

**HISTORIC AND DESIGN REVIEW COMMISSION**  
**October 18, 2023**

**HDRC CASE NO:** 2023-372  
**ADDRESS:** 102 HERMINE BLVD  
**LEGAL DESCRIPTION:** NCB 9007 BLK 13 LOT 40 AND 41  
**ZONING:** R-4, H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Olmos Park Terrace Historic District  
**APPLICANT:** Albert S Encinia | A.E. Secure Investments Corp.  
**OWNER:** Jeanette Campbell  
**TYPE OF WORK:** Demolition of a rear accessory and conceptual review of new construction of a rear accessory  
**APPLICATION RECEIVED:** August 21, 2023  
**60-DAY REVIEW:** October 20, 2023  
**CASE MANAGER:** Bryan Morales

**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to demolish the rear accessory and conceptual approval of new construction of a 455 square feet structure.

**APPLICABLE CITATIONS:**

*UDC Section 35-614. – Demolition*

Demolition of a historic landmark constitutes an irreplaceable loss to the quality and character of the City of San Antonio. Accordingly, these procedures provide criteria to prevent unnecessary damage to the quality and character of the city's historic districts and character while, at the same time, balancing these interests against the property rights of landowners.

(a) Applicability. The provisions of this section apply to any application for demolition of a historic landmark (including those previously designated as historic exceptional or historic significant) or a historic district.

(3) Property Located in Historic District and Contributing to District Although Not Designated a Landmark. No certificate shall be issued for property located in a historic district and contributing to the district although not designated a landmark unless the applicant demonstrates clear and convincing evidence supporting an unreasonable economic hardship on the applicant if the application for a certificate is disapproved. When an applicant fails to prove unreasonable economic hardship in such cases, the applicant may provide additional information regarding loss of significance as provided in subsection (c)(3) in order to receive a certificate for demolition of the property.

(b) Unreasonable Economic Hardship.

(1) Generally. The historic and design review commission shall be guided in its decision by balancing the historic, architectural, cultural and/or archaeological value of the particular landmark or eligible landmark against the special merit of the proposed replacement project. The historic and design review commission shall not consider or be persuaded to find unreasonable economic hardship based on the presentation of circumstances or items that

are not unique to the property in question (i.e. the current economic climate).

(2) Burden of Proof. The historic and design review commission shall not consider or be persuaded to find unreasonable economic hardship based on the presentation of circumstances or items that are not unique to the property in question (i.e. the current economic climate). When a claim of unreasonable economic hardship is made, the owner must prove by a preponderance of the evidence that:

A. The owner cannot make reasonable beneficial use of or realize a reasonable rate of return on a structure or site, regardless of whether that return represents the most profitable return possible, unless the highly significant

endangered, historic and cultural landmark, historic and cultural landmarks district or demolition delay designation, as applicable, is removed or the proposed demolition or relocation is allowed;

B. The structure and property cannot be reasonably adapted for any other feasible use, whether by the current owner or by a purchaser, which would result in a reasonable rate of return; and

C. The owner has failed to find a purchaser or tenant for the property during the previous two (2) years, despite having made substantial ongoing efforts during that period to do so. The evidence of unreasonable economic hardship introduced by the owner may, where applicable, include proof that the owner's affirmative obligations to maintain the structure or property make it impossible for the owner to realize a reasonable rate of return on the structure or property.

(3)Criteria. The public benefits obtained from retaining the cultural resource must be analyzed and duly considered by the historic and design review commission.

As evidence that an unreasonable economic hardship exists, the owner may submit the following information to the historic and design review commission by affidavit:

A. For all structures and property:

- i. The past and current use of the structures and property;
- ii. The name and legal status (e.g., partnership, corporation) of the owners;
- iii. The original purchase price of the structures and property;

i. The assessed value of the structures and property according to the two (2) most recent tax assessments;

- v. The amount of real estate taxes on the structures and property for the previous two (2) years;
- vi. The date of purchase or other acquisition of the structures and property;
- vii. Principal balance and interest rate on current mortgage and the annual debt service on the structures

and property, if any, for the previous two (2) years;

viii. All appraisals obtained by the owner or applicant within the previous two (2) years in connection with

the owner's purchase, financing or ownership of the structures and property;

ix. Any listing of the structures and property for sale or rent, price asked and offers received;

x. Any consideration given by the owner to profitable adaptive uses for the structures and property;

xi. Any replacement construction plans for proposed improvements on the site;

xii. Financial proof of the owner's ability to complete any replacement project on the site, which may include but not be limited to a performance bond, a letter of credit, a trust for completion of improvements,

or a letter of commitment from a financial institution; and

xiii. The current fair market value of the structure and property as determined by a qualified appraiser.

xiv. Any property tax exemptions claimed in the past five (5) years.

B. For income producing structures and property:

- i. Annual gross income from the structure and property for the previous two (2) years;
- ii. Itemized operating and maintenance expenses for the previous two (2) years; and
- iii. Annual cash flow, if any, for the previous two (2) years.

C. In the event that the historic and design review commission determines that any additional information described above is necessary in order to evaluate whether an unreasonable economic hardship exists, the historic and design review commission shall notify the owner. Failure by the owner to submit such information to the historic and design review commission within fifteen (15) days after receipt of such notice, which time may be extended by the historic and design review commission, may be grounds for denial of the owner's claim of unreasonable economic hardship.

When a low-income resident homeowner is unable to meet the requirements set forth in this section, then the

historic and design review commission, at its own discretion, may waive some or all of the requested information and/or request substitute information that an indigent resident homeowner may obtain without incurring any costs. If the historic and design review commission cannot make a determination based on information submitted and an appraisal has not been provided, then the historic and design review commission

may request that an appraisal be made by the city.

(d)Documentation and Strategy.

(1)Applicants that have received a recommendation for a certificate shall document buildings, objects, sites or structures which are intended to be demolished with 35mm slides or prints, preferably in black and white, and supply

a set of slides or prints to the historic preservation officer.

(2) Applicants shall also prepare for the historic preservation officer a salvage strategy for reuse of building materials

deemed valuable by the historic preservation officer for other preservation and restoration activities.

(3) Applicants that have received an approval of a certificate regarding demolition shall be permitted to receive a demolition permit without additional commission action on demolition, following the commission's recommendation of a certificate for new construction. Permits for demolition and construction shall be issued simultaneously if requirements of section 35-609, new construction, are met, and the property owner provides financial proof of his

ability to complete the project.

(4) When the commission recommends approval of a certificate for buildings, objects, sites, structures designated as

landmarks, or structures in historic districts, permits shall not be issued until all plans for the site have received approval from all appropriate city boards, commissions, departments and agencies. Permits for parking lots shall not

be issued, nor shall an applicant be allowed to operate a parking lot on such property, unless such parking lot plan

was approved as a replacement element for the demolished object or structure.

(e) Issuance of Permit. When the commission recommends approval of a certificate regarding demolition of buildings, objects, sites, or structures in historic districts or historic landmarks, permits shall not be issued until all plans for the site have received approval from all appropriate city boards, commissions, departments and agencies. Once the replacement plans are approved a fee shall be assessed for the demolition based on the approved replacement plan square footage. The fee must be paid in full prior to issuance of any permits and shall be deposited into an account as directed by the historic preservation officer for the benefit, rehabilitation or acquisition of local historic resources. Fees shall be as follows and are in addition to any fees charged by planning and development services:

0—2,500 square feet = \$2,000.00

2,501—10,000 square feet = \$5,000.00

10,001—25,000 square feet = \$10,000.00

25,001—50,000 square feet = \$20,000.00

Over 50,000 square feet = \$30,000.00

## *Historic Design Guidelines, Chapter 4, New Construction*

### 1. Building and Entrance Orientation

#### A. FAÇADE ORIENTATION

i. *Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

ii. *Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

#### B. ENTRANCES

i. *Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

### 2. Building Massing and Form

#### A. SCALE AND MASS

i. *Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.

ii. *Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.

iii. *Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

## B. ROOF FORM

i. *Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on non-residential building types are more typically flat and screened by an ornamental parapet wall.

## C. RELATIONSHIP OF SOLIDS TO VOIDS

i. *Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.

ii. *Façade configuration*—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

## D. LOT COVERAGE

i. *Building to lot ratio*—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

## 3. Materials and Textures

### A. NEW MATERIALS

i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. *Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. *Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

### B. REUSE OF HISTORIC MATERIALS

*Salvaged materials*—Incorporate salvaged historic materials where possible within the context of the overall design of the new structure.

## 4. Architectural Details

### A. GENERAL

i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

## 5. Garages and Outbuildings

### A. DESIGN AND CHARACTER

i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.

- ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
- iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

## B. SETBACKS AND ORIENTATION

- i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.
- ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

### *Standard Specifications for Windows in New Construction*

- GENERAL: New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below. Whole window systems should match the size of historic windows on property unless otherwise approved.
- SIZE: Windows should feature traditional dimensions and proportions as found within the district.
- SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- TRIM: Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- GLAZING: Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- COLOR: Wood windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.

## **FINDINGS:**

- a. The property located at 102 Hermine Blvd is a one-story, single-family Craftsman structure built c. 1935. The primary structure features gable and hipped roof forms, a composition shingle roof, two pairs of ganged windows at the front, a prominent gable roof vent at the front, and wood waterfall siding. This property contributes to the Olmos Park Terrace Historic District.
- b. VIOLATION – Staff attempted to make a site visit for the property; however, the applicant informed staff that the structure was removed on August 3, 2023, prior to receiving a Certificate of Appropriateness.
- c. CONTRIBUTING STATUS – The rear accessory structure at 102 Hermine was constructed between 1951-55 and is found on the 1955 Historic Aerial Map. The structure features both board-and-batten and vertical wood siding, an asphalt shingle and corrugated metal roof, a couple wood windows, and wood doors.
- d. UNREASONABLE ECONOMIC HARDSHIP – In accordance with UDC Section 35-614, no certificate shall be issued for demolition of a historic landmark unless the applicant provides sufficient evidence to support a finding by the commission of unreasonable economic hardship on the applicant. In the case of a historic landmark, if an applicant fails to prove unreasonable economic hardship, the applicant may provide to the historic and design review commission additional information regarding loss of significance. In order for unreasonable economic hardship to be met, the owner must provide sufficient evidence for the HDRC to support a finding in favor of demolition. The applicant has provided a cost estimate for the rehabilitation of the rear accessory structure and has noted a cost of \$9,599.73, not including contractor's fees. The applicant has also noted a loss of structural integrity, an insufficient foundation, and inadequate framing.

- e. **LOSS OF SIGNIFICANCE** – In accordance with UDC Section 35-614(c), demolition may be recommended if the owner has provided sufficient evidence to support a finding that the structure has undergone significant and irreversible changes which have caused it to lose the historic, cultural, architectural or archaeological significance, qualities or features which qualified the structure or property for such designation. Staff finds the structure to be in a state of disrepair.
- f. **NEW CONSTRUCTION (REAR ACCESSORY STRUCTURE)** – The applicant is requesting conceptual approval to construct a one-story accessory structure at the rear of the property. The Guidelines for New Construction 5.A. notes that new outbuildings should be visually subordinate to the primary historic structure in terms of their height, massing, and form, and should be no larger in plan than forty percent of the primary historic structure's footprint. The existing primary structure on the lot features a footprint of approximately 1,214 square feet and one story in height. The proposed one-story accessory structure features a total footprint of approximately 455 square feet, or approximately 37% of the primary structure's footprint. Accessory structures on the block are predominately single story. Staff finds the proposed height and general massing conforms to guidelines.
- g. **ORIENTATION & SETBACKS** – The applicant has proposed both an orientation and setback for the new accessory structure that are consistent with the Guidelines for New Construction 5.B.
- h. **ARCHITECTURAL DETAILS (MATERIALS)** – The applicant is requesting conceptual approval to construct a one-story accessory structure at the rear of the property with a composition shingle roof and Hardie plank siding. The Guidelines for New Construction 5.A.iii. and 5.A.iv. note that new accessory structures should relate to the period of construction of the primary historic structure on the lot by using complementary materials and simplified architectural details. Staff finds the proposed composition shingle roof generally conforms to guidelines. Staff finds the installation of fiber cement board siding generally appropriate; however, the siding should feature a reveal of 6 inches with the smooth side facing outward. New Construction 2.B.i states that roof forms—pitch, overhangs, and orientation—consistent with those predominately found on the block should be incorporated. Staff finds the proposed gable roof and its pitch conforms to guidelines.
- i. **ARCHITECTURAL DETAILS (FENESTRATION PATTERN)** – The applicant is proposing to install one single panel door on the north elevation, one flush metal door on the west elevation, and three one-over-one single sash windows on the south, north, and west elevations. The Guidelines for New Construction 2.C.i. related to window and door openings stipulates to incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Staff finds the proposed fenestration pattern generally appropriate.
- j. **WINDOWS (MATERIALS)** – The applicant has not provided material information on the proposed windows and the door on the north elevation. Per *Standard Specifications for Windows in New Construction*, new windows on new construction should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. Staff recommends that the applicant install wood or aluminum-clad wood windows on the rear accessory structure. An alternative window material may be proposed, provided that the window features meeting rails that are no taller than 1.25" and stiles no wider than 2.25".

## **RECOMMENDATION:**

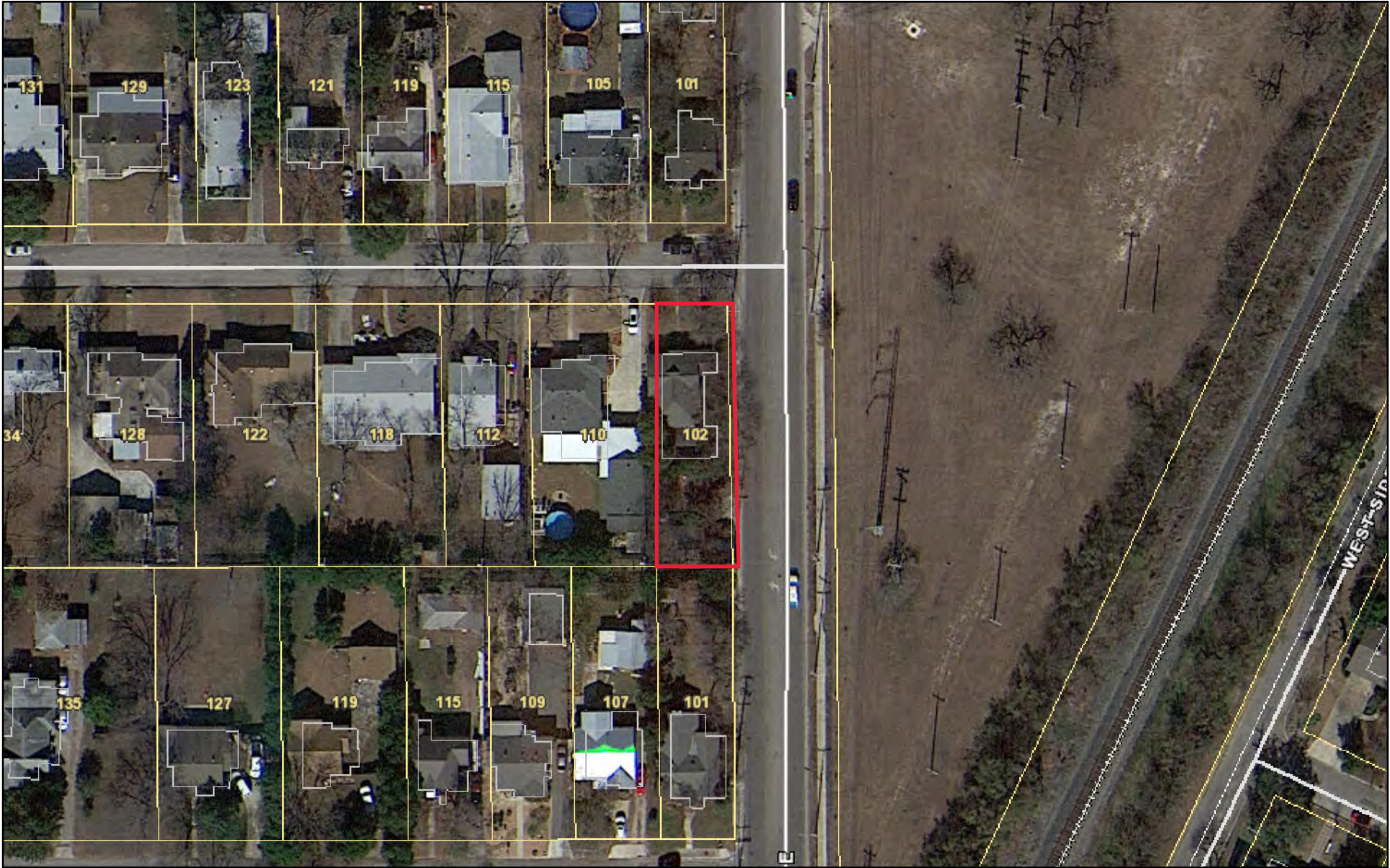
Staff recommends approval of the demolition of the rear accessory structure, based on findings a through e.

Staff recommends conceptual approval of the replacement structure, based on findings a and f through j, with the following stipulations:

- i. That the hardie siding be installed with a maximum 6-inch reveal and the smooth side facing outward for the rear accessory structure.
- ii. That the applicant install windows that meet staff's standard window stipulations and submits updated specifications to staff for review and approval. The windows should feature an inset of two (2) inches within facades and should feature profiles that are found historically within the immediate vicinity. Meeting rails must be no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.



City of San Antonio One Stop



October 13, 2023









































REScheck COMPLIANCE CERTIFICATE



Generated by REScheck-Web Software  
Compliance Certificate

Project 102 HERMINE BLVD.

Energy Code: 2018 IECC  
Location: San Antonio, Texas  
Construction Type: Single-family  
Project Type: New Construction  
Conditioned Floor Area: 400 ft<sup>2</sup>  
Glazing Area: 7%  
Climate Zone: 2 (1644 HDD)  
Permit Date:  
Permit Number:

Construction Site: 102 HERMINE BLVD.  
San Antonio, TX 78212  
Owner/Agent: Designer/Contractor:

Compliance: Passes using UA trade-off

Compliance: 7.5% Better Than Code Maximum UA: 80 Your UA: 74 Maximum SHGC: 0.25 Your SHGC: 0.19  
The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules.  
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area of Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling 1: Flat Ceiling or Scissor Truss	400	38.0	0.0	0.030	0.030	12	12
Wall 1: Wood Frame, 16" o.c.	640	13.0	0.0	0.082	0.084	49	50
Door 1: Glass SHGC: 0.19	20			0.310	0.400	6	8
Window 1: Metal Frame/Double Pane with Low-E SHGC: 0.19	24			0.310	0.400	7	10
Floor 1: Slab-On-Grade/Unheated Insulation depth: 0.0' Insulation position: No Insulation	80		0.0	0.730	0.730	0	0

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version: REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Robert Ramos - Designer  
Name - Title Signature Date 07/24/23

Project Notes:  
HVAC SEER VALUE WILL BE 14

Project Title: 102 HERMINE BLVD.  
Data filename: Report date: 07/24/23  
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GRAPHIC SYMBOLS

ELECTRICAL

----- L.E.D. STRIP LIGHTING	- - - - - FESTOON STRING LIGHTS	
SWITCH	TELEVISION OUTLET	HALOGEN WALL MOUNTED FIXTURE
DIMMER SWITCH	SATELLITE TELEVISION W/TELEPHONE LINE	CEILING MOUNT SPOT LIGHT
THREE WAY SWITCH	INTERCOM	FLUORESCENT LIGHT FIXTURE
FOUR WAY SWITCH	SPEAKER OUTLET	WALL MOUNT FLOOR LT. FIXTURE
DUPLEX OUTLET	SMOKE DETECTOR	TRACK MOUNT FIXT.
DUPLEX OUTLET 1/2 SWITCHED	THERMOSTAT	UNDER CABINET LIGHT
FLOOR OUTLET	ELECTRICAL PANEL BOX	CEILING MOUNT EXHAUST FAN
110 VOLT 4 PLEX OUTLET	PUSH BUTTON DOORBELL	WALL MOUNT EXHAUST FAN
CEILING OUTLET	PUSH BUTTON SWITCH	CEILING MOUNT HEAT LAMP
DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER	CHIMES	WALL MOUNT HEAT LAMP
220 VOLT DUPLEX OUTLET	KEY SWITCH	COMBINATION FIXT. HEAT, VENT, LIGHT
DUPLEX OUTLET RAISED TO HEIGHT INDICATED	SURFACE MOUNT CLG. FIXTURE	FLOOD LIGHT
WATERPROOF DUPLEX OUTLET	WALL MOUNT FIXTURE	CEILING FAN W/LT
J-BOX DUPLEX OUTLET	FULL CHAIN LIGHT	
TELEPHONE OUTLET	RECESSED CEILING FIXTURE	
TELEPHONE FLOOR OUTLET	RECESSED EYEBALL FIXTURE	
	HALOGEN RECESSED CEILING FIXTURE	

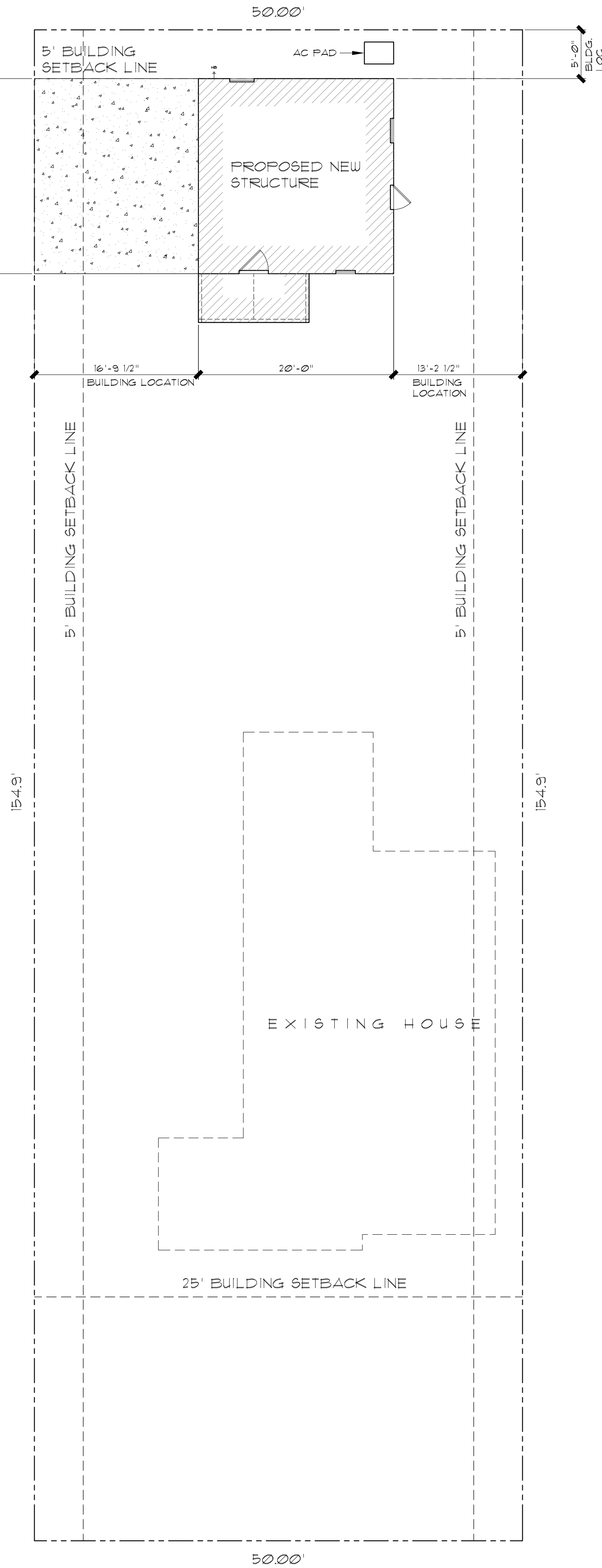
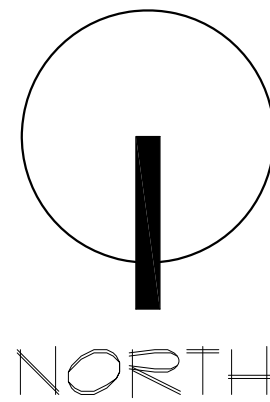
PLUMBING

WATER HEATER
WATER SOFTENER
SHOWER HEAD
HOSE BIB/FAUCET
COLD WATER TO REF.
HOT 4 COLD WATER
FLOOR DRAIN
GAS LINE
GAS KEY (ON/OFF) VALVE

MISC.

SECURITY SYSTEM PANEL
VACUUM SYSTEM OUTLET
VACUUM CLEANER TANK
VACUUM SYSTEM SWEEP OUTLET

McCULLOUGH AVENUE



WEST HERMINE BOULEVARD

SITE PLAN

SCALE: 1/8" = 1'-0"

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A4	OVERHANG DETAIL/ WALL SECTION

LEGAL DESCRIPTION

NCB 3007 BLK 13 LOT 40 AND 41

SQUARE FOOTAGE TABULATIONS

LIVING	400 S.F.
ENTRY COVERED PORCH	51 S.F.
TOTAL COVERED AREA	451 S.F.

PLAN NOTES

- SCALE: DO NOT SCALE DRAWINGS. THESE ARE CONCEPTUAL PLANS. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE DESIGNER OF RECORD PRIOR TO FABRICATED AND ERECTION.
- CODES: ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE COMPLIANCE WITH SAID CODES.
- JOB SITE: PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VISIT JOB SITE AND NOTIFY OWNER OF ANY CONDITIONS NOT INCLUDED IN THESE DOCUMENTS WHICH REQUIRE CORRECTIVE OR ADDITIONAL ACTIONS. NO CHANGES TO PLANS TO BE MADE WITHOUT WRITTEN APPROVAL BY THE DESIGNER. REPORT ANY DISCREPANCIES TO THE DESIGNER.
- DIMENSIONS: ALL DIMENSIONS ARE TO FACE OF STUD WALLS OR MASONRY FOUNDATION. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- PLAN REVIEW: THESE PLANS ARE CONCEPTUAL IN NATURE AND THEREFORE SHALL BE REVIEWED BY STRUCTURAL AND MECHANICAL ENGINEERS PRIOR TO CONSTRUCTION. ALL SHOP DRAWINGS SHALL BE PREPARED AND REVIEWED BY AN ENGINEER PRIOR TO FABRICATION AND ERECTION. NO SITE INSPECTION HAS OCCURRED. THE OWNER IS RESPONSIBLE FOR ALL SITE CONDITIONS, INCLUDING BUT NOT LIMITED TO: ORIENTATION, DRAINAGE, SOIL BEARING, WIND LOADS AND OTHER SUBSURFACE CONDITIONS.
- CHANGES OR MODIFICATIONS TO PLANS: ANY MINOR OR REQUIRED CHANGES OR MODIFICATION TO THIS PLAN DO NOT REDUCE OR VOID THE COPYRIGHTS COVERING THIS SET OF PLANS IN ANY WAY. MODIFICATIONS TO THIS PLAN, FOR ANY REASON, SHOULD BE ATTEMPTED BY AN ARCHITECT OR ENGINEER ONLY. DESIGNER ACCEPTS NO RESPONSIBILITY FOR THE QUALITY AND COMPLETENESS OF ANY CHANGES ATTEMPTED. PLEASE REMEMBER THAT EVEN A SIMPLE CHANGE TO ONE AREA OF A HOME CAN GREATLY AFFECT MANY OTHER AREAS IN THE HOME AND ONLY A QUALIFIED PROFESSIONAL IS EQUIPPED TO FULLY UNDERSTAND THE RAMIFICATIONS OF ANY CHANGE OF MODIFICATION.

GENERAL NOTES:

- ESCAPE/ RESCUE WINDOWS FROM SLEEPING AREAS SHALL HAVE MIN. 5.7 SQ. FT. CLEAR NET OPENING AND MIN. CLEAR OPENING HGT. OF 24" AND MIN. CLEAR OPENING WIDTH OF 20". FINISHED SILL HGT. SHALL BE MAX. 44" ABOVE FLOOR.
- CROSS VENTILATION AT ENCLOSED ATTICS.
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- TOP OF SLAB ELEVATION BY QUALIFIED ENGINEER.
- GRADE TO ACHIEVE POSITIVE DRAINAGE AWAY FROM STRUCTURE.

A.E. SECURE INVESTMENTS CORPORATION

729 S.W. 34 TH. ST.

SAN ANTONIO, TX. 78237

(210) 454-8756

REG. BUILDER # 36960

DRAWN BY

RR

DATE

8-14-23

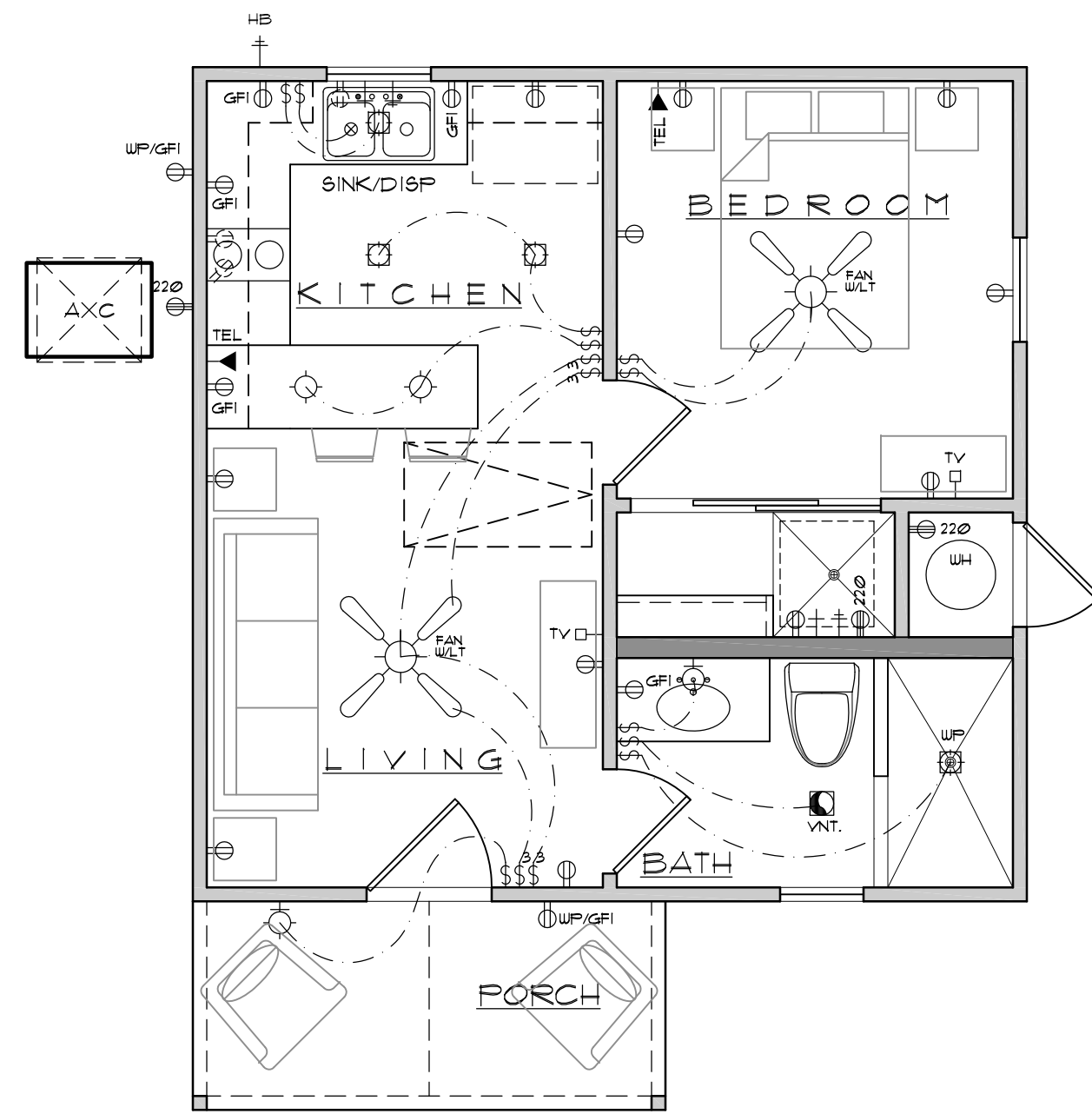
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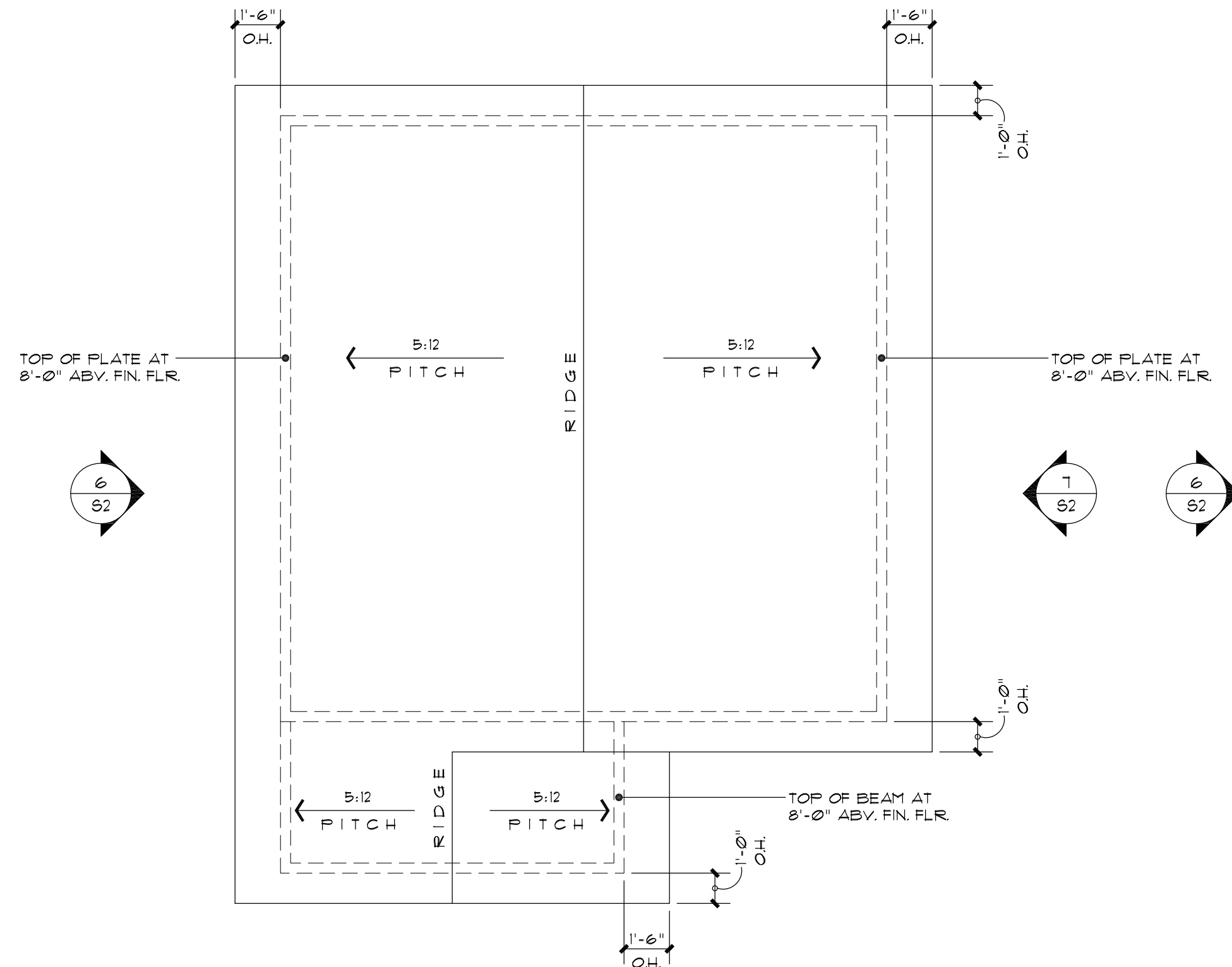
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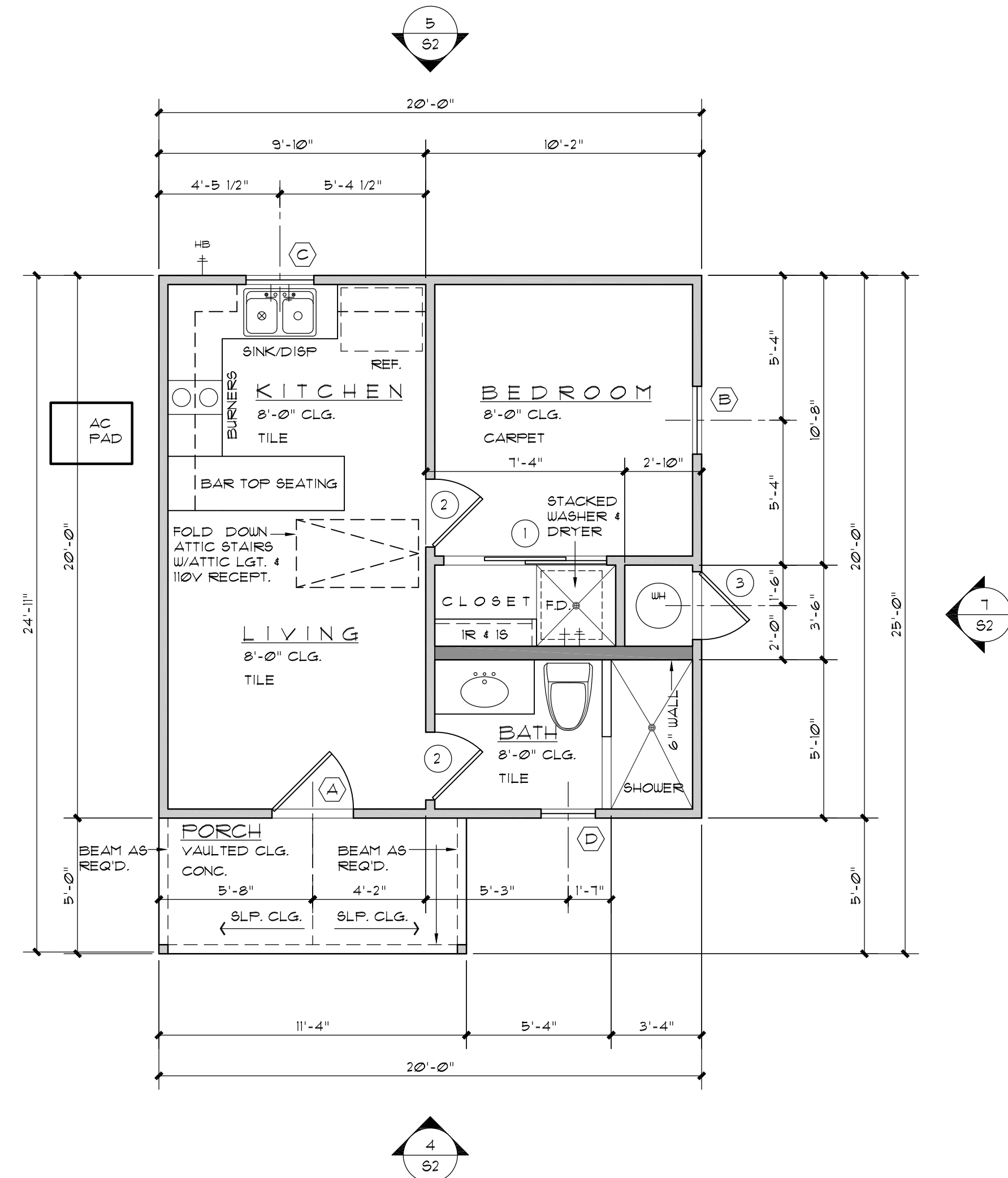




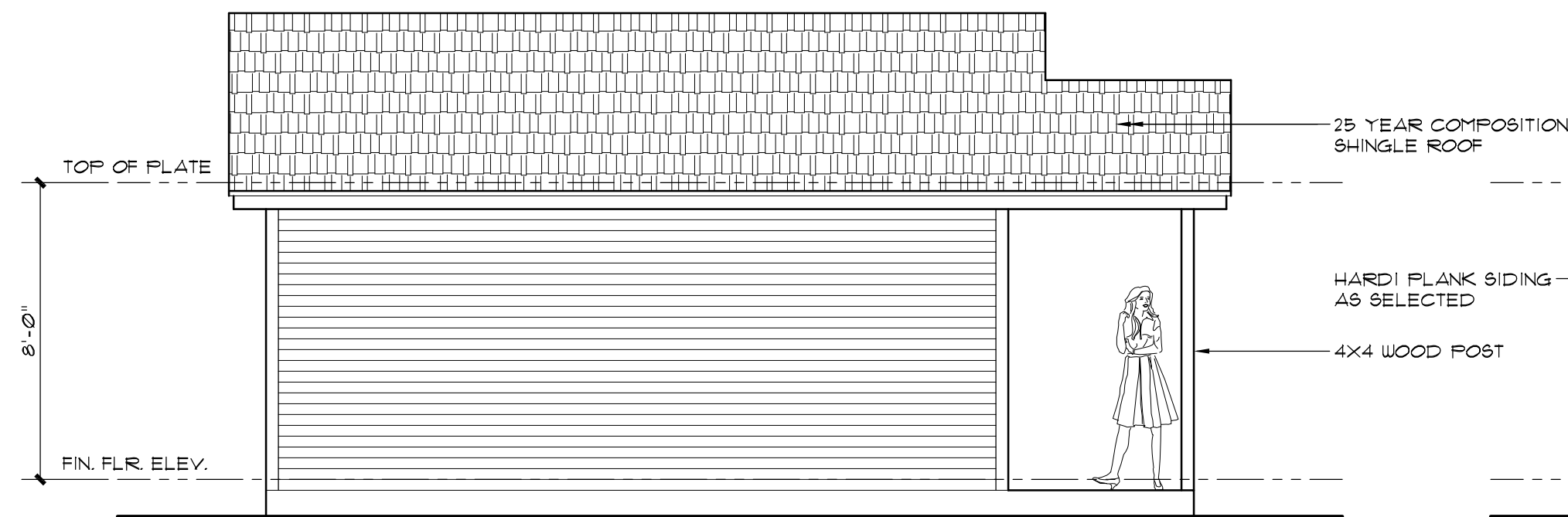
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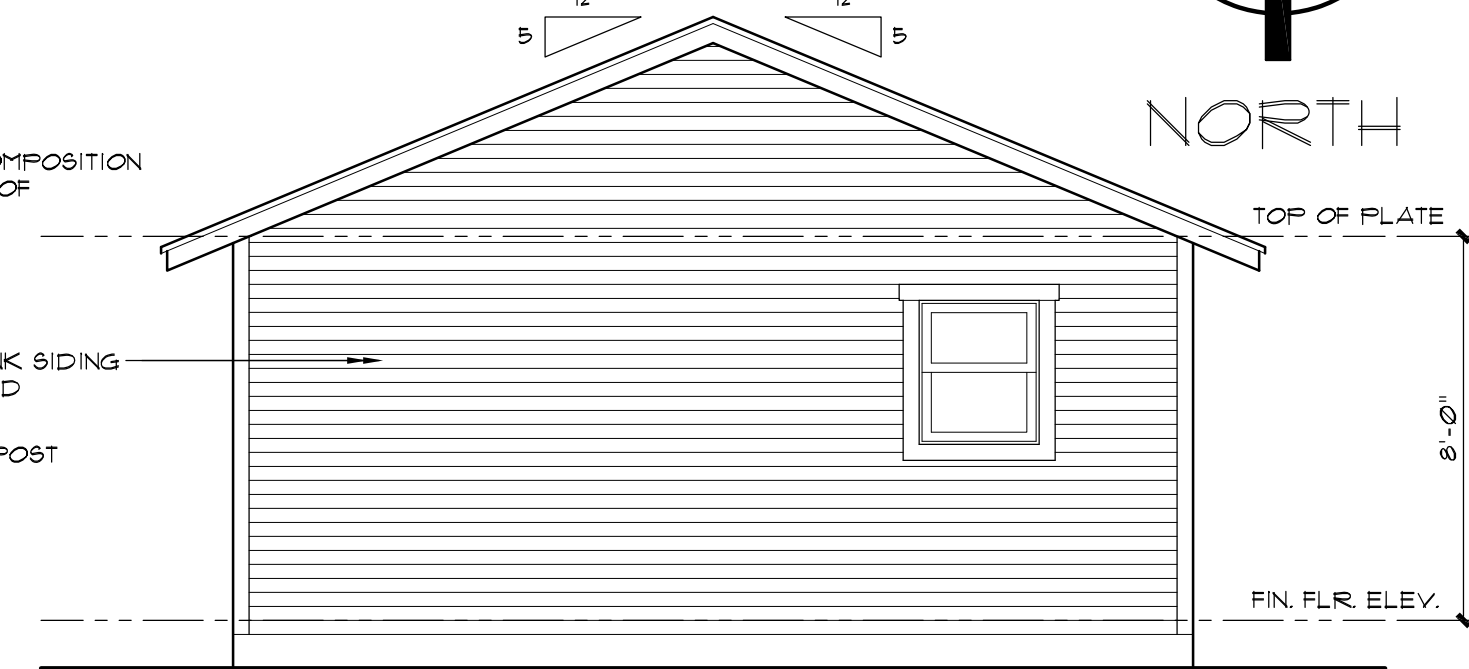
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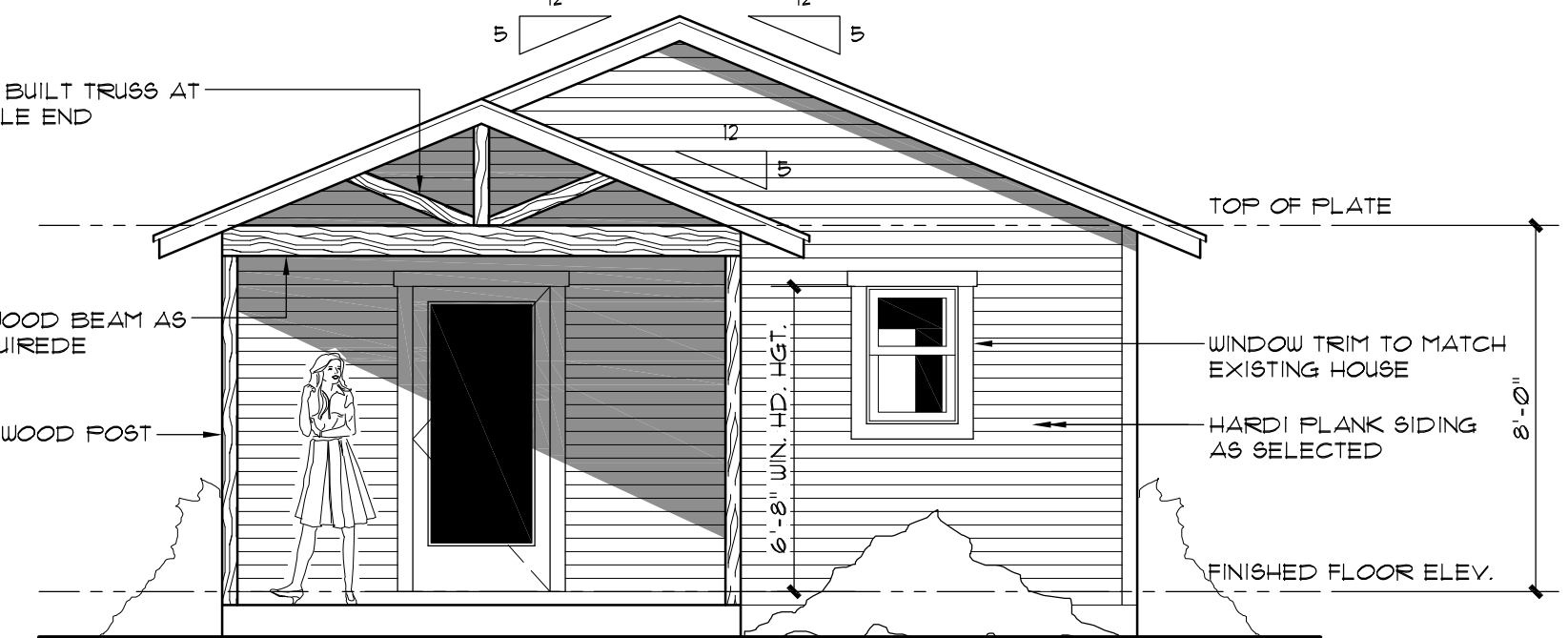
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SCALE: 1/4" = 1'-0"



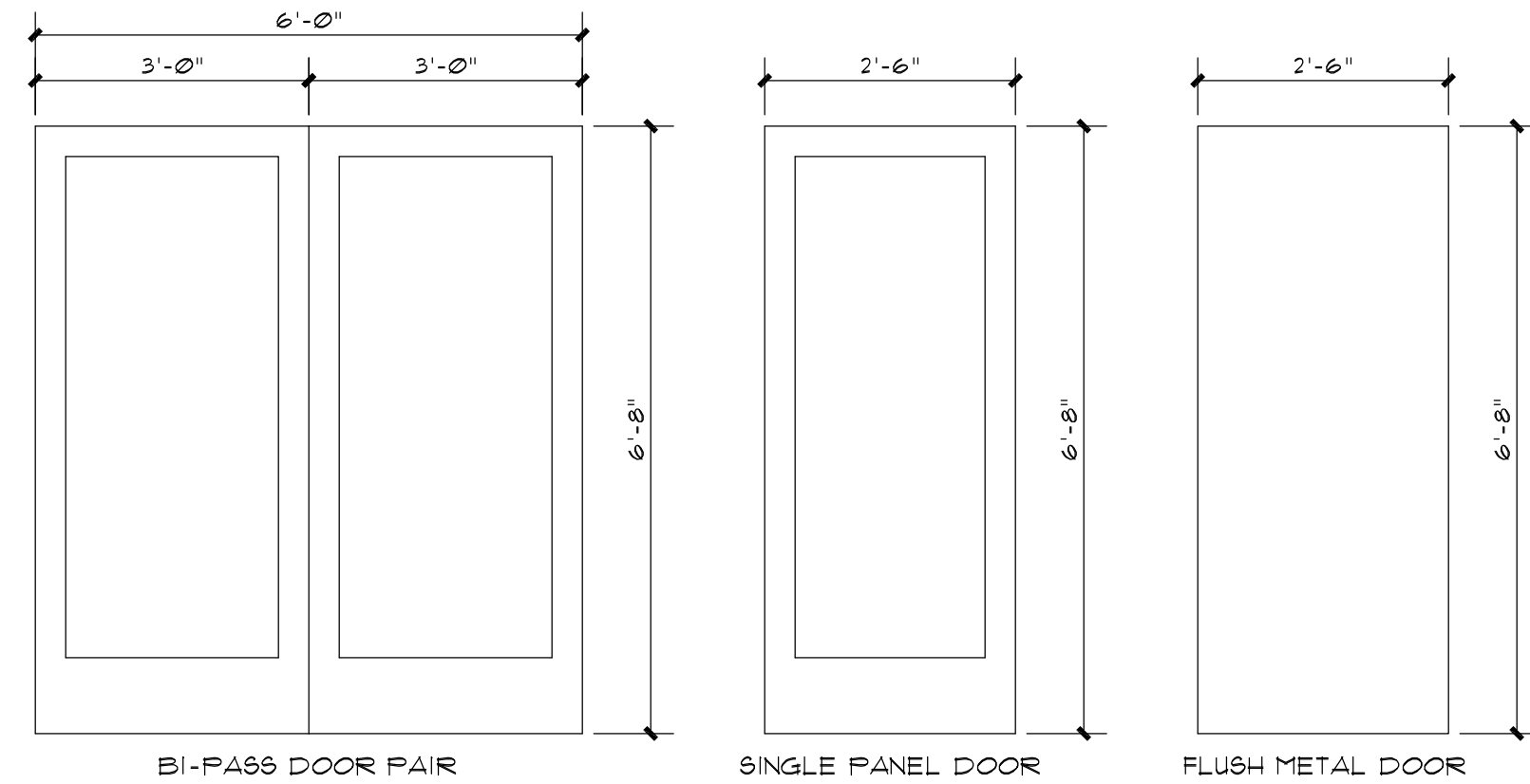
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SCALE: 1/4" = 1'-0"



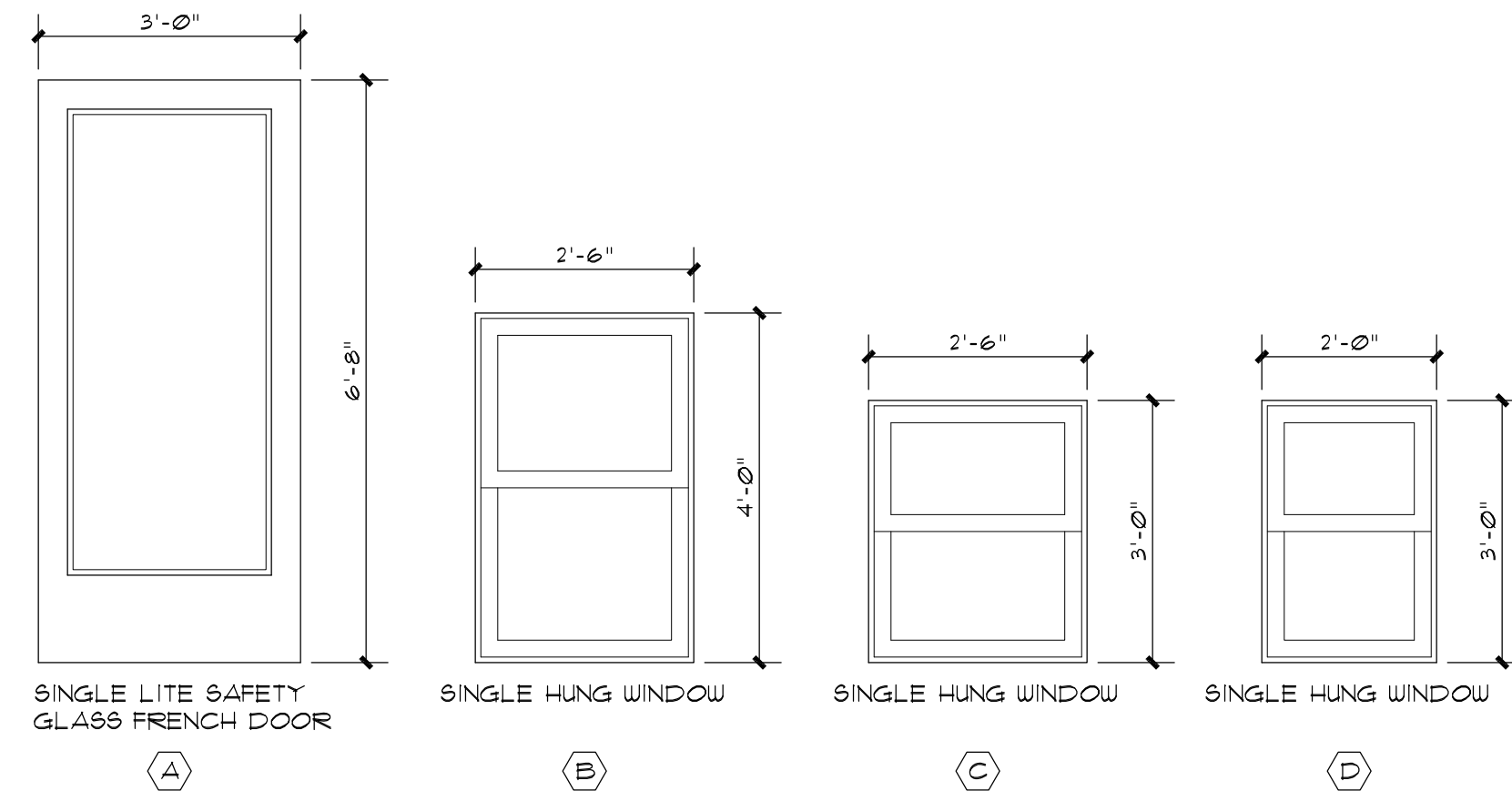
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SCALE: 1/4" = 1'-0"



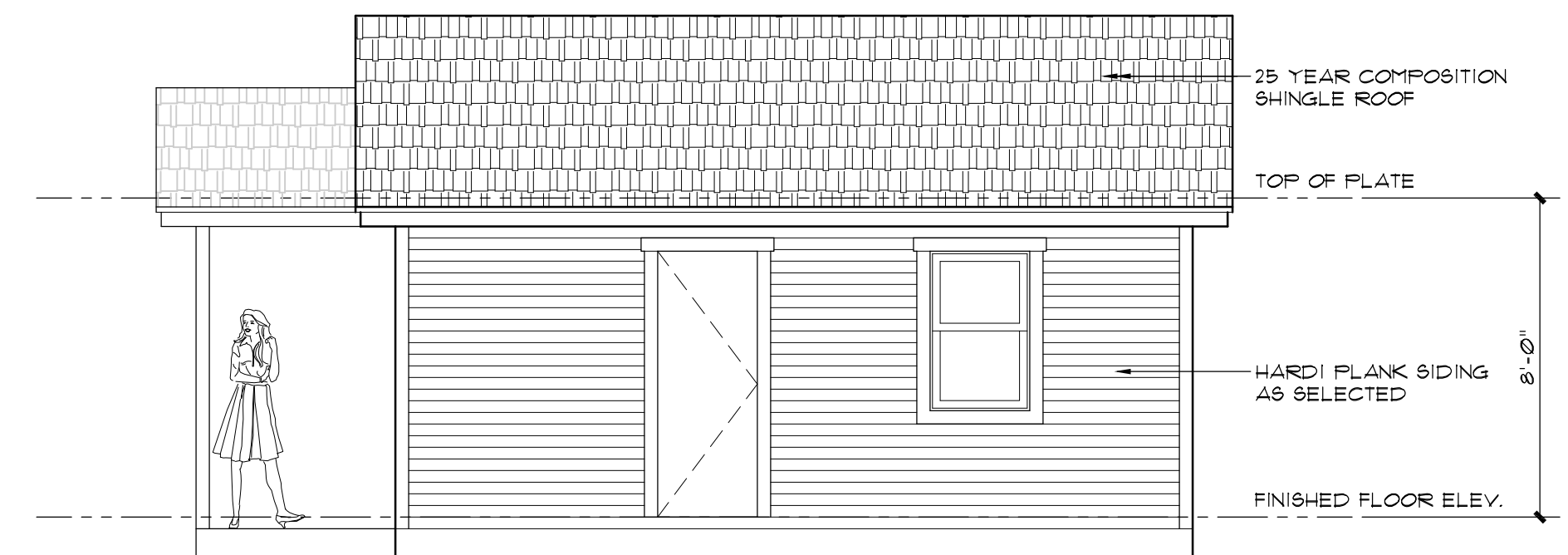
4 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



9 DOOR SCHEDULE  
SCALE: 1/4" = 1'-0"



8 WINDOW SCHEDULE  
SCALE: 1/4" = 1'-0"



7 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

102 HERMINE BLVD.

A.E. SECURE INVESTMENTS CORPORATION  
129 S.W. 34 TH. ST.  
SAN ANTONIO, TX. 78237  
(210) 454-8756  
REG. BUILDER # 36960

DRAWN BY  
RR

DATE  
7-26-23

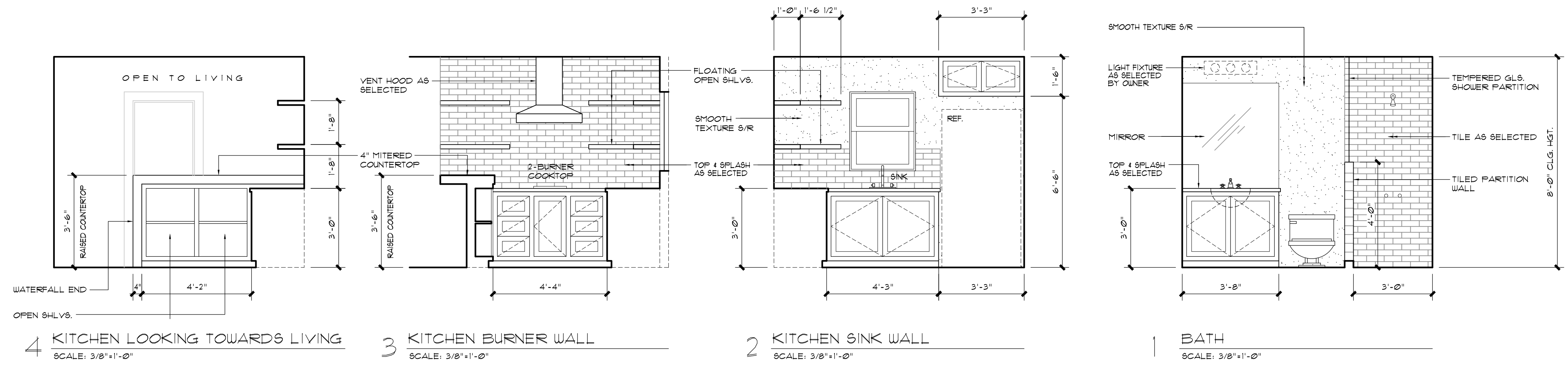
REVISIONS

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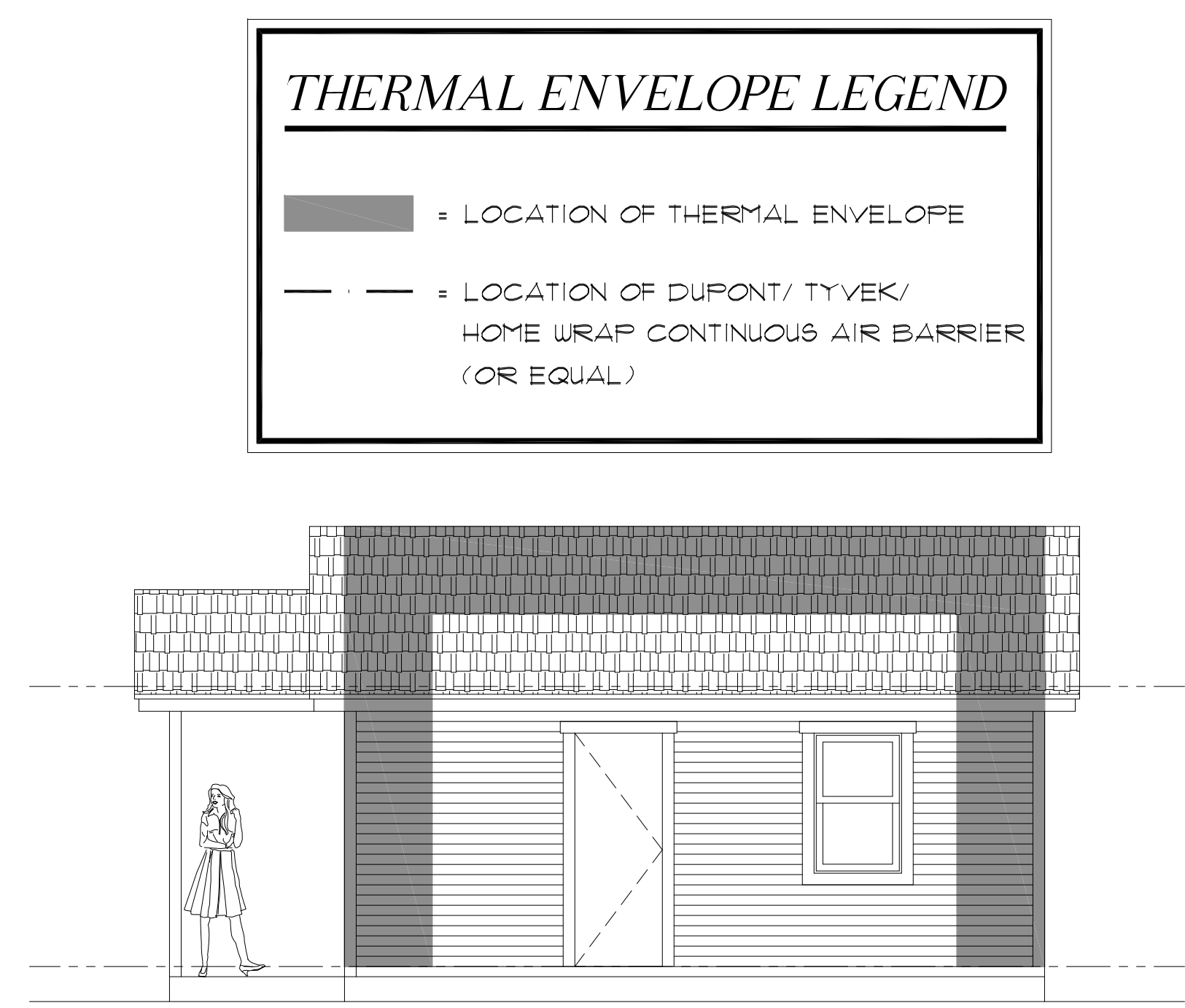
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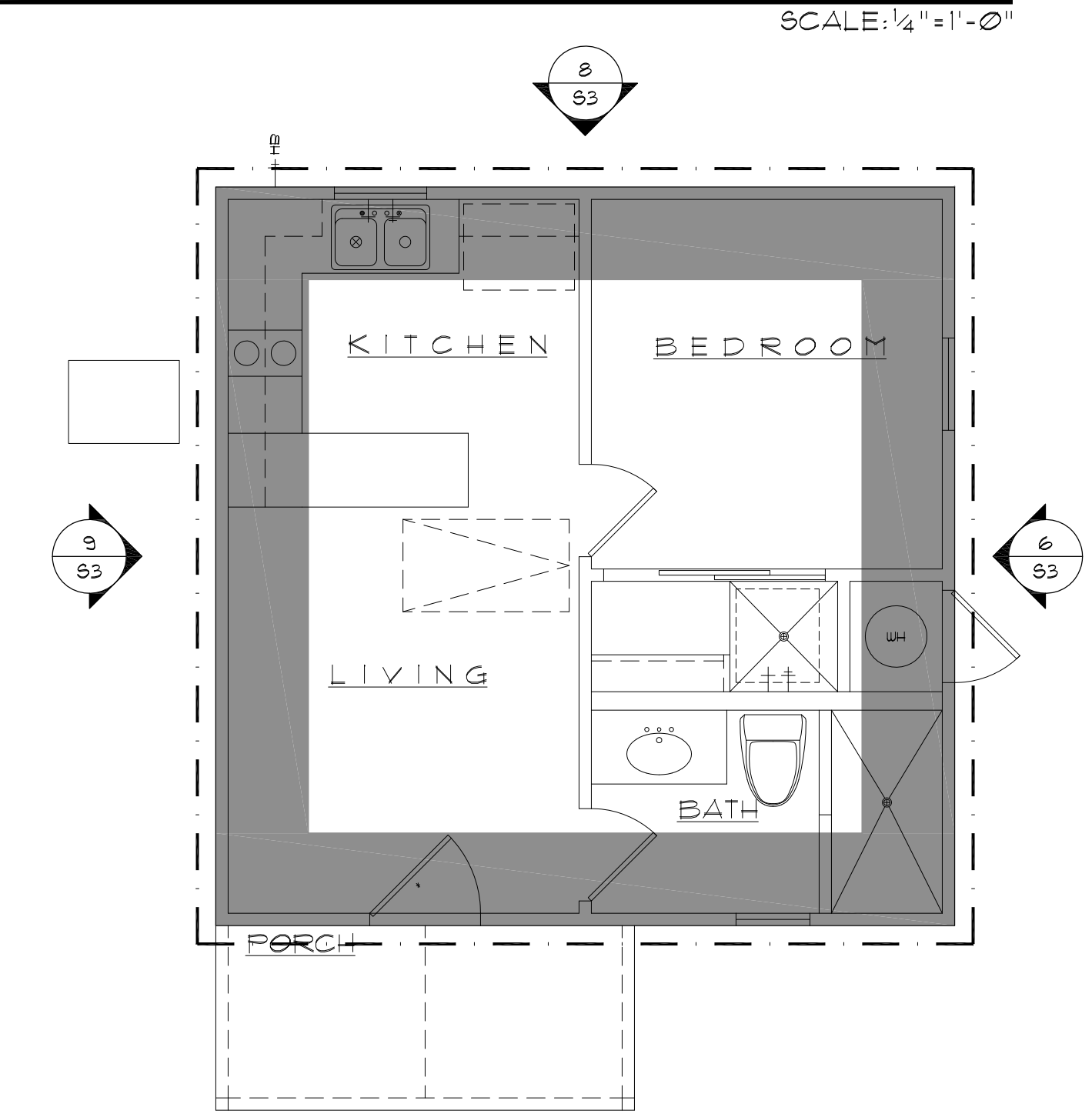




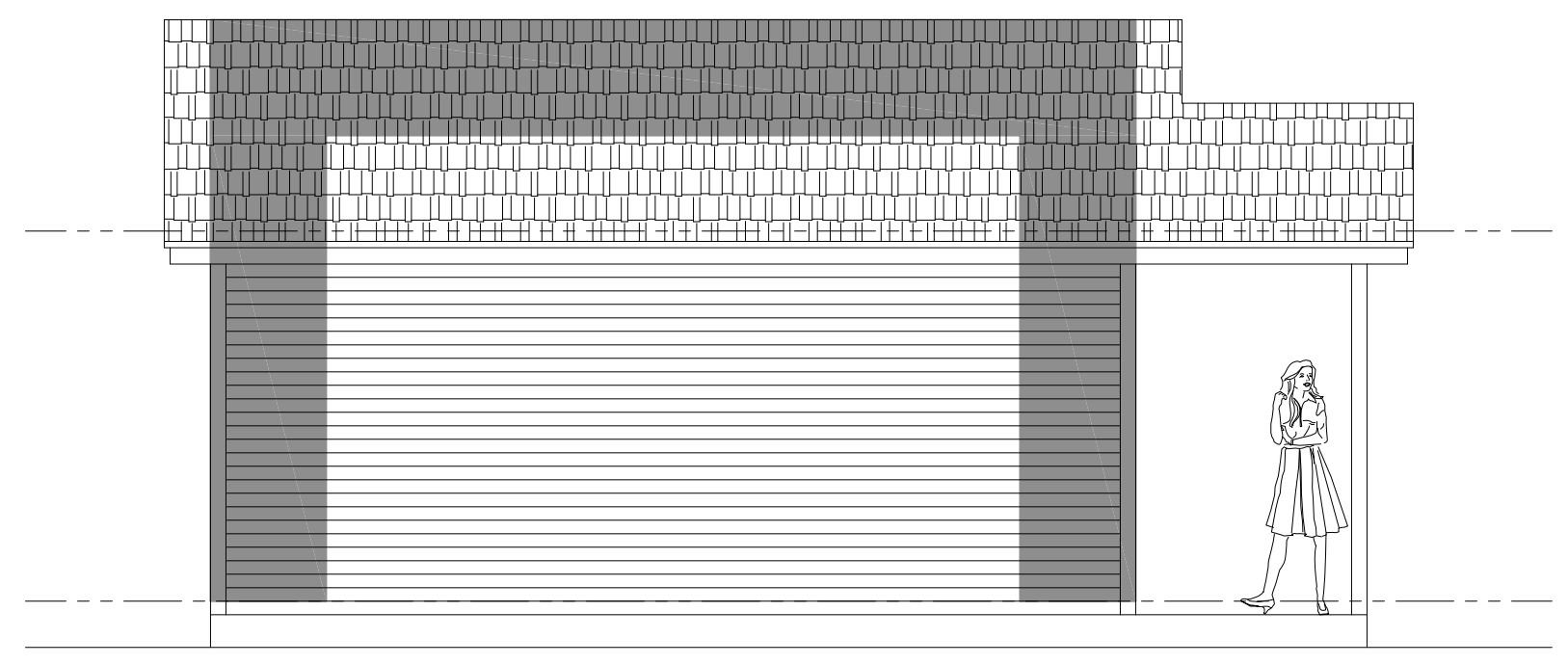
INTERIOR ELEVATIONS



6 WEST ELEVATION THERMAL ENVELOPE LOCATION  
SCALE: 1/4"=1'-0"



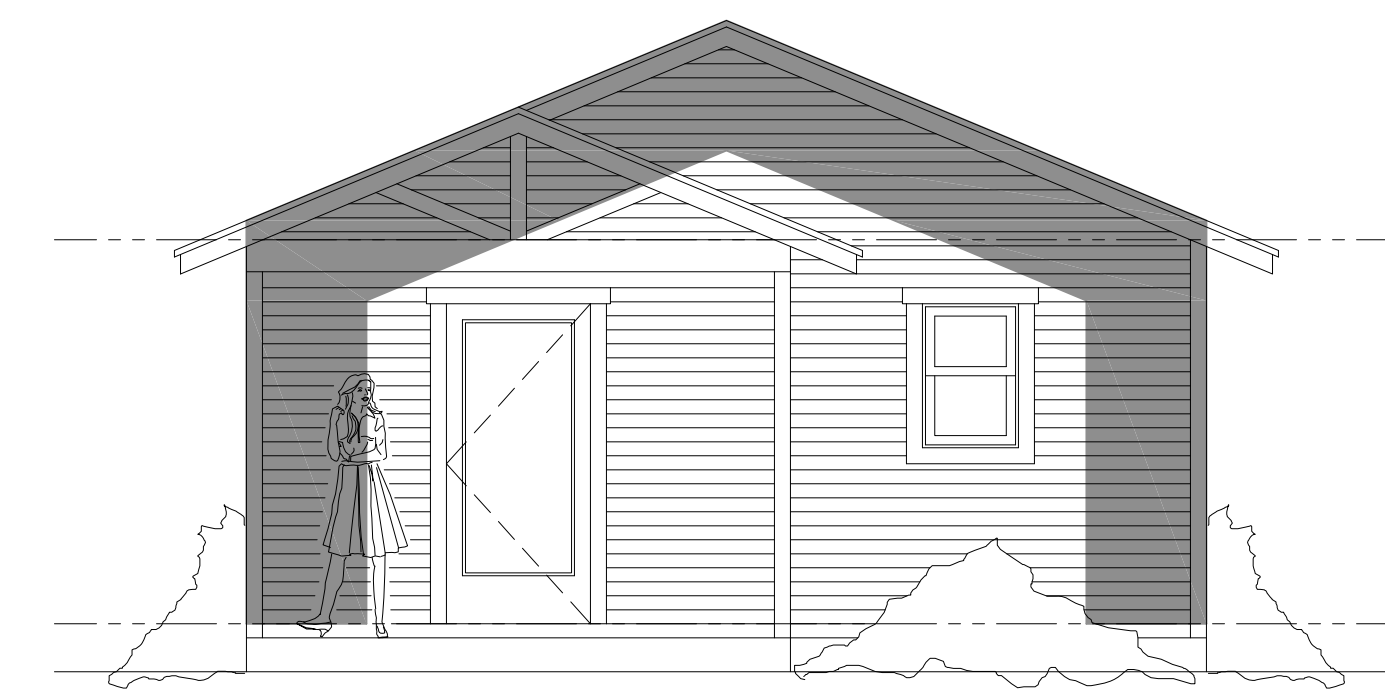
5 THERMAL ENVELOPE LOCATION FLOOR PLAN  
SCALE: 1/4"=1'-0"



9 EAST ELEVATION THERMAL ENVELOPE LOCATION  
SCALE: 1/4"=1'-0"



8 SOUTH ELEVATION THERMAL ENVELOPE LOCATION  
SCALE: 1/4"=1'-0"



7 NORTH ELEVATION THERMAL ENVELOPE LOCATION  
SCALE: 1/4"=1'-0"

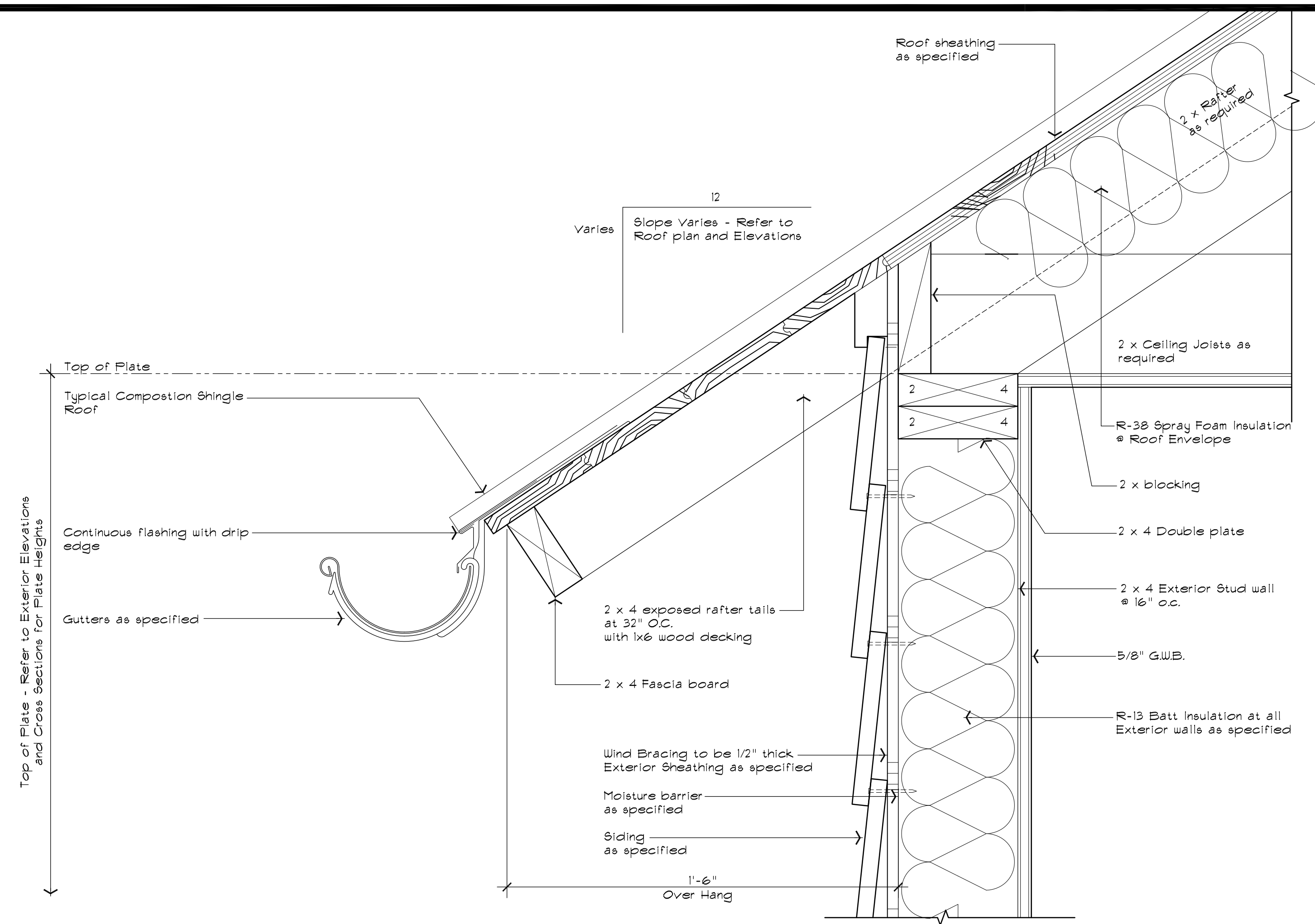
102 HERMINE BLVD.

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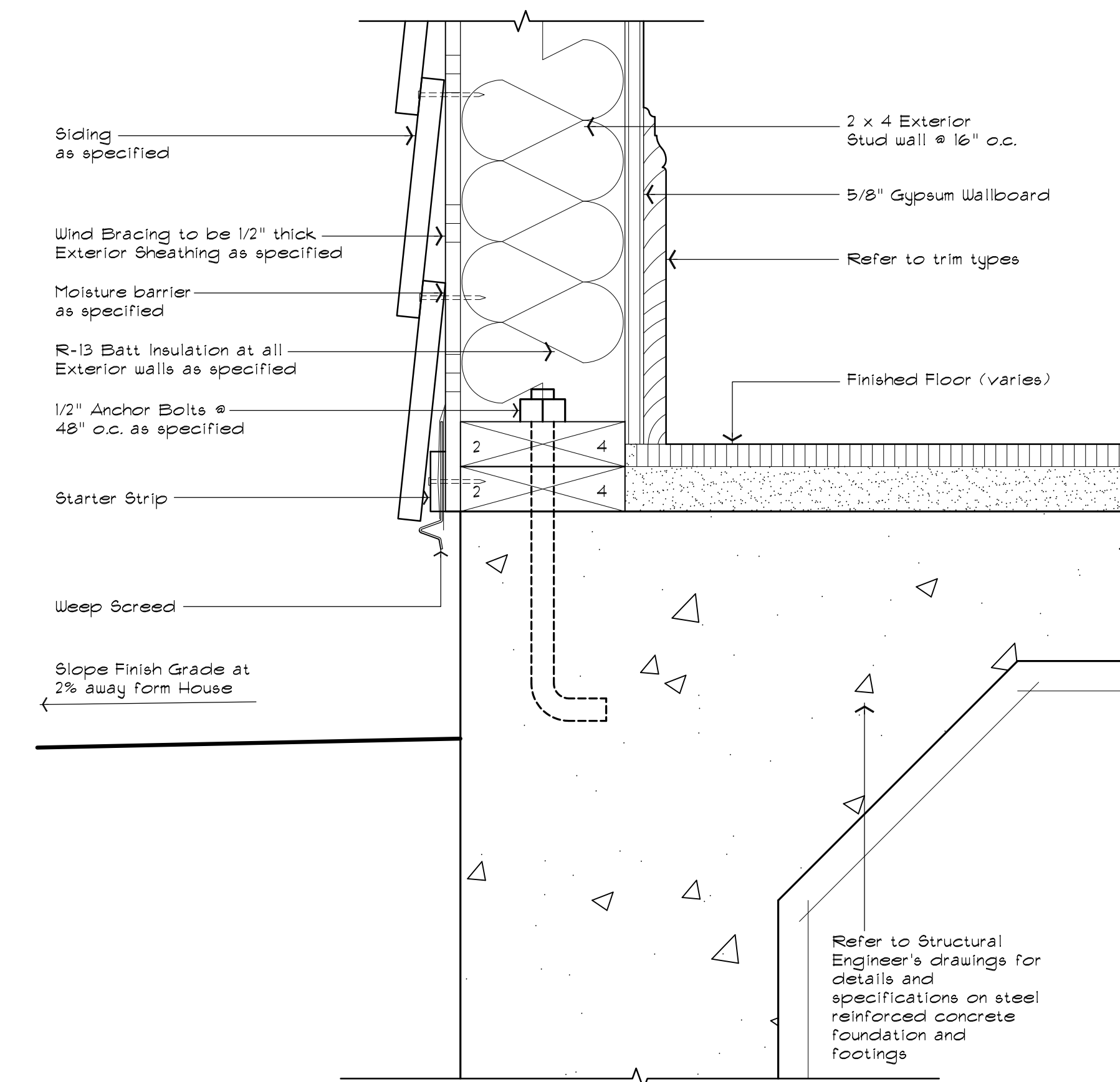
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DATE 7-26-23	
REVISIONS	BY

SHEET NUMBER  
S3





**1 EAVE AND OVERHANG DETAIL**  
SCALE: 3" = 1'-0"



**2 WALL SECTION**  
SCALE: 3" = 1'-0"

102 HERMINE BLVD.

A.E. SECURE INVESTMENTS CORPORATION  
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REG. BUILDER # 36960

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7-26-23

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SHEET NUMBER

**S4**



REScheck COMPLIANCE CERTIFICATE



Project 102 HERMINE BLVD.

Energy Code: 2021 IECC  
Location: San Antonio, Texas  
Construction Type: Single-family  
Project Type: New Construction  
Conditioned Floor Area: 400 ft2  
Glazing Area: 7%  
Climate Zone: 2 (1644 HDD)  
Permit Date:  
Permit Number:

Construction Site:  
102 HERMINE BLVD,  
San Antonio, TX 78212

Owner/Agent:

Designer/Contractor:

Compliance: Passes using UA trade-off

Compliance: 1.1% Better Than Code Maximum UA: 83 Your UA: 78 Maximum SHGC: 0.25 Your SHGC: 0.19  
The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.  
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling 1: Flat Ceiling or Scissor Truss	400	38.0	0.0	0.030	0.026	12	10
Wall 1: Wood Frame, 16" o.c.	640	13.0	0.0	0.082	0.084	49	50
Door 1: Glass SHGC: 0.19	20			0.310	0.400	6	8
Window 1: Metal Frame:Double Pane with Low-E SHGC: 0.19	24			0.310	0.400	7	10
Floor 1: All-Wood Joist/Truss	80	15.0	0.0	0.054	0.064	4	5

Additional Efficiency Package(s)

Required: 1 Proposed: 5

Description	Credits
Enhanced Envelope Performance	1.0
Efficient HVAC Performance	1.0
Efficient Service Water Heating Performance	1.0
Efficient Thermal Distribution Performance	1.0
Efficient Air Sealing and Ventilation Performance	1.0

Project Title: 102 HERMINE BLVD.  
Data filename:

Report date: 08/23/23  
Page 1 of 2

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2021 IECC requirements in REScheck Version - REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Robert Ramos - Designer

8-23-23

Name - Title Signature Date

Project Notes:  
HVAC SEER VALUE WILL BE 14

Project Title: 102 HERMINE BLVD.  
Data filename:

Report date: 08/23/23  
Page 2 of 2

GRAPHIC SYMBOLS

ELECTRICAL

-----	L.E.D. STRIP LIGHTING	- - - - -	FESTOON STRING LIGHTS
1K9	SWITCH	H-TV	TELEVISION OUTLET
1K9_	DIMMER SWITCH	H-SATV	SATELLITE TELEVISION/TELEPHONE LINE
1K9_3	THREE WAY SWITCH	H-IC	INTERCOM
1K9_4	FOUR WAY SWITCH	SPKR	SPEAKER OUTLET
1K9_4	FOUR WAY SWITCH	SD	SMOKE DETECTOR
1K9_4	FOUR WAY SWITCH	T	THERMOSTAT
1K9_4	FOUR WAY SWITCH	EP	ELECTRICAL PANEL BOX
1K9_4	FOUR WAY SWITCH	H-PB	PUSH BUTTON DOORBELL
1K9_4	FOUR WAY SWITCH	H-PB	PUSH BUTTON SWITCH
1K9_4	FOUR WAY SWITCH	CHIMES	CHIMES
1K9_4	FOUR WAY SWITCH	KEY SWITCH	KEY SWITCH
1K9_4	FOUR WAY SWITCH	SURFACE MOUNT CLG. FIXTURE	SURFACE MOUNT CLG. FIXTURE
1K9_4	FOUR WAY SWITCH	WALL MOUNT FIXTURE	WALL MOUNT FIXTURE
1K9_4	FOUR WAY SWITCH	FULL CHAIN LIGHT	FULL CHAIN LIGHT
1K9_4	FOUR WAY SWITCH	RECESSED CEILING FIXTURE	RECESSED CEILING FIXTURE
1K9_4	FOUR WAY SWITCH	RECESSED EYEBALL FIXTURE	RECESSED EYEBALL FIXTURE
1K9_4	FOUR WAY SWITCH	HALOGEN RECESSED CEILING FIXTURE	HALOGEN RECESSED CEILING FIXTURE
1K9_4	FOUR WAY SWITCH		

PLUMBING

UH	WATER HEATER
AS	WATER SOFTNER
SH	SHOWER HEAD
HB	HOSE BIB/FAUCET
CU	COLD WATER TO REF.
H	HOT 4 COLD WATER
FD	FLOOR DRAIN
GAS	GAS LINE
GAS KEY	GAS KEY (ON/OFF) VALVE

MISC.

SEC	SECURITY SYSTEM PANEL
VAC	VACUUM SYSTEM OUTLET
VAC	VACUUM CLEANER TAKE-UP
VAC/SW	VACUUM SYSTEM SWEEP OUTLET

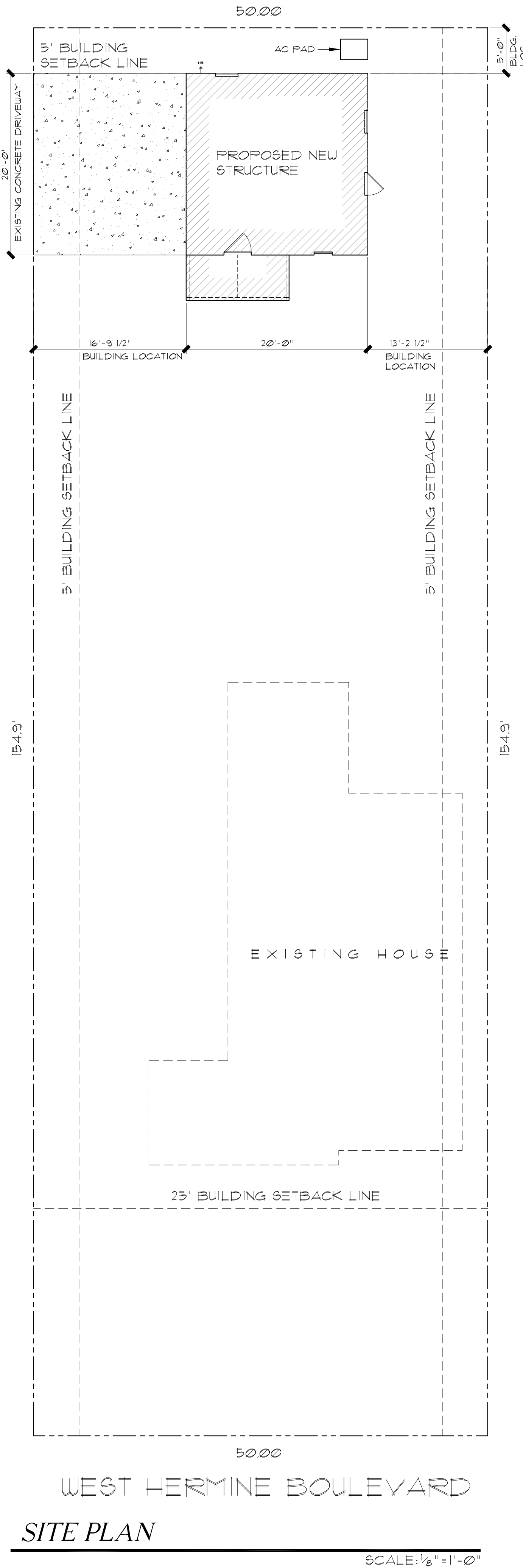


TABLE OF CONTENTS

A1	SITE PLAN/ PLAN NOTES/ REScheck
A2	FLOOR PLAN/ ROOF PLAN/ ELECTRICAL PLAN/ WINDOW & DOOR SCHEDULE/
A3	EXTERIOR ELEVATIONS
A4	INTERIOR ELEVATIONS/ THERMAL ENVELOPE LOCATIONS
	OVERHANG DETAIL/ WALL SECTION

LEGAL DESCRIPTION

NCB 3007 BLK 13 LOT 40 AND 41

SQUARE FOOTAGE TABULATIONS

LIVING	400 S.F.
ENTRY COVERED PORCH	51 S.F.
TOTAL COVERED AREA	451 S.F.

PLAN NOTES

- SCALE. DO NOT SCALE DRAWINGS. THESE ARE CONCEPTUAL PLANS. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE DESIGNER OF RECORD PRIOR TO FABRICATED AND ERECTION.
- CODES. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE COMPLIANCE WITH SAID CODES.
- JOB SITE. PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VISIT JOB SITE AND NOTIFY OWNER OF ANY CONDITIONS NOT INCLUDED IN THESE DOCUMENTS WHICH REQUIRE CORRECTIVE OR ADDITIONAL ACTIONS. NO CHANGES TO PLANS TO BE MADE WITHOUT WRITTEN APPROVAL BY THE DESIGNER. REPORT ANY DISCREPANCIES TO THE DESIGNER.
- DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF STUD WALLS OR MASONRY FOUNDATION. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- PLAN REVIEW. THESE PLANS ARE CONCEPTUAL IN NATURE AND THEREFORE SHALL BE REVIEWED BY STRUCTURAL AND MECHANICAL ENGINEERS PRIOR TO CONSTRUCTION. ALL SHOP DRAWINGS SHALL BE PREPARED AND REVIEWED BY AN ENGINEER PRIOR TO FABRICATION AND ERECTION. NO SITE INSPECTION HAS OCCURRED. THE OWNER IS RESPONSIBLE FOR ALL SITE CONDITIONS, INCLUDING BUT NOT LIMITED TO: ORIENTATION, DRAINAGE, SOIL BEARING, WIND LOADS AND OTHER SUBSURFACE CONDITIONS.
- CHANGES OR MODIFICATIONS TO PLANS. ANY MINOR OR REQUIRED CHANGES OR MODIFICATION TO THIS PLAN DO NOT REDUCE OR VOID THE COPYRIGHTS COVERING THIS SET OF PLANS IN ANY WAY. MODIFICATIONS TO THIS PLAN, FOR ANY REASON, SHOULD BE ATTEMPTED BY AN ARCHITECT OR ENGINEER ONLY. DESIGNER ACCEPTS NO RESPONSIBILITY FOR THE QUALITY AND COMPLETENESS OF ANY CHANGES ATTEMPTED. PLEASE REMEMBER THAT EVEN A SIMPLE CHANGE TO ONE AREA OF A HOME CAN GREATLY AFFECT MANY OTHER AREAS IN THE HOME AND ONLY A QUALIFIED PROFESSIONAL IS EQUIPPED TO FULLY UNDERSTAND THE RAMIFICATIONS OF ANY CHANGE OF MODIFICATION.

GENERAL NOTES:

- ESCAPE/ RESCUE WINDOWS FROM SLEEPING AREAS SHALL HAVE MIN. 5.7 SQ. FT. CLEAR NET OPENING AND MIN. CLEAR OPENING HGT. OF 24" AND MIN. CLEAR OPENING WIDTH OF 20". FINISHED SILL HGT. SHALL BE MAX. 44" ABOVE FLOOR.
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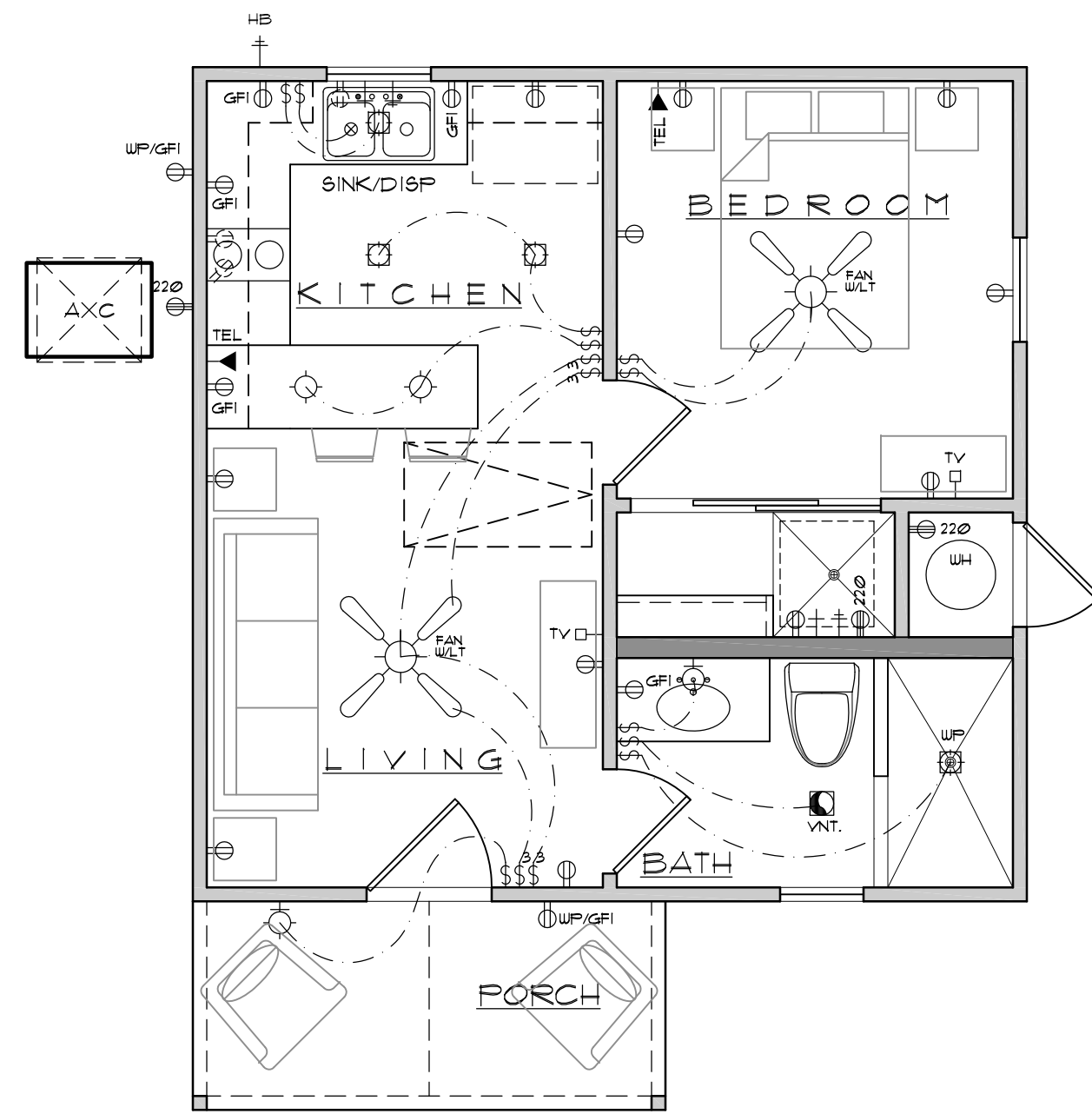
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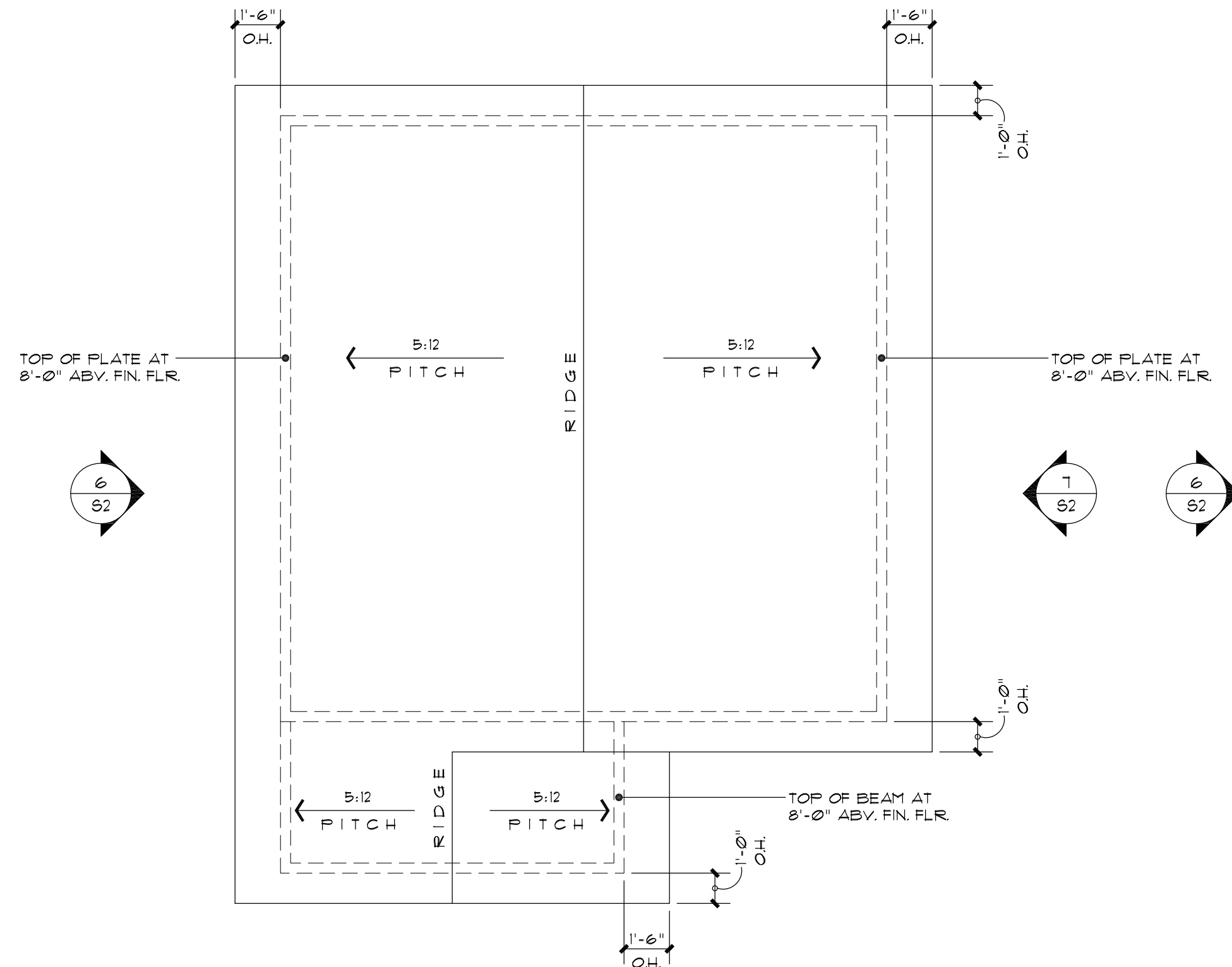
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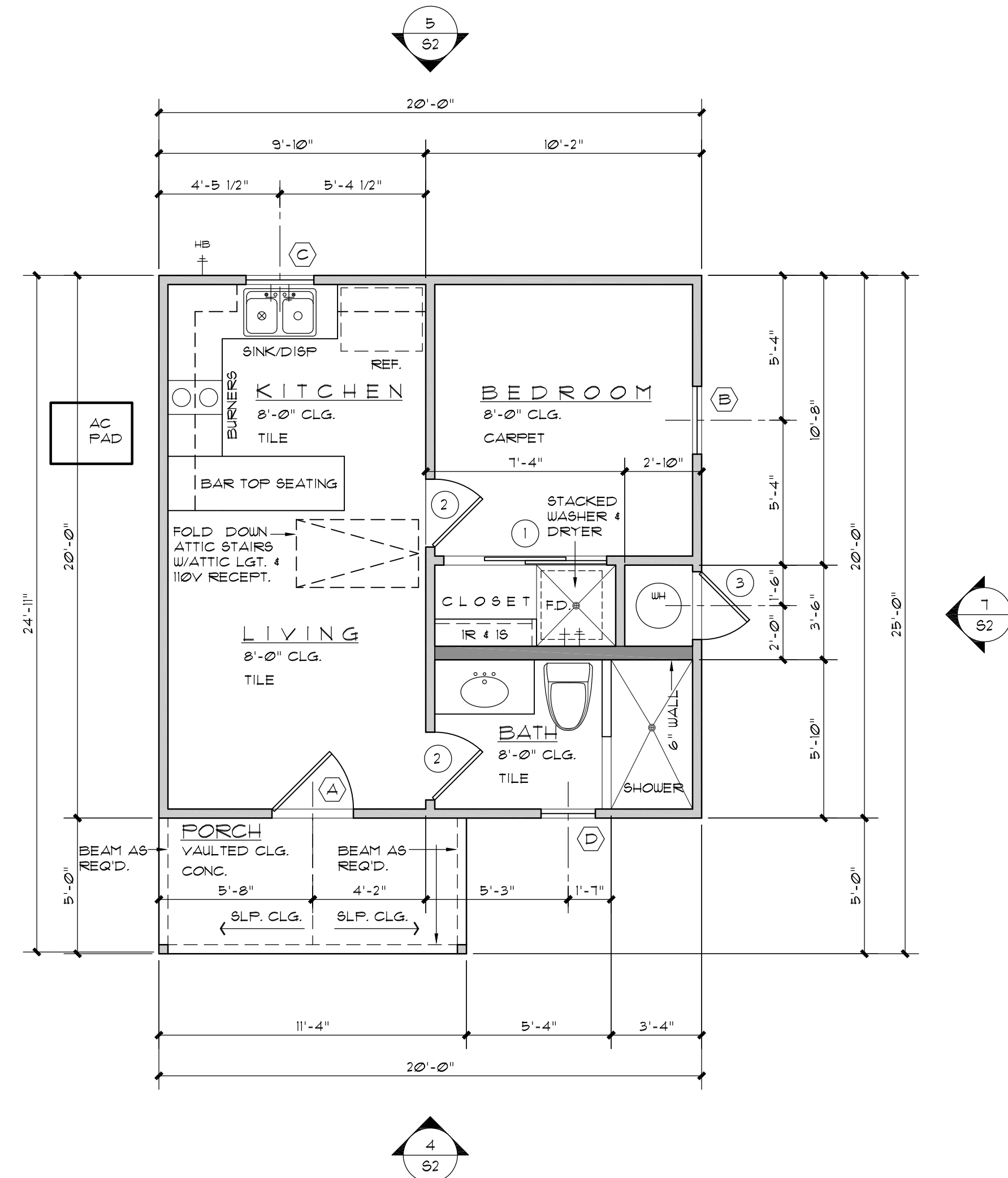




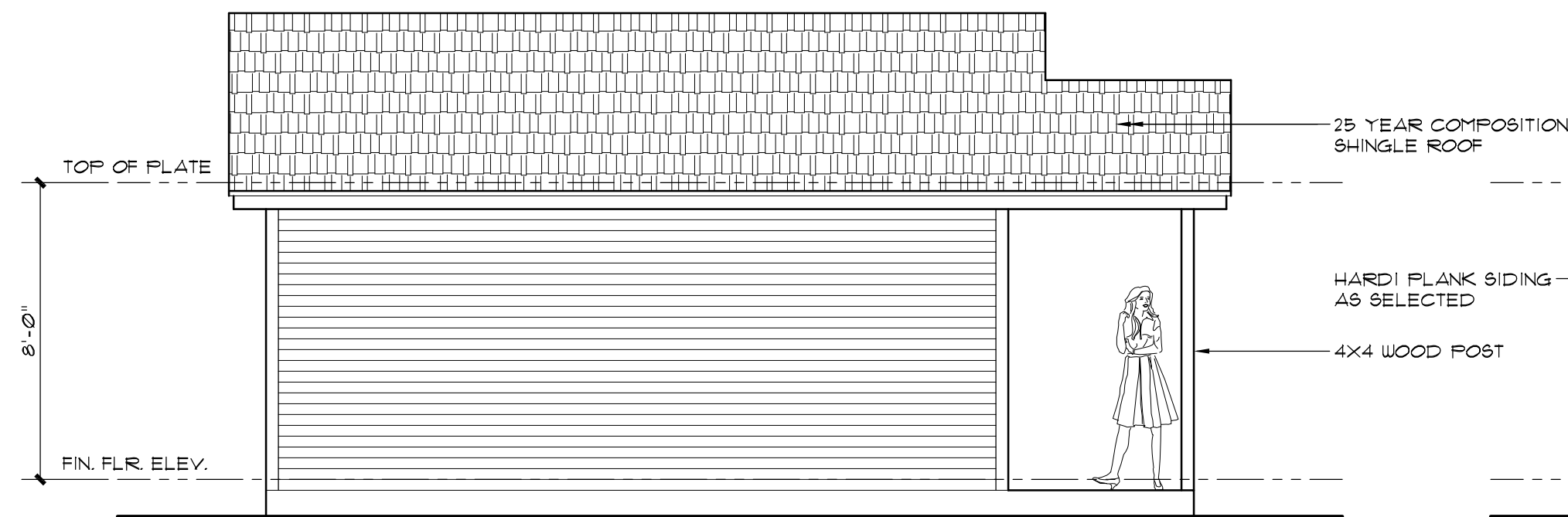
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SCALE: 1/4" = 1'-0"



2 ROOF PLAN  
SCALE: 1/4" = 1'-0"



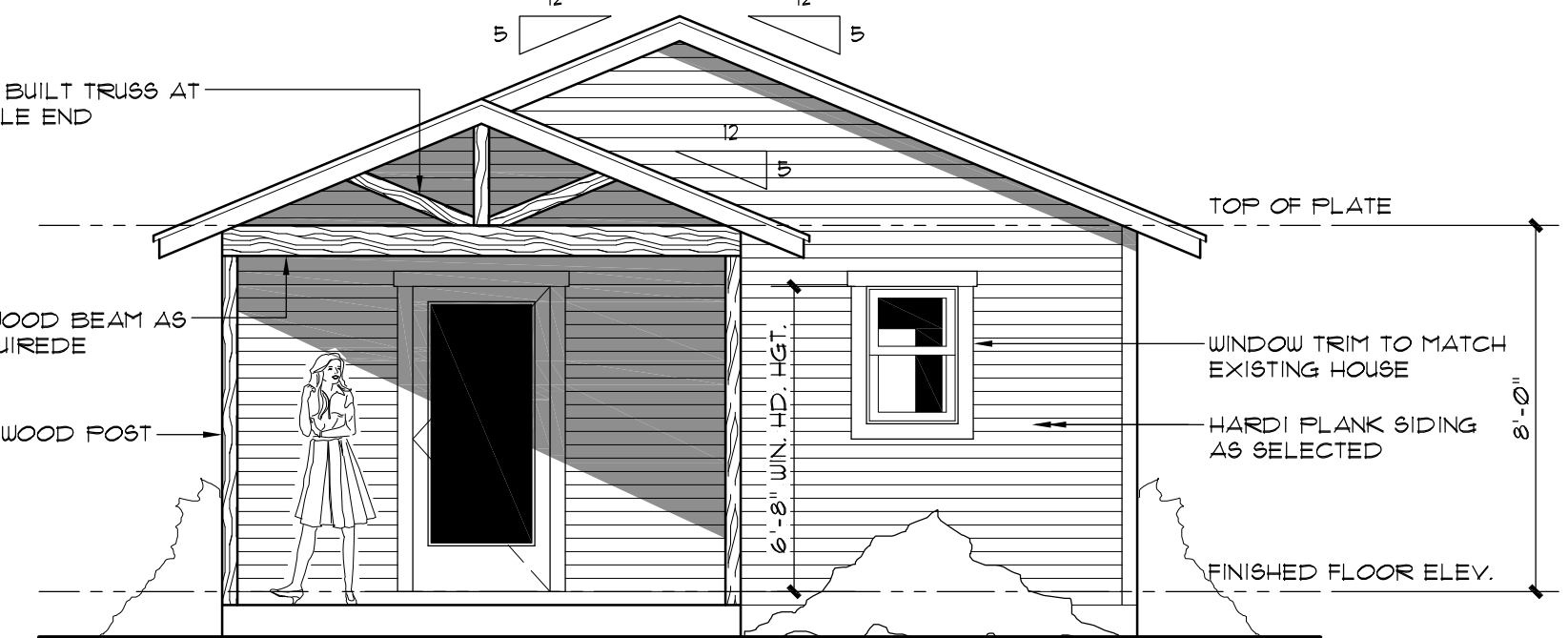
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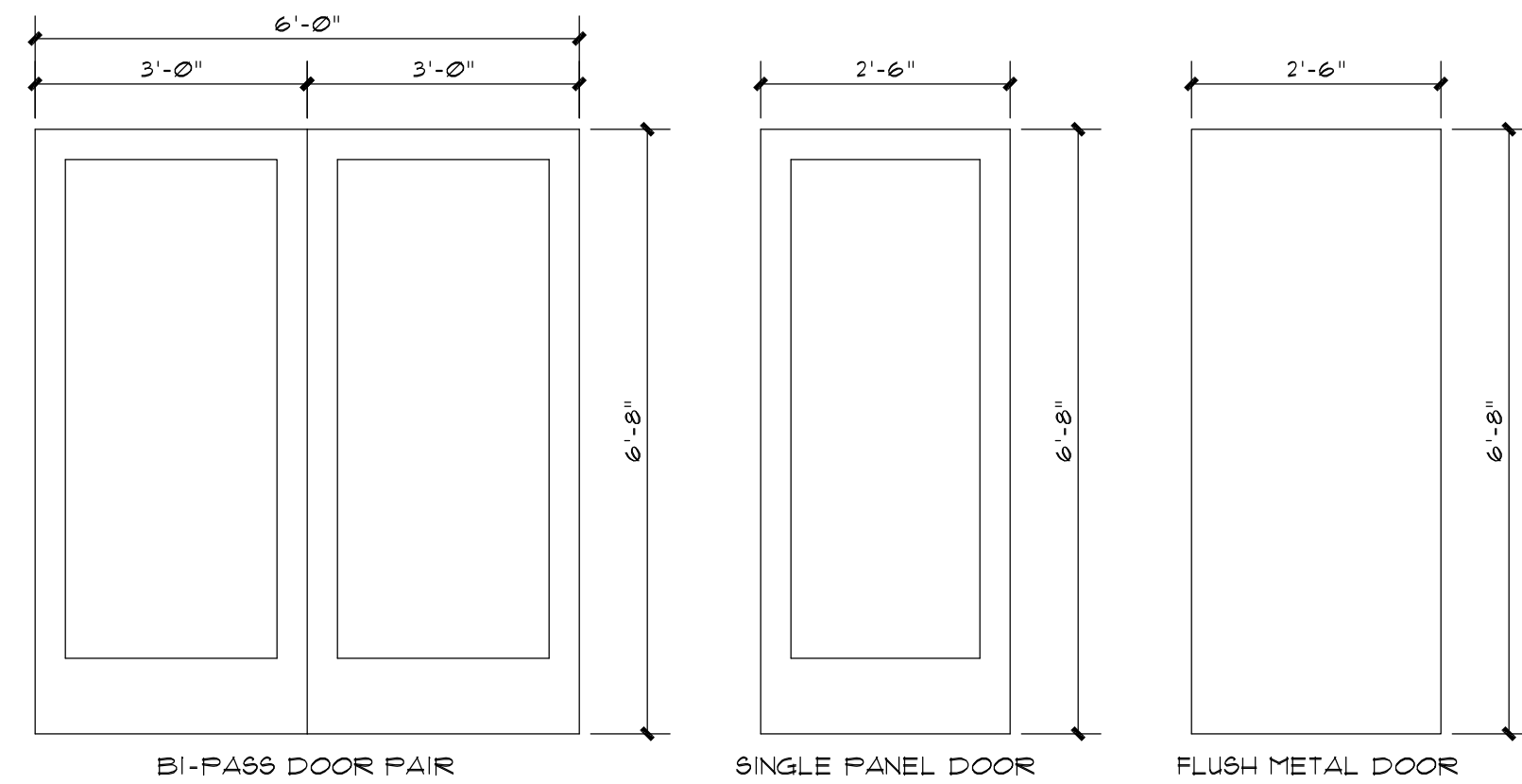
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SCALE: 1/4" = 1'-0"



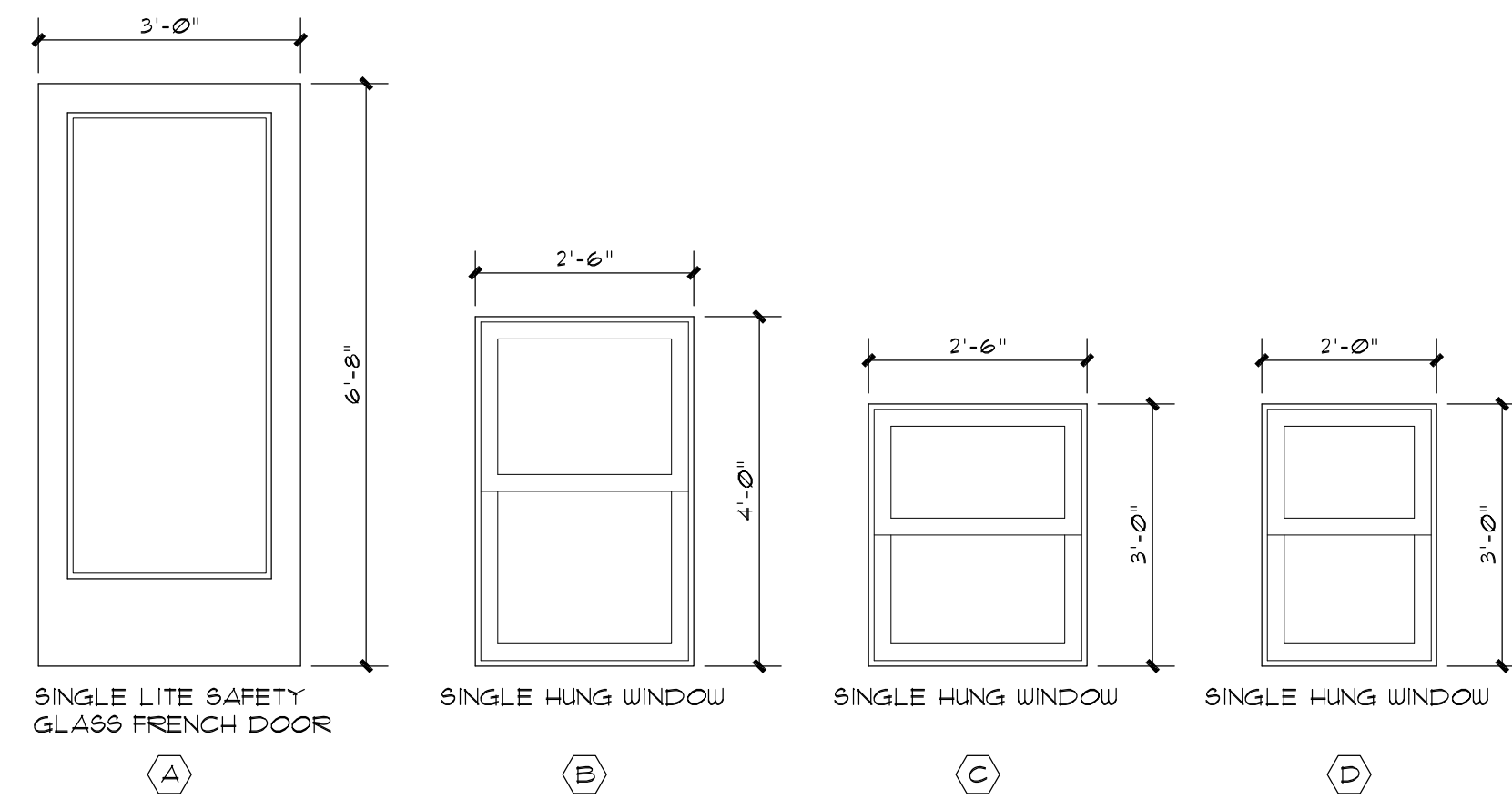
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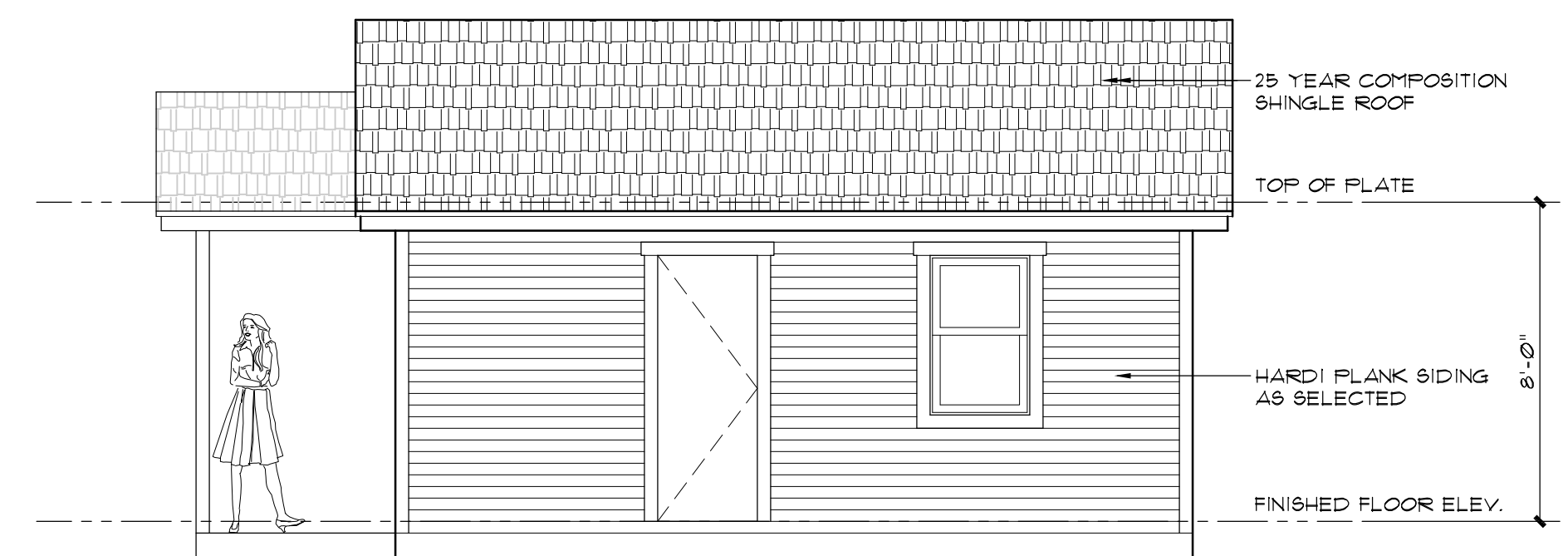
4 NORTH ELEVATION  
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9 DOOR SCHEDULE  
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8 WINDOW SCHEDULE  
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7 WEST ELEVATION  
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102 HERMINE BLVD.

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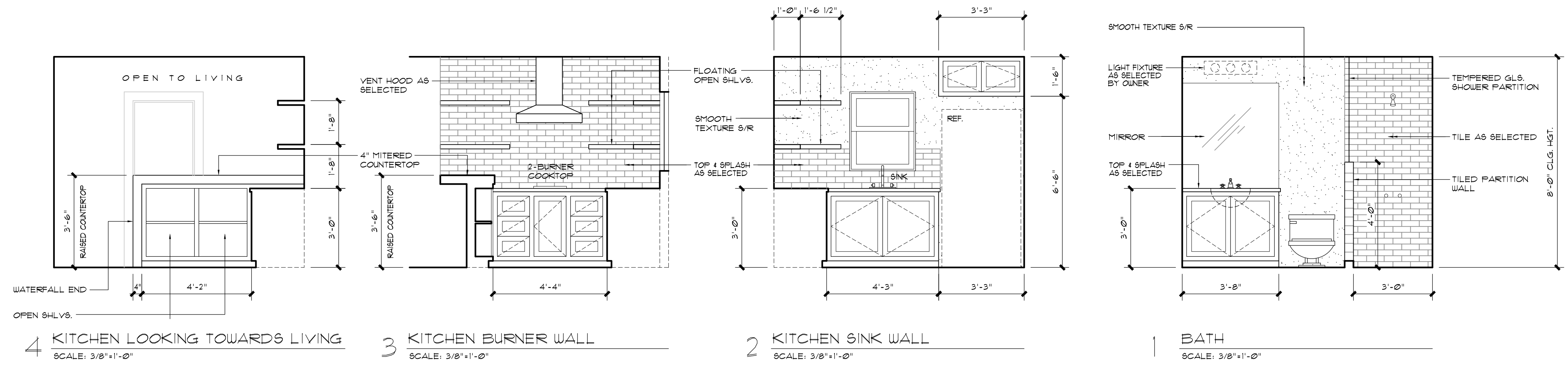
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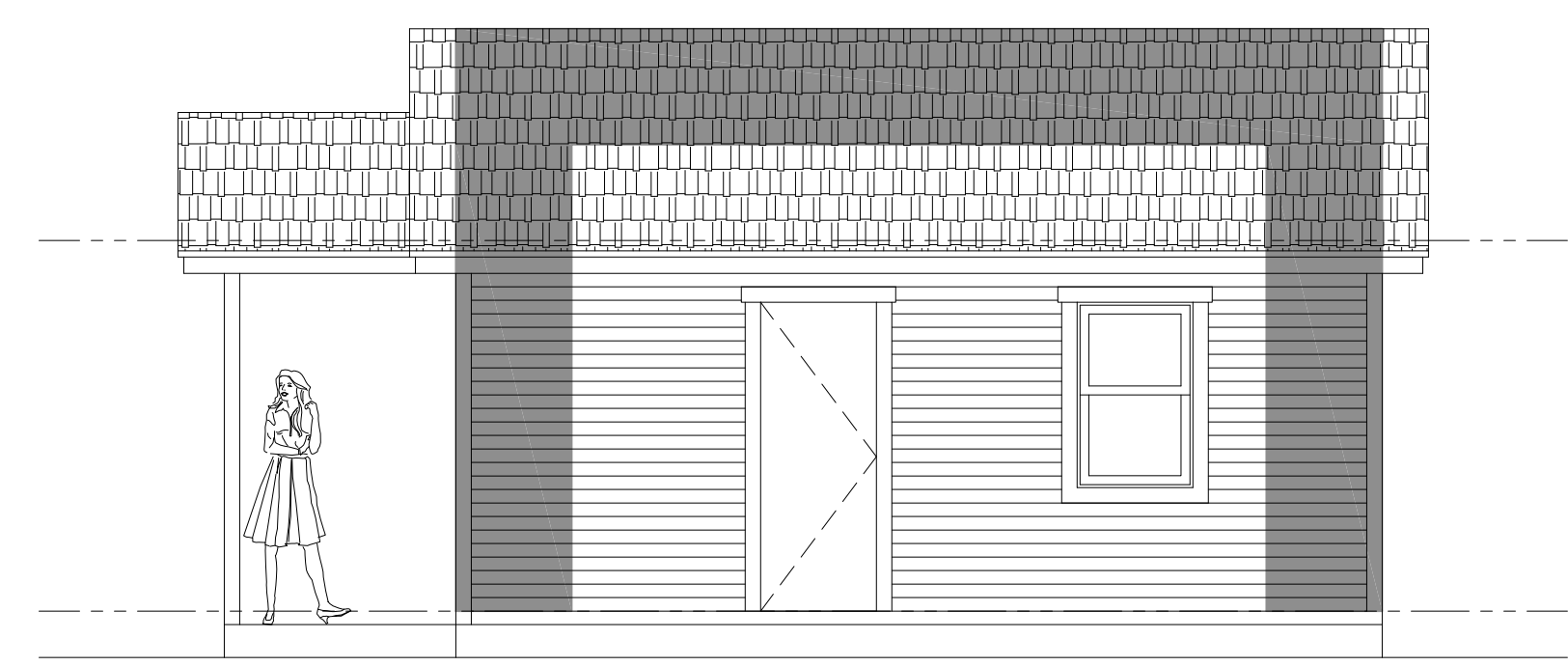
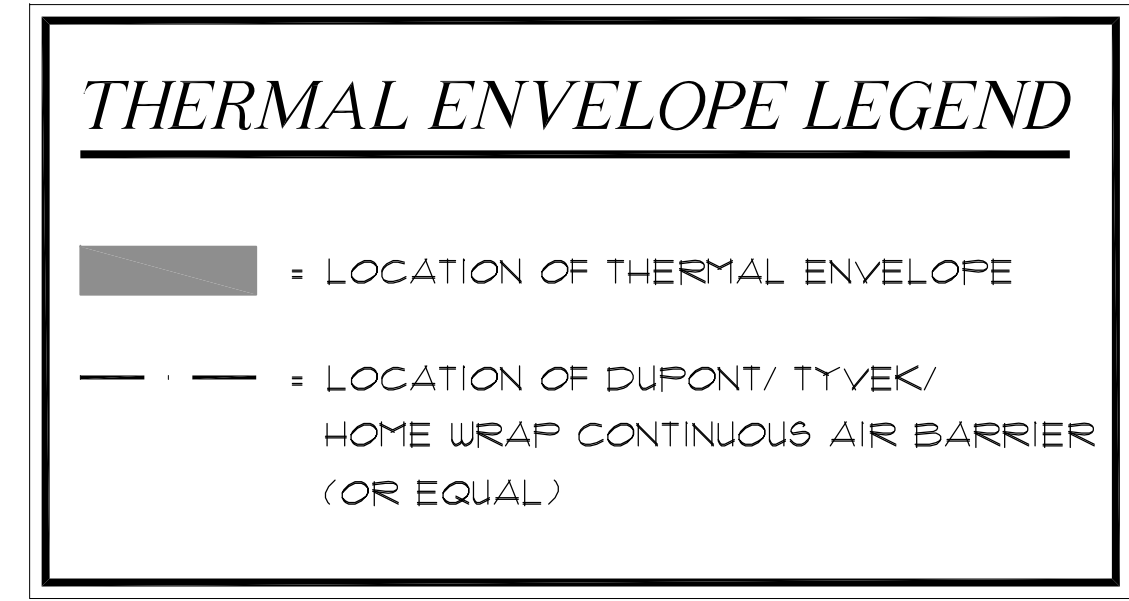
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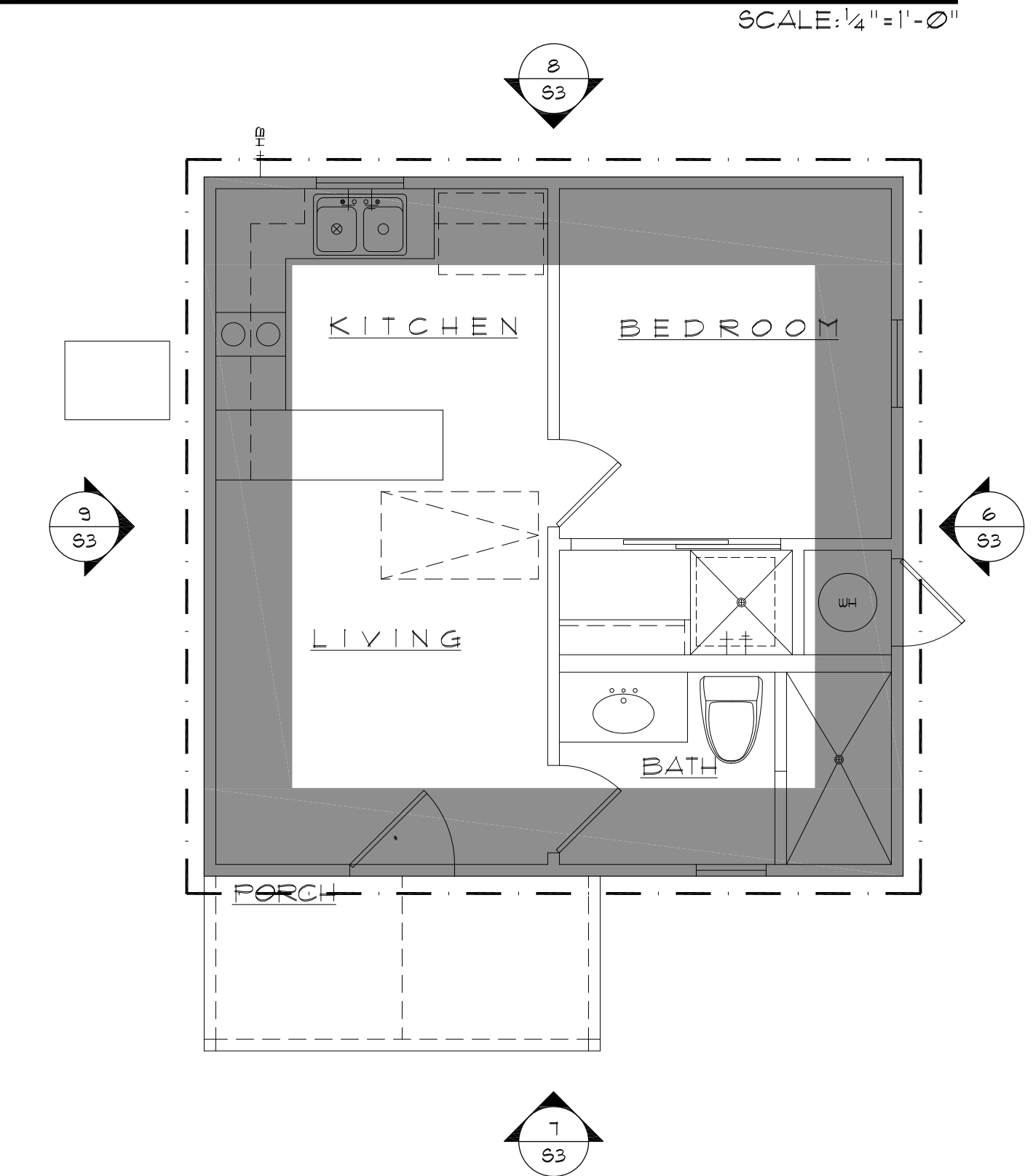




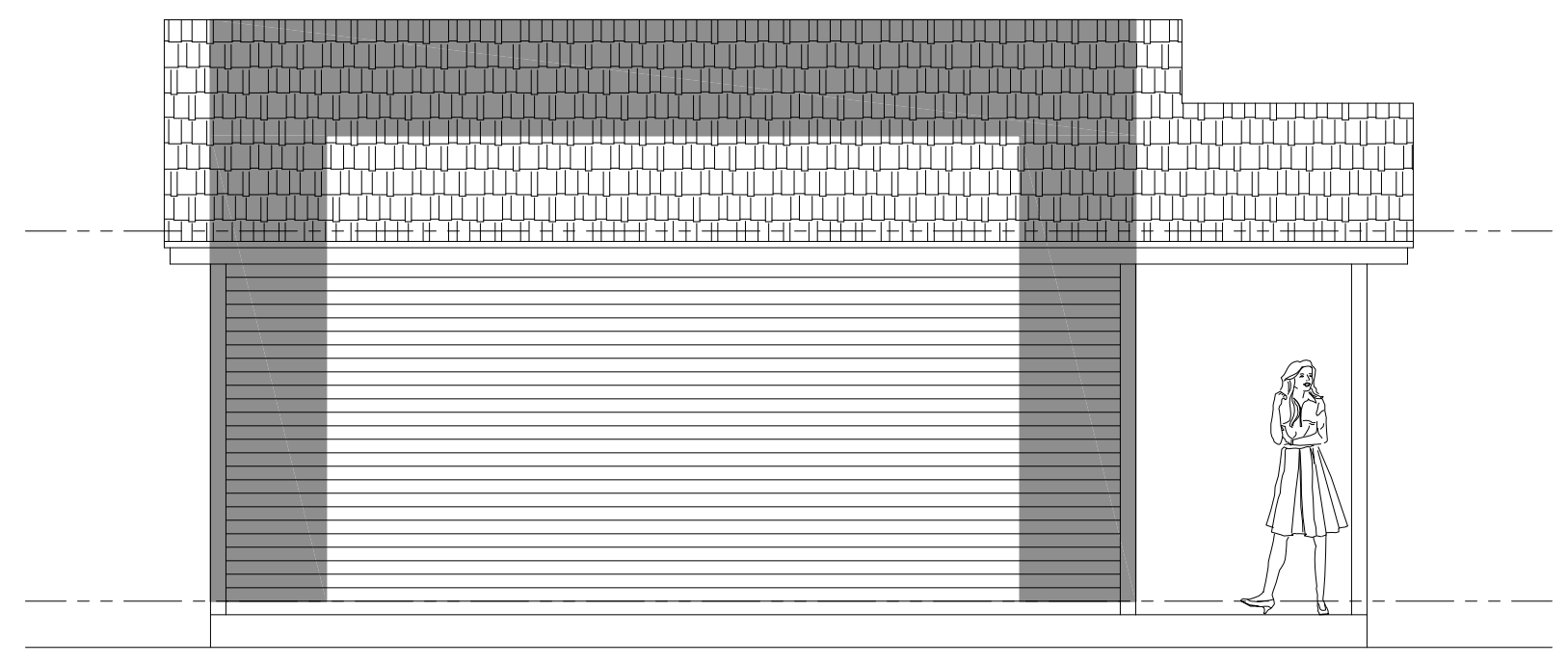
INTERIOR ELEVATIONS



6 WEST ELEVATION THERMAL ENVELOPE LOCATION  
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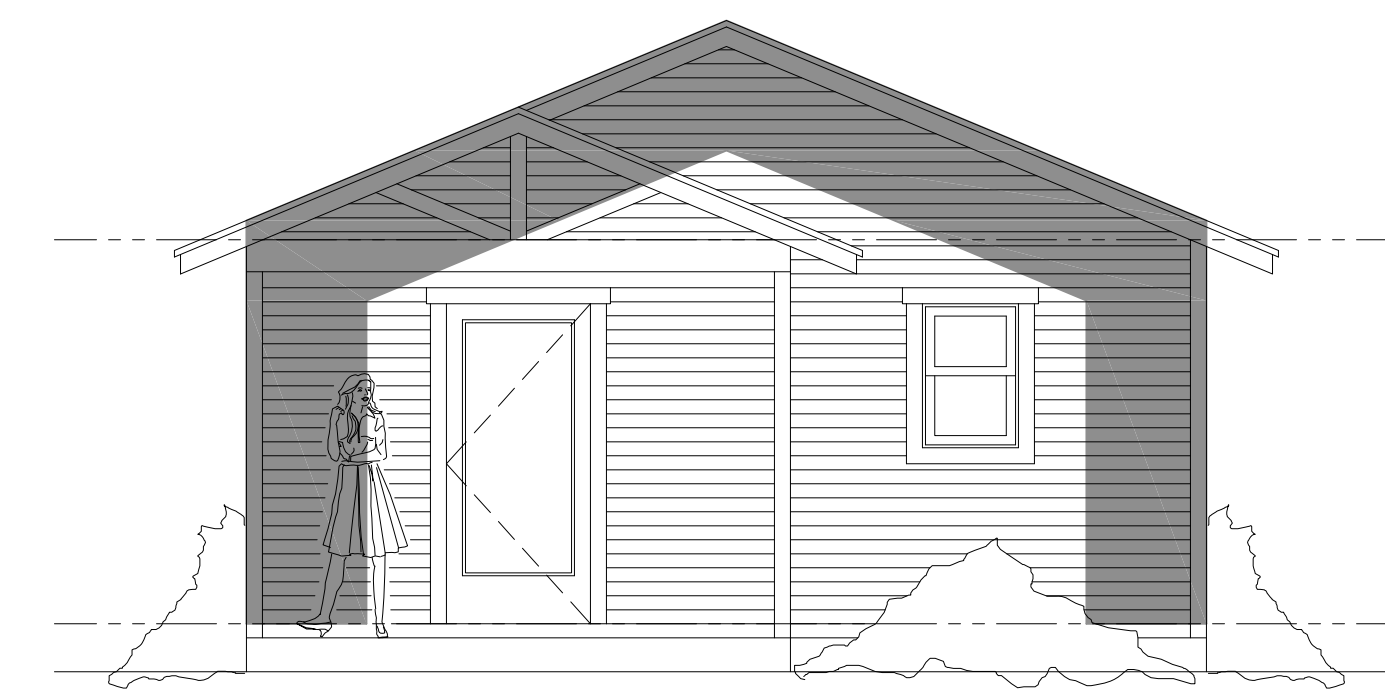
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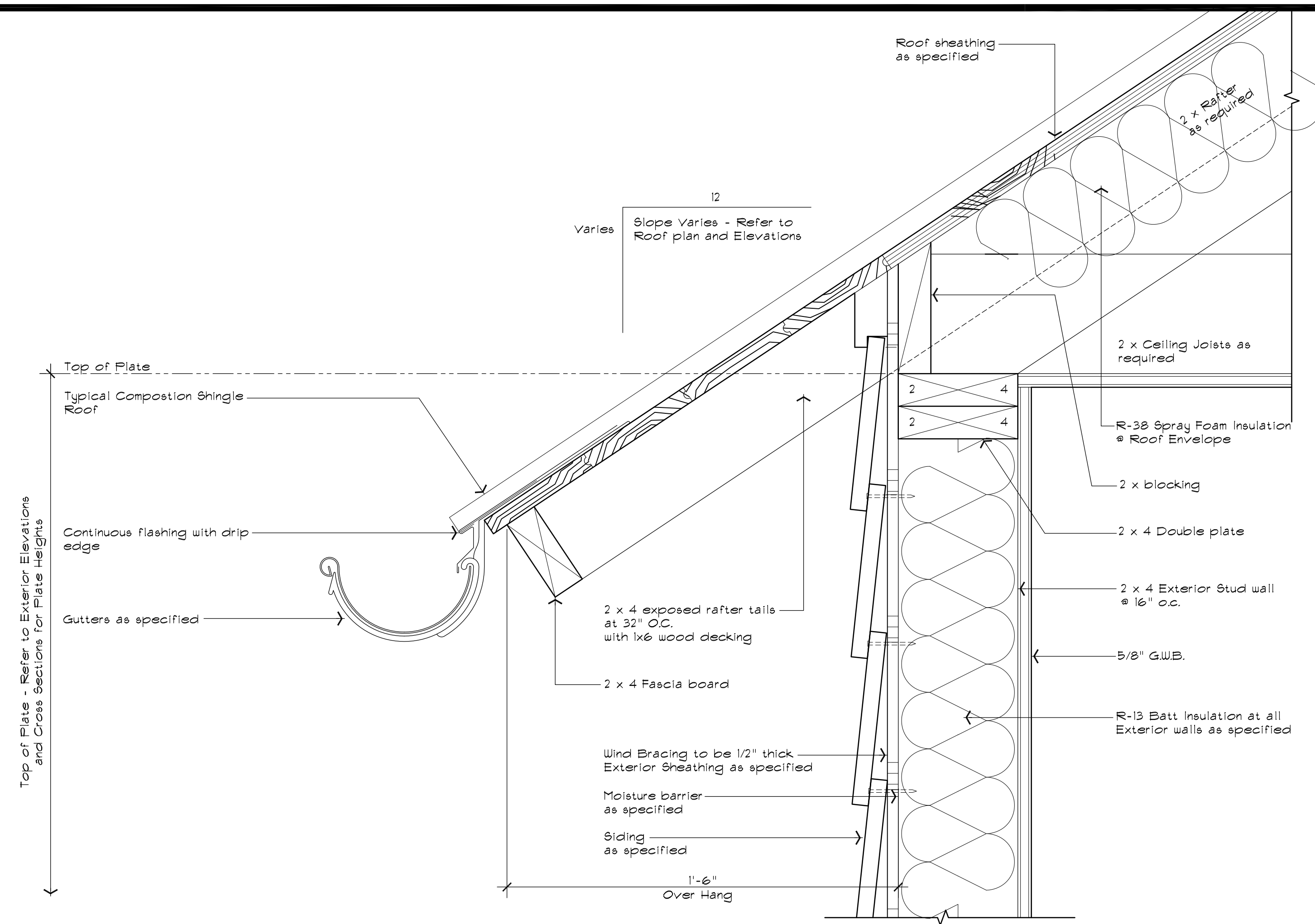
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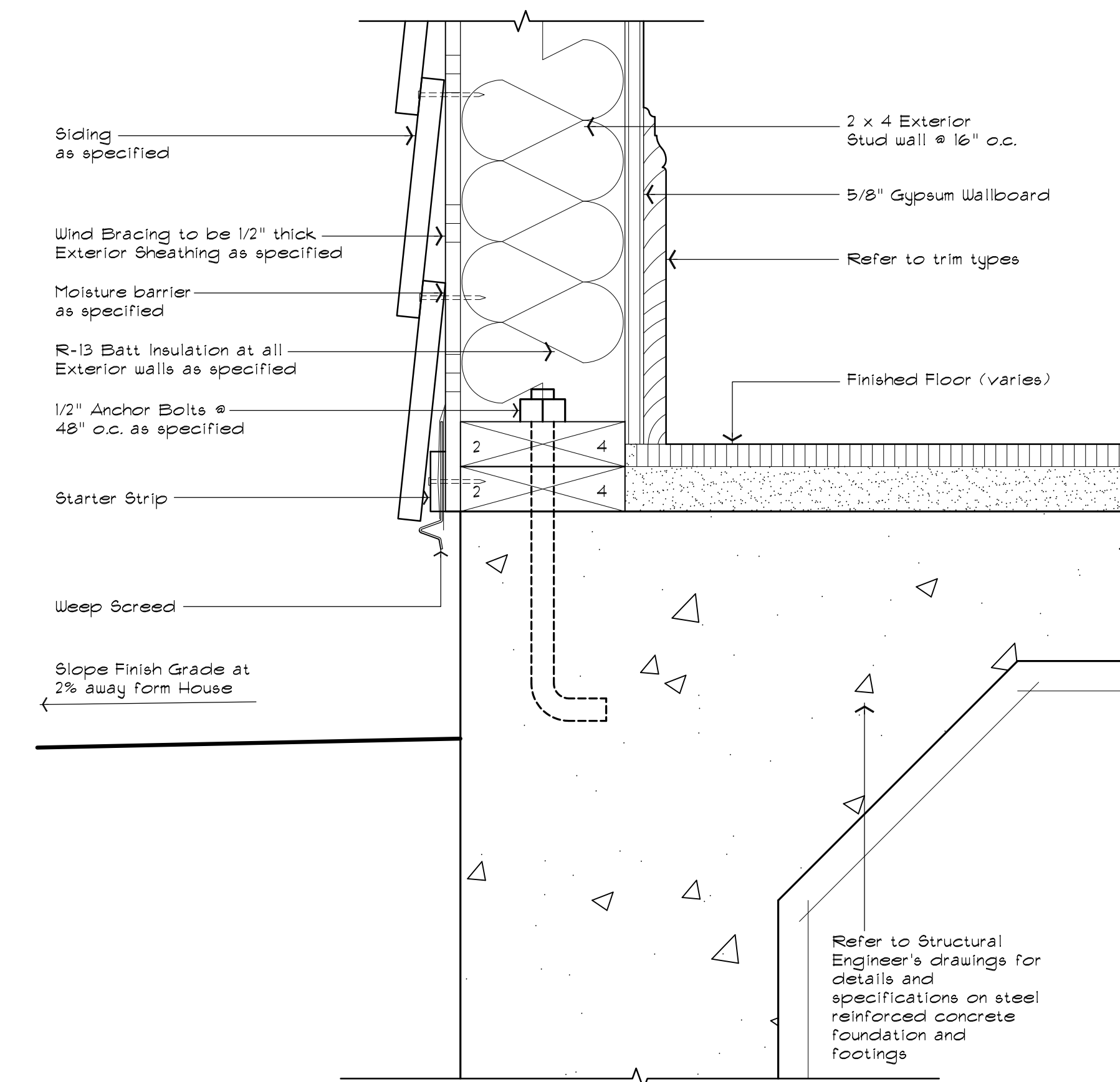
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DATE 7-26-23	
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SHEET NUMBER  
S3





**1 EAVE AND OVERHANG DETAIL**  
SCALE: 3" = 1'-0"



**2 WALL SECTION**  
SCALE: 3" = 1'-0"

A.E. SECURE INVESTMENTS CORPORATION  
102 HERMINE BLVD.  
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REG. BUILDER # 36960

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**S4**





**02 San Antonio Retail**  
 2651 SW Military Dr.  
 San Antonio, Texas 78224  
 Phone: 210-924-5131

# Quotation

**Quote No** 1344200  
**Quote Date** 08/05/2023  
**Expiration Date** 08/10/2023  
**Customer** SACASH  
**Contact Name** Albert Encia  
**Contact Number** 210-454-8756  
**Job**  
**Your Ref** 102 Hermine  
**Delivery** By 08/05/2023  
**Taken By** Fernando Tovar Jr  
**Sales Rep** HOUSE ACCOUNT  
**Created On** 8/5/2023 3:38:00PM

## Invoice Address

Cash Sale - San Antonio  
 No Returns/Refunds/Exchanges  
 After 30 Days. Items Must Be  
 P/U Within 30 Days.

## Delivery Address

Cash Sale - San Antonio  
 No Returns/Refunds/Exchanges  
 After 30 Days. Items Must Be  
 P/U Within 30 Days.



False

Page 1 of 2

Special Instructions				Notes		
Line	Product Code	Description	Qty/Footage	Price	Per	Total
1	7380	Post Treated 8"X10'	5 ea	54.99	ea	274.95
2	143	4X6 20' #2 Treated	3 ea	70.75	ea	212.25
3	635	2 X 6 10' #2 Yellow Pine	22 ea	6.19	ea	136.18
4	10025	Osby 4X8 3/4" T&G	13 ea	28.55	ea	371.15
5	6	2 X 4 12' #2 Whitewood	6 ea	6.59	ea	39.54
6	1	2 X 4 92 5/8" Precut Stud Grade Whitewood	121 ea	3.59	ea	434.39
7	13	2 X 6 10' #2 Whitewood	3 ea	9.19	ea	27.57
8	11	2X6 92 5/8" Stud Grade Whitewood	9 ea	6.99	ea	62.91
9	635	2 X 6 10' #2 Yellow Pine	25 ea	6.19	ea	154.75
10	30	2 X 8 24' #2 *** MAY BE FINGER-JOINTED ***	1 ea	57.59	ea	57.59
11	637	2 X 6 14' #2 Yellow Pine	42 ea	9.39	ea	394.38
12	372	1X4 10' #1 Yellow Pine (D & Btr.)	6 ea	9.70	ea	58.20
13	711	Osby 4X8 7/16"	36 ea	18.29	ea	658.44
14	9648	Housewrap 9'X150' Homeguard(MG)	1 RL	66.00	RL	66.00
15	117602	Underlayment Rhinorof U20 DL 42"X286' Roll For Asphalt Shingles,Metal Rfg,1000Sq Ft	1 ea	65.99	ea	65.99
16	933	Bdls Supreme Desert Tan Rfg(P/U)	15 BDL-1	29.99	BDL-1	449.85
17	1088	Eve Strip 1-1/2X1-1/2 10' 02800	13 ea	3.09	ea	40.17
18	6800	Lft 2X6 Rough Sawn Whitewood Grooved"Primed(18'	144 LF-1	2.89	LF-1	416.16
19		*****				
20	131	4X4 10' #2 Treated	2 ea	15.95	ea	31.90
21	635	2 X 6 10' #2 Yellow Pine	4 ea	6.19	ea	24.76
22	634	2 X 6 8' #2 Yellow Pine	8 ea	5.15	ea	41.20
23	6800	Lft 2X6 Rough Sawn Whitewood Grooved"Primed(18'	54 LF-1	2.89	LF-1	156.06
24	417	1X6 16' #2 #105 Siding Yellow Pine	96 ea	16.49	ea	1,583.04
25		*****				
26	203001	Window White 2 0X3 0 100 1/1 Single Hung Low E No Screen	1 ea	108.60	ea	108.60
27	203030	Screen White 2 0X3 0 100 Single Hung 1/2 Screen	1 ea	10.67	ea	10.67
28	30303	Window White 3 0X3 0 100 1/1 Single Hung Low E No Screen	1 ea	140.51	ea	140.51

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**RECEIPT REQUIRED FOR ALL RETURNS OR EXCHANGES. ALL RETURNS MAY BE SUBJECT TO A RESTOCKING FEE. NO RETURNS ACCEPTED AFTER 30 DAYS FROM SALE. ALL ITEMS MUST BE PICKED UP WITHIN 30 DAYS OR MAY BE SUBJECT TO STORAGE CHARGES OR FORFEIT.**





**02 San Antonio Retail**  
2651 SW Military Dr.  
San Antonio, Texas 78224  
Phone: 210-924-5131

# Quotation

**1344200**

**Quote No**  
**Quote Date** 08/05/2023  
**Expiration Date** 08/10/2023  
**Customer** SACASH  
**Contact Name** Albert Encia  
**Contact Number** 210-454-8756  
**Job**  
**Your Ref** 102 Hermine  
**Delivery** By 08/05/2023  
**Taken By** Fernando Tovar Jr  
**Sales Rep** HOUSE ACCOUNT  
**Created On** 8/5/2023 3:38:00PM

## Invoice Address

Cash Sale - San Antonio  
No Returns/Refunds/Exchanges  
After 30 Days. Items Must Be  
P/U Within 30 Days.

## Delivery Address

Cash Sale - San Antonio  
No Returns/Refunds/Exchanges  
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False

Page 2 of 2

Line	Product Code	Description	Qty/Footage	Price	Per	Total
29	303020	Screen White 3 0X3 0 100 Single Hung 1/2 Screen	1 ea	10.67	ea	10.67
30	305000	Window White 3 0X5 0 100 1/1 Single Hung Low E No Screen	1 ea	189.75	ea	189.75
31	305030	Screen White 3 0X5 0 100 Single Hung 1/2 Screen	1 ea	10.67	ea	10.67
32	127582	Door Unit Steel 2 Panel 3068 Lh Open In Texas Star 4-5/8" Fj Jambs Fixed Sill Brass Hinges No Casing Double Bore	1 ea	439.99	ea	439.99
33	696	Door Unit Steel 6 Panel 2868 Lh Open In 4-5/8" Fj Jambs Fixed Sill Brass Hinges No Casing Double Bore	1 ea	199.99	ea	199.99
34	6256	Door Unit Roman 2668 Rh 1-3/8 Hollow Core 4-1/2" Fj Jambs ORB Hinges 2-1/8" Fj Colonial Casing Single Bore	2 ea	127.99	ea	255.98
35	6258	Door Unit Roman 2868 Rh 1-3/8 Hollow Core 4-1/2" Fj Jambs ORB Hinges 2-1/8" Fj Colonial Casing Single Bore	1 ea	133.99	ea	133.99
36	6261	Door Unit Roman(Double 2-0)4068 1-3/8 Hollow Core 4-1/2" Fj Jambs ORB Hinges 2-1/8" Fj Colonial Casing w/ Ball Catches	1 ea	219.99	ea	219.99
37	432183	Insulation R13 M90 3-1/2X15"X93" 125.94sqft Owens Corning,Kraft Faced Batts	6 ea	72.99	ea	437.94
38	488554	Insulation R19 E54 6-1/4X23X93" 118.83sqft Owens Corning,Kraft Faced Batts	4 ea	81.99	ea	327.96
39	774	Gypsum Wallboard 4X8 1/2"(P/U) Light Weight	40 ea	9.89	ea	395.60
40	5081	Joint Compound 38Lb Box*Panel Rey*Ready Mix Light Weight	8 BX	7.99	BX	63.92
41	783	Gypsum Wallboard 4X 8 5/8"(P/U)Firecode	13 ea	12.65	ea	164.45

Total Amount	\$8,868.11
Sales Tax	\$731.62
<b>Quotation Total</b>	<b>\$9,599.73</b>

Buyer \_\_\_\_\_ Date \_\_\_\_\_

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**Quote Date** 08/05/2023  
**Expiration Date** 08/10/2023  
**Customer** SACASH  
**Contact Name** Albert Encia  
**Contact Number** 210-454-8756  
**Job**  
**Your Ref** 102 Hermine  
**Delivery** By 08/05/2023  
**Taken By** Fernando Tovar Jr  
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Special Instructions				Notes		
Line	Product Code	Description	Qty/Footage	Price	Per	Total
1	7380	Post Treated 8"X10'	5 ea	54.99	ea	274.95
2	143	4X6 20' #2 Treated	3 ea	70.75	ea	212.25
3	635	2 X 6 10' #2 Yellow Pine	22 ea	6.19	ea	136.18
4	10025	Osby 4X8 3/4" T&G	13 ea	28.55	ea	371.15
5	6	2 X 4 12' #2 Whitewood	6 ea	6.59	ea	39.54
6	1	2 X 4 92 5/8" Precut Stud Grade Whitewood	121 ea	3.59	ea	434.39
7	13	2 X 6 10' #2 Whitewood	3 ea	9.19	ea	27.57
8	11	2X6 92 5/8" Stud Grade Whitewood	9 ea	6.99	ea	62.91
9	635	2 X 6 10' #2 Yellow Pine	25 ea	6.19	ea	154.75
10	30	2 X 8 24' #2 *** MAY BE FINGER-JOINTED ***	1 ea	57.59	ea	57.59
11	637	2 X 6 14' #2 Yellow Pine	42 ea	9.39	ea	394.38
12	372	1X4 10' #1 Yellow Pine (D & Btr.)	6 ea	9.70	ea	58.20
13	711	Osby 4X8 7/16"	36 ea	18.29	ea	658.44
14	9648	Housewrap 9'X150' Homeguard(MG)	1 RL	66.00	RL	66.00
15	117602	Underlayment Rhinorof U20 DL 42"X286' Roll For Asphalt Shingles,Metal Rfg,1000Sq Ft	1 ea	65.99	ea	65.99
16	933	Bdls Supreme Desert Tan Rfg(P/U)	15 BDL-1	29.99	BDL-1	449.85
17	1088	Eve Strip 1-1/2X1-1/2 10' 02800	13 ea	3.09	ea	40.17
18	6800	Lft 2X6 Rough Sawn Whitewood Grooved"Primed(18'	144 LF-1	2.89	LF-1	416.16
19		*****				
20	131	4X4 10' #2 Treated	2 ea	15.95	ea	31.90
21	635	2 X 6 10' #2 Yellow Pine	4 ea	6.19	ea	24.76
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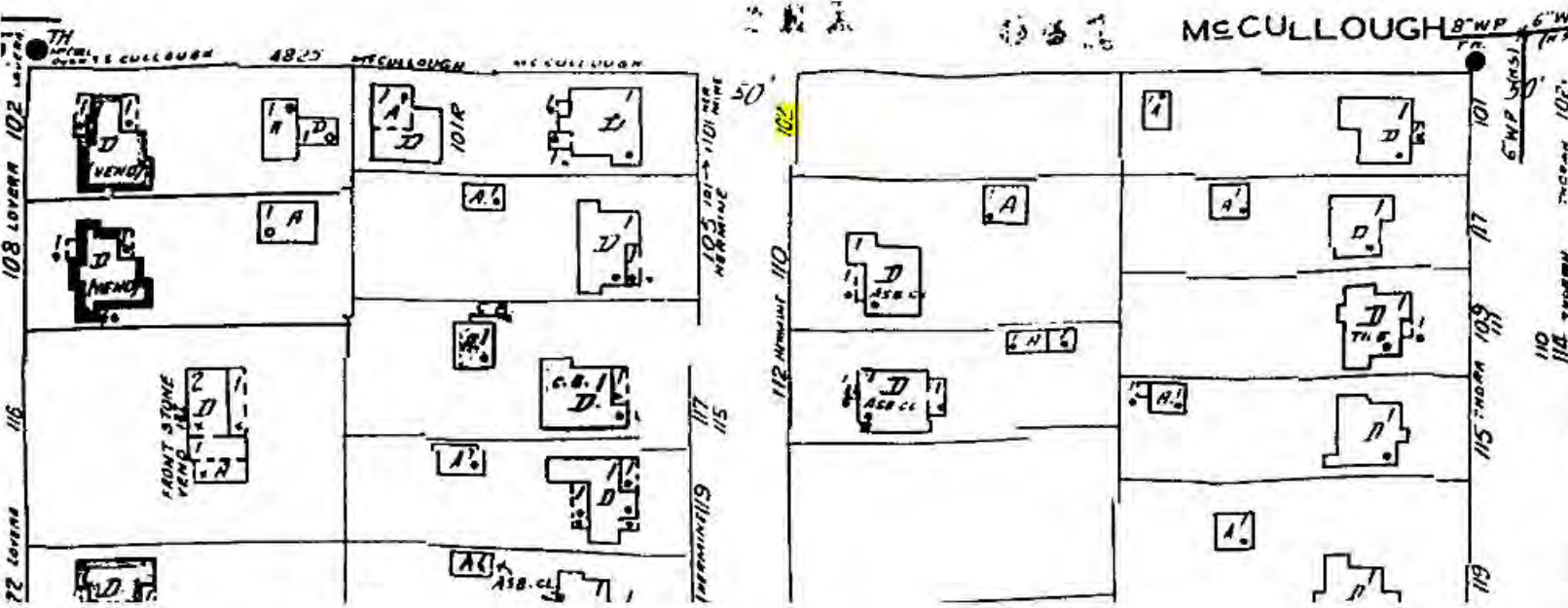


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