

HISTORIC AND DESIGN REVIEW COMMISSION

November 1, 2023

HDRC CASE NO: 2023-413
ADDRESS: 504 E EVERGREEN
LEGAL DESCRIPTION: NCB 398 BLK 18 LOT 2
ZONING: R-6, H
CITY COUNCIL DIST.: 1
DISTRICT: Tobin Hill Historic District
APPLICANT: Jesus Zamarripa
OWNER: Alexander & Ileana Aleman
TYPE OF WORK: Rear addition construction and fenestration modifications
APPLICATION RECEIVED: October 9, 2023
60-DAY REVIEW: December 8, 2023
CASE MANAGER: Bryan Morales

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Replace the front door on the north elevation with a salvaged one-over-one wood window.
2. Modify one window opening on the east elevation to relocate the fenestration to the right.
3. Construct an approximately 984 square feet rear addition.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. *Security bars*—Install security bars only on the interior of windows and doors.

- ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

2. Massing and Form of Non-Residential and Mixed-Use Additions

A. GENERAL

- i. *Historic context*—Design new additions to be in keeping with the existing, historic context of the block. For example, additions should not fundamentally alter the scale and character of the block when viewed from the public right-of-way.
- ii. *Preferred location*—Place additions at the side or rear of the building whenever possible to minimize the visual impact on the original structure from the public right of way. An addition to the front of a building is inappropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, and orientation as the principal structure for additions, particularly for those that are visible from the public right-of-way.
- iv. *Subordinate to principal facade*—Design additions to historic buildings to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- v. *Transitions between old and new*—Distinguish additions as new without distracting from the original structure. For example, rooftop additions should be appropriately set back to minimize visibility from the public right-of-way. For side or rear additions utilize setbacks, a small change in detailing, or a recessed area at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. *Height*—Limit the height of side or rear additions to the height of the original structure. Limit the height of rooftop additions to no more than 40 percent of the height of original structure.
- ii. *Total addition footprint*—New additions should never result in the doubling of the historic building footprint. Full-floor rooftop additions that obscure the form of the original structure are not appropriate.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

5. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING

- i. *Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, cable lines, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.
- ii. *Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way. Where service areas cannot be located at the rear of the property, compatible screens or buffers will be required.

B. SCREENING

- i. *Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
- ii. *Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
- iii. *Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

6. Designing for Energy Efficiency

A. BUILDING DESIGN

- i. *Energy efficiency*—Design additions and new construction to maximize energy efficiency.
- ii. *Materials*—Utilize green building materials, such as recycled, locally-sourced, and low maintenance materials whenever possible.
- iii. *Building elements*—Incorporate building features that allow for natural environmental control – such as operable windows for cross ventilation.
- iv. *Roof slopes*—Orient roof slopes to maximize solar access for the installation of future solar collectors where compatible with typical roof slopes and orientations found in the surrounding historic district.

B. SITE DESIGN

- i. *Building orientation*—Orient new buildings and additions with consideration for solar and wind exposure in all seasons to the extent possible within the context of the surrounding district.
- ii. *Solar access*—Avoid or minimize the impact of new construction on solar access for adjoining properties.

C. SOLAR COLLECTORS

- i. *Location*—Locate solar collectors on side or rear roof pitch of the primary historic structure to the maximum extent feasible to minimize visibility from the public right-of-way while maximizing solar access. Alternatively, locate solar collectors on a garage or outbuilding or consider a ground-mount system where solar access to the primary structure is limited.
- ii. *Mounting (sloped roof surfaces)*—Mount solar collectors flush with the surface of a sloped roof. Select collectors that are similar in color to the roof surface to reduce visibility.
- iii. *Mounting (flat roof surfaces)*—Mount solar collectors flush with the surface of a flat roof to the maximum extent feasible. Where solar access limitations preclude a flush mount, locate panels towards the rear of the roof where visibility from the public right-of-way will be minimized.

Standard Specifications for Windows in Additions and New Construction

- GENERAL: New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below. Whole window systems should match the size of historic windows on property unless otherwise approved.
- SIZE: Windows should feature traditional dimensions and proportions as found within the district.
- SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash.
- This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- TRIM: Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- GLAZING: Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- COLOR: Wood windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- INSTALLATION: Wood windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- FINAL APPROVAL: If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

FINDINGS:

- a. The primary structure located at 504 E Evergreen is a single-family, one-story Craftsman style structure built c. 1919 and first appears on the 1931 Sanborn map. The property features three ganged one-over-one wood windows at the front façade, a decorative Craftsman front porch column, a composition shingle roof with a prominent jerkinhead, and a single attic vent in the front. This property contributes to the Tobin Hill Historic District.
- b. FENESTRATION MODIFICATION (NORTH) – The applicant is requesting to replace the front door on the north elevation with a one-over-one wood window. Historic Design Guidelines for Exterior Maintenance and Alterations 6.A.i. states to preserve existing window and door openings and to avoid filling in historic door or window openings. Staff finds the replacement of the front door with a window does not conform to guidelines.
- c. FENESTRATION MODIFICATION (EAST) – The applicant is requesting to infill one window opening on the east elevation and relocate the window immediately to the right of the original opening. The applicant has noted that they will infill the opening using 117 wood siding to match the existing siding profile. Exterior Maintenance and Alterations 6.A.i. states to preserve existing window and door openings and to avoid filling in historic door or window openings. Staff finds the infill of the window opening and the relocation of the window generally appropriate.
- d. ADDITION: LOT COVERAGE – The applicant has proposed to construct a one-story rear addition. The total square footage of the primary structure is 1,494 square feet. According to the Historic Design Guidelines, the building footprint for new construction should be limited to no more than 50 percent of the total lot area, unless adjacent

historic buildings establish a precedent with a greater building to lot ratio. A building footprint should respond to the size of the lot. The lot size is listed as 7,000 square feet. The applicant has proposed a total square footage of 2,478 square feet for the primary structure and the proposed addition. The total lot coverage proposed is 35.4% Staff finds the proposal consistent with guidelines.

- e. **ADDITION: MASSING & FOOTPRINT** – The applicant has proposed to construct an approximately 984 square feet, one-story rear addition. The original primary structure is 1,494 square feet. Additions 1.B.i stipulates that residential additions should be designed to be subordinate to the principal façade of the original structure in terms of scale and mass. Additions 2.B.iv states that the building footprint should respond to the size of the lot. An appropriate yard-to-building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size. Staff finds the massing and footprint of the rear addition generally appropriate.
- f. **ADDITION: ROOF** – The applicant is requesting approval to construct the rear, one-story addition with a composition shingle hipped roof. Additions 3.A.i. states to use materials that match in type, color, and texture. Additions 1.A.iii. states to utilize a similar roof pitch, form, overhand, and orientation as the historic structure for additions. Additions 1.B.v. states that generally, the height of new additions should be consistent with the height of the existing structure and the addition's height should never be so contrasting as to overwhelm or distract from the existing structure. Staff finds the proposed roof and roof material generally appropriate.
- g. **ADDITION: RELATIONSHIP OF SOLIDS TO VOIDS** – According to the Historic Design Guidelines, additions should incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays. The applicant has proposed to install salvaged one-over-one windows throughout the rear addition, one sliding window on the west elevation, and one sliding window on the south elevation. Staff finds the proposed fenestration for the rear addition generally conforms to guidelines.
- h. **ADDITION: NEW WINDOWS AND DOORS (SIZE & PROPORTION)** – The applicant has proposed to install windows with traditional proportions on the south elevation and east elevation, smaller one-over-one windows on the west elevation, one sliding window on the south elevation, one sliding window on the west elevation, one full-lite door on the south elevation, and one full-lite door on the west elevation. Staff's standard window specifications state that new windows should feature traditional dimensions and proportions as found within the district. Staff finds the proposal consistent with guidelines.
- i. **ADDITION: NEW WINDOWS AND DOORS (MATERIALS)** – The applicant is requesting approval to install salvaged wood windows and has not specified the doors' material. Additions 3.A.i. states to use materials that match in type, color, and texture and any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure. Wood or aluminum-clad wood windows are recommended and should feature an inset of two (2) inches within facades and should feature profiles that are found historically within the immediate vicinity. An alternative window material may be proposed, provided that the window features meeting rails that are no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or be concealed by a wood window screen set within the opening. Staff finds the proposed material for the windows generally conforms to guidelines; however, the applicant should use a wood material for the door.
- j. **ADDITION: FAÇADE (MATERIALS)** – The applicant is requesting approval to install 117 wood siding for the rear addition and foundation skirting. Additions 3.A.i. states to use materials that match in type, color, and texture and any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure. Staff finds the installation of 117 wood siding for the addition and foundation skirting generally conforms to guidelines.
- k. **ADDITION: ARCHITECTURAL DETAILS** – The applicant has proposed to construct a one-story rear addition with a trim piece differentiating the original structure and the addition. Additions 4.A.ii. states additions should incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

Additions 4.A.iii. states applicants should consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new. Additions 2.A.v recommends that for side or rear additions utilize setbacks, a small change in detailing, or a recessed area at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms. Staff finds that the proposed addition features a clear visual distinction between the old and new building forms and generally conforms to guidelines.

- l. **MECHANICAL EQUIPMENT** – Guidelines for Additions 5.A.i. states to not locate air conditioners in front yards or in other locations that are clearly visible from the public right-of-way. Additions 5.A.ii. states to locate service areas toward the rear of the site to minimize visibility from the public right-of-way and, where service areas cannot be located at the rear of the property, compatible screens or buffers will be required. The applicant has not indicated the placement of the air conditioning unit.
- m. **LANDSCAPING PLAN** – The applicant has not submitted a comprehensive landscaping site plan at this time. Staff finds that a separate application for landscaping modifications must be submitted to staff for review and approval if the applicant plans on modifying the landscape design.

RECOMMENDATION:

Staff does not recommend approval of item 1, based on findings a and b. Staff recommends that the applicant retain the historic fenestration pattern on the front façade.

Staff recommends approval of items 2 and 3, based on findings a and c through m, with the following stipulations:

- i. That the applicant submit to staff a window schedule detailing the material and dimensions of the windows and doors on the property.
- ii. That the applicant install windows and doors for the addition that meet staff's standard window and door stipulations, including fully wood or aluminum clad windows, and submits updated specifications to staff for review and approval. The windows should feature an inset of two (2) inches within facades and should feature profiles that are found historically within the immediate vicinity. Meeting rails must be no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- iii. That the applicant meets all setback standards as required by city zoning requirements and obtains a variance from the Board of Adjustment if applicable.

1:1,000

0 0.0075 0.015 0.03 mi

0 0.0125 0.025 0.05 km

HDRC Request for building addition to be constructed to 504 E Evergreen.

504 E Evergreen Scope of Work

Remove existing second door on the front porch that leads to a bedroom on the front porch and replace with a double hung wood window and fill in with original siding profile 117 Drop siding.

Re-level existing foundation and replace all wood posts with concrete posts. Foundation contractor will acquire their own permit prior to starting any work. Foundation skirting on the existing building will be salvaged or repaired/replaced with profile that matches the original skirting. Skirting on the addition will match the original skirting profile. Profile is 117 Drop Siding (Waterfall / Double Teardrop)

Repair/replace all exterior wood rot on fascia and siding with like kind siding to match original.

Re-roof existing structure with 30 year asphalt shingle Sierra Gray in color.

Pressure wash, scrape, sand, prime and repaint exterior with no less than 3 colors.

Build and attach an approx. 984 sq,. ft addition to the existing main structure. Pier and beam foundation, wood framed, asphalt shingle, like kind "waterfall" siding as on the existing structure and repurposed wood double hung windows. See attachments for site plan and elevations.

504 E. EVERGREEN HOME ADDITION

CODE ANALYSIS

BUILDING CODES:
2021 INTERNATIONAL RESIDENTIAL
CODE AND LOCAL AMENDMENTS

2021 INTERNATIONAL FIRE CODE
2021 INTERNATIONAL PLUMBING CODE
2021 INTERNATIONAL MECHANICAL CODE
2020 NATIONAL ELECTRICAL CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE

INDEX OF DRAWINGS

- A1 EXISTING & NEW WORK SITE PLAN
A2.1 EXISTING FLOOR PLAN
A2.2 NEW WORK FLOOR PLAN
A3 EXTERIOR ELEVATIONS
A4 ROOF PLAN

SCOPE OF WORK

HOME REMODEL AND HOME ADDITION.
REMODEL INTERIOR ROOMS THEN ADD
BEDROOM TO BACK OF HOUSE.

HOME REMODEL PIER & BEAM
FOUNDATION. WITH 2X WOOD FRAMING,
EXTERIOR CEMENT BOARD SIDING AND
SHINGLE ROOF TO MATCH EXISTING.

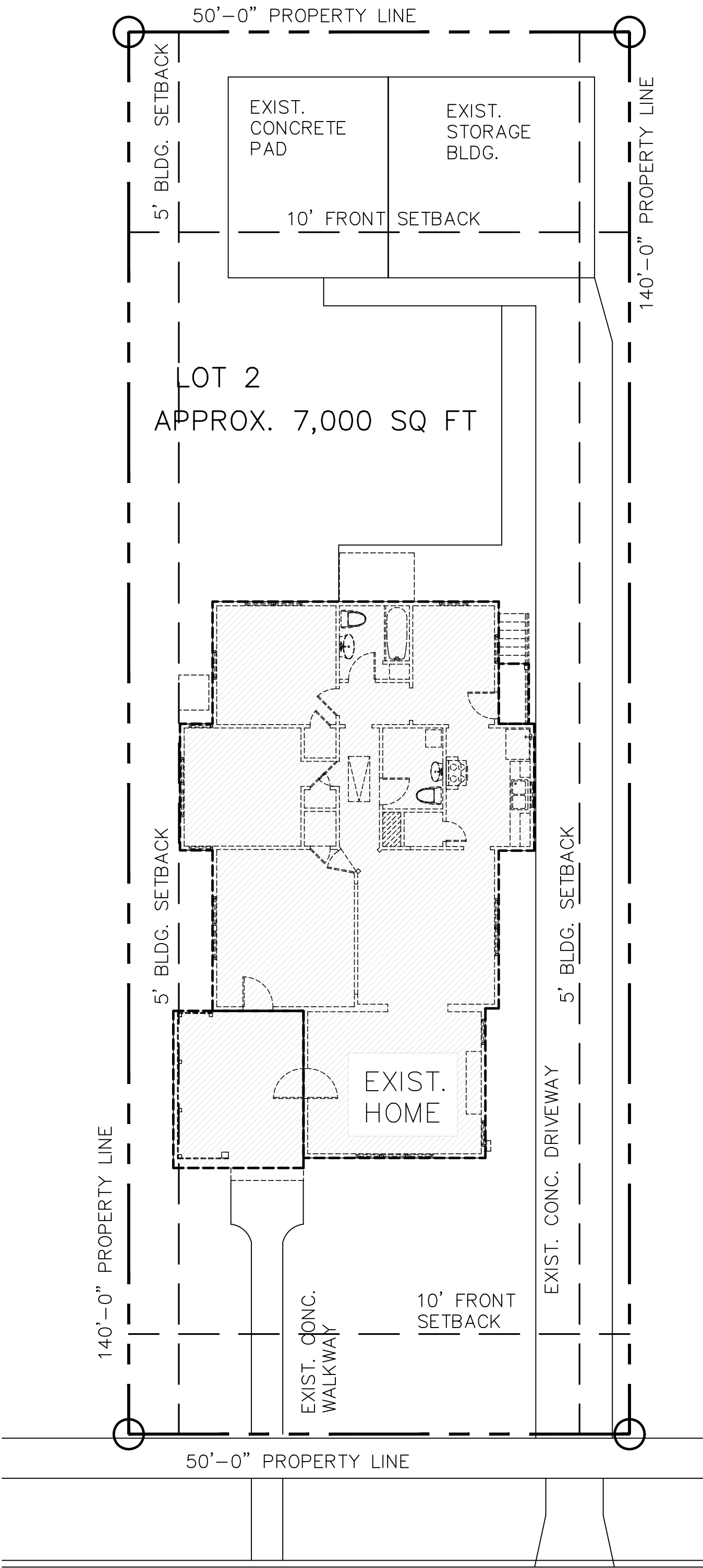
SQUARE FOOT CHART:	
EXISTING HOME LIVING AREA:	1520 sq. ft.
EXISTING PORCH AREA:	203 sq. ft.
EXISTING SIDE PORCH AREA:[DEMO]	18 sq. ft.
EXISTING TOTAL AREA:	1723 sq. ft.
NEW HOME ADDITION AREA:	984 sq. ft.
APPROX. TOTAL AREA:	2,707 sq. ft.

GENERAL REQUIREMENTS

- contractor shall verify all existing dimensions and conditions at the job site. any discrepancies and/or inconsistencies shall be brought to the attention of the design company BRC Design Studio LLC prior to the execution of the work.
- any and all deviations and/or changes from the plans shall be approved by the design company BRC Design Studio LLC prior to execution.
- contractor shall verify locations of, and protect all existing utilities during all operations.
- contractor shall comply with all laws, codes and ordinances applicable to this project. contractor shall obtain and pay for all permits required in connection with the execution and completion of the project. contractor shall pay all taxes and fees required. contractor is responsible and liable for securing any and all inspections required.
- provide any necessary preparation, blocking, substrata, etc. required to properly install and finish the work.
- contractor shall provide temporary security fencing and any other necessary barriers around the entire area of operations. coordinate extent and location of fencing with owner
- all work shall comply with all applicable local building codes and regulations.
- Do not scale drawings. all dimensions indicated shall govern any larger scale details of lesser scale drawings.
- site access and hours/days of construction shall be coordinated with the owner.
- contractor shall be responsible for restoring to its original, or better condition any damage done to existing buildings, utilities, fences, pavement, curbs or drives.
- contractor shall be responsible for coordinating with all necessary utility companies for providing temporary utility services during construction.
- contractor shall be responsible for acquiring all permits, tests, approvals and acceptances required to complete construction of this project.
- Structure per Engineer Design.

IMPERVIOUS COVER DATA:

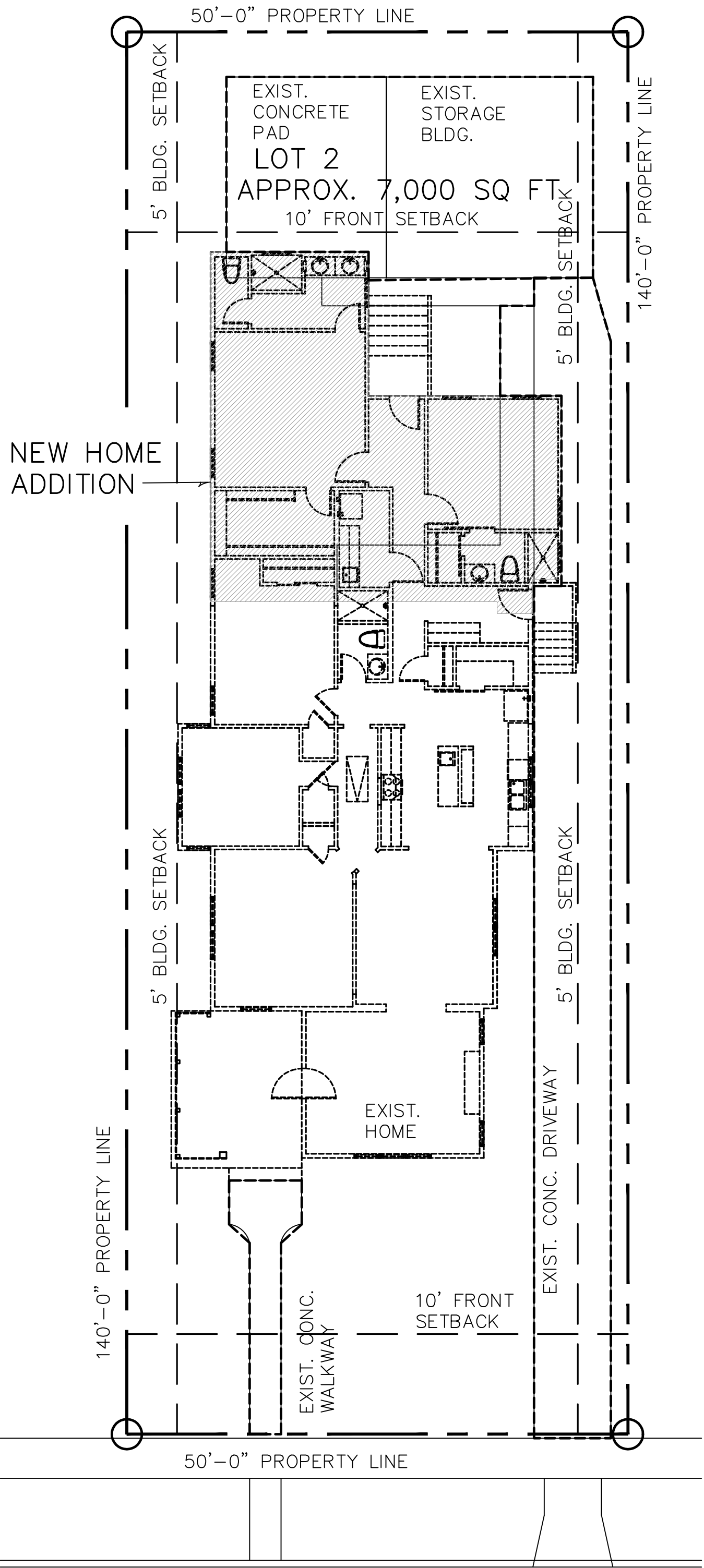
LOT SIZE: 50' X 140' = 7,000 SQ FT
EXISTING HOUSE SQ FT AREA: 1723 SQ FT
EXIST. WALKWAY/ DRIVE AREA: 1,660 SQ FT
NEW HOME ADDITION AREA: 984 SQ FT
TOTAL IMPERVIOUS COVER: 4,367 SQ FT
4,367 SQ FT IMPERVIOUS COVER/
7,000 SQ FT LOT AREA = 62.38%



504 E. EVERGREEN

EXIST. SITE PLAN

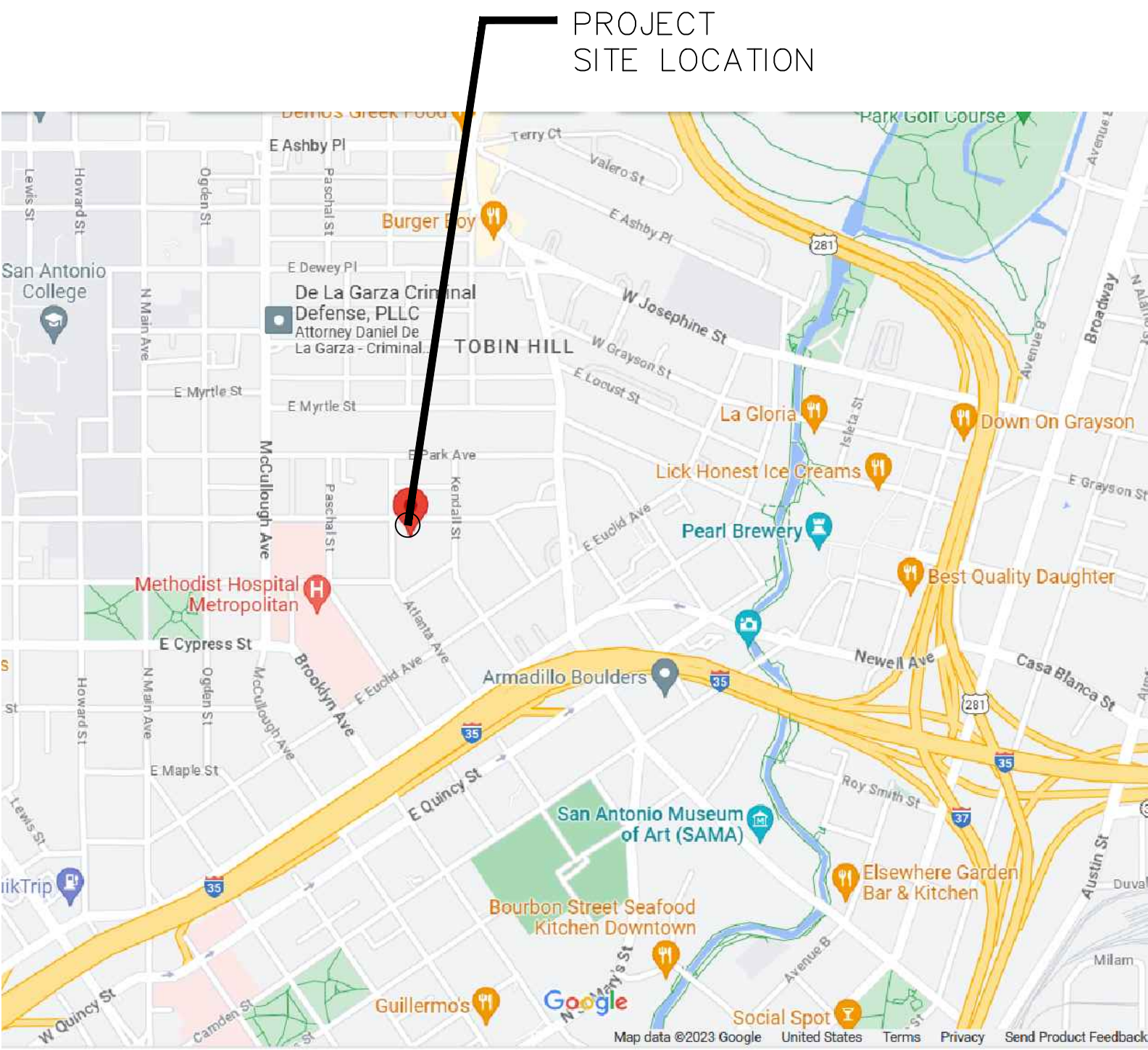
SCALE: 1" = 10'



504 E. EVERGREEN

NEW WORK SITE PLAN

SCALE: 1" = 10'



SITE LOCATION MAP

SCALE: NOT TO SCALE

504 E. EVERGREEN

REVISIONS

PROJECT FOR:
504 E. EVERGREEN HOME ADDITION
TOBIN HILL HISTORIC DIST.
504 EAST EVERGREEN
SAN ANTONIO, TX 78212

CUSTOM HOME DESIGN
HOUSE PLANS
DESIGN - HOME REMODELS/
HOME ADDITIONS

BRC DESIGN STUDIO LLC
725 FM 1103 SUITE 216 CIBOLO,
PH: 1-210-577-1304
EMAIL: brcdesign.info@gmail.com

PROJECT:
2023.066

DATE
10 - 3 - 2023

SHEET NO.

A1
OF
5 SHEETS

504 E. Evergreen N

Shed: 10 x 10

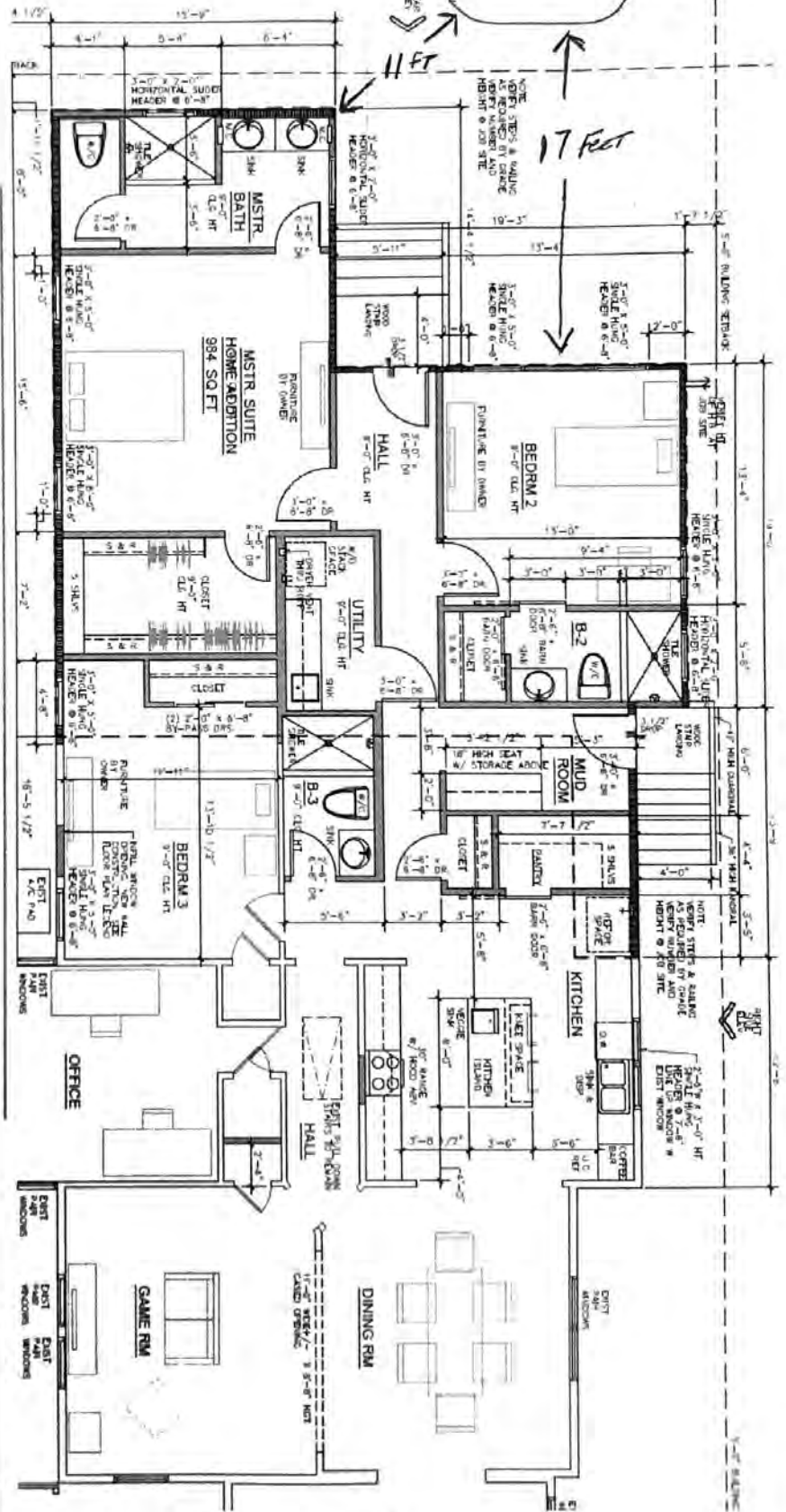
36.00 x 24.00 m

Mulch area

5' ST BACK

10x10
Shed

EXIST STORAGE



504 E. EVERGREEN HOME ADDITION

CODE ANALYSIS

BUILDING CODES:
2021 INTERNATIONAL RESIDENTIAL
CODE AND LOCAL AMENDMENTS

2021 INTERNATIONAL FIRE CODE
2021 INTERNATIONAL PLUMBING CODE
2021 INTERNATIONAL MECHANICAL CODE
2020 NATIONAL ELECTRICAL CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE

INDEX OF DRAWINGS

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A2.2 NEW WORK FLOOR PLAN
A3 EXTERIOR ELEVATIONS
A4 ROOF PLAN

SCOPE OF WORK

HOME REMODEL AND HOME ADDITION.
REMODEL INTERIOR ROOMS THEN ADD
BEDROOM TO BACK OF HOUSE.

HOME REMODEL PIER & BEAM
FOUNDATION. WITH 2X WOOD FRAMING,
EXTERIOR CEMENT BOARD SIDING AND
SHINGLE ROOF TO MATCH EXISTING.

SQUARE FOOT CHART:	
EXISTING HOME LIVING AREA:	1520 sq. ft.
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APPROX. TOTAL AREA:	2,707 sq. ft.

GENERAL REQUIREMENTS

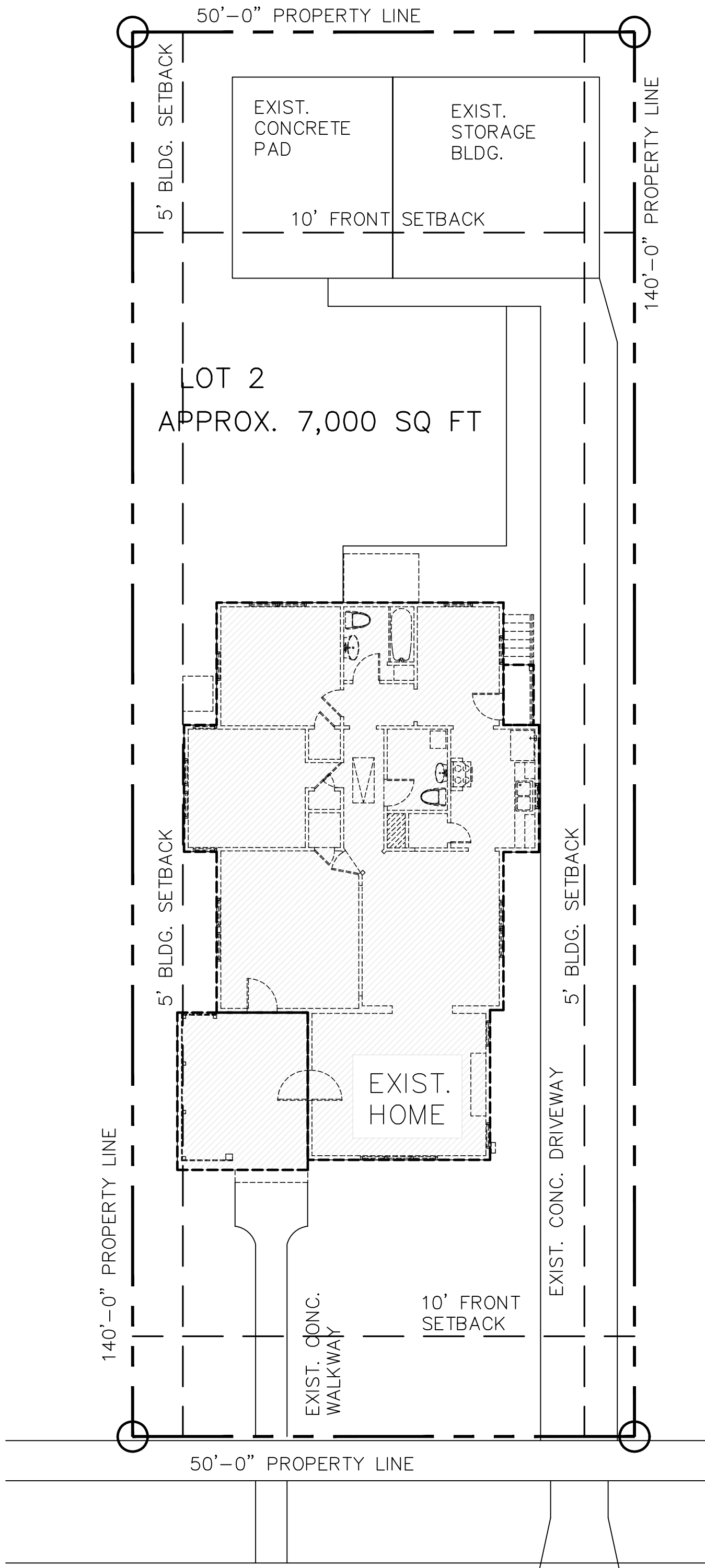
- contractor shall verify all existing dimensions and conditions at the job site. any discrepancies and/or inconsistencies shall be brought to the attention of the design company BRC Design Studio LLC prior to the execution of the work.
- any and all deviations and/or changes from the plans shall be approved by the design company BRC Design Studio LLC prior to execution.
- contractor shall verify locations of, and protect all existing utilities during all operations.
- contractor shall comply with all laws, codes and ordinances applicable to this project. contractor shall obtain and pay for all permits required in connection with the execution and completion of the project. contractor shall pay all taxes and fees required. contractor is responsible and liable for securing any and all inspections required.
- provide any necessary preparation, blocking, substrata, etc. required to properly install and finish the work.
- contractor shall provide temporary security fencing and any other necessary barriers around the entire area of operations. coordinate extent and location of fencing with owner
- all work shall comply with all applicable local building codes and regulations.
- Do not scale drawings. all dimensions indicated shall govern any larger scale details of lesser scale drawings.
- site access and hours/days of construction shall be coordinated with the owner.
- contractor shall be responsible for restoring to its original, or better condition any damage done to existing buildings, utilities, fences, pavement, curbs or drives.
- contractor shall be responsible for coordinating with all necessary utility companies for providing temporary utility services during construction.
- contractor shall be responsible for acquiring all permits, tests, approvals and acceptances required to complete construction of this project.
- Structure per Engineer Design.

IMPERVIOUS COVER DATA:

LOT SIZE: 50' X 140' = 7,000 SQ FT

EXISTING HOUSE SQ FT AREA: 1723 SQ FT
EXIST. WALKWAY/ DRIVE AREA: 1,660 SQ FT
NEW HOME ADDITION AREA: 984 SQ FT
TOTAL IMPERVIOUS COVER: 4,367 SQ FT

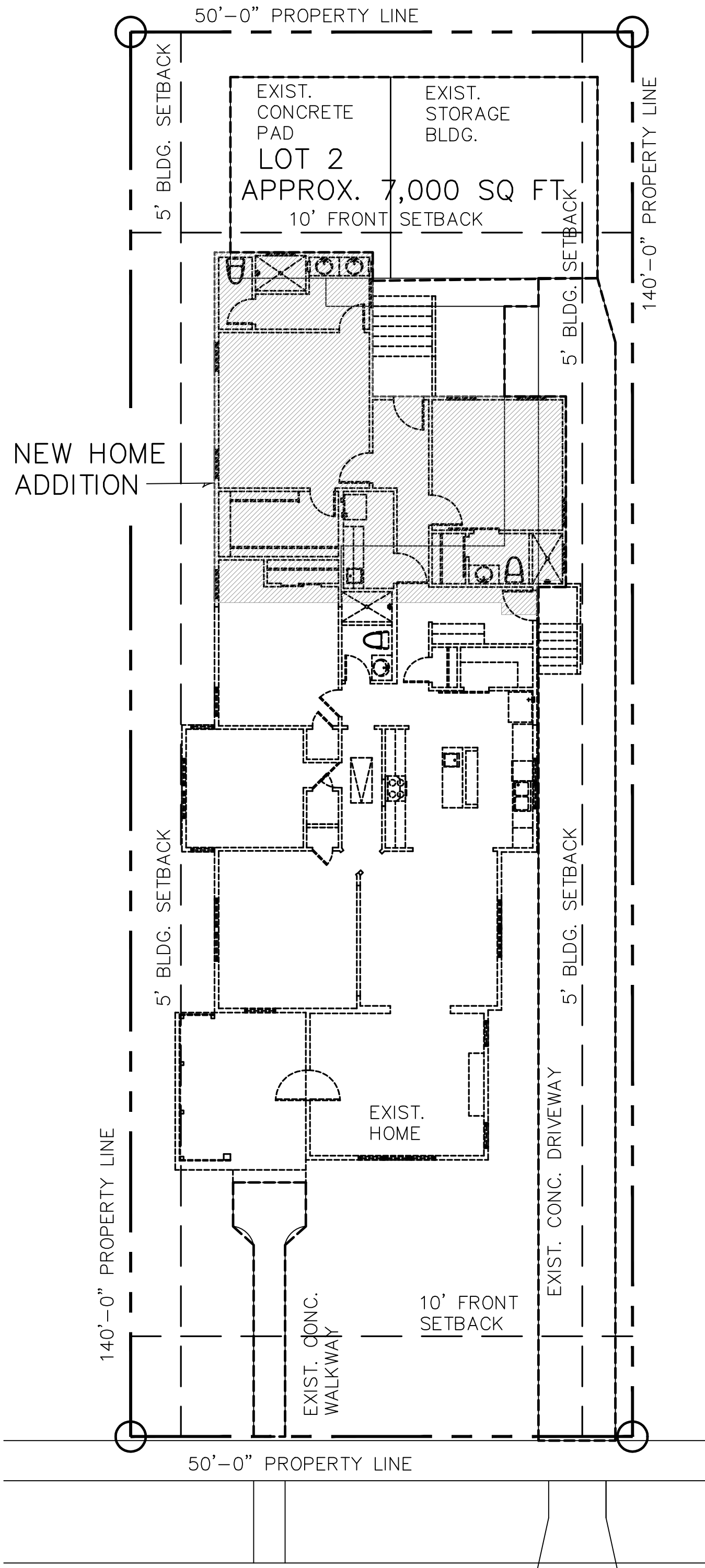
4,367 SQ FT IMPERVIOUS COVER/
7,000 SQ FT LOT AREA = 62.38%



504 E. EVERGREEN

EXIST. SITE PLAN

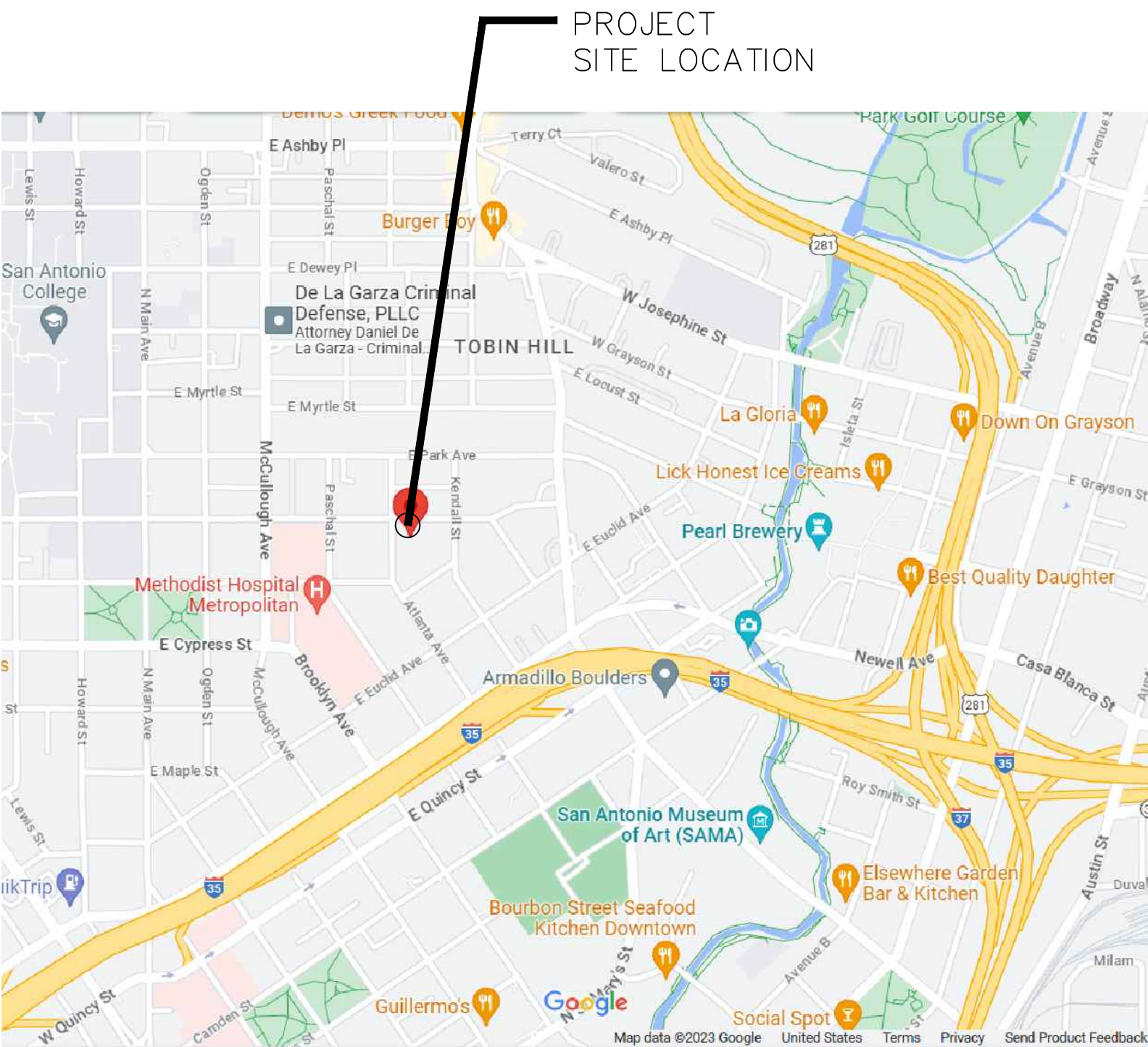
SCALE: 1" = 10'



504 E. EVERGREEN

NEW WORK SITE PLAN

SCALE: 1" = 10'



SITE LOCATION MAP

SCALE: NOT TO SCALE

504 E. EVERGREEN

REVISIONS

PROJECT FOR:
504 E. EVERGREEN HOME ADDITION
TOBIN HILL HISTORIC DIST.
504 EAST EVERGREEN
SAN ANTONIO, TX 78212

CUSTOM HOME DESIGN
HOUSE PLANS
DESIGN - HOME REMODELS/
HOME ADDITIONS

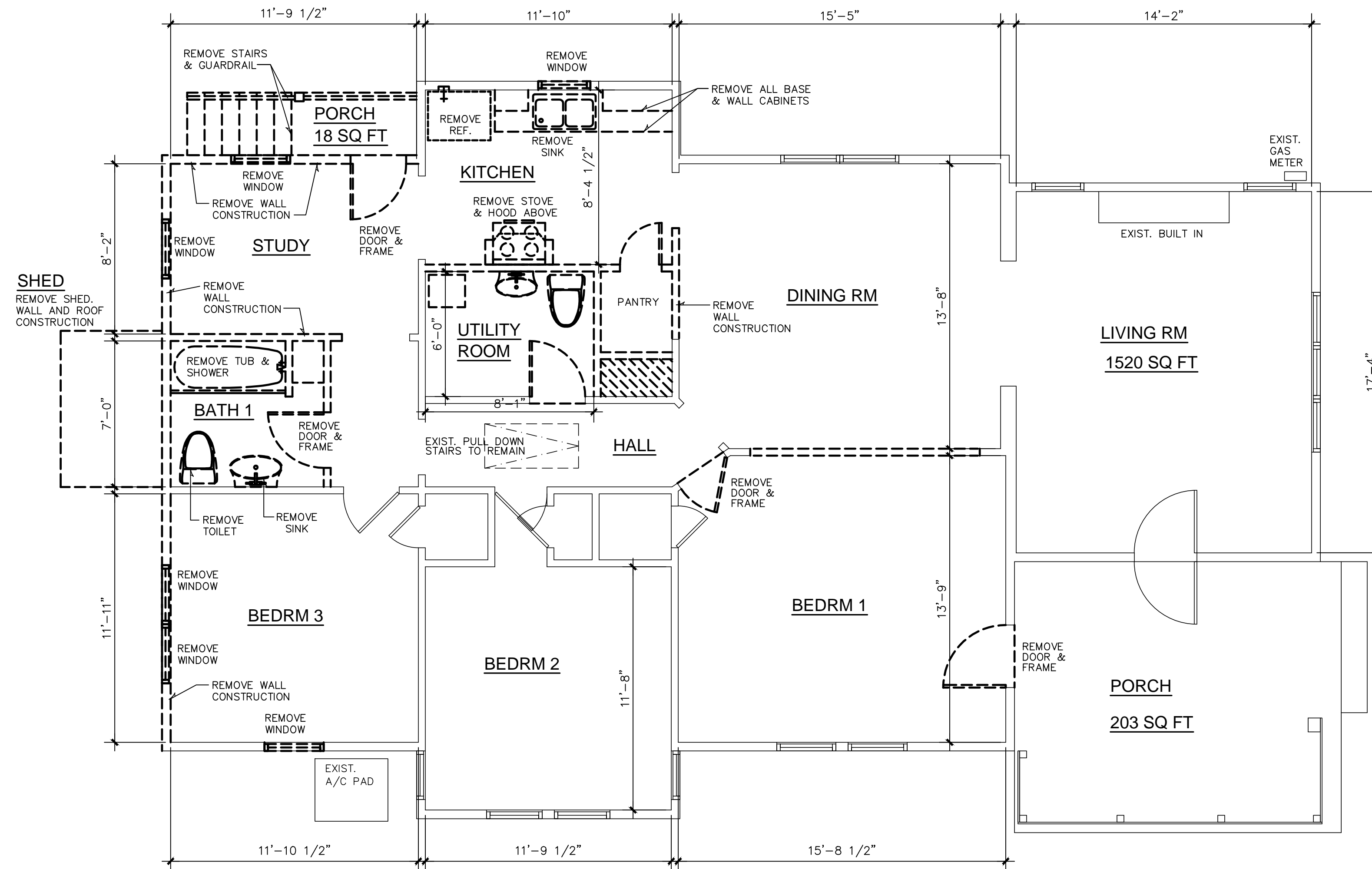
BRC DESIGN STUDIO LLC
725 FM 1103 SUITE 216 CIBOLO,
PH: 1-210-577-1304
EMAIL: brcdesign.info@gmail.com

PROJECT:
2023.066

DATE
10 - 3 - 2023

SHEET NO.

A1
OF
5 SHEETS



EXISTING/ DEMOLITION
FLOOR PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOT CHART:	
EXISTING HOME LIVING AREA:	1520 sq. ft.
EXISTING PORCH AREA:	203 sq. ft.
EXISTING SIDE PORCH AREA:[DEMO]	18 sq. ft.
EXISTING TOTAL AREA:	1723 sq. ft.
NEW HOME ADDITION AREA:	984 sq. ft.
APPROX. TOTAL AREA:	2,707 sq. ft.

DEMO PLAN LEGEND

- EXISTING WALLS TO REMAIN
- WALL/ ITEMS TO REMOVE

REVISIONS

PROJECT FOR:
504 E. EVERGREEN HOME ADDITION
TOBIN HILL HISTORIC DIST.
504 EAST EVERGREEN
SAN ANTONIO, TX 78212

BRC DESIGN STUDIO LLC
725 FM 1103 SUITE 216 CIBOLO,
TEXAS 78108
PH: 1-210-577-1304
EMAIL: brcdesign.info@gmail.com

CUSTOM HOME DESIGN
HOUSE PLANS
DESIGN - HOME REMODELS/
HOME ADDITIONS

PROJECT:
2023.066

DATE
10 - 3 - 2023

SHEET NO.

REVISIONS

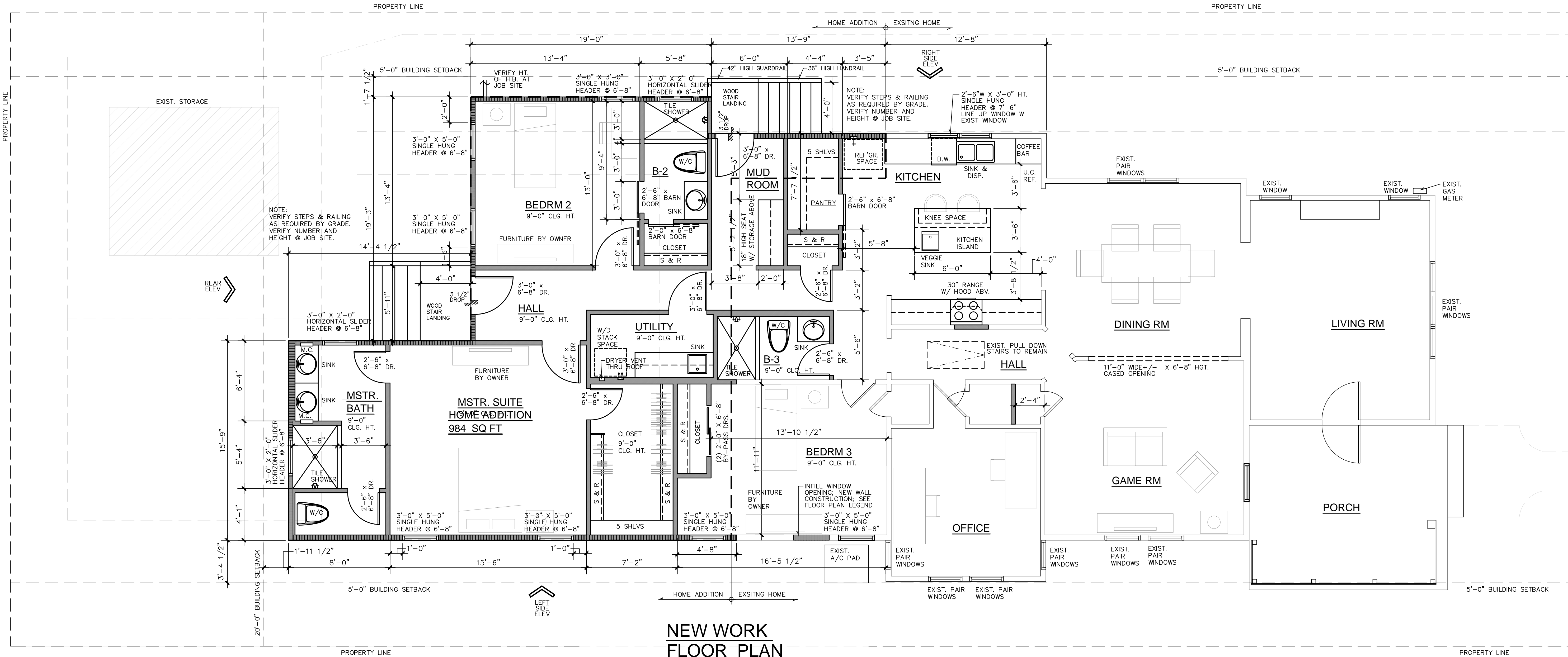
FLOOR PLAN NOTES:

- BUILDER TO VERIFY ALL EXISTING GRADES, EASEMENTS, SETBACKS & HOUSE LOCATION.
- BUILDER TO PROVIDE FOR ALL NECESSARY CONNECTIONS & PLATFORMS FOR HVAC UNIT IN ATTIC. VERIFY LOCATIONS.
- ALL WINDOWS TO BE LOW "E" GLASS.
- VERIFY W/ A/C CONTRACTOR BEFORE FRAMING FOR A/C DUCTS THROUGHOUT HOUSE.

SQUARE FOOT CHART:	
EXISTING HOME LIVING AREA:	1520 sq. ft.
EXISTING PORCH AREA:	203 sq. ft.
EXISTING SIDE PORCH AREA:[DEMO]	18 sq. ft.
EXISTING TOTAL AREA:	1723 sq. ft.
NEW HOME ADDITION AREA:	984 sq. ft.
APPROX. TOTAL AREA:	2,707 sq. ft.

NEW WORK FLOOR PLAN LEGEND

- EXISTING WALLS TO REMAIN
- NEW CONSTRUCTION 2X4 WOOD FRAMING @ 16" ON CENTER, GYPSUM BOARD BOTH SIDES; PAINT FINISH
- PLUMBING WALLS TO BE 2X6 WOOD FRAMING @ 16" ON CENTER, GYPSUM BOARD BOTH SIDES FOR INTERIOR WALLS; PAINT FINISH
- EXTERIOR WALL CONSTRUCTION MIN R18 BATT INSULATION, 5/8" GYPSUM BOARD W/ 5/8" ZIP BOARD EXTERIOR SHEATHING, WATERPROOF MEMBRANE, 3" WOOD HORIZONTAL SIDING TO MATCH EXIST; PAINT FINISH



NEW WORK
FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROJECT FOR:
504 E. EVERGREEN HOME ADDITION
TOBIN HILL HISTORIC DIST.
504 EAST EVERGREEN
NOB 388 BLOCK 18, LOT 2
SAN ANTONIO, TX 78212

CUSTOM HOME DESIGN
HOUSE PLANS
DESIGN - HOME REMODELS/
HOME ADDITIONS

BRC DESIGN STUDIO LLC
725 FM 1103 SUITE 216 CIBOLO,
TEXAS 78108
PH: 1-210-577-1304
EMAIL: brcdesign.info@gmail.com

PROJECT:
2023.066

DATE
10 - 3 - 2023

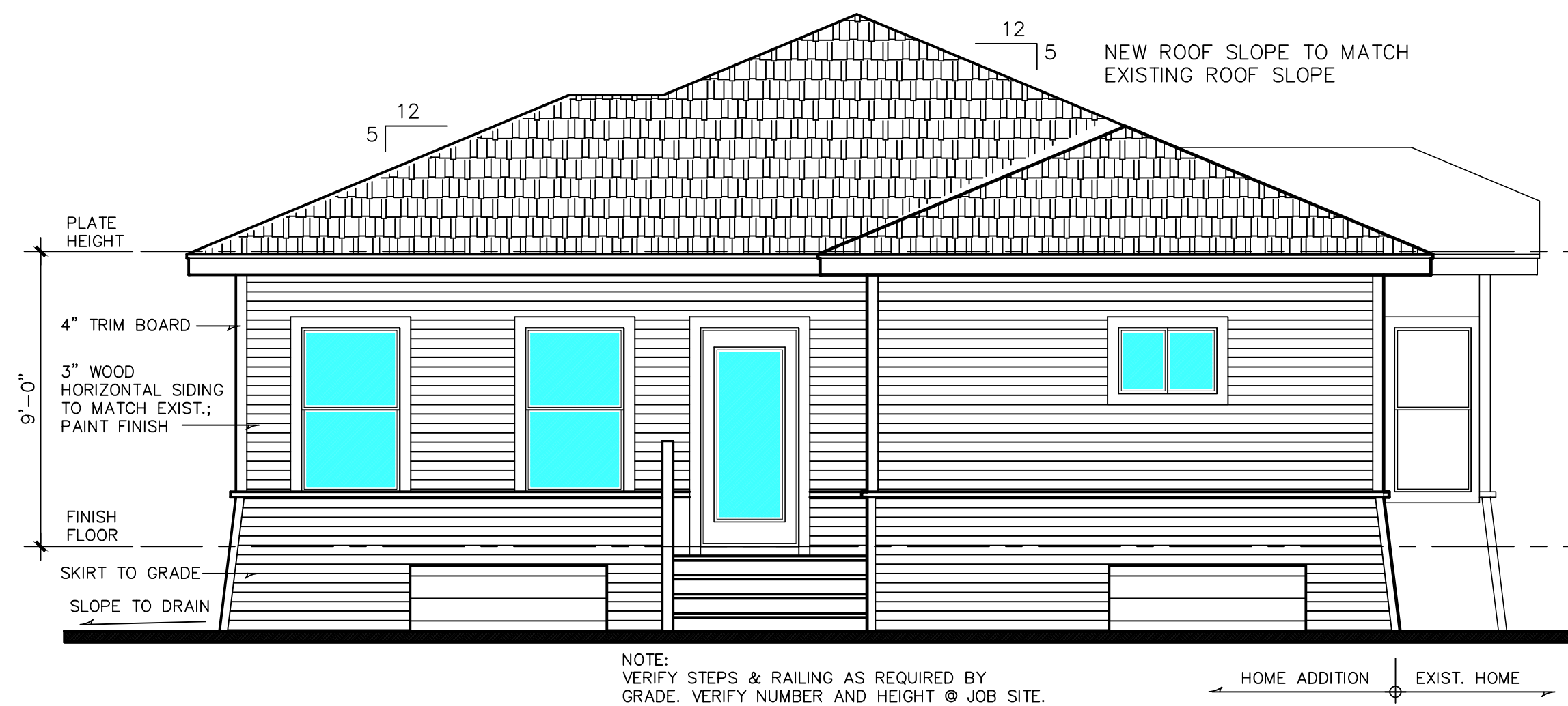
SHEET NO.

504 E. EVERGREEN

A2.2
OF
5 SHEETS



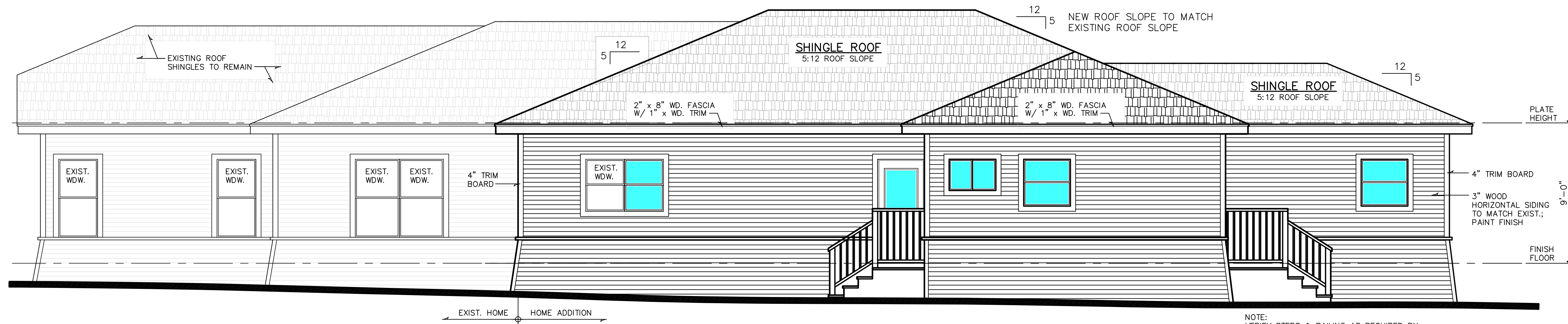
1 NEW WORK FRONT ELEVATION
SCALE: 1/4" = 1'-0"



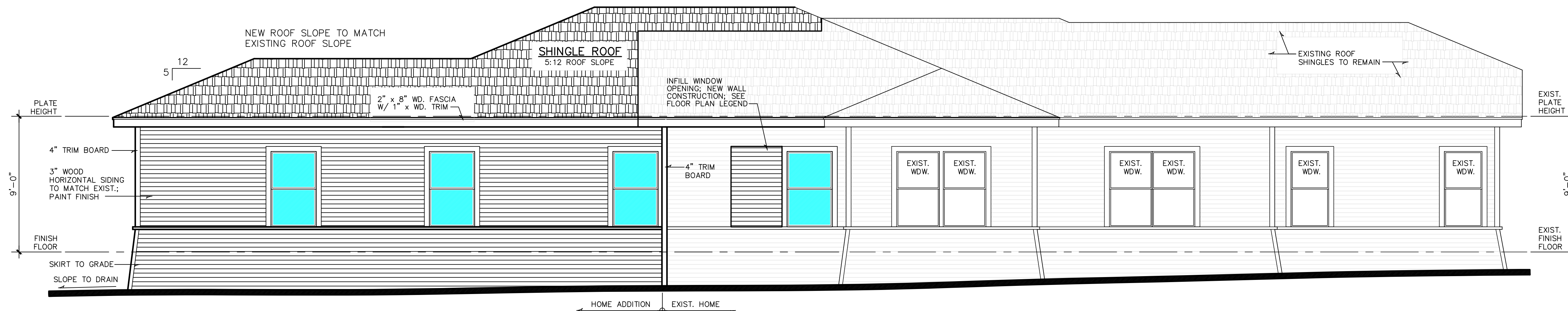
2 NEW WORK REAR ELEVATION
SCALE: 1/4" = 1'-0"

SQUARE FOOT CHART:	
EXISTING HOME LIVING AREA:	1520 sq. ft.
EXISTING PORCH AREA:	203 sq. ft.
EXISTING SIDE PORCH AREA:[DEMO]	18 sq. ft.
EXISTING TOTAL AREA:	1723 sq. ft.
NEW HOME ADDITION AREA:	984 sq. ft.
APPROX. TOTAL AREA:	2,707 sq. ft.

ELEVATION LEGEND	
	EXISTING WALLS TO REMAIN
	WALL/ ITEMS TO REMOVE
	NEW CONSTRUCTION



3 NEW WORK RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 NEW WORK LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

504 E. EVERGREEN

REVISIONS

PROJECT FOR:
504 E. EVERGREEN HOME ADDITION
TOBIN HILL HISTORIC DIST.
504 EAST EVERGREEN
SAN ANTONIO, TX 78212

CUSTOM HOME DESIGN
HOUSE PLANS
DESIGN - HOME REMODELS/
HOME ADDITIONS

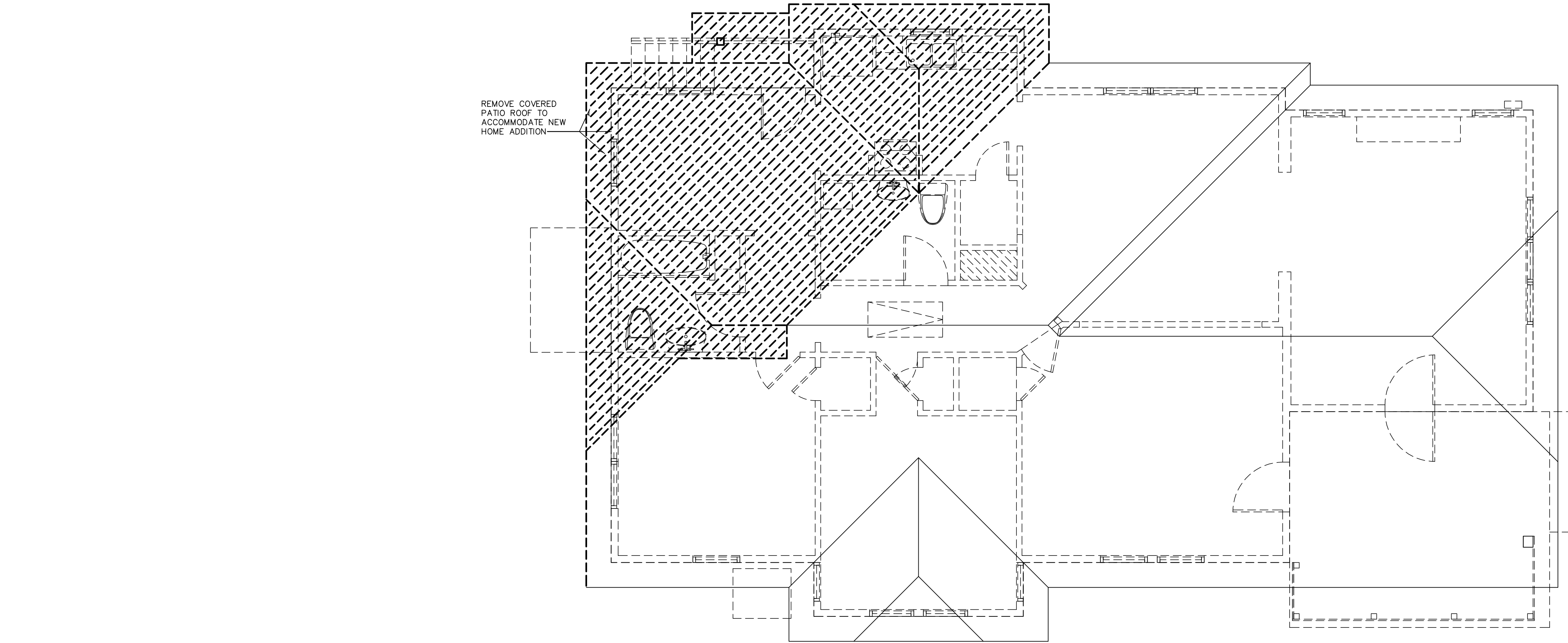
BRC DESIGN STUDIO LLC
725 FM 1103 SUITE 216 CIBOLO,
TEXAS 78108
PH: 1-210-577-1304
EMAIL: brcdesign.info@gmail.com

PROJECT:
2023.066

DATE
10 - 3 - 2023

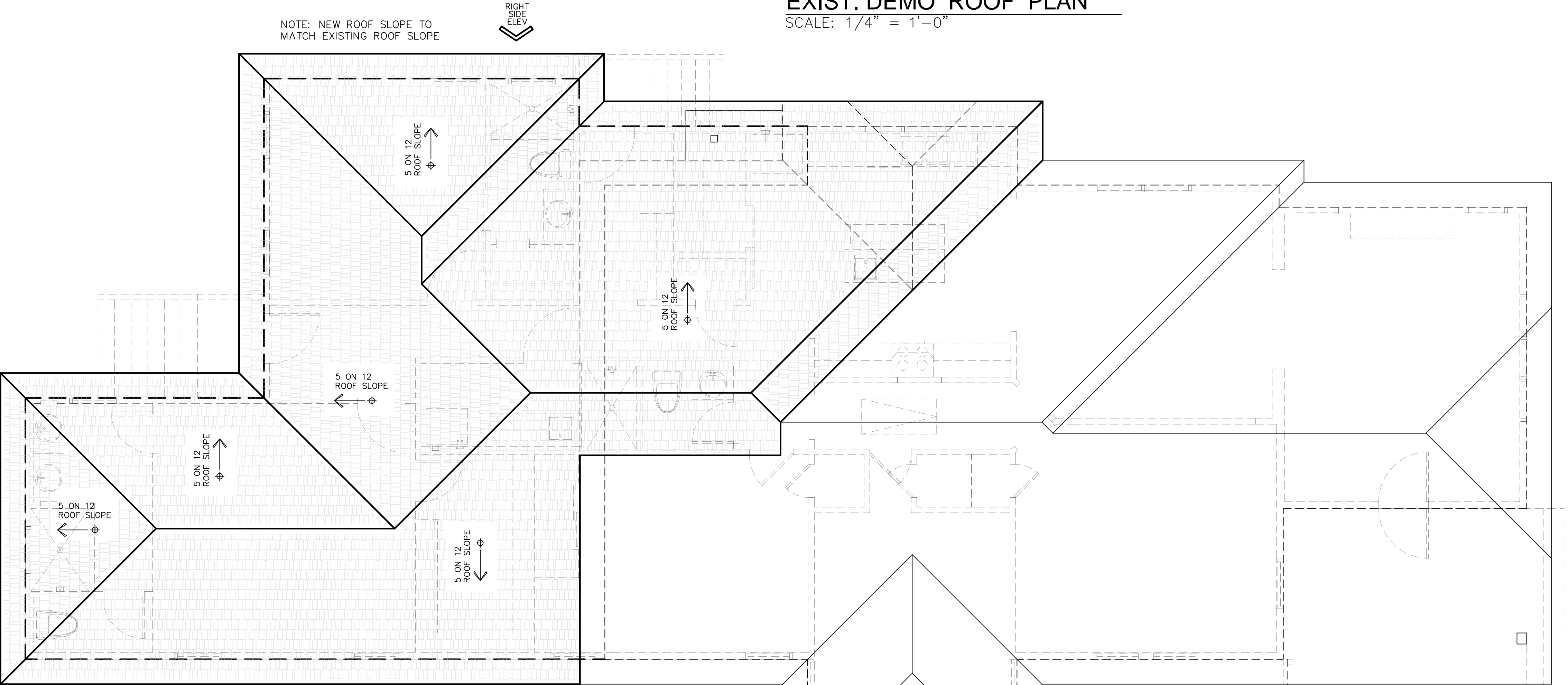
SHEET NO.

A3
OF
5 SHEETS



EXIST. DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"



NEW WORK ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTE: NEW ROOF SLOPE TO MATCH EXISTING ROOF SLOPE

SQUARE FOOT CHART:	
EXISTING HOME LIVING AREA:	1520 sq. ft.
EXISTING PORCH AREA:	203 sq. ft.
EXISTING SIDE PORCH AREA:[DEMO]	18 sq. ft.
EXISTING TOTAL AREA:	1723 sq. ft.
NEW HOME ADDITION AREA:	984 sq. ft.
APPROX. TOTAL AREA:	2,707 sq. ft.

ROOF PLAN NOTES:

1. ROOF CONSTRUCTION TO MEET MINIMUM REQUIREMENTS FOR LOCAL UPLIFT DESIGN REQUIREMENTS BY CURRENT BUILDING CODE.
2. ALL ROOF CONSTRUCTION COMPONENTS TO PROVIDE WEATHERTIGHT INSTALLATION.
3. PROVIDE MINIMUM ROOF VENTILATION AS REQUIRED BY CURRENT RESIDENTIAL CODE.

ROOF LEGEND

- EXISTING ROOF TO REMAIN
- WALL/ ROOF TO REMOVE
- NEW ROOF CONSTRUCTION

PROJECT FOR:

504 E. EVERGREEN HOME ADDITION
TOBIN HILL HISTORIC DIST.
504 EAST EVERGREEN
SAN ANTONIO, TX 78212

CUSTOM HOME DESIGN
HOUSE PLANS
DESIGN - HOME REMODELS/
HOME ADDITIONS

BRC DESIGN STUDIO LLC
725 FM 1103 SUITE 216 CIBOLO,
TEXAS 78108
PH: 1-210-577-1304
EMAIL: brcdesign.info@gmail.com

PROJECT:
2023.066

DATE
10 - 3 - 2023

SHEET NO.

504 E. EVERGREEN

A4
OF
5 SHEETS





































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State: Texas

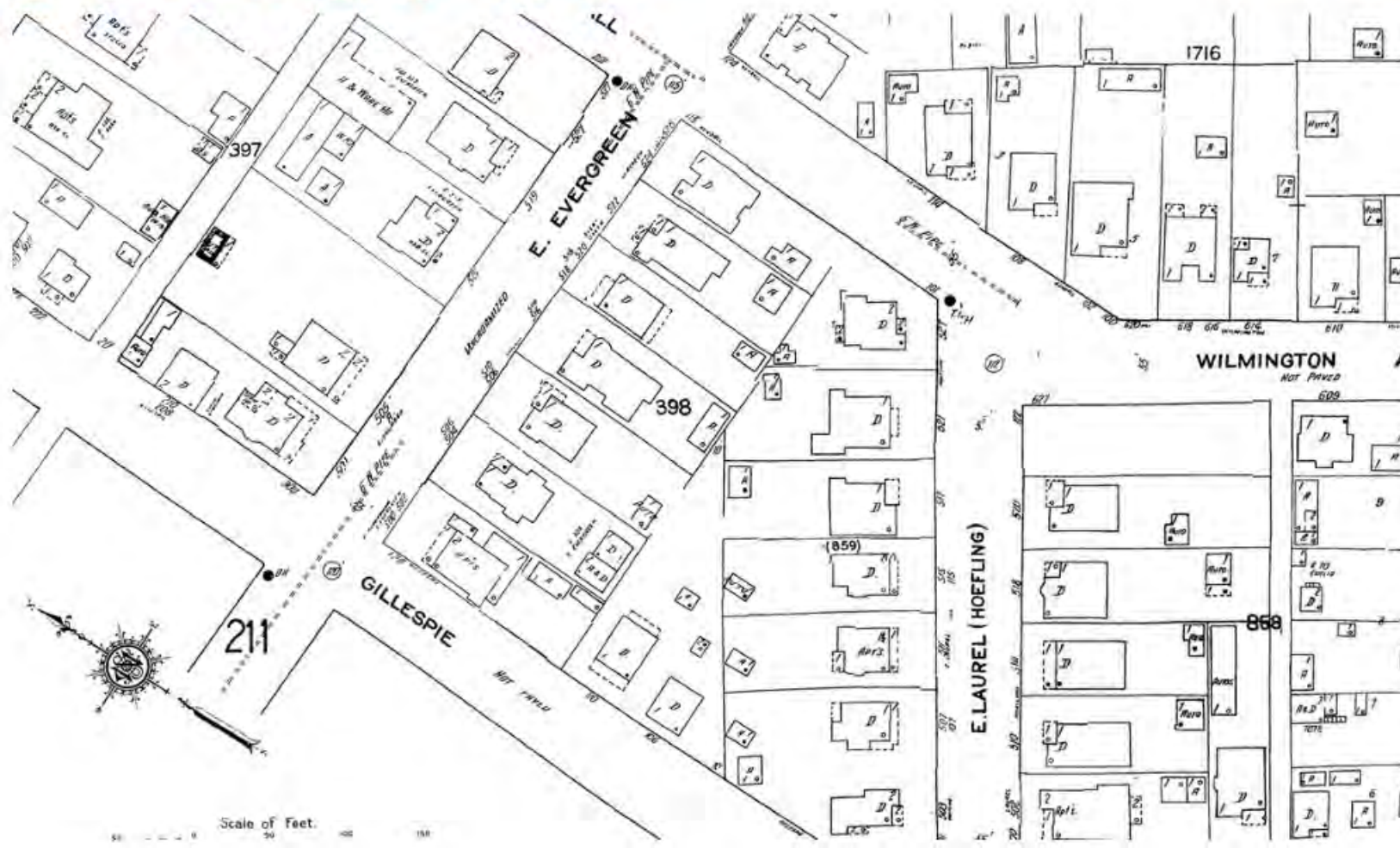
City: San Antonio

Date: 1911-Mar. 1951 *

Volume: vol. 2, 1912-Jan. 1951



[Previous](#) [Next](#)



322—E T & Ioma Jenison (r); T3141
 326—Frank W Clarke (r); T1097
 405—C A & Margaret Layfield (r); T3692
 408—Ollie Pierce (c) (r)
 409—Mrs R M Mitchell (r)
 410—J T & Cecile Mulkern (h); C8269
 415—H S & Cora Green (r); C4038
 506—D W & Tula Murphy (r)
 508—R S & Para Harris (r); T5134
 509—Mrs Ordella Deegan (h); C1492
 509, rear—M & Elizabeth Smith (c) (r)
 510—Vacant
 511—L N & Esther R Lee (h); C4372
 515—Mrs M A Logan (h); C8127
 516—J F & Clara F Davis (r); C1284
 520—O N & Mabel Chadwick (r); T2932
 524—J H & Lou N Miller (h); C8588
 508—E E & Ruth Simmang (h)
 512—Dr F W & Jeannette Sorell (r); C8884
 515—J W & Florence Carrithers (r); T5659
 518—J W & Willie King (r); C4437
 519—B & Evelyn Richardson (r); T3216
 520—Mrs M E Cole (h); C4747
 521—B & Stella Bell (h); C8664
 503—W S & Laura Johnson (h); T1439
 505—Mrs Eva Brown (h); T2793
 509—M & Carrie Cave (r); T4926
 513—Mrs Florence R Angell (h); C4595
 517—W K & Ella Sullivan (h); T3709
 502—R S & Florence Menefee (r); C3720
 504—R S Adams (h); T3795
 506—F & Mathilda Grassie (h)
 510—D G & Maude Mavric (h); T4786
 519—E H & Lena Phillips (h)
 520—R L & Lillie Dinwiddie (h); C5857
 900 blk—T & Adella Fonseca (r)

EUCLID AVE, W

(4w) (formerly W Macon), b 1001
 Main ave, ext sw to N Laredo

Main ave	100	N Flores	800
Howard	200	Upton	900
San Buren	300	Camaron	1000
San Pedro ave	400	N Laredo	
Jackson	500		

511—Mrs Elizabeth Potts (h); C2215
 516—Miss Mollie Heldmen (r); T6812
 517—Joseph Beckmann (h)
 501—Annie Allensworth (h); T847
 507—G E & Mamie Chamberlain (h); C8390
 508—N & Willetta Parks (r); C3498
 502—Mrs Alma Muntzer (h)
 503—Misses Helen & Mary Lytle (h); C3518
 506—Mrs M A Rogers (r)
 507—C B & Bee McNeill (r)
 512—B J & Eula Flanagan (r); T5288
 515—R W & Marie L Heilig (h); C2049
 516—H A & Luta Wilkinson (r); T1091
 520—Mrs E DeHam (h); C5148
 521—Mrs Anna Hertsberg (h); C32
 600—A D Nielsen (r); C3479
 600½—Mrs N Shirar (r); C3479
 603—H R & Simona Wofford (h); C7889
 607—Mrs M L Hampton (h); T217
 609—Mrs Esther Bridges (r)
 613—Mrs Louise L Lacy (h); C2718
 614—S F & Katherine Osborne (h); T1834
 618—Vacant
 620—L A Riser (h); T1901
 623—Public School
 624—Mrs Louise Sien (h); T6872
 702—F P & Bertha Caffarelli (h); C1204
 704—H A & Helen Frey (r); C2014
 706—A & Freddie Beitel (r); C2476
 708—E J & Mary B Altgelt (h); T316
 807—P & Elizabeth Sauer (h); T1904

911—F P & Maria de Venzor (r)
 913—T A & Etta Heady (r)
 916—Jos I Barajas (h)

EUCLID

(6w) b 1901 Burnet, ext n to S
 P track (Buy Appler's city map)

EVANS AVE

In Alamo Heights (Appler's map)
 —Mr & Rose Ranahan (h)

EVERGREEN, E

(4w) b 1500 Main ave, ext e to
 E Euclid ave at Jones ave

Main ave	100	Gillespie	500
Ogden	200	Kendall	600
McCullough	300	Luter	
Paschal	400		

202—J M & Georgia C Olivarri (h); C2338
 203—A & Aurora Mendoza (r)
 209—J S & Mary Lane (r); C8233
 210—L J & Myrtle Rolis (r); C2315
 213—R D & Beulah Galloway (r); C8317
 215—Vacant
 301—H P & Mary W Mathews (h); C3448
 302—J C & Harriet Osteen (r); T2739
 304—G M & Daisy Grimes (r); C6261
 305—W Y & Elizabeth Penn (h); C7656
 308—E & Florence Bailey (r)
 309—P M & Emily Marshall (r); T1497
 310—H M & Isidore Taylor (r); C7851
 311—N J & Fannie Craighead (r); C6180
 315—G B & Olivia Tallaferrro (h); C5111
 317—R W & Harriett Willis (r); C4051
 321—I & Hannah Wolff (h)
 325—L E & Carrie Graber (r); T6850
 401—S A & Elizabeth Spindle (h); C8251
 402—H T & Ida Matthews (h); C4251
 403—H G & Dora Guenther (h); C1920
 404—E & Tommie Kelley (r); C6936
 410—S O & Nanette Timpon (h); C6352
 411—Dr L Hirschfeld (h); C7699
 417—Mrs L E Wood (h); C2205
 429—R T & Addie Pruitt (h); C4247
 501—Mrs Ella D Journeay (h)
 502—J R & Elizabeth Burke (h); C7669
 504—H O & Caroline Barnes (h)
 504, rear—G & Bertha Gaule (r)
 505—H S & Yadie A Groenbeek (h); T2566
 506—H N & Margaret Moore (r); T5932
 512—P & Ida Lee Hoebel (h)
 617—C & Frieda Fritsch (r)
 618—F & Theresa Rosenbach (h)
 619—O W & Nellie Smith (r)
 620—A E & Lacey Stetler (h); T4620
 624—Mrs Wilhelmina Betz (h); C1770
 625—E W & Ada Moseley (r)
 627—P & Bertha Helmar (h)

EVERGREEN W

(4w) b 1501 Main ave, ext w to
 San Pedro creek

124—P J & Lola McNeel (h); C2677
 127—E M & Hattie Goldstein (r); C3315
 128—H T & Laura C Phelps (h); C1225
 219—Mrs Edwina C Snider (r); C5188
 220—W W & Anna F King (r); T3296
 221—F O & Daisy McFatt (r); T1057
 227—A & Stella Levitanaky (h); C3079
 228—G & Sara Zadek (h); T350
 301—Mrs Mattie Flaxman (h); Mrs Babette
 Blum (r); T814
 311—A & Bertha (h); C2559
 316—H F & Mae M Smith (r); C3375
 325—E H & Hulda Witte (h); C1951

T4138

620—J C & Etta Delgado (r)

EWALD

(4w) b opp 518 Broad ave, ext n to
 Clinton ave

101—W & Ruby Henry (c) (r)
 102—O & Gertrude Durham (c) (r)
 103—Adeline D Thompson (c) (r)
 104—Laura Durham (c) (r)
 105—O & Mattie McGoffey (c) (r)
 106—Lula Jackson (c) (r)
 107—R & Mary Scott (c) (r)
 108—J & Maggie Meredith (c) (r)
 109—A & Lillie Pierre (c) (r)
 110—Minnie Murray (c) (r)

EXPOSITION AVE

b at S Presa, at Hot Wells, ext east

—Vacant house
 —Mrs Polly Clark (c) (r)
 —N & Mozella Carper (c) (r)
 —E & Minnie Berger (r)
 —B & Annie Nagel (r)
 —H & Paula Tenerias (r)
 —J & Marcelina Hernandez (r)
 —Angelita Salinas
 —O A & Alma Laughlin (r)

FAIR AVE

(7w) b 3800 S Presa, ext e 3 blks
 to S Hackberry

109—H E & Pauline Bricker (h); M2207
 193—F O & Meta Ries (h)
 215—J E & Willie S Quinn (h); M2158
 320—R L & Annie Wofford (h)

FAIRBANKS AVE

(8w) b 200 Kirkpatrick ave, ext
 s 1 blk to 201 School

102—G B & Margaret Nottingham (h)
 105—Anton & Maria Rathmann (h)
 109—Wm & Amy Addington (h)
 114—John J Carter (h)
 116—Albert & Helena Phillip (h)
 118—L A & Julia Crane (h); T2042
 120—Vacant
 122—J B & Mary Pannell (r)
 126—Vacant
 130—J G & Pallye Jones (r)
 132—Geo & Mattie Gover (h)
 142—O & Carrie Carver (r)

FAIRFAX AVE

(7w) b 520 S Mesquite, ext e 1
 blk to S Hackberry

FAIRMONT

(1w) b 3401 S Flores, ext w to
 Steves Gardens (Appler map)

FAIRPLAY AVE

(8w) b 302 Roosevelt ave, ext e
 to S Presa (Buy Appler's map)

101—L L & Beatrice Curry (h)
 104—T L & Lula Griffith (r); M1418
 106—S L & Jennie Shone (r)
 107—Mrs Inez Estelle Davenport (r)
 108—M F & Helen M Baker (h); M1028
 403—B M & Irene Williams (h); M1833

DEUTSCH-JARRATT CO.

Sash, Doors, Blinds, Moulding
 CROCKETT ST
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LUMBER