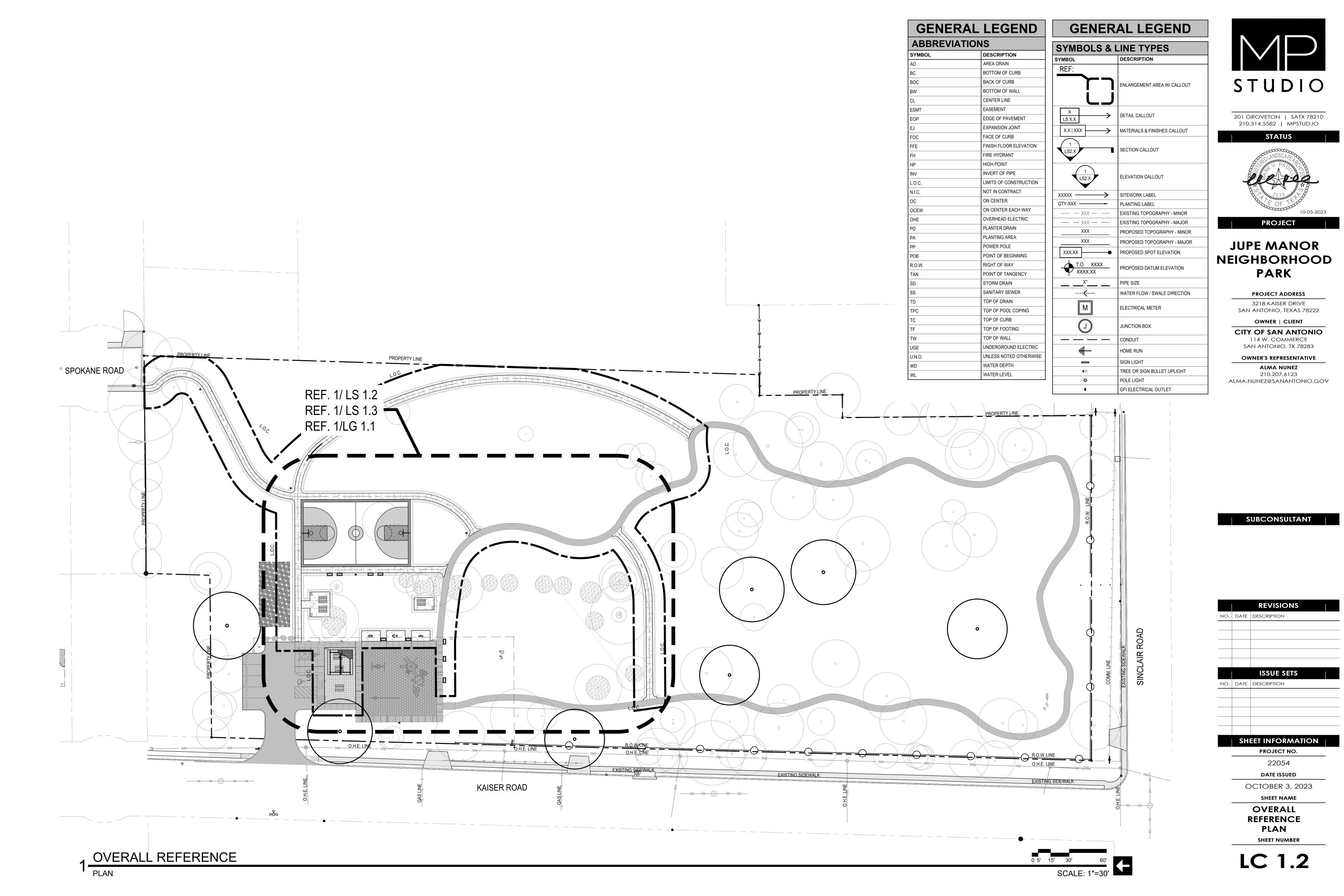
/ITS INDICATED ON THE PLAN AND AREAS DISTURBED BY CONSTRUCTION OPERATIONS LUDING IRRIGATION SYSTEM), PLANTING, PAVING, FENCING, AND OTHER SITE AMENITIES FROM DAMAGE CAUSED BY

CATION OF HYDROMULCH, THE CONTRACTOR SHALL WASH EXCESS HYDROMULCHING MATERIAL FROM PREVIOUSLY JRAL FEATURES, ETC.. CARE SHALL BE EXERCISED TO AVOID WASHING OR ERODING MULCH MATERIALS FROM LAWN AREA. APPLY A POST EMERGENT HERBICIDE FOR CONTROL OF NUT GRASS AND WEEDS. FERTILIZE AT 45 DAY INTERVALS WITH P'S FERTILIZER AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET DURING AT 45 DAY INTERVALS DURING THE 90

ER THROUGH MARCH CONTRACTOR SHALL HYDROSEED ALL LAWN AREAS WITH ANNUAL RYE GRASS. THE CONTRACTOR VEEN APRIL 1ST AND MAY 15 TO RE-PREPARE SEED BED AND HYDROMULCH WITH SPECIFIED BERMUDA SEED IN ORDER TO OVER IN ALL LAWN AREAS.

COMPLETION INSPECTION LANDSCAPE CONTRACTOR SHALL THOROUGHLY CLEAN SITE OF ALL DEBRIS AND TRASH AND DE. WHEN LANDSCAPE WORK IS COMPLETE A SUBSTANTIAL COMPLETION INSPECTION WILL BE HELD. FOLLOWING IS GENERATED FROM THE <u>SUBSTANTIAL COMPLETION INSPECTION</u> A <u>FINAL INSPECTION</u> WILL BE HELD AND IF FOUND CCEPTANCE WILL BE ISSUED. B.) LANDSCAPE CONTRACTOR SHALL CONTINUE MAINTENANCE UNTIL FINAL ACCEPTANCE AT WHICH TIME THE SPECIFIED MAINTENANCE PERIOD WILL BEGIN.





TRIMMED AND PRUNED ACCORDING TO TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE PROTECTION AS SHOWN ON TREE PROTECTION DETAIL ON THIS SHEET.

2. ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.

3. NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY CITY INSPECTOR.

4. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.

5. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.

6. THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS 1 FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE WOULD HAVE A 5-FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. LIVE OAK WOUNDS SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT OAK WILT.

7. ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.

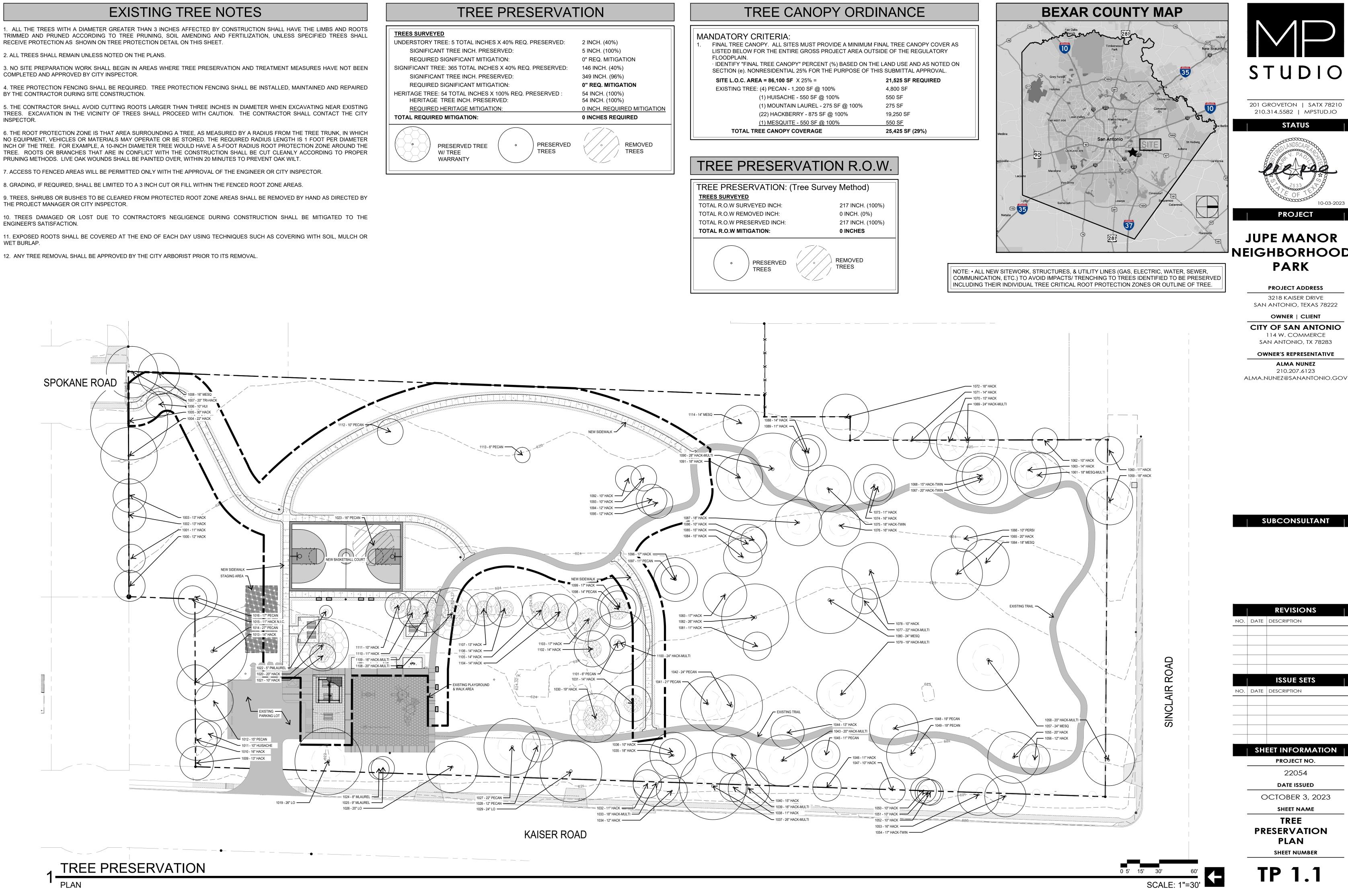
8. GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.

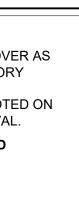
9. TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.

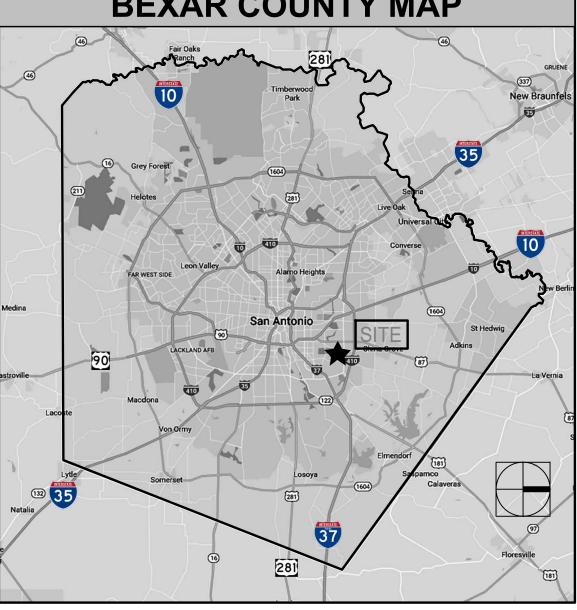
10. TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION.

11. EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.

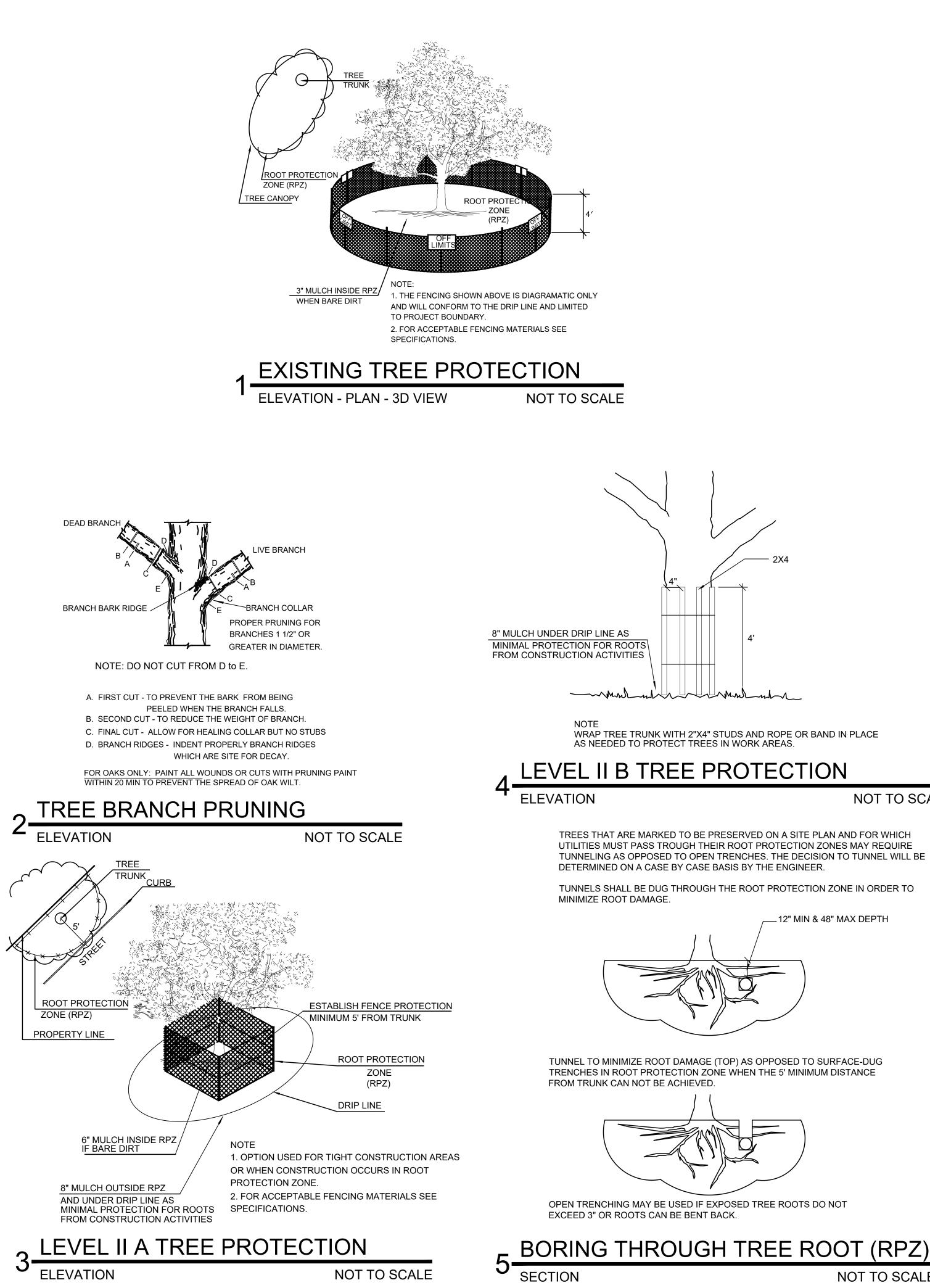
12. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.







# **NEIGHBORHOOD**



	JUPE MANOR PHASE 2 TREE INVENTORY												
		Tree Caliper											Additional Inches Preserved for Mitigation
			•	y Species*	-	ant Tree	-	nt Tree**					***
<b>T</b> 11	0			11.5"		23.5"		- 23.5"		ige 3:1		age 1:1	
Tag #	Species	0.01	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Preserved
1005	HACKBERRY	30"						40				30	
1006	HUISACHE	10"						10					
1007	HACKBERRY	20"						20					
1008	MESQUITE	16"						16					
1020	HACKBERRY	20"						20					
1021		10"						10					
1022 1023	MOUNTAIN LAUREI PECAN	5" 16"		5	10						<b> </b>		
					16			10					
1030	HACKBERRY	19"						19					
1031	HACKBERRY	14"						14					
1092	HACKBERRY	10"						10					
1093	HACKBERRY	10"						10					
1094	HACKBERRY	12"						12					
1095	HACKBERRY	12"				4.4		12					
1098	PECAN	14"				14		47					
1099	HACKBERRY	17"						17				0.4	
1100	HACKBERRY	24"										24	
1101	PECAN	6"				6		4.4					
1102	HACKBERRY	14"						14					
1103	HACKBERRY	17"						17					
1104	HACKBERRY	14"						14					
1105	HACKBERRY	14"						14					
1106	HACKBERRY	14"						14					
1107	HACKBERRY	13"						13					
1108	HACKBERRY	20"						20					
1109	HACKBERRY	16"						16					
1110	HACKBERRY	11"						11					
1111	HACKBERRY	10"						10					
1112	PECAN	10"				10					ļ		
1113	PECAN	6"				6					ļ		
	Sub Tot Inchas-			-	40			040					
	Sub. Tot. Inches= tal inches by catego	n/-	0	5	16	36 52	0	313 313		0	-	54 54	
	eservation percentage	-	10	5 0%		52 Significant			leritage Pr	J S		0%	
	ion required (Comme			0% 3		al (inches)		03	_				
-	tion required (Reside	,	-	•		I (inches)=			Heritage	Mitigation	(inches)=	0	
iminga			1		I. Condenda				1				

	JUPE MANOR PARK TREE INVENTORY R.O.W												
		Tree Caliper	5.0" -		6" -	ant Tree 23.5''	10.0"	nt Tree** - 23.5''		ige 3:1		age 1:1	Additional Inches Preserved for Mitigation ***
Tag #	Species		Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Preserved
1015	HACKBERRY N.I.C	11"						11					
1032	HACKBERRY	11"						11					
1033	HACKBERRY	18"						18					
1034	HACKBERRY	12"						12					
1037	HACKBERRY	26"										26	
1038	HACKBERRY	11"						11					
1039	HACKBERRY	16"						16					
1047	HACKBERRY	10"						10					
1051	HACKBERRY	10"						11					
1052	HACKBERRY	10"						12					
1053	HACKBERRY	10"						13					
1054	HACKBERRY	17"						17					
1058	HACKBERRY	20"						20					
1059	HACKBERRY	11"						11					
1060	HACKBERRY	18"						18					
Ta	Sub. Tot. Inches=	2/-	0	0	0	0	_	191 191	0	0	0	26 26	
	tal inches by catego	-	<u>ب</u> احیا	•		v			le vite v e . Dr	0			
	reservation percentag			V/0!		Significant			neritage Pr	eservation	10	0%	
	ion required (Comme tion required (Reside		(	)		al (inches)= Il (inches)=		4.6	Heritage Mitigation (inches)= 0				

1. ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE PROTECTION AS SHOWN ON TREE PROTECTION DETAIL ON THIS SHEET.

2. ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.

3. NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY CITY INSPECTOR.

4. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.

5. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.

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7. ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.

8. GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.

9. TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.

10. TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION.

11. EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP. 12. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.

WRAP TREE TRUNK WITH 2"X4" STUDS AND ROPE OR BAND IN PLACE

NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO

\_12" MIN & 48" MAX DEPTH

NOT TO SCALE

# **EXISTING TREE NOTES**



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PROJECT

# JUPE MANOR **NEIGHBORHOOD** PARK

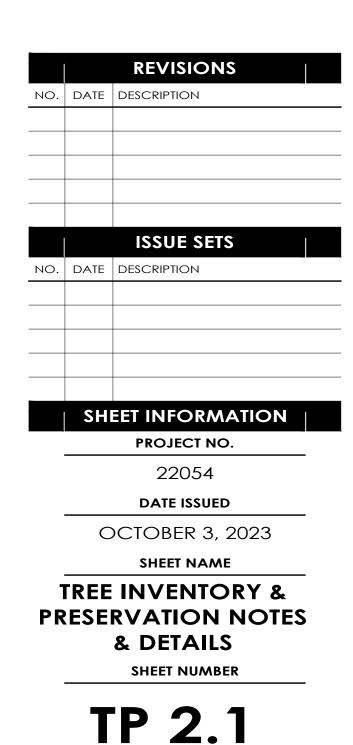
### **PROJECT ADDRESS**

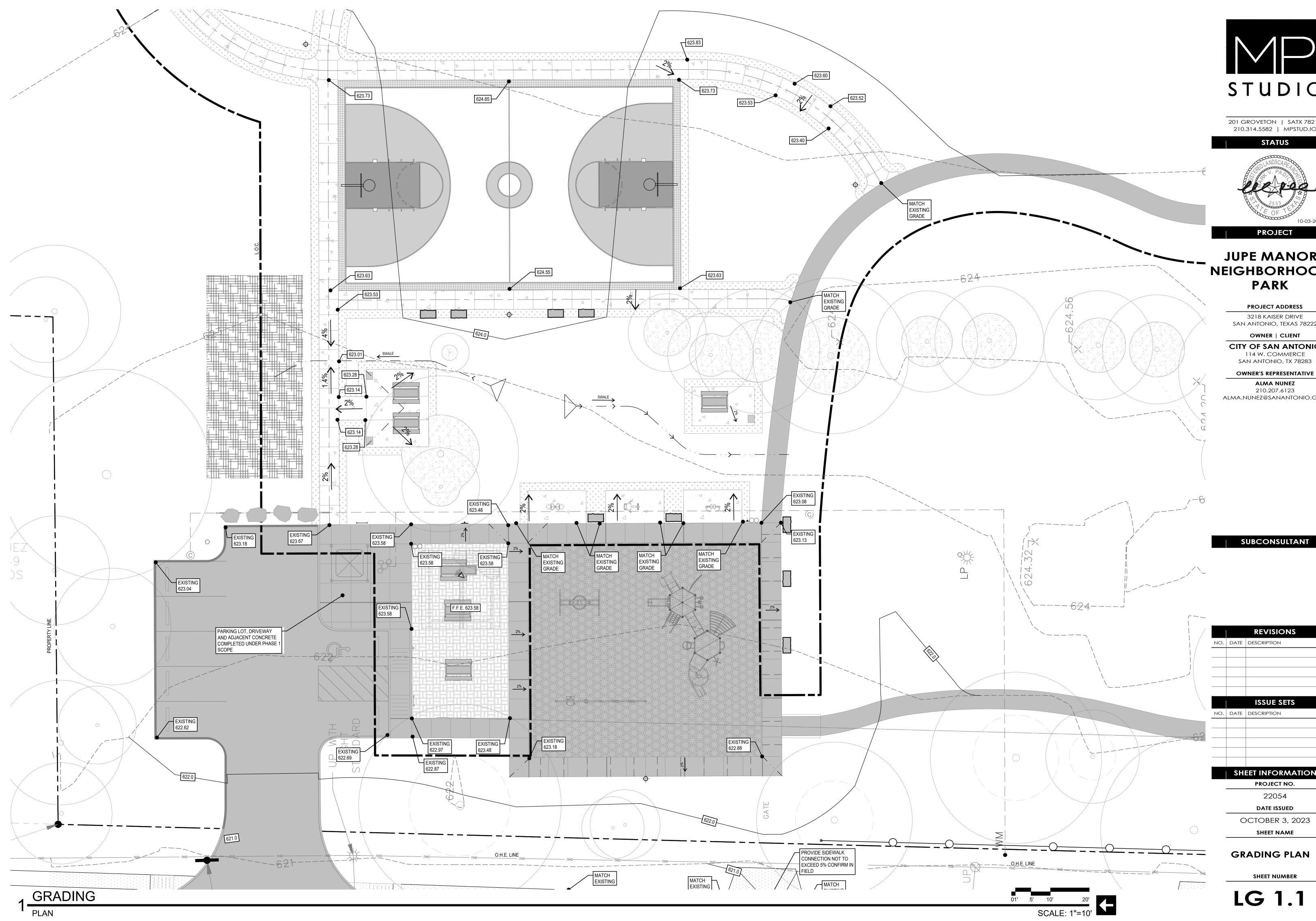
3218 KAISER DRIVE SAN ANTONIO, TEXAS 78222 OWNER | CLIENT

**CITY OF SAN ANTONIO** 114 W. COMMERCE SAN ANTONIO, TX 78283

**OWNER'S REPRESENTATIVE** ALMA NUNEZ 210.207.6123 ALMA.NUNEZ@SANANTONIO.GOV

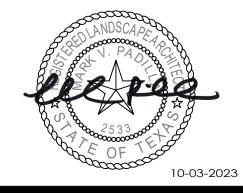
SUBCONSULTANT







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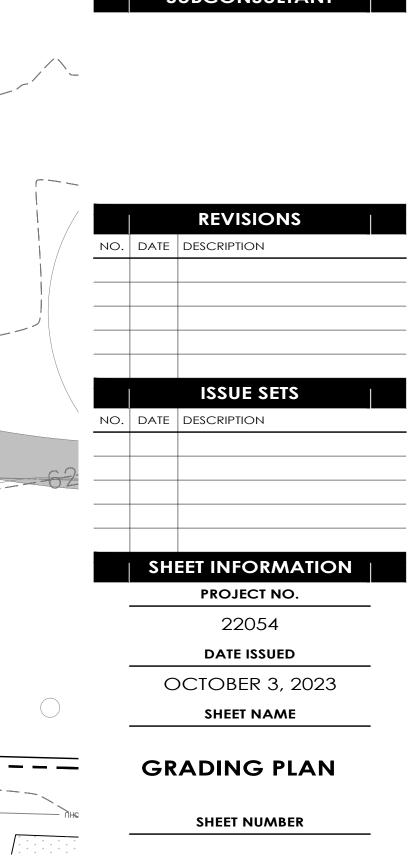


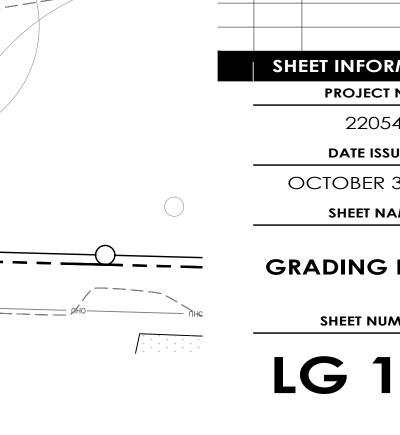
JUPE MANOR NEIGHBORHOOD

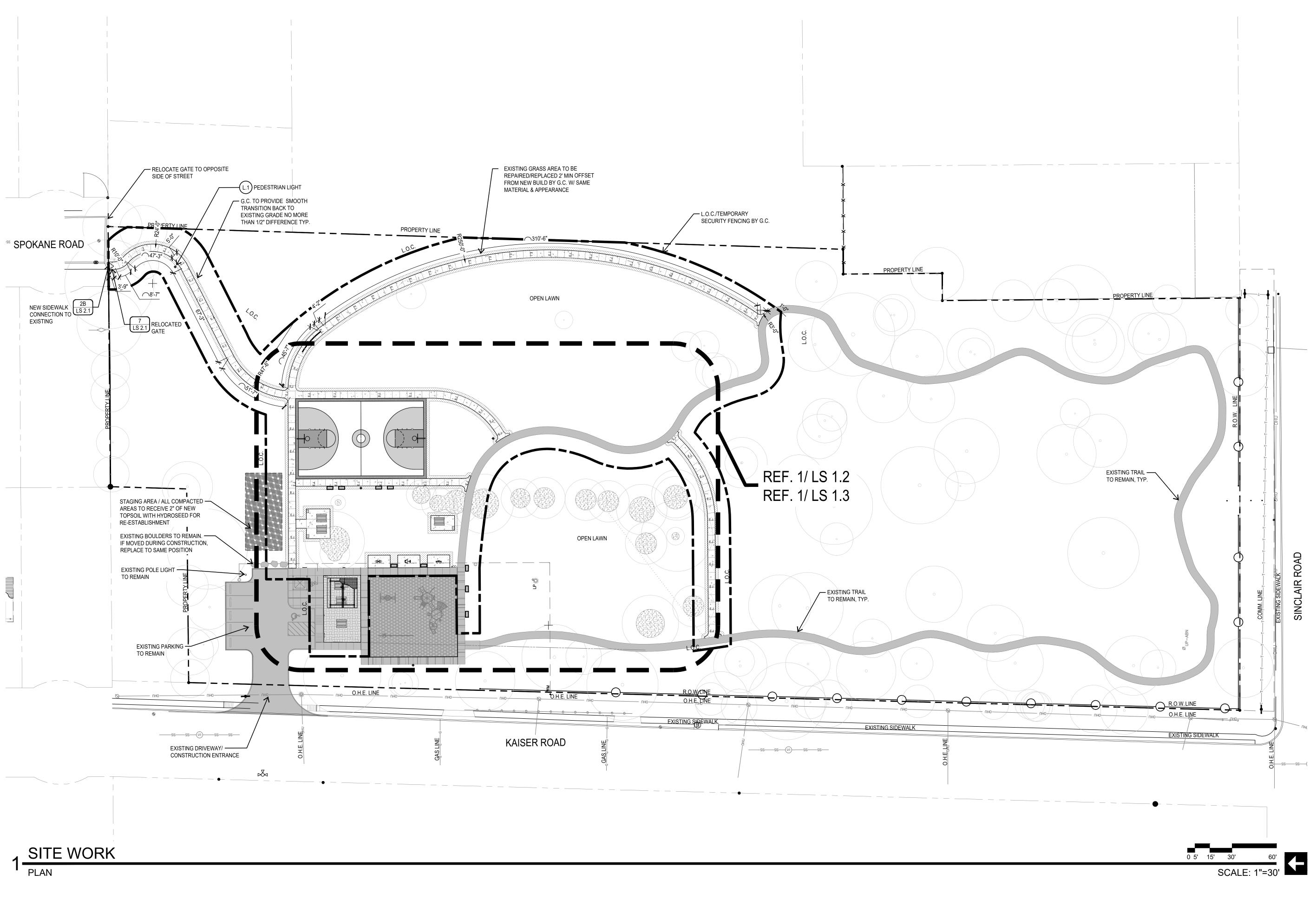
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CITY OF SAN ANTONIO 114 W. COMMERCE

OWNER'S REPRESENTATIVE ALMA NUNEZ 210.207.6123 ALMA.NUNEZ@SANANTONIO.GOV







NOTE: CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY EXCAVATION. ALL NEW SITE WORK, STRUCTURES, & UTILITY LINES (ELECTRIC, IRRIGATION, ETC.) TO AVOID IMPACTS/ TRENCHING WITHIN TREES IDENTIFIED TO BE PRESERVED INCLUDING THEIR INDIVIDUAL TREE CRITICAL ROOT PROTECTION ZONES OR OUTLINE OF TREE.

ALL DISTURBED AREAS TO BE LEVELED AND RAKED OUT. G.C. WILL CALL AND ARRANGE FOR UTILITY LOCATING WITH THE PUBLIC ENTITIES STAKE OUT PROVIDERS. ALL PUBLIC UTILITIES TO BE STAKED OUT PRIOR TO GROUNDBREAKING. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION (LOC) TO BE CLEANED AND SMOOTHED FOR FINISH GRADE. APPLY HYDROMULCH AS NOTED ON PLANS. CONTRACTOR TO USE TOPSOIL TO HELP RE-ESTABLISH DISTURBED AREAS. ENSURE ALL DEBRIS AND ROCKS 1" OR GREATER ARE SIFTED OUT FOR A MINIMUM 2" OF TOPSOIL TO BE USED WITH HYDROSEED MIX. ALL DISTURBED AREAS FOR SITE WORK AND UTILITY TRENCHING SHALL BE CONSIDERED AS PART OF SCOPE AND RE-ESTABLISHMENT BY G.C PRIOR TO FINAL APPROVAL



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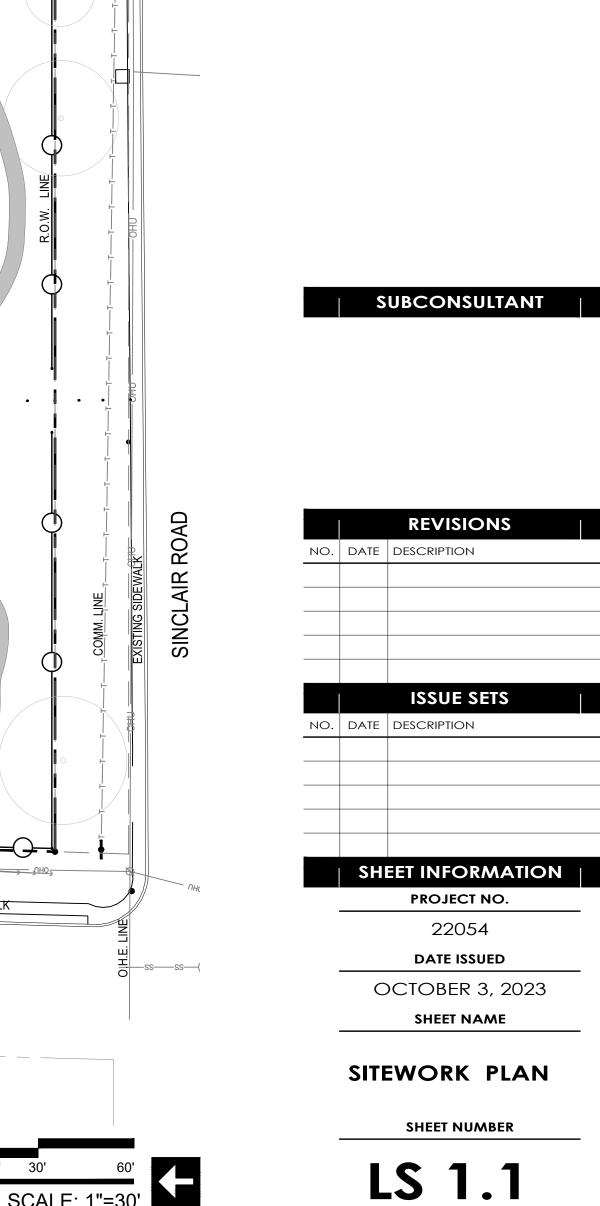


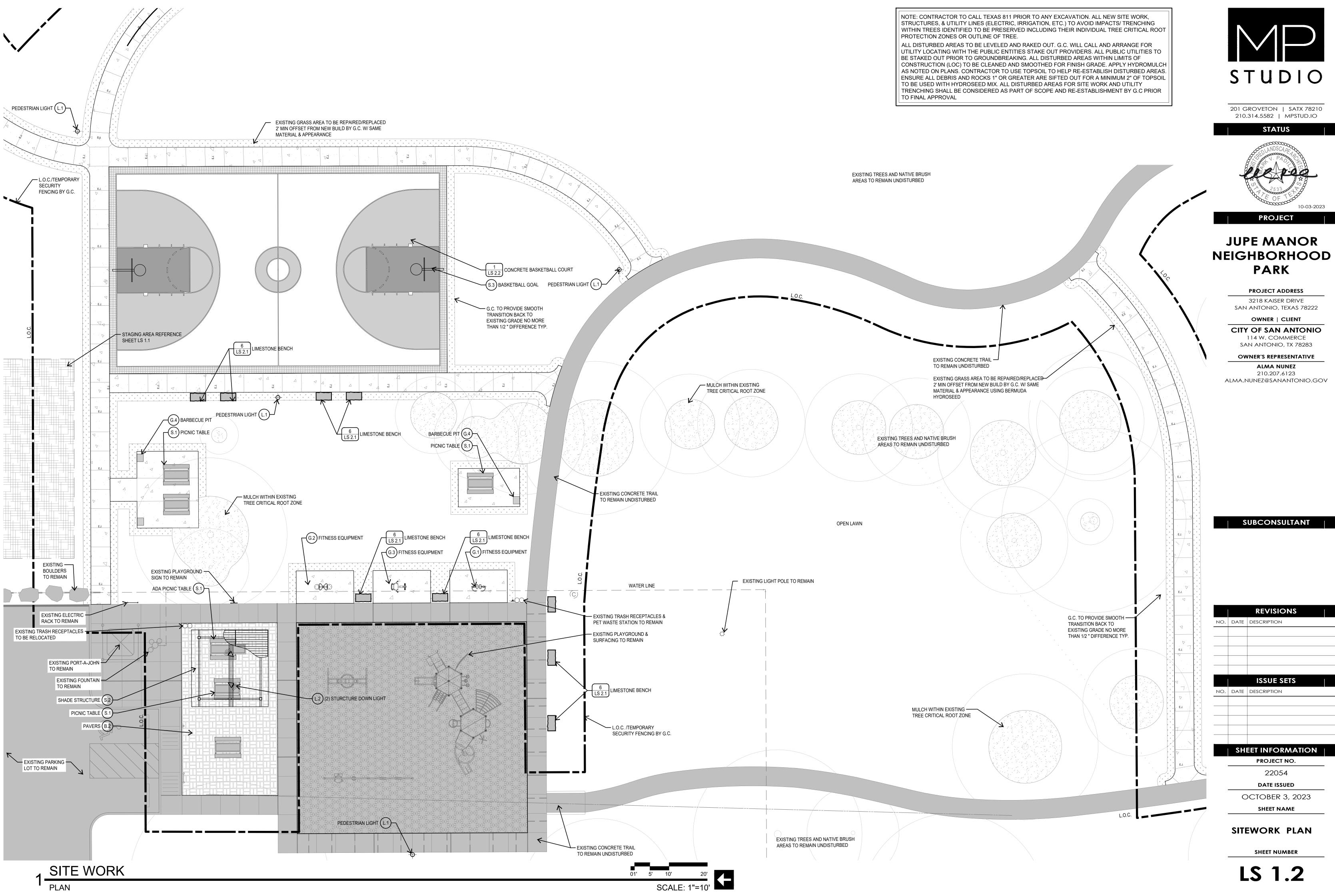
JUPE MANOR NEIGHBORHOOD PARK

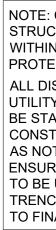
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CITY OF SAN ANTONIO 114 W. COMMERCE SAN ANTONIO, TX 78283

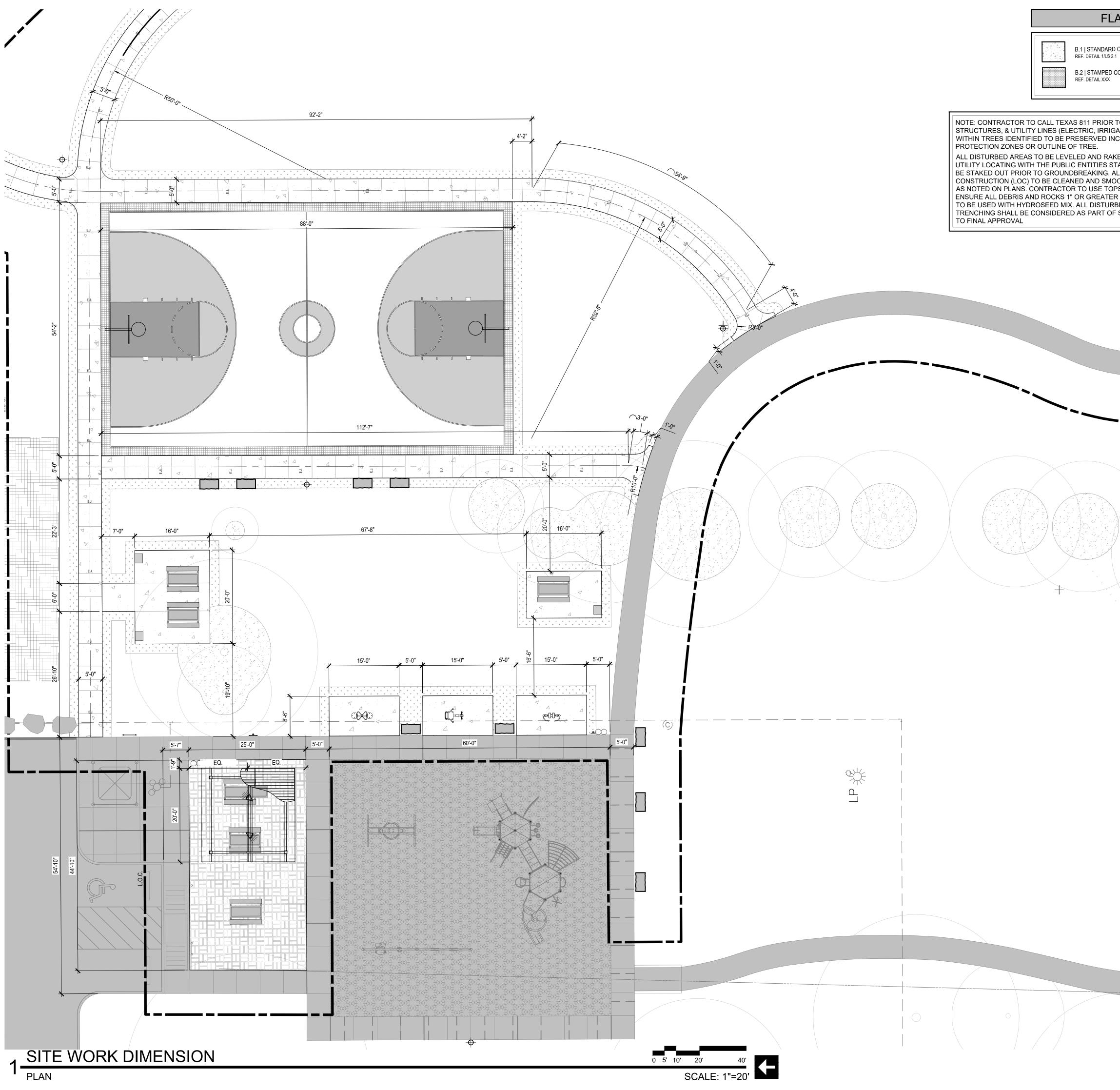
OWNER'S REPRESENTATIVE ALMA NUNEZ 210.207.6123 ALMA.NUNEZ@SANANTONIO.GOV











# FLATWORK LEGEND

B.1 | STANDARD CONCRETE

B.2 | STAMPED CONCRETE REF. DETAIL XXX

REF. DETAIL XXX B.4 | PLAYGROUND SURFACING REF. DETAIL 1/LS 2.1

B.3 | DECOMPOSED GRANITE

26'-6"

L.O.C.

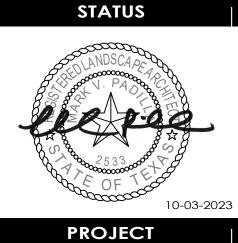
5'-0"

NOTE: CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY EXCAVATION. ALL NEW SITE WORK, STRUCTURES, & UTILITY LINES (ELECTRIC, IRRIGATION, ETC.) TO AVOID IMPACTS/ TRENCHING WITHIN TREES IDENTIFIED TO BE PRESERVED INCLUDING THEIR INDIVIDUAL TREE CRITICAL ROOT

ALL DISTURBED AREAS TO BE LEVELED AND RAKED OUT. G.C. WILL CALL AND ARRANGE FOR UTILITY LOCATING WITH THE PUBLIC ENTITIES STAKE OUT PROVIDERS. ALL PUBLIC UTILITIES TO BE STAKED OUT PRIOR TO GROUNDBREAKING. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION (LOC) TO BE CLEANED AND SMOOTHED FOR FINISH GRADE. APPLY HYDROMULCH AS NOTED ON PLANS. CONTRACTOR TO USE TOPSOIL TO HELP RE-ESTABLISH DISTURBED AREAS. ENSURE ALL DEBRIS AND ROCKS 1" OR GREATER ARE SIFTED OUT FOR A MINIMUM 2" OF TOPSOIL TO BE USED WITH HYDROSEED MIX. ALL DISTURBED AREAS FOR SITE WORK AND UTILITY TRENCHING SHALL BE CONSIDERED AS PART OF SCOPE AND RE-ESTABLISHMENT BY G.C PRIOR



201 GROVETON | SATX 78210 210.314.5582 | MPSTUD.IO



JUPE MANOR NEIGHBORHOOD PARK

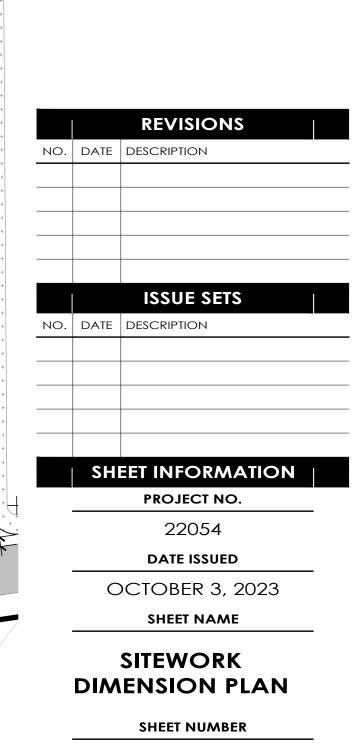


OWNER | CLIENT

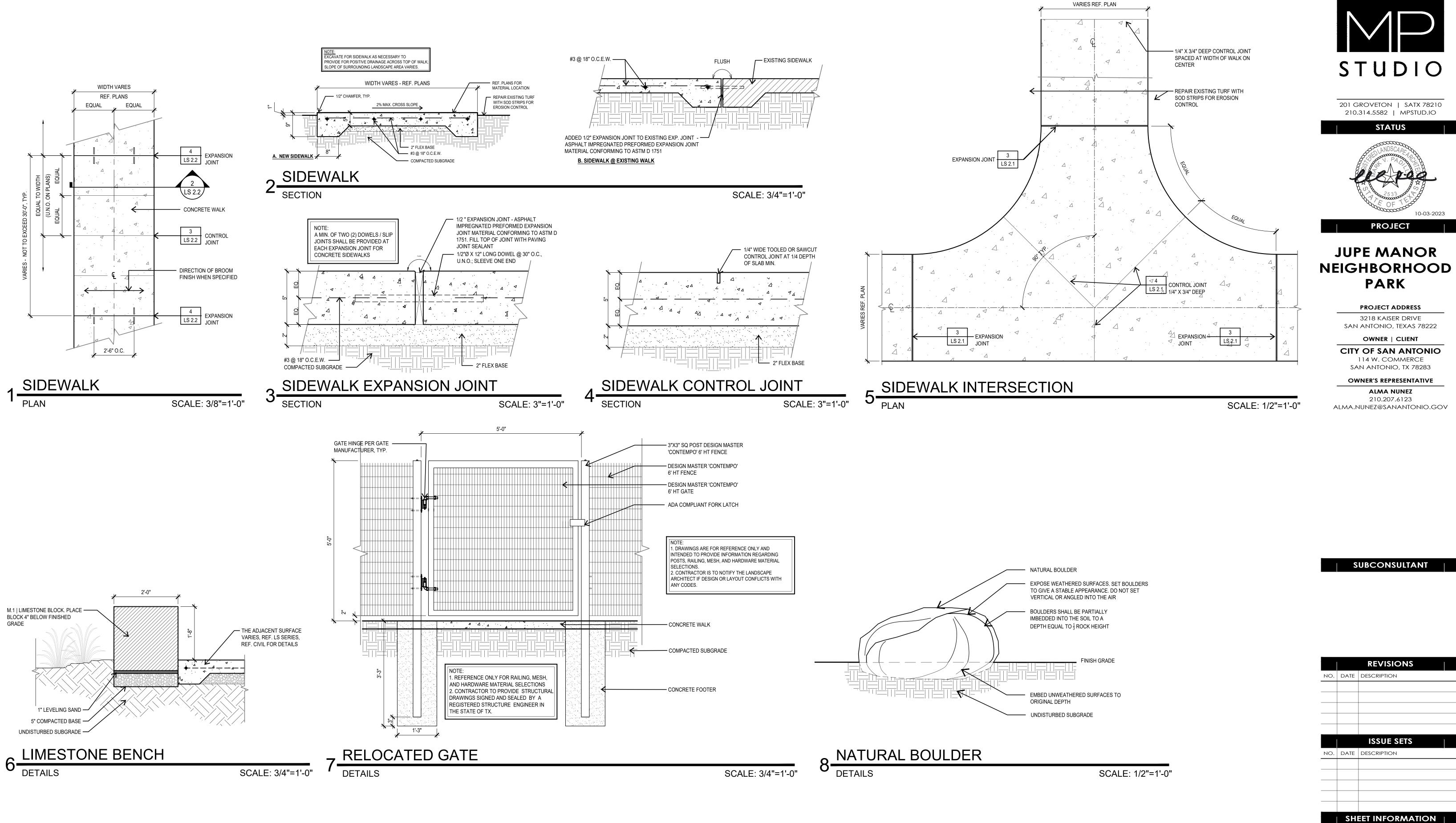
CITY OF SAN ANTONIO 114 W. COMMERCE SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE ALMA NUNEZ 210.207.6123 ALMA.NUNEZ@SANANTONIO.GOV

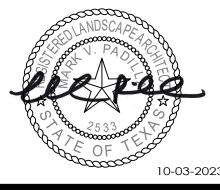
SUBCONSULTANT











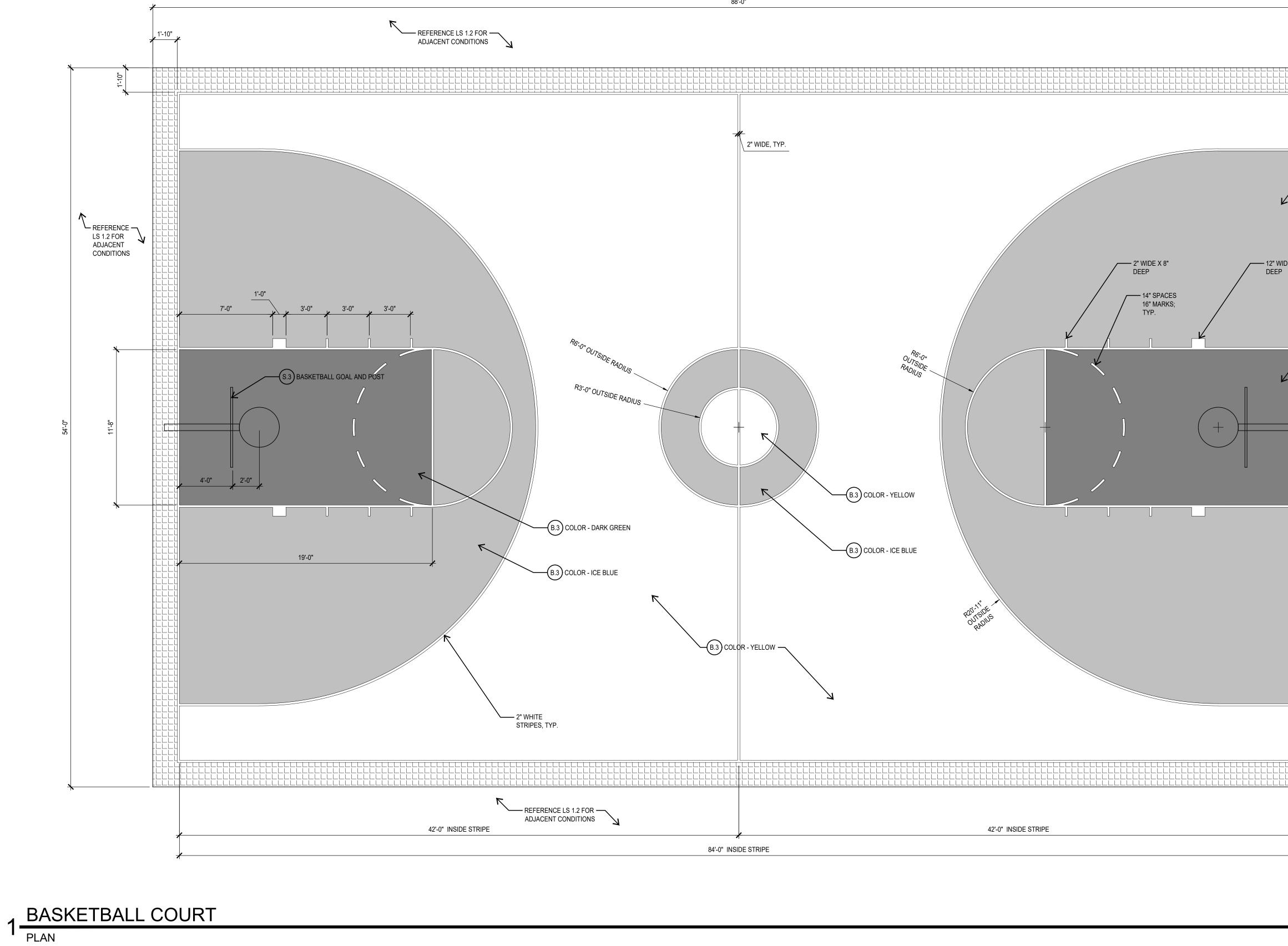
PROJECT NO. 22054 DATE ISSUED OCTOBER 3, 2023

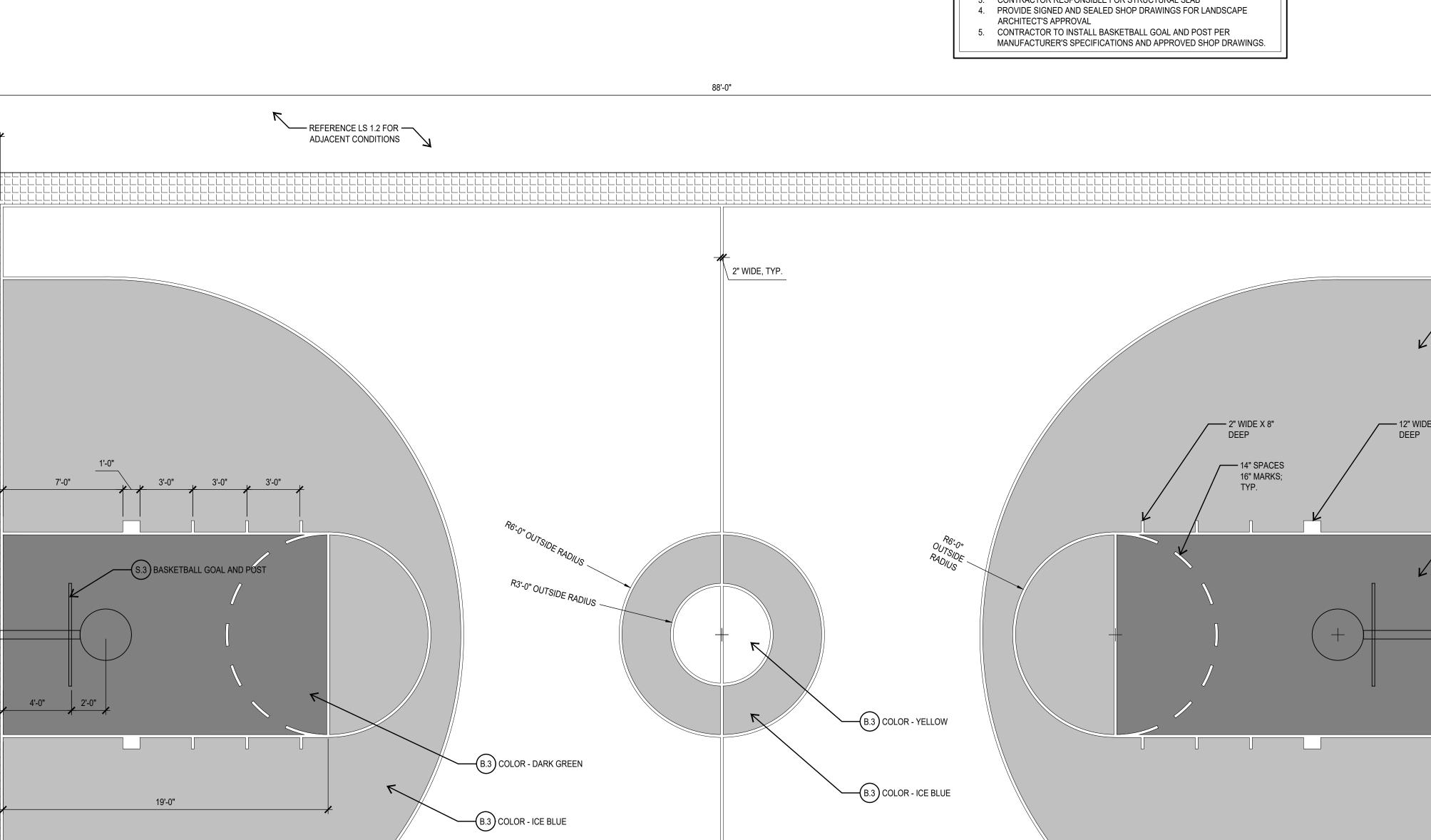
## SHEET NAME

# SITEWORK DETAILS

SHEET NUMBER

LS 2.1





B.3 COLOR - YELLOW -

84'-0" INSIDE STRIPE

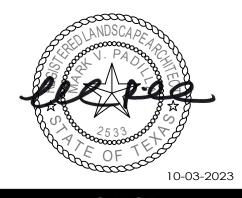
NOTE:

R2015IDE

42'-0" INSIDE STRIPE



201 GROVETON | SATX 78210 210.314.5582 | MPSTUD.IO STATUS



PROJECT

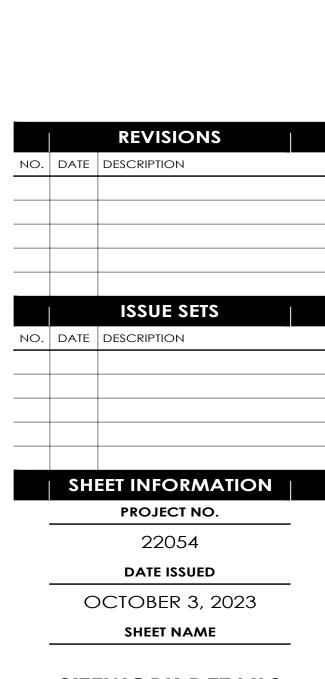
# JUPE MANOR NEIGHBORHOOD PARK

PROJECT ADDRESS 3218 KAISER DRIVE SAN ANTONIO, TEXAS 78222 OWNER | CLIENT

CITY OF SAN ANTONIO 114 W. COMMERCE SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE ALMA NUNEZ 210.207.6123 ALMA.NUNEZ@SANANTONIO.GOV

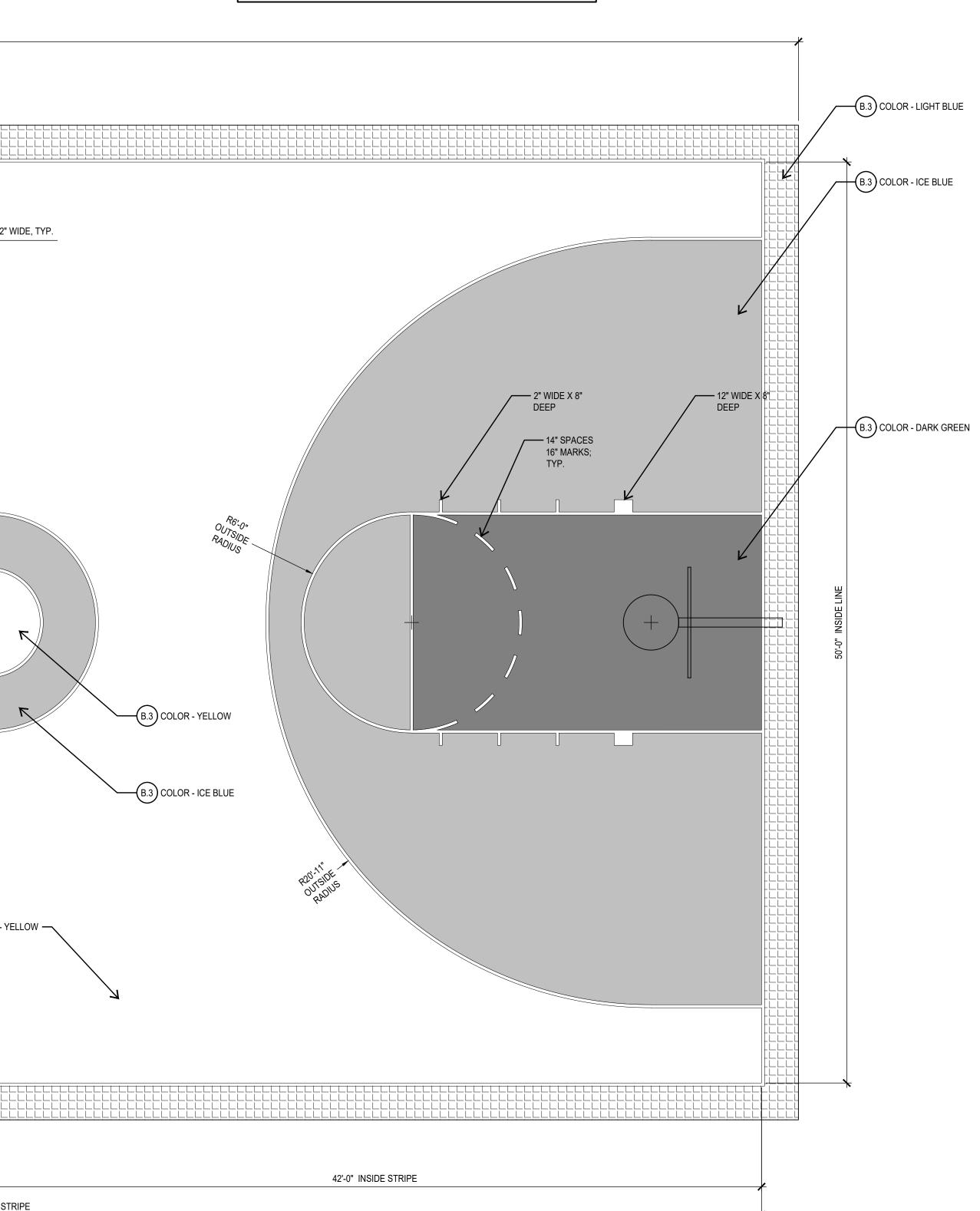
SUBCONSULTANT



SITEWORK DETAILS

SHEET NUMBER





<sup>1.</sup> BASKETBALL COURT - SURFACE SPORT COURT WITH SPORTMASTER COLORPLUS SYSTEM BASKETBALL GOAL AND POST - FLEX COURT ATHLETICS
 CONTRACTOR RESPONSIBLE FOR STRUCTURAL SLAB
 PROVIDE SIGNED AND SEALED SHOP DRAWINGS FOR LANDSCAPE

SPECUAL INSPECTION OF FABRICATORS         NOT REQD           IBC 1704.2.5 - INSPECTION OF FABRICATORS         NOT REQD           FABRICATION AND IMPLEMENTATION PROCEDURES. THE SPECUAL INSPECTION SPEALED FABRICATION AND QUALITY CONTROS HALL VERIV THAT THE FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVDE A BASIS FOR INSPECTION CONTROL OF THE WORKMANNEP AND THE PROCEDURES FOR COMPLETENESS AND ADDCUACY RELATIVE TO THE SPECIAL INSPECTION SHALL NOT BE REQUIRED WHERE THE FABRICATOR IS APPROVED CONSTRUCTION DOCUMENTS AND REFERENCE STRUCTURES FOR COMPLETENESS AND ADDCUACY RELATIVE TO THE SPECIAL INSPECTIONS SHALL NOT BE REQUIRED WHERE THE FABRICATOR IS APPROVED IN ACCORDANCE. WITH IBC SECTION 1704.2.5.2. IBC 1705.3 - CONCRETE CONSTRUCTION ACCORDANCE. WITH IBC SECTION 1704.2.5.2. IBC 1705.3 - CONCRETE CONSTRUCTION ACCORDANCE WITH ABOVE REQUIREMENTS FOR THEN FABRICATOR STRUCTURAL STEEL INCLUDING PRE STRUCTURAL STEEL 3. INSPECTION OF REINFORCING STEEL WEIDIN IN ACCORDANCE WITH ABOVE REQUIREMENTS SET FORTH IN IBC 1706.22 - STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL 3. INSPECTION OF REINFORCING STEEL WEIDIN IN ACCORDANCE WITH ABOVE REQUIREMENTS SET FORTH IN IBC 1706.22 - STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL 3. INSPECTION OF AND FANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE BE 1906.15, 1103.13 3.8.6, 8.13, 212.8 IBC 1903.5, 5. VERIFYING USE OF REQUIRED DESIGN MIX 4 INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS     PERIODIC ACI 318: 3.5.2 ACI 318: 3.5.2 STRUCTURAL STEEL 3. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS     ACI 318: 3.5.4, CMA, 2.53,4, IBC 1903.1 SATULY       5. VERIFYING USE OF REQUIRED DESIGN MIX     PERIODIC FABRICATE SPECIMENT FOR STRUCTURATION FOR STRUCTURE FOR SATULY AND AND ACIDINAL TEND TO TRUCHURE FOR SATULY AND AND ACOUNTED TESTS AND DETERMINE	EDE		EFERENCE
FABRICATION AND IMPLEMENTATION PROCEDURES. THE SPECIAL INSPECTOR SHALL VERILY THAT THE FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVED ABASIS FOR INSPECTOR CONTROL OF NEW WORKMANSHIP AND THE FABRICATORS CONTROL PROCEDURES THAT PROVED A CONSTRUCTION DOCUMENTS AND REFERENCE STANDARDS. THE SPECIAL INSPECTOR SHALL REVIEW THE PROCEDURES FOR COMPLETENESS AND ADECUACY RELATIVE TO THE COOR REQUIREMENTS FOR THE CONSTRUCTION ACCORDANCE WITH ECONS CHARMENTS FOR THE FABRICATORS SCOPE OF WORK.       CONTINUOU S         EXCEPTION: SPECIAL INSPECTIONS SHALL NOT BE REQUIRED WORK.       EXCEPTION: SPECIAL INSPECTIONS SHALL NOT BE REQUIRED WORK.       CONTINUOU S         1. INSPECTION OF REINFORCING STELL, INCLUDING PRE STRESSING TENDODS, AND PLACEMENT.       PERIODIC       ACI 318: 3.5, 7.1-7.7 IBC 1910.4         2. INSPECTION OF REINFORCING STELL, WILDING IN ACCORDANCE WITH IBC SECTION OTHER THAN STRESSING TENDODS, AND PLACEMENT.       PERIODIC       ACI 318: 3.5, 7.1-7.7 IBC 1910.4         3. INSPECTION OF AREINFORCING STELL WELDING IN ACCORDANCE WITH ABOVE REQUIREMENTS SET FORTH IN BIG 1705.2.2. STELL CONSTRUCTION OTHER THAN STRUCTURAL STEEL       ACI 318: 3.5, 1000.1       ACI 318: 3.5, 1000.1         4. INSPECTION OF ANCHORS POST-INSTALLED IN MARDENED CONCRETE MEMBERS       PERIODIC       ACI 318: 3.8, 10.3, 2.12.8 IBC 1903.1         5. VERIFYING USE OF REQUIRED DESIGN MIX       PERIODIC       ACI 318: 3.8, 1.3, 2.12.8 IBC 1903.1         5. VERIFYING USE OF REQUIRED DESIGN MIX       PERIODIC       ACI 318: 3.8, 1.3, 2.12.8 IBC 1903.1         6. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENTS FOR STRENUT T	Y	S	
EXCEPTION: SPECIAL INSPECTIONS SHALL NOT BE REQUIRED WHERE THE FABRICATOR IS APPROVED IN ACCORDANCE WITH IBC. SECTION 1704.2.5.2.         AC1318:3.5.           IBC 1705.3 - CONCRETE CONSTRUCTION         AC1318:3.5.           1. INSPECTION OF REINFORCING STEEL, INCLUDING PRE STRESSING TENDONS, AND PLACEMENT.         PERIODIC           2. INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH ABOVE REQUIREMENTS SET FORTH IN IBC 1705.2 - STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL         AWS D1.4 AC1318: 3.5.2           3. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STREMOTH DESIGN IS USED         PERIODIC         AC1318: 3.1.3, 21.2.8 IBC 1908.5, 1909.1           4. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STREMOTH DESIGN IS USED         PERIODIC         AC1318: 3.1.3, 21.2.8 IBC 1908.5, 1909.1           5. VERIFYING USE OF REQUIRED DESIGN MIX         PERIODIC         AC1318: 3.8.6, 8.1.2.2.8 IBC 1909.2, 1910.2, 1910.3           6. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, AND DETERMINE THE SUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.         CONTINUOU SUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.         AC1318: 5.9, 5.10 BC 1910.0.           7. INSPECTION OF CONCRETE AND SHORD STORTER THEND TO FABRICATE SPECIMEND FOR STRENGTH TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.         CONTINUOU SUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPED RED DEDEDED DEDEDED REDUNCE TO THE CONTENT TESTS, AND DETERMINE THE TEMPED RED DEDEDED REDUNCE TO THE TO THE TEMPINOL FE	FABRICATION AND IMPLEMENTATION PROCEDURES. THE SPECIAL INSPECTOR SHALL VERIFY THAT THE FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVIDE A BASIS FOR INSPECTION CONTROL OF THE WORKMANSHIP AND THE FABRICATOR'S ABILITY TO CONFORM TO APPROVED CONSTRUCTION DOCUMENTS AND REFERENCE STANDARDS. THE SPECIAL INSPECTOR SHALL REVIEW THE PROCEDURES FOR COMPLETENESS AND ADEQUACY RELATIVE TO THE CODE REQUIREMENTS FOR THE		
1. INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH ABOVE REQUIREMENTS SET FORTH IN IBC 1705.2.2. STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL       AWS D1.4 ACI 318: 3.5.2         3. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USED       PERIODIC       ACI 318: 8.1.3, 21.2.8 IBC 1908.5, 1909.1         4. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS       ACI: 318: 3.8.6, 8.1.3, 21.2.8 IBC 1909.1       ACI: 318: 3.8.6, 8.1.3, 21.2.8 IBC 1909.1         5. VERIFYING USE OF REQUIRED DESIGN MIX       PERIODIC       ACI: 318: 3.8.6, 8.1.3, 21.2.8 IBC 1909.1         6. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TEST, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.       CONTINUOU S       ASTM C 172 ASTM C 31 ACI 318: 5.9,5.10 IBC 1910.0         7. INSPECTION OF CONCRETE.       CONTINUOU S       ACI 318: 5.9,5.10 IBC 1910.0	EXCEPTION: SPECIAL INSPECTIONS SHALL NOT BE REQUIRED WHERE THE FABRICATOR IS APPROVED IN ACCORDANCE WITH IBC SECTION 1704.2.5.2.		
IBC 1705.2.2 - STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEELACI 318: 3.5.23. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USEDPERIODICACI 318: 8.1.3, 21.2.84. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERSPERIODICACI: 318: 3.8.6, 8.1.3, 21.2.85. VERIFYING USE OF REQUIRED DESIGN MIXPERIODICACI: 318: 0.00, 100,16. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TEST, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.CONTINUOU CONTINUOUACI 318: 5.6, 5.8 BIC 1910.107. INSPECTION OF CONCRETE AND SHOTCRETE DE ACCIMENT FOR DED INDUCTION TECHNIQUESCONTINUOU ACI 318: 5.9, 5.10 BIC 1910.6,ACI 318: 5.9, 5.10 BIC 1910.6,	STRESSING TENDONS, AND PLACEMENT. 2. INSPECTION OF REINFORCING STEEL WELDING IN	RIODIC 7.	1-7.7 C 1910.4
STRENGTH DESIGN IS USED1909.14. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERSPERIODICACI: 318: 3.8.6, 8.1.3, 21.2.8 IBC 1909.15. VERIFYING USE OF REQUIRED DESIGN MIXPERIODICACI 318: CH4,5.2-5.4 IBC 1904.2, 1910.2, 1910.36. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TEST, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.CONTINUOU SASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8 IBC 1910.107. INSPECTION OF CONCRETE AND SHOTCRETE DI ACEMENT FOR DEDEED AND LICATION TECHNIQUESCONTINUOU SACI 318: 5.9, 5.10 IBC 1910.6,	IBC 1705.2.2 - STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL 3. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE		Cl 318: 3.5.2 Cl 318: 8.1.3, .2.8
5. VERIFYING USE OF REQUIRED DESIGN MIXPERIODICACI 318: CH4,5.2-5.4 IBC 1904.2, 1910.2, 1910.36. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TEST, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.CONTINUOU SASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8 IBC 1910.107. INSPECTION OF CONCRETE AND SHOTCRETE DI ACEMENT FOR DEDEDED ADDUICATION TECHNIQUESCONTINUOU SACI 318: 5.9, 5.10 IBC 1910.6,	4. INSPECTION OF ANCHORS POST-INSTALLED IN	RIODIC 8.	09.1 Cl: 318: 3.8.6, 1.3, 21.2.8
6. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TEST, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.CONTINUOU SASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8 IBC 1910.107. INSPECTION OF CONCRETE AND SHOTCRETE DI ACEMENT FOR DRODER ADDI ICATION TECHNIQUESCONTINUOU SACI 318: 5.9, 5.10 IBC 1910.6,			CI 318: H4,5.2-5.4 C 1904.2,
7. INSPECTION OF CONCRETE AND SHOTCRETE CONTINUOU ACI 318: 5.9,5.10 IN ACEMENT FOR PROPER ADDITION TECHNIQUES	FABRICATE SPECIMENS FOR STRENGTH TEST, PERFORMCONTSLUMP AND AIR CONTENT TESTS, AND DETERMINE THES		STM C 172 STM C 31 CI 318: 5.6, 5.8
	7. INSPECTION OF CONCRETE AND SHOTCRETE CON		CI 318: 5.9,5.10 C 1910.6,

INSPECTION FOR MAINTENANCE OF SPECIFIED CURING EMPERATURE AND TECHNIQUE	PERIODIC	ACI 318: 5.11-5.13 IBC 1910.9
VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR O STRESSING OF TENDONS IN POST TENSIONED ONCRETE AND PRIOR TO REMOVAL OF SHORES AND ORMS FROM BEAMS AND STRUCTURAL SLABS	PERIODIC	ACI 318: 6.2
. INSPECT FORMWORK FOR SHAPE, LOCATION AND MENSIONS OF THE CONCRETE MEMBER BEING FORMED	PERIODIC	ACI 318: 6.1.1
C 1705.6 - SOILS		
KCEPTIONS:		
WHERE IBC SECTION 1803 DOES NOT REQUIRE EPORTING OF MATERIALS AND PROCEDURES FOR FILL ACEMENT, THE SPECIAL INSPECTOR SHALL VERIFY HAT THE IN-PLACE DRY DENSITY OF THE COMPACTED LL IS NOT LESS THAN 90 PERCENT OF THE MAXIMUM RY DENSITY AT OPTIMUM MOISTURE CONTENT AS ETERMINED IN ACCORDANCE WITH ASTM D 1557.		
ERIFICATION THAT PROPER MATERIALS AND ROCEDURES ARE USED DURING FILL PLACEMENT IN CCORDANCE WITH THE PROVISIONS OF THE APPROVED EOTECHNICAL REPORT	PERIODIC	
VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS RE ADEQUATE TO ACHIEVE THE DESIGN BEARING APACITY	PERIODIC	
VERIFY EXCAVATIONS ARE EXTENDED TO PROPER EPTH AND HAVE REACHED PROPER MATERIAL.	PERIODIC	
PERFORM CLASSIFICATION AND TESTING OF OMPACTED FILL MATERIALS.	PERIODIC	
VERIFY USE OF PROPER MATERIALS, DENSITIES AND FT THICKNESS DURING PLACEMENT AND COMPACTION F COMPACTED FILL	CONTINUOU S	
PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE JBGRADE AND VERIFY THAT THE SITE HAS BEEN REPARED PROPERLY.	PERIODIC	

STRUCTURAL SPECIAL INSPECTION NOTES:

SI-1 SPECIAL INSPECTIONS ARE NOT REQUIRED FOR CONSTRUCTION OF A MINOR NATURE OR AS WARRANTED BY CONDITIONS IN THE JURISDICTION AS APPROVED BY THE BUILDING OFFICIAL.

SI-1 UNLESS OTHERWISE REQUIRED BY THE BUILDING OFFICIAL, SPECIAL INSPECTIONS ARE NOT REQUIRED FOR GROUP U OCCUPANCIES THAT ARE ACCESSORY TO A RESIDENTIAL OCCUPANCY INCLUDING, BUT NOT LIMITED TO, THOSE LISTED IN IBC SECTION 312.1.

SI-2 THE OWNER OR THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE APPROVED AGENCIES TO PERFORM INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED UNDER SECTION 1705 OF THE INTERNATIONAL BUILDING CODE (2018). THESE INSPECTIONS ARE IN ADDITION TO THE INSPECTIONS IDENTIFIED IN SECTION 110.

**SI-3** DUTIES AND RESPONSIBILITIES OF THE SPECIAL INSPECTOR:

- A. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON EMPLOYED OR RETAINED BY AN APPROVED AGENCY WHO SHALL PROVE TO THE SATISFACTION OF THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND THE BUILDING OFFICIAL THAT HE/SHE HAS THE COMPETENCE NECESSARY TO INSPECT A PARTICULAR TYPE OF CONSTRUCTION REQUIRING SPECIAL INSPECTION.
- THE SPECIAL INSPECTOR IS RESPONSIBLE TO REVIEW THE APPROVED CONSTRUCTION DOCUMENTS THOROUGHLY AND SUFFICIENTLY AHEAD OF CONSTRUCTION TO ESTABLISH THEIR ABILITY TO INSPECTION OF THOSE ITEMS ENTRUSTED TO THEM. ALL ERRORS AND/OR OMISSIONS IN THE APPROVED PLANS THAT CREATE AND FORM OF AMBIGUITY OR DOUBT FOR THE SPECIAL INSPECTOR SHALL BE BROUGHT TO THE ATTENTION OF THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE.
- C. THE SPECIAL INSPECTOR IS RESPONSIBLE FOR VERIFICATION OF ITEMS DETAILED IN THE DESIGN DRAWINGS AND SPECIFICATIONS BUILT INTO THE PROJECT.
- D. THE SPECIAL INSPECTOR SHALL NOT SUGGEST, DIRECT, OR APPROVE DEVIATION FROM THE DESIGN DRAWINGS AND SPECIFICATIONS OR THE APPROVED SHOP AND ERECTION DRAWINGS, OR APPROVE SUCH DEVIATION, WITHOUT THE WRITTEN APPROVAL BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE.
- E. THE SPECIAL INSPECTOR SHALL BRING NON-COMPLYING ITEMS TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. IF CORRECTING THE NON-COMPLYING ITEMS IS NOT IN A TIMELY MANNER OR IGNORED, THE SPECIAL INSPECTOR IS TO PREPARE, SIGN AND SUBMIT A NOTICE OF NON-COMLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, THE BUILDING OFFICIAL, THE CONTRACTOR AND THE OWNER.
- F. THE SPECIAL INSPECTOR IS RESPONSIBLE TO KEEP RECORDS OF INSPECTIONS. THE SPECIAL INSPECTOR SHALL PREPARE, SIGN AND SUBMIT INSPECTION REPORTS TO THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE REPORTS OF REQUIRED SPECIAL INSPECTIONS. REPORTS SHALL INDICATE THAT WORK INSPECTED WAS OR WAS NOT COMPLETED IN CONFORMANCE TO APPROVED CONSTRUCTION DOCUMENTS.
- G. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTIONS WAS, TO THE BEST OF THE SPECIAL INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS AND APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE. CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED AT A POINT IN TIME AGREED UPON PRIOR TO THE START OF WORK BY THE APPLICANT AND THE BUILDING OFFICIAL.

SI-4 WHERE SPECIAL INSPECTION REQUIREMENTS DUPLICATE THE REQUIREMENTS OF SPECIFIED QUALITY ASSURANCE TESTING, DUPLICATE INSPECTIONS WILL NOT BE REQUIRED.

### STRUCTURAL EARTHWORK FOR GRADE SUPPORTED FOUNDATIONS:

SE-1 THE CONCRETE FOUNDATION WAS DESIGNED FOR A BUILDING PAD WITH A MAXIMUM PVR OF 1". THE BUILDING PAD WAS DESIGNED AND RECOMMENDATIONS PREPARED BY ECS SOUTHWEST LLP OF SAN ANTONIO IN REPORT NO. 20:1143. BUILDING PAD CUT AND FILL RECOMMENDATIONS FOR A 1" PVR HAVE BEEN REPRODUCED BELOW FOR CONVENIENCE. THE SOILS REPORT ALSO INCLUDES OTHER RECOMMENDATIONS THAT EFFECT THE LONG TERM PERFORMANCE OF THE FOUNDATION WHICH ARE BEYOND THE SCOPE OF HOFFER STRUCTURAL SOLUTION'S SERVICES. THE CONTRACTOR AND OWNER SHALL REVIEW THE SOILS REPORT AND IMPLEMENT RECOMMENDATIONS PROVIDED WITHIN (I.E. LANDSCAPING VEGETATION, ROOT BARRIERS, SITE DRAINAGE, BUILDING PAD DRAINAGE SYSTEMS, ROOF DRAINS, SOIL MOISTURE MAINTENANCE, ETC.)

SE-2 BEFORE ANY CONSTRUCTION IS BEGUN, PERFORM ROUGH GRADING AND CUT SWALES SO THAT GROUNDS WILL DRAIN AWAY FROM THE COURT. MAINTAIN DRAINAGE DURING ALL PHASES OF CONSTRUCTION SO THAT STORM WATER WILL BE CONDUCTED AWAY FROM THE BUILDING. KEEP EXCAVATIONS PUMPED FREE OF STORM WATER AT ALL TIMES.

SE-3 PRECAUTIONS SHALL BE TAKEN TO PROTECT OPEN EXCAVATIONS FROM EXCESSIVE LOSS OR GAIN IN NATURAL MOISTURE LEVEL PRIOR TO PLACEMENT OF BASE MATERIAL. KEEP MOIST DURING DRY WEATHER AND KEEP STORM WATER PUMPED OUT, INCLUDING NIGHTS AND WEEKENDS, DURING RAINS.

SE-4 IN THE AREA OCCUPIED BY THE FOUNDATION, PLUS 1'-0", REMOVE A MINIMUM OF 2'-0" EXPANSIVE SOIL INCLUDING ALL ORGANIC MATERIALS, ROOTS, ETC. FROM THE SITE. DO NOT USE FOR UNDER FLOOR FILL. REMOVE ADDITIONAL MATERIAL AS NECESSARY TO PROVIDE 2'-0" OF SELECT FILL. THE EXCAVATION SHALL BE BENCHED IN HORIZONTAL PLANES AS REQUIRED TO MEET MINIMUM CUT AND FILL REQUIREMENTS.

**SE-5** SELECT FILL SHALL CONFORM TO TXDOT SPECIFICATIONS, ITEM 247, TYPE "A" GRADE 2, OR AS APPROVED BY THE GEOTECHNICAL ENGINEER. NO DIRT FILL SHALL BE USED UNDER THE BUILDING FOUNDATION. SUBMIT WRITTEN CERTIFICATION OF COMPLIANCE WITH | GN-4 THE FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL ENGINEERING STUDY TXDOT, ITEM 247 SPECIFICATIONS BY TEST PERFORMED ON FIELD EXAMPLES.

SE-6 FOR A DISTANCE OF 1'-0" OUTSIDE OF THE FOUNDATION LINE, AND BEGINNING AT THE LOW END, BUILD UP TO THE ELEVATION OF THE BOTTOM OF THE SLAB WITH SELECT FILL. REFERENCE SE-4 FOR MINIMUM FILL THICKNESS REQUIREMENTS. ALL FILL SHALL BE PLACED IN 8" LOOSE HORIZONTAL LIFTS AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D698 MAINTAINING MOISTURE CONTENT WITHIN 2 PERCENTAGE POINT OF OPTIMUM.

SE-7 PERFORM ALL EARTHWORK DESCRIBED ABOVE BEFORE TRENCHING FOR GRADE BEAMS OR MECHANICAL LINES.

	SITE OBSERVATIONS BY STRUCTURAL ENGINEER
AT THE STAGES OF COI REACHED THE STAGE L AS A RESULT OF THE O DOCUMENTS. OAT THE STATEMENT IN ACCORE STRUCTURE OBSERVED	ILL BE CONDUCTED IN ACCORDANCE WITH IBC SECTION 110 BY THE ENGINEER OF RECORD OR APPROVED AGE NSTRUCTION LISTED BELOW. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN CONSTRUCTION HAS ISTED BELOW AND THE WORK SHALL REMAIN VISIBLE AND ABLE TO BE ACCESSED FOR OBSERVATION. APPROV BSERVATION SHALL NOT BE CONSTRUED TO BE AN APPROVAL OF A VIOLATION OR DISCREPANCY WITH THE DE CONCLUSION OF THE PROJECT, THE ENGINEER OF RECORD WILL SUBMIT TO THE BUILDING OFFICIAL A WRITTE DANCE WITH IBC SECTION 111.2 IF ALL VIOLATIONS HAVE BEEN REMEDIED THAT THE PORTION (S) OF THE D ARE IN GENERAL COMPLIANCE WITH THE REQUIREMENTS OF THE STRUCTURAL PLANS AND SPECIFICATIONS. DO NOT CONSTITUTE THE SPECIAL INSPECTION REQUIREMENTS OF IBC SECTION 1704.
OBSERVATION	STAGE OF CONSTRUCTION
FOUNDATION/FOOTING	AFTER EXCAVATIONS FOR FOOTINGS ARE COMPLETE AND ANY REQUIRED REINFORCING STEEL IS IN PLACE. I CONCRETE FOUNDATIONS, ANY REQUIRED FORMS SHALL BE IN PLACE. MATERIALS FOR THE FOUNDATION SH BE ONSITE EXCEPT WHERE CONCRETE IS READY MIXED. DEEP FOUNDED FOOTINGS (PIERS) SHOULD HAVE THE FIRST HOLE COMPLETE AND TESTING LAB OR GEOTECHNICAL REPRESENTATIVE ONSITE.

APPROVED AGENT RUCTION HAS VATION. APPROVAL CY WITH THE DESIGN FICIAL A WRITTEN S) OF THE

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### GENERAL NOTES:

**GN-1** THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (2021) AS AMENDED AND ADOPTED BY THE CITY OF SAN ANTONIO, AND APPLICABLE INDUSTRY STANDARDS (AISC, ACI, ETC.).

**GN-2** DESIGN CRITERIA: DEAD LOADS - THE WEIGHT OF THE MATERIALS FORMING THE PERMANENT PART OF THE BUILDING. A SUPERIMPOSED DEAD LOAD OF 5 PSF HAS BEEN APPLIED FOR MECHANICAL DUCTS, CONDUITS, CEILING, ETC.

N/A

100 PSF

1800 PSF

LIVE LOADS - IN ACCORDANCE WITH IBC SECTION 1607 FLOORS: ALL FLOORS LIVE LOADS REDUCTIONS - N/A EARTHQUAKE LOADS - PER IBC SECTIONS 1613

**GEOTECHNICAL CRITERIA - REF. GEOTECHINAL** (REPORT) SOIL BEARING CAPACITY

GN-3 THE STRUCTURE HAS BEEN DESIGNED TO RESIST DESIGN LOADS ONLY AS A COMPLETED STRUCTURE. CONTRACTOR SHALL CONSIDER ALL LOADS APPLIED TO THE PARTIALLY COMPLETED STRUCTURE AND PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS ARE MADE. ANY PROPOSED APPLICATION OF CONSTRUCTION LOADS WHICH EXCEED THE DESIGN LOADS WILL REQUIRE REANALYSIS AND PROBABLE REDESIGN.

PREPARED BY ECS SOUTHWEST LLP (PROJECT NO. 20:1143, DATED JANUARY 2, 2020). THE GEOTECHNICAL ENGINEERING STUDY REPORT INCLUDES OTHER RECOMMENDATIONS THAT EFFECT THE LONG TERM PERFORMANCE OF THE FOUNDATION WHICH ARE BEYOND THE SCOPE OF HOFFER STRUCTURAL SOLUTIONS SERVICES. THE CONTRACTOR AND OWNER SHALL REVIEW THE SOILS REPORT AND IMPLEMENT RECOMMENDATIONS PROVIDED WITH (I.E. LANDSCAPING VEGETATION, ROOT BARRIERS, SITE DRAINAGE, ROOF DRAINS, SOIL MOISTURE MAINTENANCE, ETC.)

**GN-5** PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR AND FABRICATOR SHALL VERIFY ALL QUANTITIES, DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

**GN-6** VERIFY REQUIREMENTS OF OTHER TRADES (MECHANICAL, ELECTRICAL, ETC.) PRIOR TO PROCEEDING WITH FABRICATION OR INSTALLATION OF MATERIALS.

**GN-7** UTILITIES PENETRATING BUILDING SHALL BE FLEXIBLE, USING SLEEVE JOINTS, BENDS, LOOPS, ETC. TO PERMIT MOVEMENTS DUE TO EXPANSIVE UNDERLYING SOILS.

**GN-8** THE DETAILS DESIGNATED AS "TYPICAL DETAILS", APPLY GENERALLY TO THE DRAWINGS IN ALL AREAS WHERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN DETAILS.

**GN-9** COMPLETED SHOP DRAWINGS SHALL BE PROVIDED FOR FABRICATED ITEMS, REFERENCE INDIVIDUAL SECTIONS FOR SPECIFIC REQUIREMENTS. SUBMIT AN ELECTRONIC COPY IN PDF FORMAT OR A MINIMUM OF FOUR PRINTED COPIES OF EACH SUBMITTAL WITH ADDITIONAL COPIES AS DIRECTED BY THE ARCHITECT. SHOP DRAWINGS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR AND SUBMITTED THROUGH THE ARCHITECT/ENGINEER PRIOR TO FABRICATION. THE STRUCTURAL DRAWINGS ARE COPYRIGHTED AND SHALL NOT BE REPRODUCED FOR SHOP DRAWINGS.

**GN-10** CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER AT LEAST 24 HOURS IN ADVANCE OF ANY CONCRETE POUR OR OTHER ACTION THAT WILL COVER UP STRUCTURAL ELEMENTS SO THE ENGINEER CAN CONDUCT PERIODIC SITE OBSERVATIONS AS REQUIRED TO PROVIDE A FINAL LETTER OF GENERAL COMPLIANCE TO THE OWNER AND/OR BUILDING AUTHORITY. PERIODIC SITE OBSERVATIONS ARE SOLELY FOR THE PURPOSE OF DETERMINING IF THE WORK IS PROCEEDING IN GENERAL ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND ARE NOT INTENDED TO BE A COMPREHENSIVE OR EXHAUSTIVE CHECK OF THE QUALITY AND/OR QUANTITY OF THE WORK. THESE OBSERVATIONS DO NOT CONSTITUTE THE SPECIAL INSPECTION REQUIREMENTS OF THE IBC SECTION 1704.

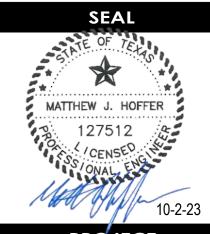
**GN-11** THE ENGINEER SHALL NOT HAVE CONTROL OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK. OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

**GN-12** THE OWNER SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY TO PERFORM CONSTRUCTION MATERIALS TESTING FOR THE PROJECT. REFERENCE SPECIFIC SECTIONS FOR TESTING REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNER OF THIS REQUIREMENT AND COORDINATE THESE SERVICES AS NECESSARY THROUGHOUT THE PROCESS OF CONSTRUCTION.

**GN-13** ASSUMPTIONS HAVE BEEN MADE BY THIS OFFICE REGARDING EXISTING CONDITIONS. ACTUAL CONDITIONS MAY VARY FROM THOSE ASSUMED. THE CONTRACTOR IS TO REPORT ANY SUCH DISCREPANCIES TO THE ENGINEER FOR POSSIBLE MODIFICATIONS NEEDED TO THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH FURTHER WORK.



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PRÓJECT

# JUPE MANOR NEIGHBORHOOD PARK

PROJECT ADDRESS 3218 KAISER DRIVE SAN ANTONIO, TEXAS 78222

OWNER | CLIENT CITY OF SAN ANTONIO

114 W. COMMERCE SAN ANTONIO, TX 78283 **OWNER'S REPRESENTATIVE** 

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### REVISIONS

NO. DATE DESCRIPTION

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PROJECT NO.

22054

DATE ISSUED

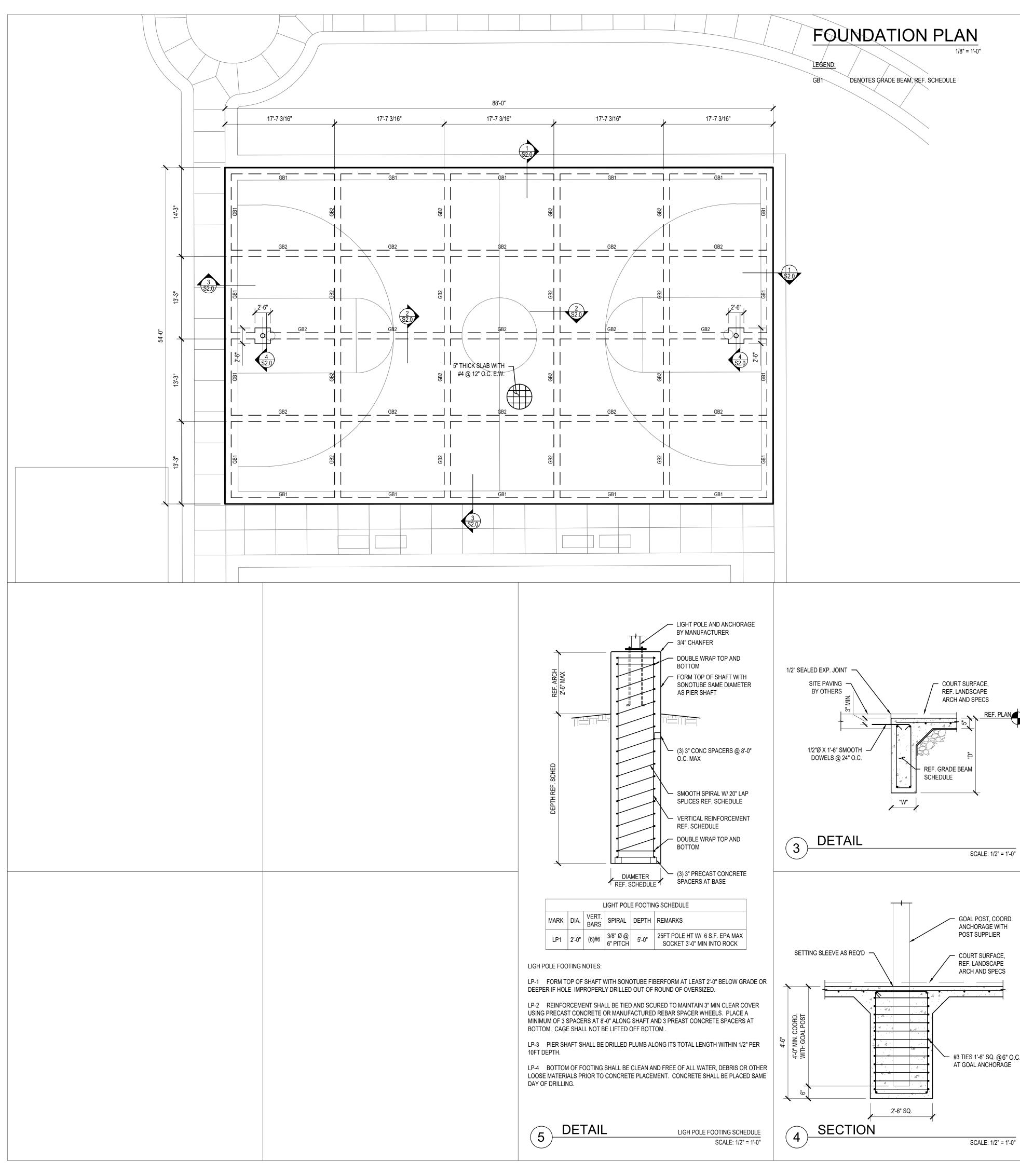
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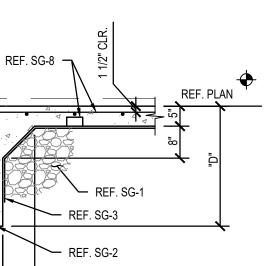
**GENERAL**, NOTES & DETAILS

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COURT SURFACE, -REF. LANDSCAPE

ARCH AND SPECS

SECTION

COURT SURFACE,

REF. LANDSCAPE

ARCH AND SPECS

SECTION

**SLAB ON GRADE FOUNDATION NOTES:** 

MARK "W" "D"

GB1 12 30

GB2 12 18

SUPPORTED FOUNDATION" NOTES.

PREVENT FROM HANGING LOOSELY.

NATURAL GRADE.

4'-0" INTERVALS.

BAR DIAMETER LAP SPLICES.

REF. SG-8 -

FINISH GRADE

TYPICAL EXTERIOR BEAM SCALE: 1/2" = 1'-0" REF. PLAN REF. SG-3

REF. SG-2

TYPICAL INTERIOR BEAM SCALE: 1/2" = 1'-0"

GRADE BEAM SCHEDULE	
MAIN REINFORCEMENT	STIRRUPS
(2) #6 X CONT T&B	#3 @ 24" O.C.
(2) #5 X CONT T&B	#3 @ 24" O.C.

**SG-1** PREPARE BUILDING PAD PER "STRUCTURAL EARTHWORK FOR GRADE

SG-2 CAREFULLY TRENCH AND SHAPE GRADE BEAMS AND SLAB TURNDOWNS WITH A SMOOTH-MOUTHED BUCKET. IF A TOOTHED BUCKET IS USED, EXCAVATION SHALL BE STOPPED 6" ABOVE FINAL GRADE AND THE REMAINING EXCAVATION ACCOMPLISHED WITH A SMOOTH MOUTHED BUCKET OR BY HAND LABOR TO REMOVE ALL LOOSE SOILS DISTURBED BY THE BUCKET TEETH.

**SG-3** CONTRACTOR TO COORDINATE FINAL VAPOR BARRIER WITH COURT SURFACE REQUIREMENTS. PROVIDE 10 MIL POLYOLEFIN (STEGO WRAP OR EQUIVALENT) VAPOR BARRIER ON TOP OF SELECT FILL WITH 12" LAPPED AND TAPED JOINTS. CUT AROUND ROUGH-IN PIPES AND SEAL WITH TAPE. DO NOT INSTALL VAPOR BARRIER ON BEAM SOFFITS AND BOTTOM 6" OF TRENCHES, ATTACH TO TRENCH WALLS TO

SG-4 WOODFORM EXPOSED FACES TO A DEPTH OF 8" BELOW FINISHED GRADE.

**SG-5** ALL BEAM SOFFITS SHALL BEAR 18" MINIMUM INTO NATURAL GRADE OR COMPACTED FILL. ON PERIMETER, INCREASE SCHEDULED BEAM DEPTH AS REQUIRED FOR SOFFIT TO BEAR 24" MINIMUM BELOW FINISH GRADE. CONTRACTOR COORDINATE BEAM DEPTHS WITH REINFORCING STEEL SUPPLIER TO ALLOW PROPER REINFORCING BARS AT TRANSITIONS. IF BAGGED FILL IS USED, BEAM DEPTH SHALL BE INCREASED AS REQUIRED FOR ALL BEAMS TO BEAR 12" MINIMUM BELOW

**SG-6** TRENCHES SHALL BE VERIFIED FOR SIZE TO MAINTAIN CLEARANCES AROUND REINFORCEMENT PRIOR TO PLACING REINFORCEMENT.

SG-7 PROVIDE 5" THICK CONCRETE SLAB REINFORCED W/ #4 @ 12"o.c. EACH WAY IN TOP, TYPICAL UNLESS NOTED OTHERWISE. SUPPORT MAT AT 4'-0"o.c. EACH WAY WITH CONCRETE BLOCKS OR BRICKS. SUPPORT BOTTOM BEAM REINFORCEMENT AT

**SG-8** GRADE BEAM AND SLAB REINFORCEMENT SHALL BE CONTINUOUS WITH 48

SG-9 PROVIDE FOUR CORNER BARS AT ALL BEAM CORNERS & T-INTERSECTIONS (2 TOP AND 2 BOTTOM). BARS TO EQUAL SIZE OF SCHEDULED BEAM REINFORCEMENT AND SHALL LAP BEAM REINFORCEMENT 48 BAR DIAMETERS.

SG-10 WHERE BEAM DEPTH EXCEEDS 36", ADD #4 @ 12"o.c. IN EACH FACE OF BEAM.

**SG-11** CONDUITS IN SLAB SHALL RUN UNDER THE TOP LAYER OF SLAB REINFORCING. PROVIDE A MINIMUM OF 1 1/2" CLEAR BETWEEN CONDUITS AND BETWEEN CONDUITS AND PARALLEL REINFORCING. DO NOT BUNDLE CONDUITS.

CN-1 ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AC 301 "SPECIFICATION FOR STRUCTURAL CONCRETE BUILDINGS" AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."

**CN-2** CONSTRUCTION TOLERANCES SHALL CONFORM TO ACI 117 "STANDARD TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS."

CN-3 CONTRACTOR SHALL SUBMIT THE FOLLOWING SHOP DRAWINGS:

REINFORCING STEEL - DETAILING FABRICATION AND ERECTION OF ALL REINFORCING BARS INCLUDING ACCESSORIES IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE."

CONCRETE MIX DESIGN - FOR EACH TYPE OF CONCRETE TO BE USED BASED ON AGGREGATE SIZE AND CEMENT PROPORTION. MIX DESIGN SHALL INCLUDE CERTIFICATION OF COMPLIANCE WITH SPECIFIED MATERIALS BASED ON FIELD SAMPLES AND COMPRESSION TEST DATA FOR LABORATORY PREPARED TRIAL MIX OR FIELD TEST DATA FOR SPECIFIED MIX. FIELD TEST DATA SHALL BE FROM AN IDENTICAL MIX DESIGN SUPPLIED FROM PROPOSED BATCH PLANT AND SHALL HAVE BEEN PREPARED WITHIN THE PRECEDING SIX MONTHS.

CN-4 CONTRACTOR SHALL DESIGN, CONSTRUCT, ERECT, SHORE, BRACE AND MAINTAIN FORM WORK ACCORDING TO ACI 301. WOOD FORM WORK SHALL BE #2 COMMON OR BETTER PLYWOOD, EXPOSED SURFACES SHALL BE NEW OR LIKE NEW MOISTURE RESISTANT FIR FORM PLYWOOD. LIGHTLY COAT FORMS WITH NON-STAINING FORM OIL, REMOVE SURPLUS OIL.

**CN-5** REINFORCING STEEL SHALL BE DOMESTIC NEW BILLET STEEL CONFORMING TO ASTM A615 GRADE 60, EXCEPT TIES AND STIRRUPS MAY BE GRADE 40. BARS DESIGNATED AS CONTINUOUS SHALL BE LAPPED 48 BAR DIAMETERS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE LAPPED 8" MINIMUM AT SPLICE POINTS OR 1 1/2 MESHES, WHICHEVER IS GREATER.

CN-6 PORTLAND CEMENT SHALL COMPLY WITH ASTM C-150, TYPE 1. FLY ASH SHALL CONFORM TO ASTM C-618. NORMAL WEIGHT AGGREGATE SHALL COMPLY WITH ASTM C33. WATER SHALL BE POTABLE AND COMPLY WITH ASTM C1602, ADMIXRURES SHALL COMPLY WITH THE FOLLOWING PROVISIONS; WATER REDUCTION AND SETTING TIME MODIFICATION: ASTM C494, PRODUCING FLOWING CONCRETE: ASTM C1017, AIR ENTRAINMENT: ASTM C260, INHIBITING CHOLRIDE-INDUCED CORROSION: ASTM C1582.

CN-7 CONCRETE SHALL BE NORMAL WEIGHT, LABORATORY DESIGNED TO DEVELOP MINIMUM SPECIFIED 28 DAY COMPRESSIVE STRENGTH AND PROPORTIONED AS FOLLOWS:

CONCRETE MIXTURE REQUIREMENTS								
APPLICATION	DESIGN STENGTH f'c	MAX w/cm RATIO	MAX AGGR. SIZE	EXPOSURE CLASS				
ALL CONCRETE	3000	N/A	1 1/2	F1-WO-S0-C0				

w/cm RATIOS NOT SPECIFIED SHALL BE AS REQUIRED TO ACHIEVE DESIGN STRENGTH IF AN EXPOSURE CLASS IS SPECIFIED, PROVIDE MIX DESIGNS PER ACI 301 (FINAL MIX TO BE COORDINATED WITH COURT SURFACE MANUFACTURER)

CN-8 ALL REINFORCING STEEL SHALL BE FREE OF RUST, SCALE, AND DRIED CONCRETE, AND SHALL BE ACCURATELY BENT AND SECURELY TIED INTO POSITION TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. RAISING REINFORCEMENT DURING POUR WILL NOT BE PERMITTED.

**CN-9** CONCRETE COVER SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:

- CONCRETE CAST AGAINST EARTH 3"
- B. CONCRETE EXPOSED TO EARTH OR WEATHER: BARS 3/4" AND LARGER IN DIAMETER - 2 INCHES BARS SMALLER THAN 3/4" DIAMETER - 1 1/2"
- C. CONCRETE NOT EXPOSED TO WEATHER OR GROUND: FOOTING - 3/4"

**CN-10** SET AND BUILD ANCHORAGE AND OTHER EMBEDDED ITEMS INTO FORM WORK AS REQUIRED FOR OTHER WORK THAT IS ATTACHED TO OR SUPPORTED BY CONCRETE. COORDINATE WITH OTHER DISCIPLINES.

**CN-11** CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C-94 "STANDARD SPECIFICATION FOR READY-MIXED CONCRETE."

CN-12 CONCRETE WHEN DEPOSITED SHALL HAVE A TEMPERATURE NOT BELOW 50°F OR ABOVE 90°F. APPROPRIATE MEASURES SHALL BE TAKEN TO MAINTAIN TEMPERATURE RANGE AND PREVENT WATER EVAPORATION FOR 5 DAYS AFTER PLACEMENT. SALT OR OTHER CHEMICALS SHALL NOT BE ADDED TO PREVENT FREEZING.

**CN-13** CONCRETE SHALL BE CONVEYED TO AND DEPOSITED IN FORM WORK NEAR ITS FINAL POSITION, WITH A FREE VERTICAL DROP NOT EXCEEDING 3 FEET. PLACE CONCRETE IN 12 INCH MAXIMUM LAYERS AND COMPACT EACH LAYER BY MECHANICAL VIBRATING.

CN-14 CONSTRUCTION JOINTS IN MONOLITHIC FRAMING SHALL HAVE PRIOR APPROVAL OF THE ARCHITECT/ENGINEER, U.N.O.

CN-15 SCREENING, RE-STRAIGHTENING, AND FINISHING OPERATIONS SHALL COMPLY WITH ACI 302.1R. COORDINATE ALL FINISHES WITH ARCHITECTURAL DRAWINGS AND FLOOR FINISH REQUIREMENTS. CAREFULLY TOOL ALL EXPOSED EDGES. THE FINISHED SURFACE OF THE COURT SHOULD NOT VARY MORE THAN 1/\*8" PER 10FT IN ANY DIRECTION.

**CN-16** CURE CONCRETE FOR AT LEAST SEVEN DAYS BY MOISTURE CURING, SEALED MOISTURE RETAINING COVER CURING, SPRINKLING OR OTHER ACCEPTABLE COVERING IN ACCORDANCE WITH SURFACE SYSTEMS RECOMMENDATIONS, NO CURING COMPOUNDS SHOULD BE USED.

**CN-17** SIDE FORMS MAY BE REMOVED AFTER CUMULATIVE CURING AT NOT LESS THAN 50°F FOR 24 HOURS AFTER PLACING CONCRETE. RESHORE AS REQUIRED FOR CONSTRUCTION LOADS.

**CN-18** PATCH HONEYCOMB, TIE HOLES, AND MINOR DEFECTS WITH ONE PART CEMENT AND TWO PARTS SAND IMMEDIATELY AFTER REMOVING FORMS.

**CN-19** EXPOSED CONCRETE SHALL BE RUBBED WITH CARBORUNDUM BRICKS AND WATER AFTER 48 HOURS BUT BEFORE ONE WEEK. PLASTERING SURFACES WILL NOT BE PERMITTED.

**CN-20** NOTIFY ENGINEER WHEN FORM WORK AND REINFORCING IS IN PLACE SO ENGINEER CAN OBSERVE REINFORCING STEEL PRIOR TO ALL CONCRETE POURS.

**CN-21** INDEPENDENT TESTING LABORATORY SHALL TAKE SAMPLES AND PERFORM SLUMP AND COMPRESSION TESTS PER ASTM C-39 ON CONCRETE PLACED EACH DAY AT THE RATE OF ONE SET OF FOUR CYLINDERS FOR EACH 80 CU. YDS. OR FRACTION THEREOF WITH A MINIMUM INTERVAL OF 50 CU. YDS. BETWEEN SAMPLES.



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# JUPE MANOR NEIGHBORHOOD PARK

**PROJECT ADDRESS** 3218 KAISER DRIVE

SAN ANTONIO, TEXAS 78222 OWNER | CLIENT

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NO. DATE DESCRIPTION

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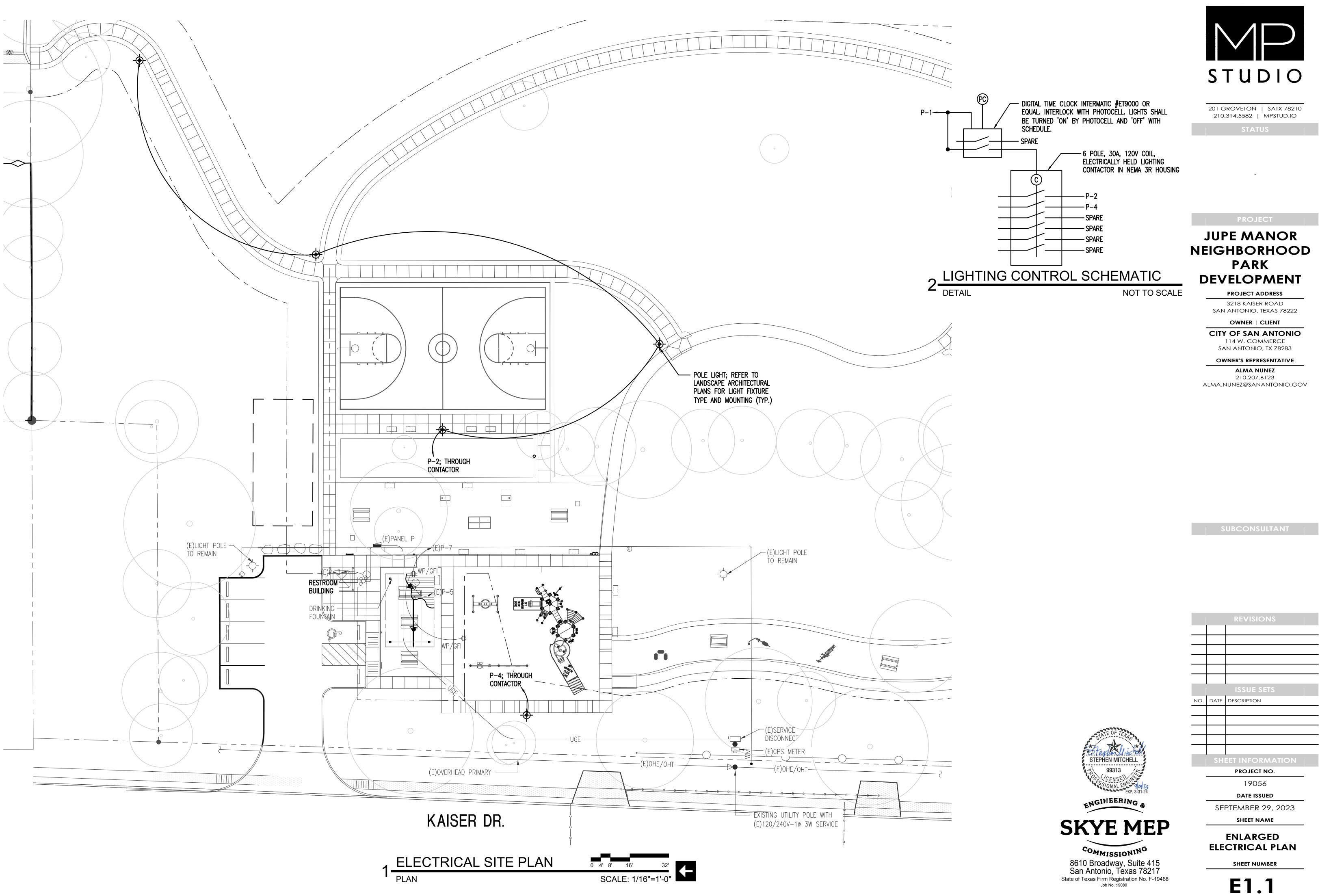
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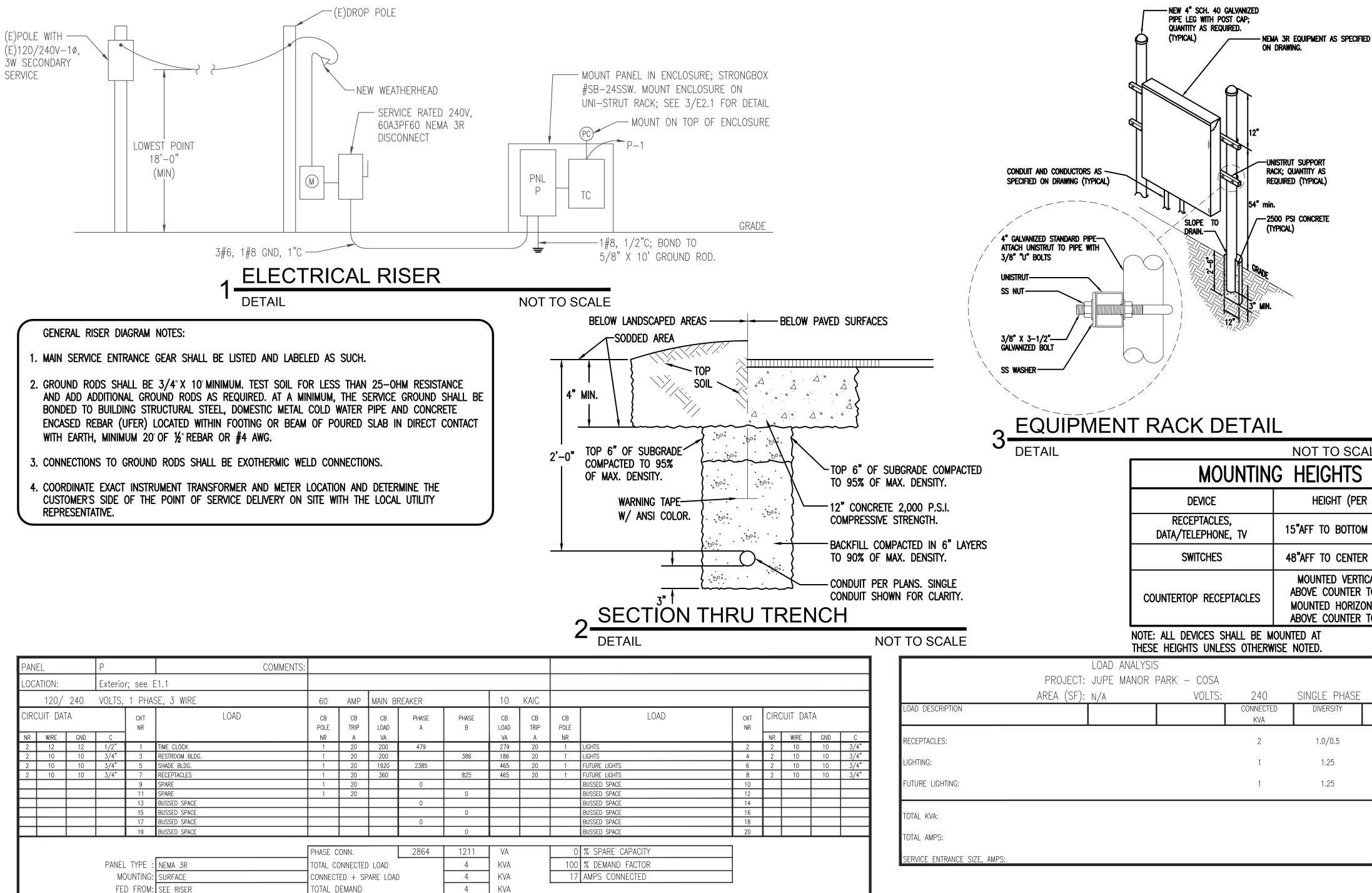
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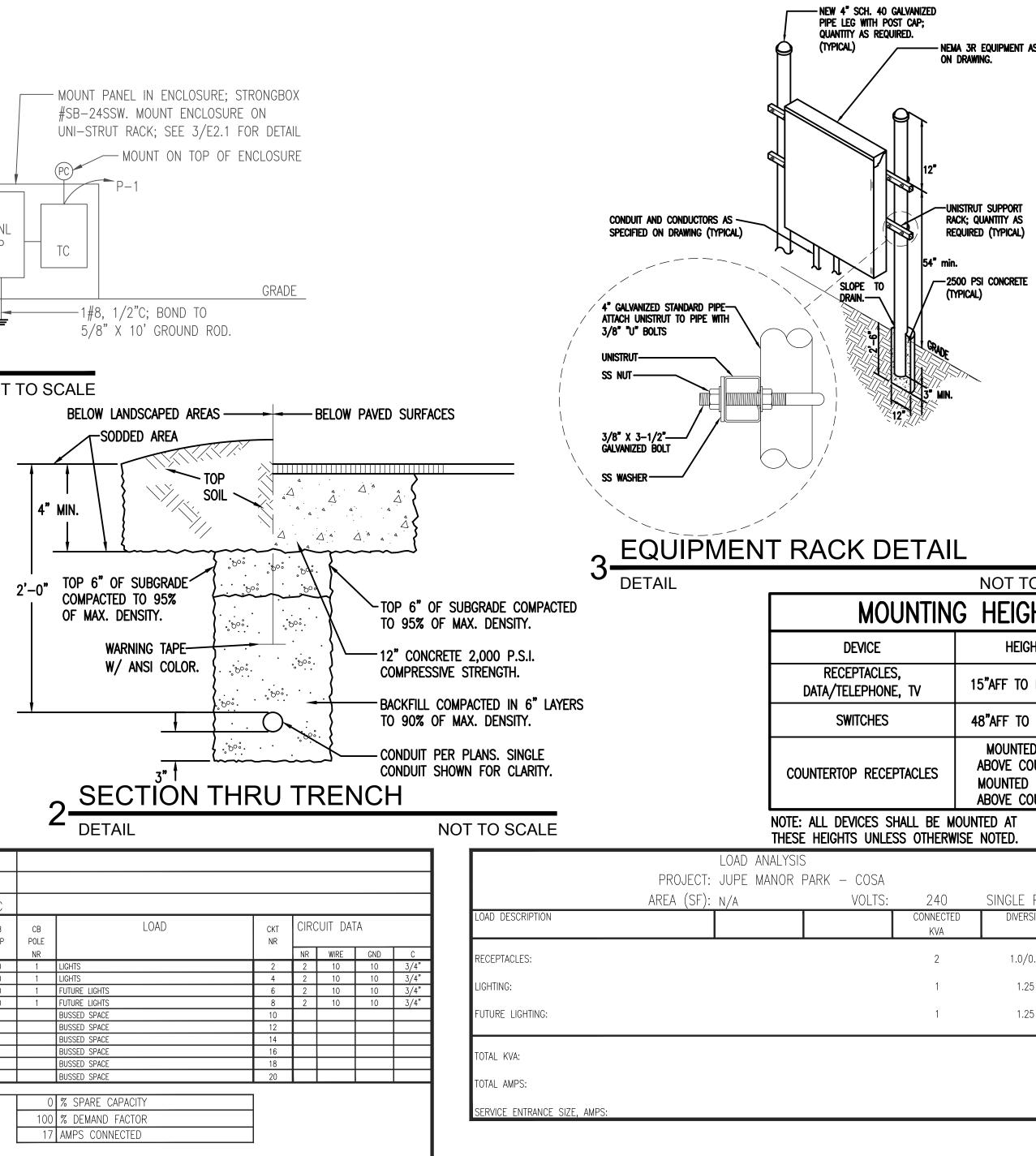
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FOUNDATION PLAN AND DETAILS

SHEET NUMBER







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GENERAL ELECTRICAL NOTES:

- 1. THE WORD "PROVIDE" USED THROUGHOUT THESE CONTRACT DOCUMENTS SHALL MEAN "FURNISH AND INSTALL".
- 2. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST ADOPTED CODES (INCLUDING LOCAL AMENDMENTS), NATIONAL ELECTRICAL CODE (NEC), INTERNATIONAL FIRE CODE (IFC), NATIONAL LIFE SAFETY CODE (NFPA 101), NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72), TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR), INTERNATIONAL ENERGY CONSERVATION CODE (IECC), INTERNATIONAL BUILDING CODES (IBC), AND AMERICANS WITH DISABILITIES ACT (ADA).
- 3. ALL APPLICABLE STANDARDS OF THE NATIONAL ELECTRICAL MANUFACTURES ASSOCIATION (NEMA) AND THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) SHALL BE FOLLOWED.
- 4. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM IS TO BE FULLY OPERABLE AND ACCEPTANCE OF THIS SYSTEM BY THE ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUB CONTRACT.
- 5. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS REQUIRED BY LOCAL, STATE AND FEDERAL LAWS.
- 6. ALL APPLICABLE SECTIONS OF THE ELECTRICAL SAFETY IN THE WORKPLACE (NFPA 70E) AND OCCUPATIONAL SAFETY AND HEATH ADMINISTRATION (OSHA) SHALL BE FOLLOWED.
- 7. CONTRACTOR SHALL VISIT THE SITE AND ASCERTAIN THE CONDITIONS TO BE MET THERE IN INSTALLING HIS WORK AND MAKE DUE PROVISIONS FOR SAME IN HIS BID.
- 8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO, CIVIL, STRUCTURAL, ARCHITECTURAL, PLUMBING, AND MECHANICAL PRIOR TO SUBMITTING A BID. REPORT ANY DISCREPANCIES TO OWNER OR ENGINEER PRIOR TO BID.
- 9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.

- 10. PROCURE ALL THE NECESSARY AND USUAL PERMITS AND CERTIFICATES FOR ALL WORK INSTALLED. DELIVER SAME TO THE OWNER BEFORE FINAL ACCEPTANCE. CONTRACTOR TO PAY FOR ALL PERMITS. FEES, INSPECTIONS, AND TESTING.
- 11. THE ELECTRICAL CONTRACTOR SHALL MEET AND COORDINATE WITH THE LOCAL UTILITY COMPANIES AT THE SITE PRIOR TO CONSTRUCTION. AT THAT TIME, THE CONTRACTOR SHALL COORDINATE ALL RELATED WORK WITH THE UTILITY COMPANIES' REPRESENTATIVES TO MEET THE OWNER'S SCHEDULE.
- 12. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND DO NOT SHOW EVERY MINOR DETAIL. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ITEMS REQUIRED FOR A COMPLETE ELECTRICAL SYSTEM.
- 13. ELECTRICAL CONTRACTOR SHALL INCLUDE TEMPORARY POWER, WIRING AND LIGHTING AS PART OF HIS SCOPE AS REQUIRED.
- 14. PROVIDE DISCONNECT SWITCHES, WIRING, CONDUIT, CONNECTIONS, LABOR, ETC. TO ENERGIZE OF ALL MECHANICAL, REFRIGERATION, AND PLUMBING EQUIPMENT SUCH AS PUMPS, MOTORS, FANS, HEATERS, AIR CONDITIONING EQUIPMENT, ETC. UNLESS OTHERWISE NOTED. COORDINATE REQUIREMENTS WITH OTHER TRADES ON SITE.
- 15. ELECTRICAL GEAR SUCH AS SWITCHBOARDS, PANELBOARDS, TRANSFORMERS, DISCONNECTS, ETC. SHALL BE LABELED BY NAME OR BY EQUIPMENT SERVED WITH PERMANENTLY ATTACHED LABELS. SWITCHBOARDS AND PANELBOARDS SHALL HAVE A TYPED CIRCUIT DIRECTORY CARD PROTECTED BY A PLASTIC SLEEVE. LAMINATE CIRCUIT DIRECTORY CARDS FOR ALL NON-NEMA 1 EQUIPMENT.
- 16. PANELBOARDS MADE PART OF THIS PROJECT SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ARC FLASH HAZARD IN ACCORDANCE WITH NEC 110.16.
- 17. WHERE WORK ON ENERGIZED EQUIPMENT IS UNAVOIDABLE, MEASURES SHALL BE TAKEN TO ENSURE ONLY QUALIFIED ELECTRICIANS WEARING PERSONAL PROTECTIVE EQUIPMENT (PPE) RATED HIGHER THAN THE LISTED OR ANTICIPATED POTENTIAL ARC FLASH SHALL SERVICE/INSTALL THE EQUIPMENT.
- PROCEDURES.
- 18. DE-ENERGIZED EQUIPMENT SHALL FOLLOW ALL OSHA AND NFPA 70E LOCK OUT/TAG OUT

- 19. PARTS AND ELECTRIC EQUIPMENT THAT ARC OR SPARK IN NORMAL OPERATION SHALL BE ENCLOSED IN ACCORDANCE WITH NEC 110.18.
- 20. PROVIDE GROUND FAULT CIRCUIT INTERRUPTION (GFI) MEANS FOR RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS, RESTROOMS, EXTERIOR, AND ANY OTHER LOCATION REQUIRED BY CODE.
- 21. MINIMUM WIRE SIZE FOR LIGHTING, DEVICE, AND RECEPTACLE BRANCH CIRCUITS SHALL BE #12 AWG. ALL CONDUCTORS SHALL BE COPPER THWN/THHN AND INSTALLED IN APPROVED RACEWAY. ALUMINUM OR COPPER-CLAD WIRING SHALL NOT BE USED.
- 22. USE SOLID #12 AWG AND #10 AWG CONDUCTORS IN ALL EXTERIOR APPLICATIONS OR WHERE CONDUCTORS MAY BE EXPOSED TO MOISTURE. STRANDED #12 AWG AND #10 AWG CONDUCTORS ARE ACCEPTABLE FOR INTERIOR HOMERUNS.
- 23. MINIMUM CONDUIT SIZE SHALL BE 1/2" AND 3/4" WHERE ROUTED BELOW GRADE.
- 24. ALL UNDERGROUND RACEWAYS SHALL BE GALVANIZED RIGID STEEL CONDUIT, SCHEDULE 40 PVC, OR SCHEDULE 80 PVC WHERE SUBJECT TO VEHICULAR TRAFFIC. ALL OTHER RACEWAYS TO COMPLY WITH GOVERNING CODES. COORDINATE WITH OTHER TRADES FOR LOCATION OF ALL UNDERGROUND CONDUIT.
- 25. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS, AND BE OF SPECIAL CONSTRUCTION FOR OTHER CLASSIFIED AREAS.
- 26. ALL ELECTRICAL RACEWAYS (METALLIC AND NONMETALLIC) SHALL HAVE AN EQUIPMENT GROUND CONDUCTOR SIZED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC OR AS SHOWN ON DRAWINGS, WHICHEVER IS MORE STRINGENT.
- 27. ALL MATERIALS SHALL BE NEW AND OF DOMESTIC ORIGIN AND SHALL BEAR UNDERWRITERS' LABEL WHERE APPLICABLE.
- 28. ALL ELECTRICAL GEAR SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER. TANDEM AND HALF-SPACE CIRCUIT BREAKERS SHALL NOT BE USED.

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	ELECTRICAL LEGEND
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	GENERAL
	CIRCUIT HOME-RUN TO PANEL
$\frown$	SWITCH LEG
$\bigcirc$	DENOTES ELECTRICAL KEYED NOTE
(E)	DENOTES EXISTING
POC	POINT OF CONNECTION
СКТ	CIRCUIT
AFF	ABOVE FINISHED FLOOR
UGE	UNDERGROUND ELECTRICAL
WP	WEATHERPROOF
OHE	OVERHEAD ELECTRICAL
N.I.C.	NOT IN CONTRACT
	LIGHTING
⊨	FLUORESCENT STRIP FIXTURE
<u> </u>	WALL BRACKET FIXTURE
-ф-	LIGHT FIXTURE
Ý	FLOOD LIGHT FIXTURE
Δ	SURFACE LIGHT
	STEP LIGHT
0	UPLIGHT FIXTURE
$\boxtimes$	STARTER OR CONTACTOR
99	PHOTO CELL
	POWER
Φ	SIMPLEX RECEPTACLE
Φ	DUPLEX CONVENIENCE OUTLET
Φ	208V 1Ø RECEPTACLE
<b>#</b>	QUADPLEX CONVENIENCE OUTLET
<b>Φ</b> <sup>GFI</sup>	OUTLET WITH GROUND FAULT CIRCUIT INTERRUPTER
J, J	JUNCTION BOX
PB	PULL BOX
	INDIVIDUAL METER
	PANEL
	DISCONNECT SWITCH
$\diamond$	MOTOR
ТС	TIME CLOCK
\$M	MOTOR RATED SWITCH
Т	TRANSFORMER
Ť	GROUND
	MARKS MAY BE USED. DASHED ITEMS INDICATE
EMOVAL	



COMMISSIONING 8610 Broadway, Suite 415 San Antonio. Texas 78217 State of Texas Firm Registration No. F-19468 Job No. 19080



201 GROVETON | SATX 78210 210.314.5582 | MPSTUD.IO STATUS

PROJECT

# JUPE MANOR NEIGHBORHOOD PARK DEVELOPMENT

**PROJECT ADDRESS** 

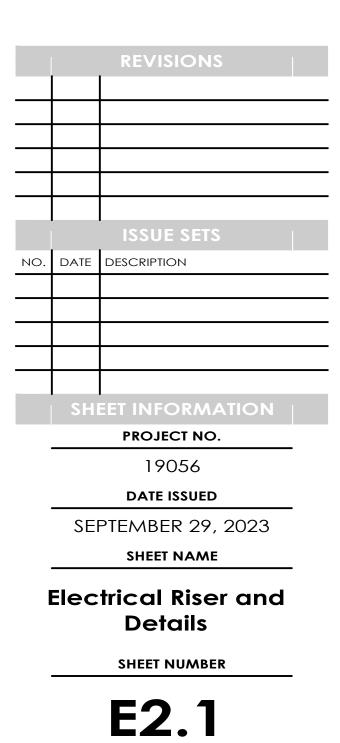
3218 KAISER ROAD SAN ANTONIO, TEXAS 78222

**OWNER | CLIENT CITY OF SAN ANTONIO** 114 W. COMMERCE

SAN ANTONIO, TX 78283 **OWNER'S REPRESENTATIVE ALMA NUNEZ** 

210.207.6123 ALMA.NUNEZ@SANANTONIO.GOV

SUBCONSULTANT



PART 1 – GENERAL

1.01 WORK INCLUDED IN THIS SECTION

A. <u>Referenced Documents</u>: Bidding Requirements, Conditions of the Contract, and Division 01 - General Requirements are hereby made a part of this section.

B. Work included in Division 16 includes the furnishing of all labor, materials, tools, equipment, drayage, rigging, fees, permits, inspections, etc., necessary for the complete installation and operation of all electrical equipment and work as shown on the Plans and specified herein. Work includes the following general listings, in addition to which furnish all fittings, hangers, supports, conduits, sleeves, inserts and other such items and accessories required or necessary for the operation of a complete electrical system as shown on the Plans and/or specified herein:

- 1. Lighting and outlet system.
- 2. Service entrance.
- 3. Wiring, feeders, and panelboards.

1.02 RELATED WORK SPECIFIED ELSEWHERE

- A. Submittals: Division 1.
- B. Painting: Division 9.

1.03 REQUIREMENTS OF REGULATORY AGENCIES

Work shall conform to the latest editions of the following:

- A. Power company electrical standard requirements.
- B. International Energy Conservation Code (IECC).
- C. National Electrical Code (NEC) with local amendments.
- D. National Electrical Manufacturers Association (NEMA).
- E. Occupational Safety and Health Administration (OSHA).
- F. Underwriters' Laboratories, Inc. (UL), and shall be so labeled.
- G. International Building Code (IBC).

1.04 QUALIFICATIONS

Electrical Contractor of work specified herein to have been engaged in electrical contracting business for a minimum of five (5) years prior to bid date and be prepared to show evidence and references if requested by the Owner.

1.05 SUBMITTALS

Brochures shall be submitted for the following:

- A. Light fixtures.
- B. Panelboards.
- C. Disconnects, fuses.

1.06 SUBSTITUTIONS AND DEVIATIONS

A. The intent of these specifications is to establish minimum quality standards for material and equipment installed. All materials, equipment, and apparatus shall be new and of the quality indicated in the following specifications.

B. It is not the Architect/Engineer's intention to discriminate against any manufacturer or product. Any manufacturer desiring to submit his product for approval as an equal to that specified may do so by providing a sample specification to the Engineer's office for approval a minimum of 10 working days prior to bid date.

1.07 FEES

Procure all the necessary and usual permits and certificates for all work installed. Deliver same to the Owner before final acceptance. Pay all inspection fees necessary.

1.08 SPECIAL CONDITIONS OF THE WORK

A. Drawings are necessarily diagrammatic and do not show every connection in detail or every line conduit in its exact location.

B. Investigate structural and finish conditions and arrange Work accordingly; furnish all fittings and accessories required to meet conditions and give satisfactory operation. Coordinate with other contractors to avoid interference with the Work.

1. Work shall be laid out to be concealed in furred chases and suspended ceilings, etc., in finished portions of building, unless specifically noted to be exposed. Work shall be installed to avoid crippling of structural members. Thimbling of beams shall be done only with the specific approval of the Owner.

2. Electrical Contractor, by submitting a sub-bid, sets forth that he has the necessary technical training and ability and that he will install his Work in a satisfactory and workmanlike manner up to the best standard of the trade, complete and in good working order.

3. If any of the requirements of the plans and specifications are impossible of performance, or if the installation will not perform satisfactorily, he shall report same to the Owner for correction during the bidding period.

4. No extra will be allowed for extra work or changes caused by failure to 2.05 CONDUIT comply with above requirements. A. Thin wall EMT acceptable for general application.

5. The right to make any reasonable change in the location of outlets, apparatus, and equipment up to time of roughing-in is reserved by the Owner without involving any additional expense to the Owner.

1.09 SITE INVESTIGATION

A. Electrical Contractor shall visit the site and ascertain the conditions to be met there in installing his Work and make due provisions for same in his bid. It will be assumed that the Electrical Contractor in submitting his bid has visited the premises and that his bid covers all work necessary to properly install his Work. Failure to comply with these requirements shall not be considered justification for the omission or faulty installation of any of his Work, or for the payment of extra compensation for work covered by Specifications and Plans.

B. Locations and elevations of utilities shown on Plans have been obtained from site utility plans, existing plans, site inspection and utility companies serving the site. The Electrical Contractor shall examine the site verifying to his own satisfaction the location and elevation of all utilities and shall adequately inform himself as to their relationship to the Work before entering into a contract.

C. Specifications and the Drawings in no way imply as to the condition of the soil to be encountered. No representations as to soil conditions are made or implied in any portion of the Contract documents.

D. All Work in connection with this Contract will be under the supervision and to the entire satisfaction of the Owner or his authorized representative who shall determine all questions as to the satisfactory completion of the Work, or any part thereof, and defects necessary to be remedied.

E. The Electrical Contractor shall give his personal attention to all parts of the Work and shall employ only skilled and reliable workmen in the performance thereof. They shall also accord to the Owner the right to decide upon and discontinue the services of any workman who does not possess satisfactory skill and qualifications, or is otherwise objectionable.

1.10 SAFETY STANDARDS

It shall be the responsibility of the Electrical Contractor to initiate, maintain and supervise all safety precautions required by local, state and federal laws, including OSHA (Occupational Safety and Health Administration).

### PART 2 – PRODUCTS

### 2.01 MATERIALS

All materials described in Division 16 shall be new; no used materials shall be used. Brands and models listed are for quality assurance only; other brands equal in quality and approved for use are acceptable. Any material damaged during installation shall be replaced at Electrical Contractor's expense.

2.02 LIGHTING AND POWER PANELBOARDS

A. 240/120 volt, grounded wye panels as noted on Plans; Square D type NQO or equal, factory assembled, plug-on breakers.

B. Panels shall be listed by Underwriters' Laboratories, Inc.

C. Circuit breakers shall be plug-on type thermal-magnetic type unit construction, employing quick-make and quick-break toggle mechanisms for manual operation as well as automatic operation. Circuit breakers shall be of the thermal magnetic type, having inverse time delay thermal trip on overloads and instantaneous magnetic trip on short circuits. Interrupting capacities shall be as noted on the drawings. Breakers employing slow-make and slow-break operating mechanisms NOT ACCEPTABLE. Automatic tripping shall be indicated by breaker's handle assuming a clearly distinctive position from manual "On" and "Off" positions; breakers shall be removable from front of enclosure for inspection and replacement. All 20 amp single pole breakers shall be suitable for switching duty.

D. Provide directory card with each circuit labeled on card.

2.03 DISCONNECT SWITCHES

A. General-Duty Disconnect Switches: Provide surface-mounted, general-duty type, sheet-steel enclosed switches, of types, sizes, and electrical characteristics indicated; rated 240 volts, 60 hertz, with 3-blades, 4-poles, solid neutral; incorporating spring assisted, quick-make, quick-break switches which are so constructed that switch blades are visible in OFF position with door open. Equip with operating handle which is integral part of enclosure base and whose position is easily recognizable, and is capable of being padlocked in OFF position. Construct current carrying parts of high-conductivity copper, with silver-tungsten type switch contacts, and stamped enclosure knockouts.

B. Heavy-Duty Safety Switches: Provide surface-mounted, heavy-duty type, sheet-steel enclosed safety switches, of types, sizes and electrical characteristics indicated; fusible type, rated 600 volts, 60 hertz, 3-blades, 4-poles, solid neutral; incorporating quick-make, quick-break type switches; so construct that switch blades are visible in OFF position with door open. Equip with operating handle which is integral part of enclosure base and whose position is easily recognizable, and is padlockable in OFF position; construct current carrying parts of high-conductivity copper, with silver-tungsten type switch contacts, and positive pressure type reinforced fuse clips.

C. Fuses: Provide fuses for safety switches, as recommended by switch manufacturer, of classes, types, and ratings needed to fulfill electrical requirements for service indicated.

### 2.04 CONDUCTORS

All conductors shall be copper, 600V rating, type THHN, THHW unless shown otherwise.

2.06 LIGHT FIXTURES

3.03 LOCATIONS OF FIXTURES AND EQUIPMENT

Fixtures and equipment shall be as shown on Plans and Elevations. Locations of fixtures or equipment not shown on Plans shall be established or verified in writing or by shop drawings.

B. PVC acceptable in slabs or underground. Provide factory wrapped steel

A. The Contractor shall furnish and install lighting fixtures complete with

a fixture type designation may have been omitted from the drawings, it

shall be the responsibility of the Contractor to contact the Engineer in

at the location in question. If the Contractor fails to comply with this

requirement, he shall furnish and install fixtures as instructed by the

on behalf of the Contractor who fails to comply with this requirement.

Architect without additional cost to the Owner. No allowance will be made

B. All lighting fixtures shall be furnished complete with accessories to suit

the specific service intended. Fixtures shown in the schedule to be recessed

support from the structure above and/or any other accessories required to

C. The fixture designations on the drawings and schedule are typical and

are not intended to be restrictive but are indicative of a particular quality

D. Minimum starting temperature of O degrees F. for all outside fixtures.

A. Work shall be done in accordance with Plans and Specifications and

B. If Plans and Specifications differ from required minimum standards set

Specifications exceed requirements, in which case Plans and Specifications

ordinances occurs, attention must be called to same before signing of the

responsible for having all Work meet with the requirements of the governing

Contract. After the contract has been signed, the Electrical Contractor is

C. If any disagreement between the Plans and Specifications and the

ordinances. No extra to the contract will be granted to correct any

A. All electrical Work shall be guaranteed for a period of one (1) year

B. Upon notice of any electrical malfunction, the Electrical Contractor shall

remedy the malfunction including all materials, equipment and labor at no

discrepancy existing between the Work and the ordinances.

shall meet rules and regulations of all governing agencies having

forth in ordinances, ordinances shall govern unless the Plans and

shall be complete with frames, mounting yokes, rod hangers to furnish

lamps for every lighting outlet shown on the accompanying drawings. Where

writing prior to the bid opening and determine which fixture type is intended

ells for rising exposed out of ground or slab.

fit the fixture to the ceiling construction.

and class of fixture.

PART 3 - EXECUTION

3.01 INSTALLATION

jurisdiction.

shall govern.

3.02 GUARANTEE

3.04 PARTS LISTS AND MAINTENANCE MANUALS

from date of acceptance by Owner.

extra cost to the Owner.

A. The Electrical Contractor shall submit to the Owner 30 days prior to final acceptance of the building, complete and detailed parts lists, maintenance manuals, etc., covering electrical equipment furnished under this Contract. Brochures shall include all as-built equipment shop drawings, all cuts and capacity information, names and addresses of manufacturers, stocking distributors, manufacturer's agents and/or factory representatives and shall cover all items of equipment on which submittal data is made and shall also include manuals and lists herein called for.

B. Brochures shall be in three copies, shall be bound, indexed and tabbed referencing all items to the Plans and Specifications regarding locations of equipment and materials.

3.05 AS-BUILT DRAWINGS

At the completion of this project, the Electrical Contractor shall provide the Owner with a set of marked-up drawings showing all conduit, outlets, etc., installed by the Electrical Contractor. These drawings shall be complete in every detail and shall incorporate all changes made during the course of the conduct of the project. These drawings shall be prepared in such a manner as to enable the Owner to properly maintain, operate, and repair both concealed and exposed Work. Actual routing of all underground conduit shall be shown.

3.06 PAINTING AND FINISHING

A. Paint all equipment, metal work, conduit, hangers and rods, etc., exposed to view and installed under this Division, with two coats of oil base metal protective paint in colors as directed by the Owner.

B. Refer to Division 9 for painting requirements.

3.07 LOCAL BOARDS

Before submitting a bid, Electrical Contractor shall familiarize himself with the rules of all governing boards having jurisdiction, and he shall notify the Owner before submitting his bid, if in his opinion, any work or material specified is contrary to such rules.

3.08 SEPARATE CONTRACTS WITH OWNER

A. The Owner reserves the right to let other contracts to perform tenant work. The Electrical Contractor shall afford other contractors reasonable opportunity for the storage and introduction of materials for execution of their Work and shall properly connect and coordinate his own Work with theirs. Cooperation shall be absolute to insure harmonious relations with these other contractors that all Work may be completed efficiently.

B. If any part of the Work depends upon work of other contractors for operation or results, Electrical Contractor shall inspect the other work, and shall promptly report to the Owner any condition that conflicts with his Work. Failure to do so shall constitute an acceptance as being suitable and proper as far as his own Work is concerned.

3.09 EXCAVATION AND BACKFILL

A. Electrical Contractor to provide all excavation required in execution of his Work.

B. Excavations shall be to depths indicated or required, protected and kept dry at all times, and properly backfilled, moistened and mechanically tamped to maximum compaction at completion.

C. Remove any surplus excavated earth from site.

D. Arrange for and pay all costs of paving patching if excavation required in city streets.

3.10 SLEEVES

A. Where conduit passes through partitions, walls, and floors, provide galvanized sheet metal sleeves of sizes to readily accommodate conduit.

B. Conduit projecting through roofing shall be made water-tight by proper flashing, a sheet metal cap and tightening band. Flashings shall be furnished by Electrical Contractor and installed by roofer.

3.11 INTERIOR CUTTING AND PATCHING

A. Should any structural difficulties prevent installation of fixtures, equipment, running of conduit, etc., at all points shown on Drawings, then necessary minor deviations therefrom, as determined by the Owner, may be permitted and must be made without additional cost to the Owner.

B. Any necessary cutting into partitions, walls, or floors shall be neatly and carefully done. No cutting into structural parts of buildings, likely to impair strength of building, shall be done without approval of Owner.

C. Electrical Contractor shall be held responsible for all damages caused by his Work or through the neglect of his workmen. All patching and repairing of damaged Work shall be done under direction of Owner at expense of Electrical Contractor.

3.12 SCAFFOLDING

Furnish and erect, at Electrical Contractor's expense and risk, any and all appliances, scaffolding, lights, guards, temporary walks, tools, transportation, etc., required for the proper construction or protection of his Work.

3.13 CONTRACTOR'S COORDINATION AND CLEANING UP

A. Electrical Contractor shall cooperate with the other contractors on the job to the end that as a whole, the job shall be completely finished, and shall carry on this Work in such a manner that none of the other contractors shall be handicapped, hindered, or delayed. When work is finished, remove from the premises all tools, machinery, debris, etc., occasioned by his Work, and leave the premises free of all obstructions and hindrances.

B. Where electrical work occurs in masonry walls, the installation shall be done sufficiently in advance of construction; fittings, appurtenances, etc., shall be installed in such a manner and at such locations as to avoid unnecessary cutting of masonry units. Work erected in advance of masonry shall be securely supported and held in position to prevent displacement. Cutting and fitting of masonry around properly located equipment will be done by masons. Place Work located in partitions or ceilings ahead of the construction, with equipment securely wired in place. The Contractor shall have a representative on the job during all concrete pours to insure all of his equipment is adequately supported and protected and will not be adversely affected by such operations.

C. Cooperate with the local utility companies in such a manner that the installation of all services proceeds in an orderly manner, and meets all requirements of the specified companies involved.

3.14 ELECTRICAL EQUIPMENT BY OTHERS

Except for such items as are normally wired up at their point of manufacture and unless specifically noted to the contrary in the documents, execute all electric wiring of every character both for power supply and for pilot and control for equipment. Others will erect all motors in place ready for connection. Mount all starters and control equipment, furnishing supporting structures where necessary.

### 3.15 TESTING AND ADJUSTING

A. All systems shall be tested in the presence of the Owner.

B. All testing equipment necessary to satisfactorily conduct the required tests shall be provided, and the tests shall be made by the Electrical Contractor at his expense under the direction of the Owner.

C. All equipment furnished and installed and/or connected under the provisions of these Specifications shall be demonstrated to function electrically in the manner required.

D. The entire electrical installation shall be free from short circuits and improper grounds. Tests shall be made at each power panel and lighting panel with all switches closed. Each power circuit shall be tested at its switch. In testing for insulation values to ground, the power equipment shall be connected for normal operation. The instruments required for these tests shall be furnished by the Electrical Contractor.

E. Insulation values shall not be less than those required by the National Electric Code. Other specific tests shall be made in accordance with requirements stated in these Specifications.

F. All loads shall be properly balanced on each phase of the system, within five percent (5%).

G. If the tests indicate unsatisfactory materials, workmanship, or performance, the Electrical Contractor shall remove such defective materials and replace with new material at his own expense, shall correct defective workmanship, and shall then conduct same tests again until the satisfactory character of the work installed by him has been fully demonstrated to the satisfaction of the Owner.

3.16 PROTECTION OF UNDERGROUND CONDUIT

A. All steel conduit run underground shall be protected by a factory applied coating or wrapping consisting of one of the following:

1. Minnesota Mining and Manufacturing Company "Scotch Kote" Resin #202, factory applied coating with two-ply "Scotchwrap" #50 tape on field joints.

2. PVC plastic primer, followed by poly-vinyl plastic coating as supplied by Lone Star Steel Company "Extra Coat" or approved equal. Field joints shall be wrapped in strict accordance with manufacturer's directions.

B. Electrical Contractor shall submit samples and detailed Specifications for final approval.

3.17 GROUNDING

A. Grounding of electrical conduit system and neutral of wiring system for building shall be effectively made by connection to earth, using standard ground clamps and cables.

B. Ground wire shall be run in rigid conduit which is securely coupled to main distribution cabinet by using special clamps or double lock nuts and bushings, and run to most accessible point and connect to 3/4" by 8'0" copper clad weld ground rods using an approved bolted pressure clamp.

C. Underground water piping shall be used as ground if available.

D. Service grounding conductor: Capacity not less than indicated in NEC Article 250.

E. Electrical continuity of all metallic raceway systems shall be assured. Wherever expansion joints occur, bonding shall be provided. Carefully and securely ground all fluorescent fixture bodies to the conduit system.

F. Provide continuous grounding wire through all PVC conduits.

G. Ground wires for telephone service shall be copper #6. Coordinate with telephone company for exact location required in telephone rooms at cabinet locations.

3.18 WORKMANSHIP

A. Labor shall be performed in a thorough and workmanlike manner and with all reasonable rapidity to the satisfaction of the Owner.

B. Material or equipment shall be delivered to the project in the manufacturer's original, unopened, labeled containers and be adequately protected against moisture, tampering, or damage from improper handling or storage. Materials shall not be delivered to the job before they are ready for installation.

C. The Owner will require the removal from the premises of such material or work as in his opinion is not in accordance with the Specifications or Drawings. The Owner has authority to stop the work whenever such stoppage may be necessary to insure the proper execution of the Contract.

D. Any item of equipment shall be the product, modified as required by the requirements of the project, of a manufacturer experienced in the design, construction, and operation of equipment for the purpose required and who shall have furnished such equipment long enough to be able to show a record of successful operation.

3.19 CLEANING UP

It is the Electrical Contractor's responsibility to clean up all trash and debris caused by the work of this Division, keeping premises, street, sidewalks, and adjacent property clean and neat at all times and to dispose of such materials outside the legal limits of the project or as directed by \_\_\_\_\_ the Owner.

END OF SECTION 16000



ENGINEERING &



8610 Broadway, Suite 415 San Antonio, Texas 78217 State of Texas Firm Registration No. F-19468 Job No. 19080



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PROJECT

# JUPE MANOR **NEIGHBORHOOD** PARK DEVELOPMENT

PROJECT ADDRESS

3218 KAISER ROAD SAN ANTONIO, TEXAS 78222

OWNER | CLIENT CITY OF SAN ANTONIO 114 W. COMMERCE

SAN ANTONIO, TX 78283 OWNER'S REPRESENTATIVE ALMA NUNEZ

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SUBCONSULTANT

		REVISIONS				
		ISSUE SETS				
NO.	DATE	DESCRIPTION				
	SH	EET INFORMATION				
	PROJECT NO.					
	19056					
	DATE ISSUED					
	SEPTEMBER 29, 2023					
	SHEET NAME					
	Electrical Specifications					
	SHEET NUMBER					
		E3.1				

### JUPE MANOR PARK

New shade pavilion structure with concrete pad replacing decomposed granite area

3218 KAISER DR. SAN ANTONIO, TX 78222



### New basketball court and walk trails connecting to the existing trail system

