

HISTORIC AND DESIGN REVIEW COMMISSION

October 18, 2023

HDRC CASE NO: 2023-402
ADDRESS: 723 DONALDSON AVE
COMMON NAME: Thomas Jefferson High School
LEGAL DESCRIPTION: NCB 6758 BLK 8 LOT 23 (JEFFERSON HIGH SCHOOL III)
ZONING: R-6, H
CITY COUNCIL DIST.: 7
DISTRICT: Monticello Park Historic District
APPLICANT: Allison Chambers | Ford, Powell & Carson Architects
OWNER: San Antonio ISD
TYPE OF WORK: Landscape and hardscape modifications and signage
APPLICATION RECEIVED: September 29, 2023
60-DAY REVIEW: November 28, 2023
CASE MANAGER: Bryan Morales

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to modify the existing landscape, hardscape, and signage of Thomas Jefferson High School as a part of the 2020 Thomas Jefferson Bond Program. The proposed scope of work for HDRC review includes a redesign of the West Front Lawn and Central Front Lawn's entrance area.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

1. Topography

A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

2. Fences and Walls

A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

C. PRIVACY FENCES AND WALLS

i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.

ii. *Location* – Do not use privacy fences in front yards.

3. Landscape Design

A. PLANTINGS

i. *Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.

ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.

iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.

iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.

v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

i. *Impervious surfaces*—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.

ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.

iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

C. MULCH

Organic mulch – Organic mulch should not be used as a wholesale replacement for plant material. Organic mulch with appropriate plantings should be incorporated in areas where appropriate such as beneath a tree canopy.

i. *Inorganic mulch* – Inorganic mulch should not be used in highly-visible areas and should never be used as a wholesale replacement for plant material. Inorganic mulch with appropriate plantings should be incorporated in areas where appropriate such as along a foundation wall where moisture retention is discouraged.

D. TREES

i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.

ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

iii. *Maintenance* – Proper pruning encourages healthy growth and can extend the lifespan of trees. Avoid unnecessary or harmful pruning. A certified, licensed arborist is recommended for the pruning of mature trees and heritage trees.

4. Residential Streetscapes

A. PLANTING STRIPS

i. *Street trees*—Protect and encourage healthy street trees in planting strips. Replace damaged or dead trees with trees of a similar species, size, and growth habit as recommended by the City Arborist.

ii. *Lawns*—Maintain the use of traditional lawn in planting strips or low plantings where a consistent pattern has been retained along the block frontage. If mulch or gravel beds are used, low-growing plantings should be incorporated into the design.

iii. *Alternative materials*—Do not introduce impervious hardscape, raised planting beds, or other materials into planting strips where they were not historically found.

B. PARKWAYS AND PLANTED MEDIANS

i. *Historic plantings*—Maintain the park-like character of historic parkways and planted medians by preserving mature vegetation and retaining historic design elements. Replace damaged or dead plant materials with species of a like size, growth habit, and ornamental characteristics.

ii. *Hardscape*—Do not introduce new pavers, concrete, or other hardscape materials into parkways and planted medians where they were not historically found.

C. STREET ELEMENTS

i. *Site elements*—Preserve historic street lights, street markers, roundabouts, and other unique site elements found within the public right-of-way as street improvements and other public works projects are completed over time.

ii. *Historic paving materials*—Retain historic paving materials, such as brick pavers or colored paving, within the public right-of-way and repair in place with like materials.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.

v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.

ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

6. Non-Residential and Mixed Use Streetscapes

A. STREET FURNITURE

i. *Historic street furniture*—Preserve historic site furnishings, including benches, lighting, tree grates, and other features.

ii. *New furniture*—Use street furniture such as benches, trash receptors, tree grates, and tables that are simple in design and are compatible with the style and scale of adjacent buildings and outdoor spaces when historic furnishings do not exist.

B. STREET TREES

i. *Street trees*—Protect and maintain existing street trees. Replace damaged or dead trees with trees of a similar species, size, and growth habit.

C. PAVING

i. *Maintenance and alterations*—Repair stone, masonry, or glass block pavers using in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, color, and detail, when in-kind replacement is not possible.

D. LIGHTING

- i. *General*—See UDC Section 35-392 for detailed lighting standards (height, shielding, illumination of uses, etc.).
- ii. *Maintenance and alterations*—Preserve historic street lights in place and maintain through regular cleaning and repair as needed.
- iii. *Pedestrian lighting*—Use appropriately scaled lighting for pedestrian walkways, such as short poles or light posts (bollards).
- iv. *Shielding*—Direct light downward and shield light fixtures using cut-off shields to limit light spill onto adjacent properties.
- v. *Safety lighting*—Install motion sensors that turn lights on and off automatically when safety or security is a concern. Locate these lighting fixtures as discreetly as possible on historic structures and avoid adding more fixtures than necessary.

8. Americans with Disabilities Act (ADA) Compliance

A. HISTORIC FEATURES

- i. *Avoid damage*—Minimize the damage to the historic character and materials of the building and sidewalk while complying with all aspects of accessibility requirements.
- ii. *Doors and door openings*—Avoid modifying historic doors or door openings that do not conform to the building and/or accessibility codes, particularly on the front façade. Consider using a discretely located addition as a means of providing accessibility.

B. ENTRANCES

- i. *Grade changes*—Incorporate minor changes in grade to modify sidewalk or walkway elevation to provide an accessible entry when possible.
- ii. *Residential entrances*—The preferred location of new ramps is at the side or rear of the building when convenient for the user.
- iii. *Non-residential and mixed use entrances*—Provide an accessible entrance located as close to the primary entrance as possible when access to the front door is not feasible.

C. DESIGN

- i. *Materials*—Design ramps and lifts to compliment the historic character of the building and be visually unobtrusive as to minimize the visual impact, especially when visible from the public right-of-way.
- ii. *Screening*—Screen ramps, lifts, or other elements related to ADA compliance using appropriate landscape materials. Refer to Guidelines for Site Elements for additional guidance.
- iii. *Curb cuts*—Install new ADA curb cuts on historic sidewalks to be consistent with the existing sidewalk color and texture while minimizing damage to the historical sidewalk.

Historic Design Guidelines, Chapter 6, Guidelines for Signage

1. General

A. GENERAL

- i. *Number and size*—Each building will be allowed one major and two minor signs. Total requested signage should not exceed 50 square feet.
- ii. *New signs*—Select the type of sign to be used based on evidence of historic signs or sign attachment parts along the building storefront where possible. Design signs to respect and respond to the character and/or period of the area in which they are being placed. Signs should identify the tenant without creating visual clutter or distracting from building features and historic districts.
- iii. *Scale*—Design signage to be in proportion to the facade, respecting the building's size, scale and mass, height, and rhythms and sizes of window and door openings. Scale signage (in terms of its height and width) to be subordinate to the overall building composition.

B. HISTORIC SIGNS

- i. *Preservation*—Preserve historic signs, such as ghost signs or other signs characteristic of the building's or district's period of significance, whenever possible.
- ii. *Maintenance*—Repair historic signs and replace historic parts in-kind when deteriorated beyond repair.

C. PLACEMENT AND INSTALLATION

- i. *Location*—Place signs where historically located and reuse sign attachment parts where they exist. Do not erect signs above the cornice line or uppermost portion of a facade wall, or where they will disfigure or conceal architectural details, window openings, doors, or other significant details.

- ii. *Obstruction of historic features*—Avoid obscuring historic building features such as cornices, gables, porches, balconies, or other decorative elements with new signs.
- iii. *Damage*—Avoid irreversible damage caused by installing a sign. For example, mount a sign to the mortar rather than the historic masonry.
- iv. *Pedestrian orientation*—Orient signs toward the sidewalk to maintain the pedestrian oriented nature of the historic districts.

D. DESIGN

- i. *Inappropriate materials*—Do not use plastic, fiberglass, highly reflective materials that will be difficult to read, or other synthetic materials not historically used in the district.
- ii. *Appropriate materials*—Construct signs of durable materials used for signs during the period of the building's construction, such as wood, wrought iron, steel, aluminum, and metal grill work.
- iii. *Color*—Limit the number of colors used on a sign to three. Select a dark background with light lettering to make signs more legible.
- iv. *Typefaces*—Select letter styles and sizes that complement the overall character of the building façade. Avoid hard-to-read or overly intricate styles.

E. LIGHTING

- i. *Lighting sources*—Use only indirect or bare-bulb sources that do not produce glare to illuminate signs. All illumination shall be steady and stationary. Internal illumination should not be used.
- ii. *Neon lighting*—Incorporate neon lighting as an integral architectural element or artwork appropriate to the site, if used.

F. PROHIBITED SIGNS

i. An abbreviated list of the types of signs prohibited within San Antonio's historic districts and on historic landmarks is provided below. Refer to UDC Section 35-612(j) and Chapter 28 of the Municipal Code for more detailed information on prohibited signs.

- Billboards, junior billboards, portable signs, and advertising benches.
- Pole signs.
- Revolving signs or signs with a kinetic component.
- Roof mounted signs, except in the case of a contributing sign.
- Digital and/or LED lighted signs, not to include LED light sources that do not meet the definition of a sign.
- Moored balloons or other floating signs that are tethered to the ground or to a structure.
- Any sign which does not identify a business or service within the historic district or historic landmark.
- Any non-contributing sign which is abandoned or damaged beyond 50 percent of its replacement value, including parts of old or unused signs.

Notwithstanding the above, signs designated as a contributing sign or structure by the historic preservation officer shall not be prohibited unless or until such designation is revoked.

G. MULTI-TENANT PROPERTIES

- i. *Signage Plan*—Develop a master signage plan or signage guidelines for the total building or property.
- ii. *Directory signs*—Group required signage in a single directory sign to minimize visual color and promote a unified appearance.

4. Freestanding Signs

A. GENERAL

- i. *Appropriate usage*—Freestanding signs are most appropriate in locations where building forms are set back from the street, such as in areas where historic residences have been adapted for office or retail uses, or in commercial districts where they may be used to identify parking areas or other accessory uses.
- ii. *Placement*—Place freestanding signs near the public right-of-way where they are clearly visible to passing pedestrians and motorists, a minimum of five feet from the street right-of-way and ten feet from all interior side lot lines. No freestanding sign should be placed in a manner that obstructs the pedestrian walkway.
- iii. *Number*—Limit the number of freestanding signs per platted lot to one, unless the lot fronts more than one street, in which case, one sign is allowed on each street on which the lot has frontage.
- iv. *Monument signs*—Do not use —suburban-style monument signs or electronic messaging signs not historically found in San Antonio's historic districts.

B. DESIGN

- i. *Height*—Limit the height of freestanding signs to no more than six feet.

- ii. *Area*— The size of new signs should be appropriate within the historic context, and should not exceed 25 square feet on either side, for a total of 50 square feet. Appropriate size shall be determined by considering historic precedent, sign patterns within historic districts, and conditions specific to individual properties.
- iii. *Structural supports*—Use subtle structural elements (in terms of their scale and mass) with historically compatible materials to support a freestanding sign.

FINDINGS:

- a. The property located at 723 Donaldson Ave is the Thomas Jefferson High School. The structure was built between 1931-32 and was designed in the Spanish Moorish style by Adams & Adams. The structure features a primarily brick façade with ornamental concrete elements designed by artist Hannibal Pianta. The building and campus is locally designated and listed on the National Register of Historic Places. This property contributes to the Monticello Park Historic District.
- b. **ADA RAMPS (REPLACEMENT)** – The applicant is requesting approval to replace two existing concrete ramps at the West Front Lawn. The Historic Design Guidelines for Site Elements 8.C.i. states to design ramps to compliment the historic character of the building and be visually unobtrusive as to minimize the visual impact. Staff finds the replacement and installation of the proposed ADA concrete ramps generally appropriate.
- c. **CONCRETE STEPS (REPLACEMENT)** – The applicant is requesting approval to replace the concrete steps at the West Front Lawn. In addition, the applicant is requesting approval to replace metal step railings on concrete steps. Guidelines for Exterior Maintenance and Alterations 7.B.iv. states to design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building and to not add new elements and details that create a false historic appearance. Staff finds the replacement, modifications, and installation of concrete steps and metal railings at the West Front Lawn generally appropriate.
- d. **CONCRETE WALKWAYS (REPLACEMENT, MODIFICATIONS, & INSTALLATION)** – The applicant is requesting to modify the design of the concrete walkways at the West Front Lawn and Central Front Lawn. Site Elements 5.A.iii. states to follow the historic alignment, configuration, and width of sidewalks and walkways and to alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree. Staff finds the proposed replacement, modifications, and installation of the walkways generally appropriate.
- e. **LANDSCAPING MODIFICATIONS** – The applicant is requesting to modify the West Front Lawn and Central Front Lawn landscape. Site Elements 3.A.ii. states to not fully remove and replace traditional lawn areas with impervious hardscape, to limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, and that low-growing plants should be used in historic lawn areas; invasive or large-scale species should be avoided. Site Elements 3.A.v. states to maintain existing landscape features and to not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations or as to cause damage. Site Elements 3.D.ii. states to select new trees based on site conditions and to avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Staff finds the landscape modifications generally appropriate.
- f. **SIGNAGE** – The applicant is requesting approval to install an approximately 38 square feet freestanding sign at the front lawn and an approximately 27.5 square feet sign into the front pavers. The Historic Design Guidelines for Signage 4.B.i. states to limit the height of freestanding signs to no more that six feet. Signage 1.A.i. states that each building will be allowed one major and two minor signs and that the total requested signage should not exceed 50 square feet. Signage 4.A.ii. states to place freestanding signs near the public right-of-way where they are clearly visible to passing pedestrians and motorists, a minimum of five feet from the street right-of-way and ten feet from all interior side lot lines. Signage 1.D.ii. states to construct signs of durable materials used for signs during the period of the building’s construction, such as wood, wrought iron, steel, aluminum, and metal grill work. Signage 1.E.i. states to use only indirect or bare-bulb sources that do not produce glare to illuminate signs, that all illumination shall be steady and stationary, and that internal illumination should not be used. Staff finds the proposed signage generally appropriate given the size of the campus and the materials and lighting proposed.

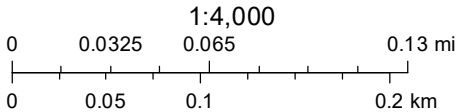
RECOMMENDATION:

Staff recommends approval of the request based on findings a through f.

City of San Antonio One Stop



October 13, 2023



THOMAS JEFFERSON HIGHSCHOOL

723 Donaldson Avenue, San Antonio TX 78201
September 29, 2023



WALSH-BURNEY-AND-KEY-INC.

NEW SENIOR HIGH SCHOOL

APRIL-6-1931

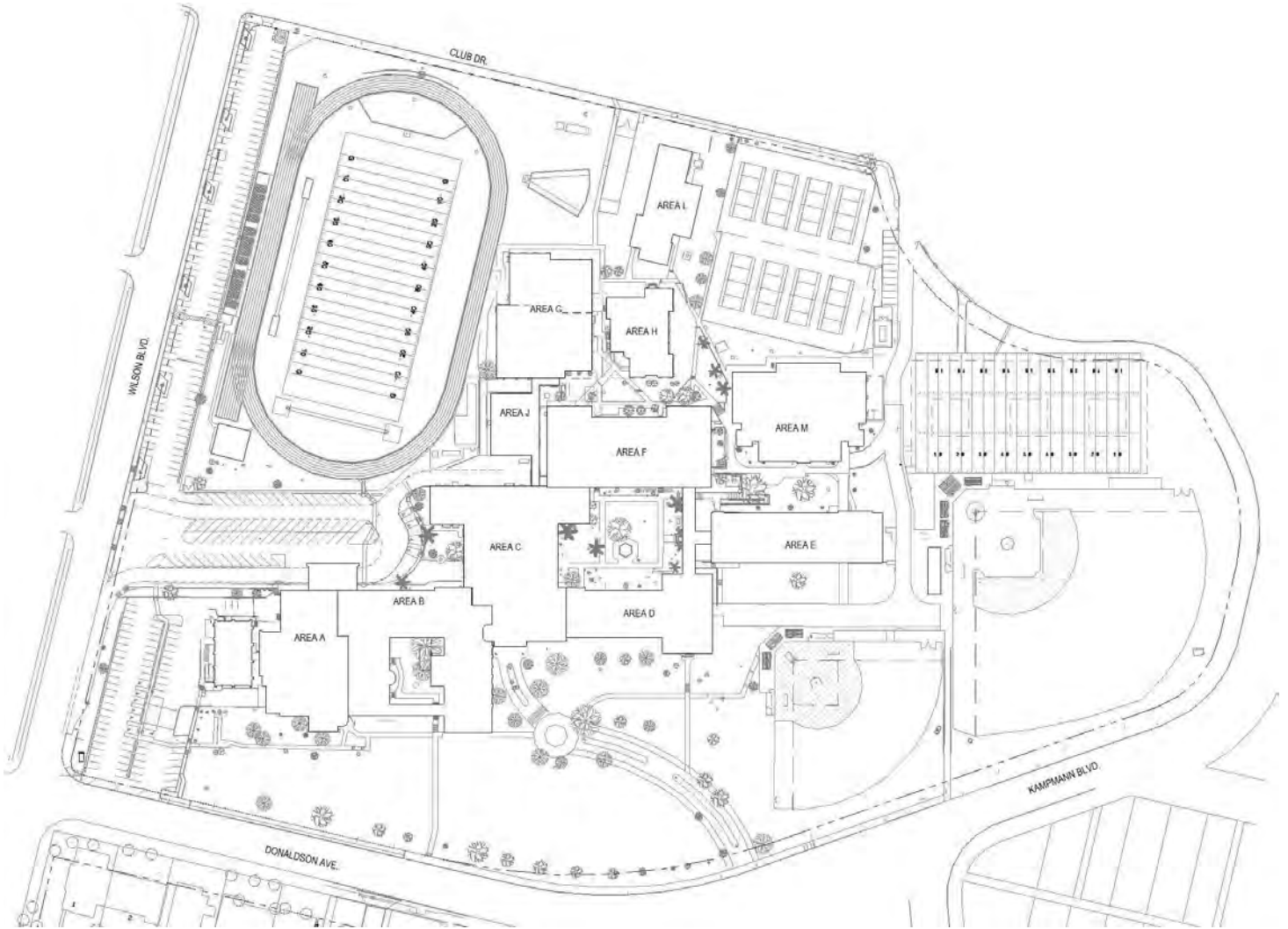
fpc

Ford, Powell & Carson, Inc.

Allison Chambers

Owner

San Antonio Independent School District



EXISTING SITE PLAN

(For reference only)

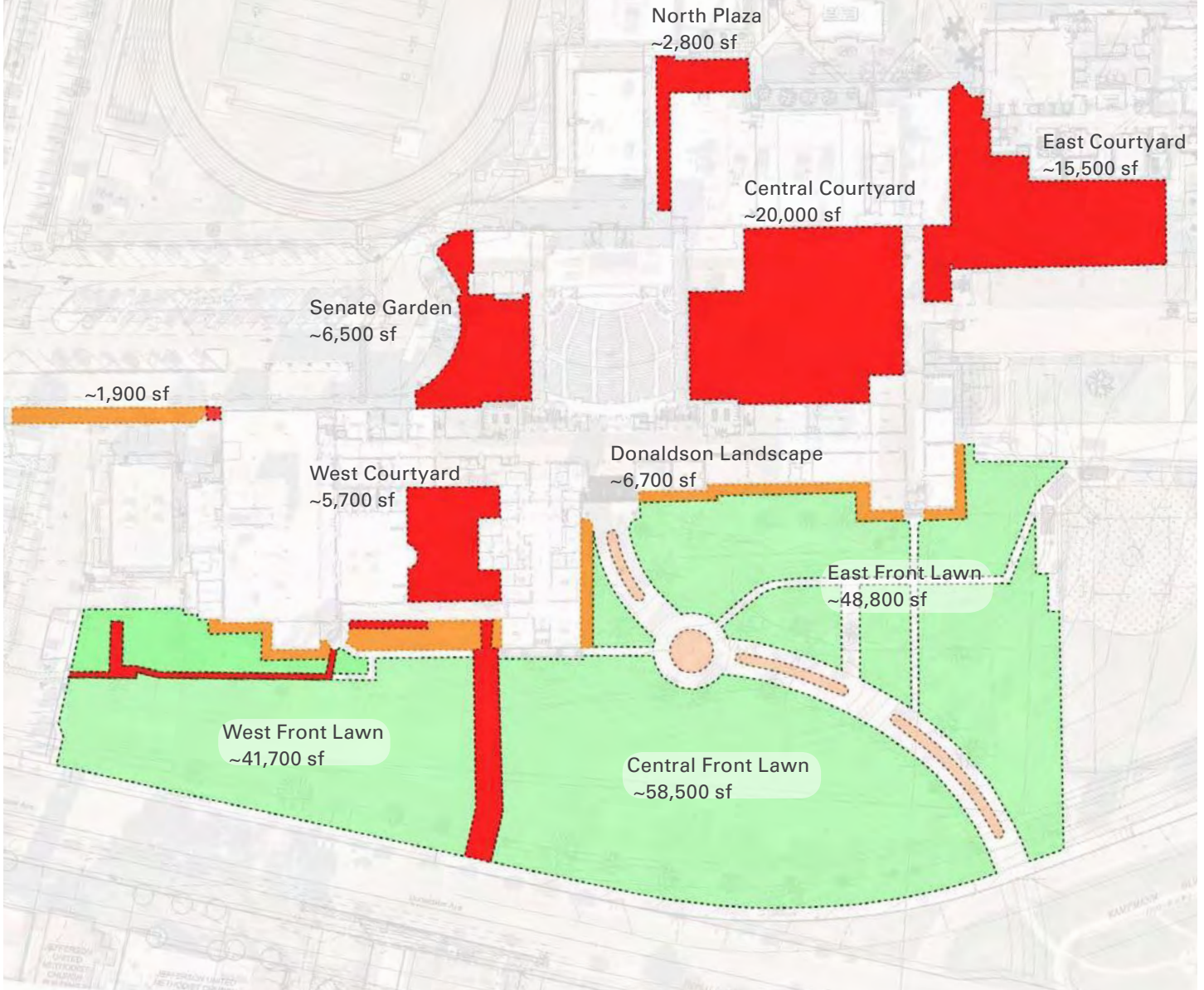


LANDSCAPE ASSESSMENT



Legend

Priority Zone 1	Shown in Red
Priority Zone 2	Shown in Orange
Priority Zone 3	Shown in Green
Zone 4 - Not in Scope	Shown in Peach



TBG

Thomas Jefferson High School

Existing Landscape Assessment
Photo report

Scope of Work Diagram

San Antonio, Texas

03/27/2023

SAISD

TBG – [210] 366 9933 – tbgpartners.com

430 austin street, suite 100, san antonio, tx 78215

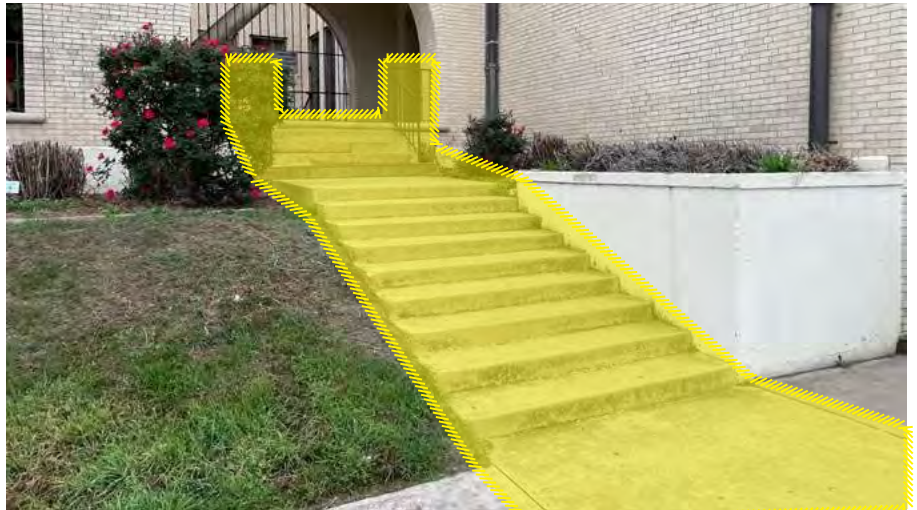
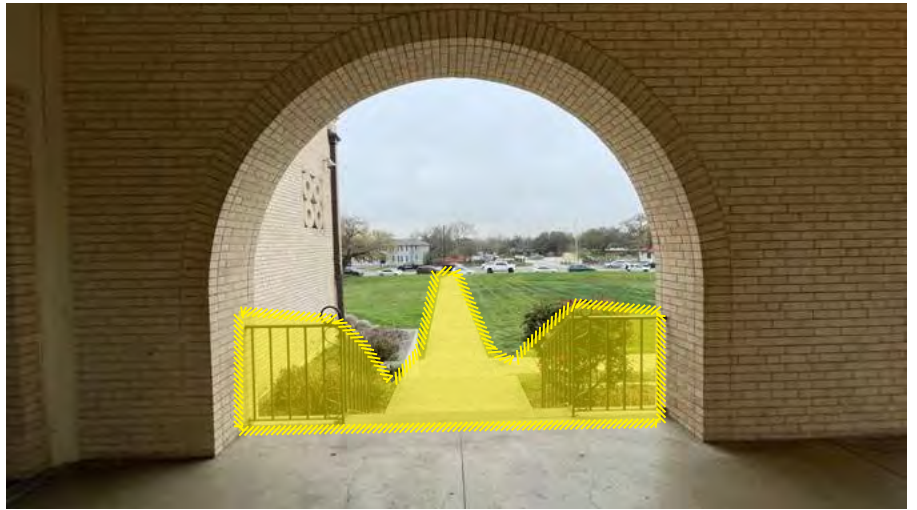
The information shown is subject to change without notice.

Observation:

- Primary pedestrian approach to main building entry currently does not highlight pedestrian access and connections.
- Pedestrian route to parking across Donaldson Avenue not clear and does not meet ADA.
- Existing primary entry steps do not meet ADA. Requiring handrails at steps.

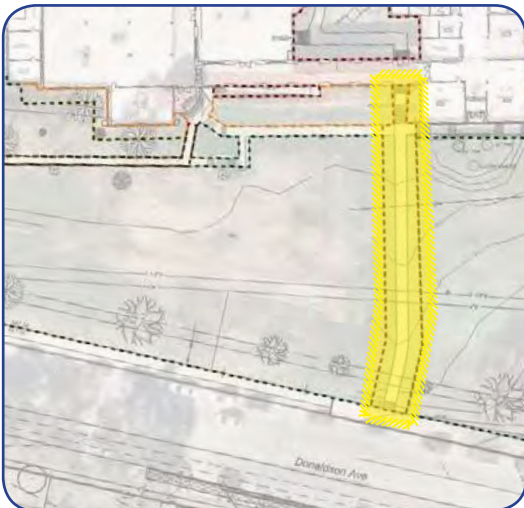
Recommendation:

- Improve signage and wayfinding from parking lot across Donaldson Ave.
- Provide wider and accessible walk from Donaldson Ave.
- Remove existing steps. Provide wider entry steps to building access.
- Provide handrails for steps to building.



focus area - key plan

main entry



TBG

Thomas Jefferson High School

Existing Landscape Assessment

Photo report - DRAFT

Pedestrian Approach

San Antonio, Texas

03/27/2023

SAISD

TBG – [210] 366 9933 – tbgpartners.com

430 austin street, suite 100, san antonio, tx 78215

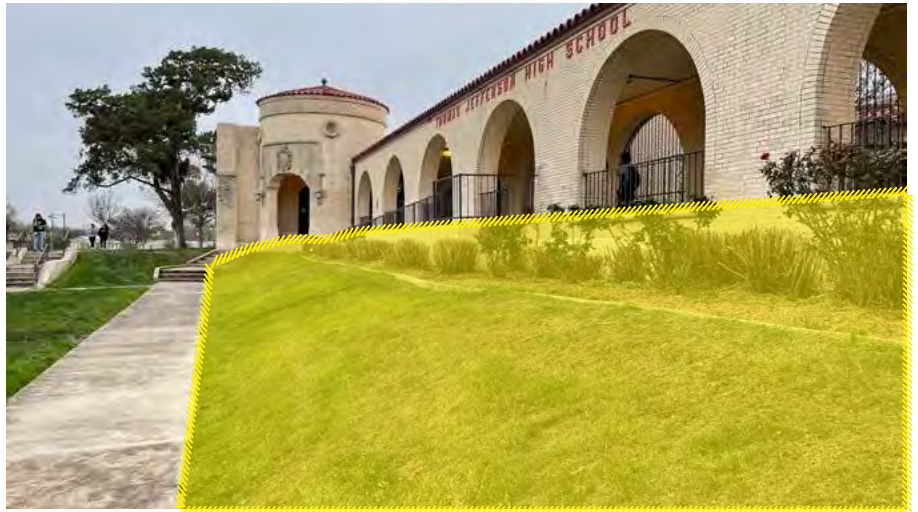
The information shown is subject to change without notice.

Observation:

- Existing landscape along Donaldson Avenue building façade understood to be impacted in building facade cleaning.
- Existing cast iron drainage and daylighting is hard to discern.

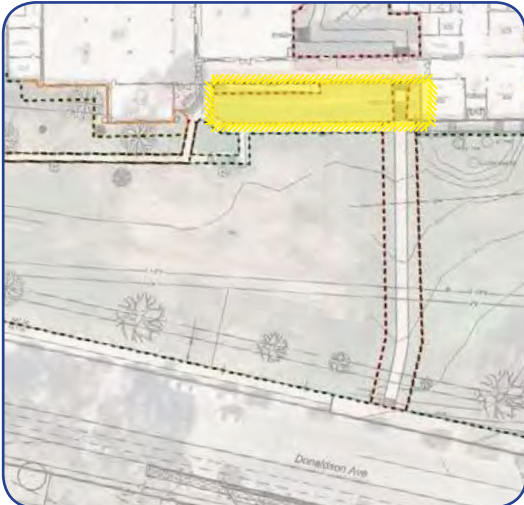
Recommendation:

- Design new landscape beds and planted areas.
- Coordinate daylighting of downspouts and existing drainage systems with Architect and Civil Engineer to help prevent additional erosion.



focus area - key plan

main entry



TBG

Thomas Jefferson High School

Existing Landscape Assessment
Photo report - DRAFT

Donaldson Landscape Main Entry

San Antonio, Texas

03/27/2023

SAISD

TBG – [210] 366 9933 – tbgpartners.com

430 austin street, suite 100, san antonio, tx 78215

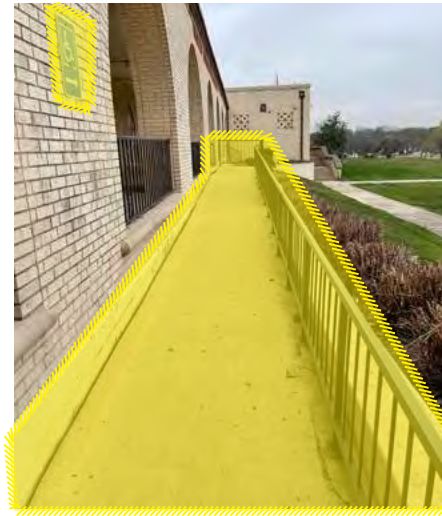
The information shown is subject to change without notice.

Observation:

- Due to water and erosion concerns the ramp is pulling away from the building facade.
- Existing railing does not provide unobstructed grab bar.

Recommendation

- Existing accessible route to be re-designed. Coordinated with Architect and Civil Engineer.
- Improve signage and way finding that would highlight accessible route to the administration check-in.



focus area - key plan

main entry



TBG

Thomas Jefferson High School

Existing Landscape Assessment
Photo report - DRAFT

Accessible Ramps Main Entry

San Antonio, Texas

03/27/2023

SAISD

TBG – [210] 366 9933 – tbgpartners.com

430 austin street, suite 100, san antonio, tx 78215

The information shown is subject to change without notice.

Observation:

- Existing historic steps do not have handrails due to historic designation. Discussed on-site that historical steps in top two pictures to remain as-is.

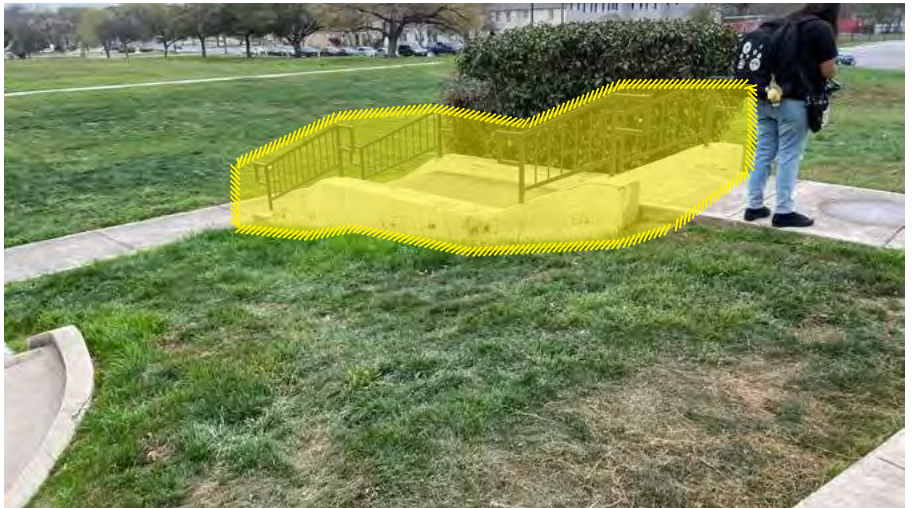
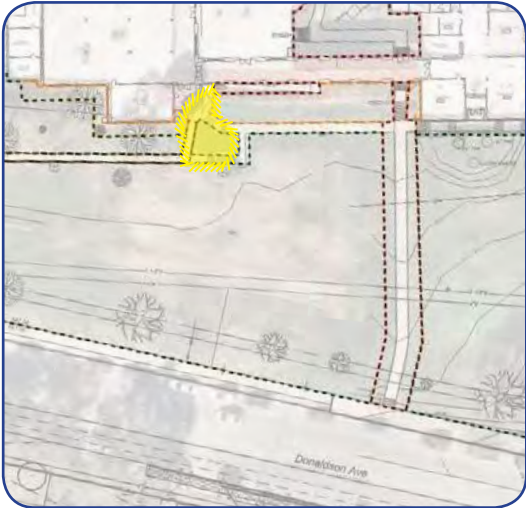
Recommendation:

- Any new steps provided will need to meet all applicable local, state, and federal accessibility requirements.
- Accessibility reviewer (provided by others) to confirm if any existing historic steps will require handrail updates.



focus area - key plan

main entry



TBG

Thomas Jefferson High School

Existing Landscape Assessment

Photo report - DRAFT

Existing Steps Main Entry

San Antonio, Texas

03/27/2023

SAISD

TBG – [210] 366 9933 – tbgpartners.com

430 austin street, suite 100, san antonio, tx 78215

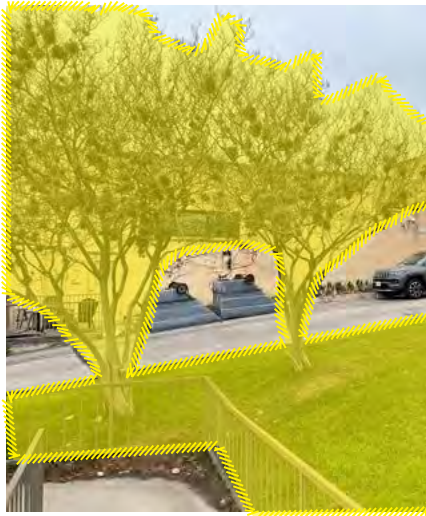
The information shown is subject to change without notice.

Observation:

- Landscape area will likely be disturbed with building façade cleaning.
- Existing trees appear close to existing building foundation.

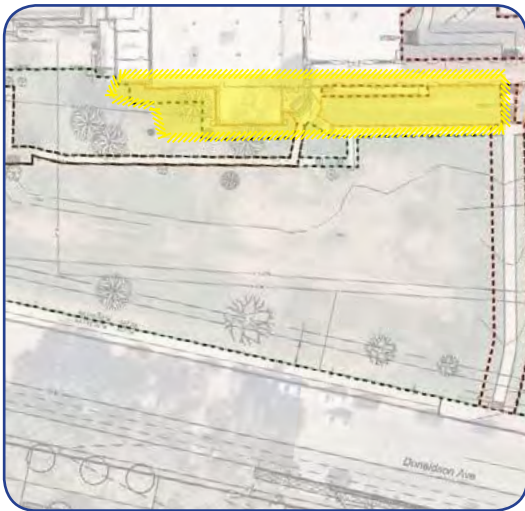
Recommendation:

- Existing drainage and daylighting locations to be coordinated with Architect and Civil Engineer.
- Existing trees to be analyzed by Certified Arborist (provided by others) for overall tree health.
- Existing trees to be studied by Architect and Structural Engineer for any negative impacts to the existing historical building.
- Re-design of landscape and planting beds along Donaldson Avenue building façade as necessary with building improvements.



focus area - key plan

main entry



TBG

Thomas Jefferson High School

Existing Landscape Assessment
Photo report - DRAFT

Donaldson Landscape Main Entry

San Antonio, Texas

03/27/2023

SAISD

TBG – [210] 366 9933 – tbgpartners.com

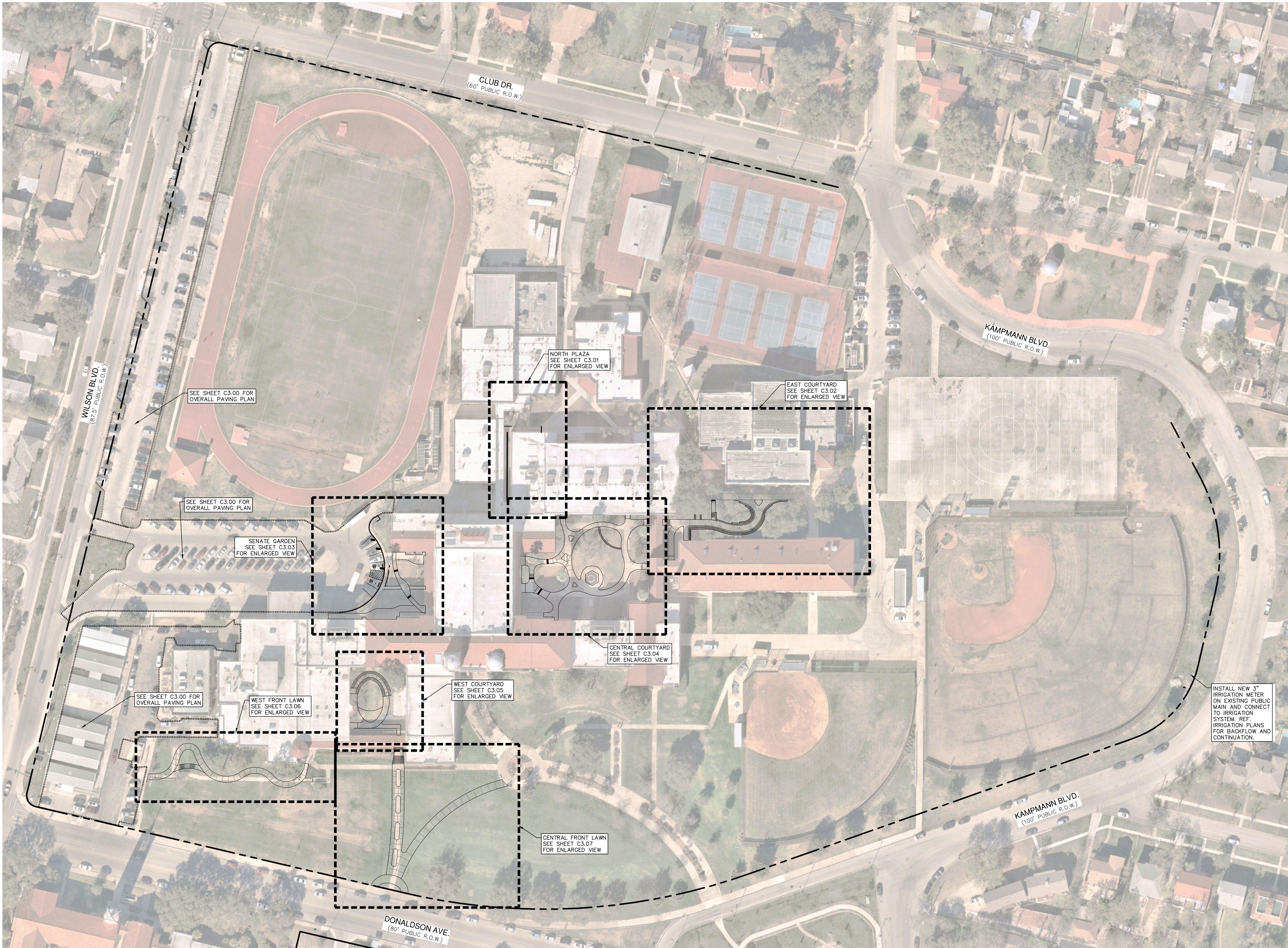
430 austin street, suite 100, san antonio, tx 78215

The information shown is subject to change without notice.

CIVIL DRAWINGS

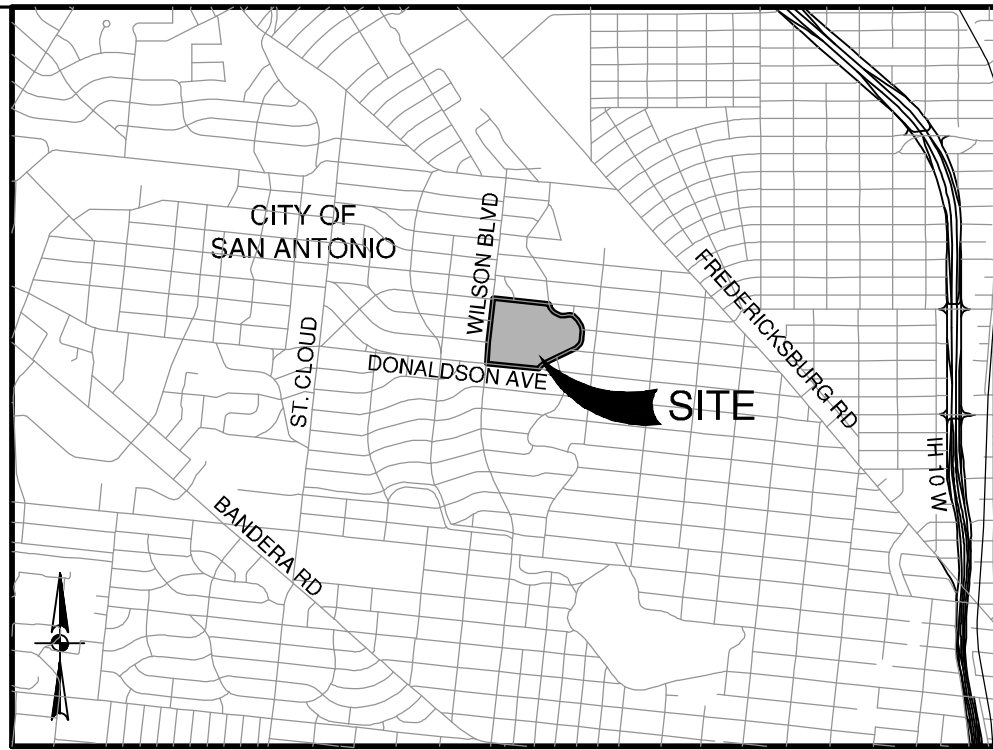
Date: Aug 14, 2023, 7:28pm User ID: switchert
File: F:\23\459\01\Design\Civil\C1.00 - SPOA\25450.dwg

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADEQUATELY ALTERED. RELY ONLY ON FINAL HARD-COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



ADDRESS:
723 DONALDSON AVE.
SAN ANTONIO, TX 78201

LEGAL DESCRIPTION:
LOT 23, BLOCK 8, NCB 6758
(VOL. 9658, PGS. 70-72 O.P.R.)



LOCATION MAP
NOT-TO-SCALE



SCALE: 1" = 60'
0' 60' 120' 180'

LEGEND:

- PROPERTY LINE
- EXISTING CURB
- CONCRETE SIDEWALK/FLATWORK
(SEE SHEET C3.10)
- STRUCTURAL CONCRETE
(REF. STRUCTURAL FOR DETAIL)
- TREES TO REMAIN

GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY TRADE PERMITS/APPROVALS BEFORE BEGINNING CONSTRUCTION. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED TESTING, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THIS SCOPE OF WORK SHALL COMPLY WITH THE PROJECT GEOTECH REPORT, THE PROJECT SPECIFICATIONS, THE CURRENT APPLICABLE CITY, COUNTY AND/OR TxDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND WATER AND SEWER PURVEYOR STANDARD SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, SIGNS OR OTHER ITEMS INTENDED TO REMAIN.
- CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT NEW PAVEMENT, CURB AND SIDEWALK JUNCTIONS. NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED AFTER CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING VEGETATION IN ALL DISTURBED AREAS BY PERIODIC WATERING OR OTHER APPROVED MEANS. REFERENCE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT OR LIMITS OF ALL ITEMS COVERED WITHIN THE SCOPE OF WORK OF THESE PLANS.
- THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, AND FIBER OPTIC LINES. SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHALL BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TEST A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT THE CONTRACTORS SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, ACCESS MUST BE PROVIDED TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER MONUMENTATION, CONTROL POINTS & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS SUBS OR EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

FORD POWELL CARSON

420 BROADWAY, SUITE 100
SAN ANTONIO TX 78205

210.226.1246
www.fpcarch.com

San Antonio ISD
Jefferson High School
Bond 2020 - Courtyard Package

This document is released for INTERIM REVIEW purposes ONLY under the authorization of Stacey L. Weichert, P.E. #84036 on 8/14/2023. This document is not to be used for CONSTRUCTION.

Revisions		
Mark	Date	Description

OVERALL SITE PLAN

60% ISSUE

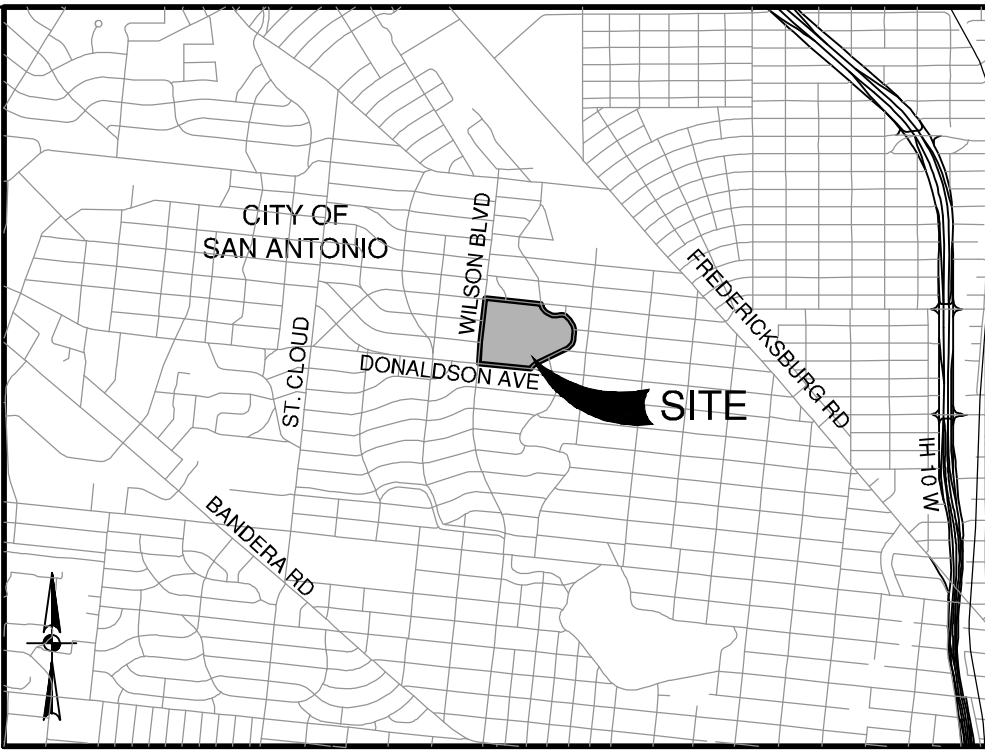
SHEET

C1.00

2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

ADDRESS:
723 DONALDSON AVE.
SAN ANTONIO, TX 78201

LEGAL DESCRIPTION:
LOT 23, BLOCK 8, NCB 6758
(VOL. 9658, PGS. 70-72 O.P.R.)

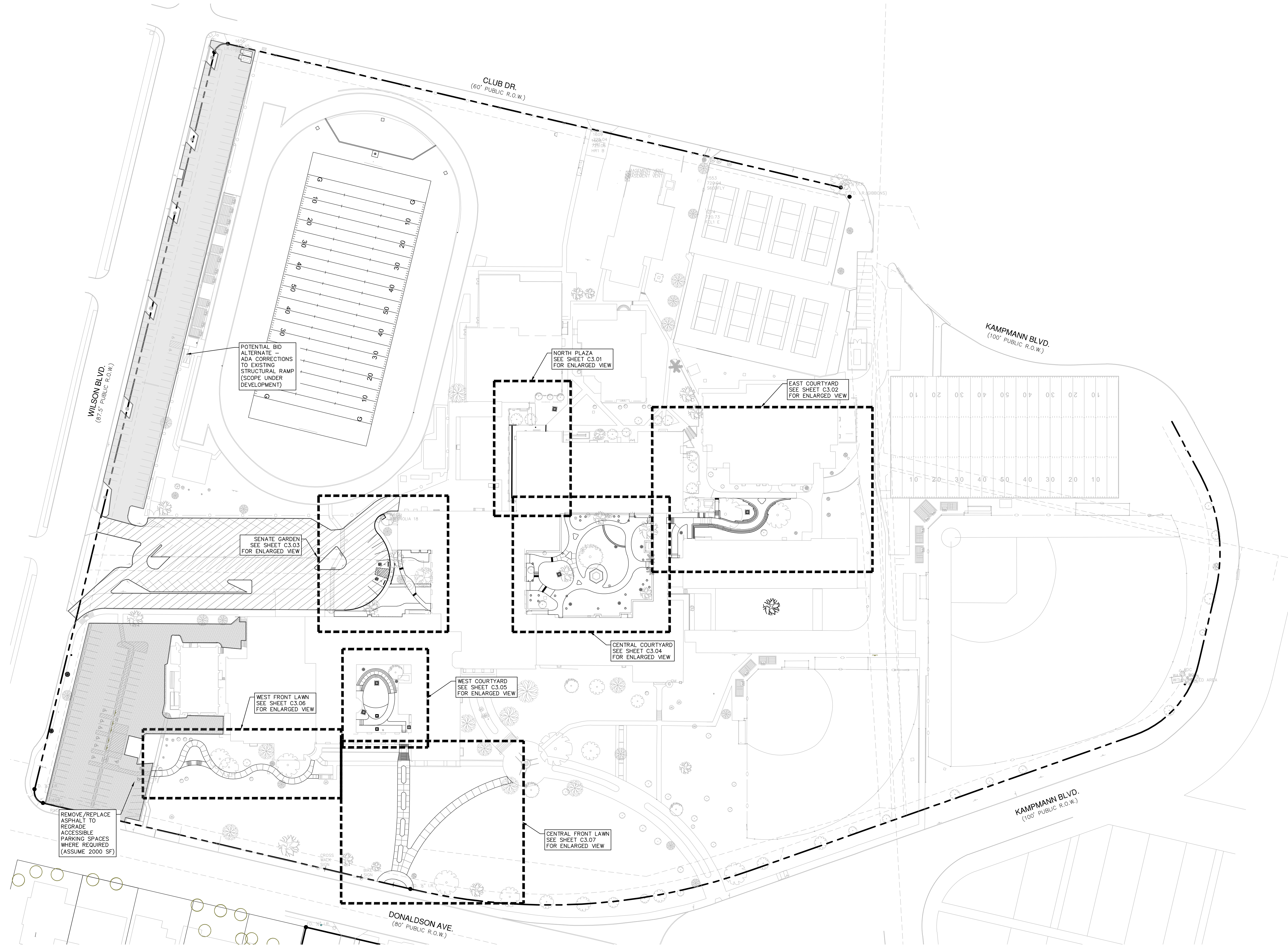


Traffic Condition	Estimated 18-Kip ESALs	CLBM Thickness (inches)	HMAC Thickness (inches)
Automobile Parking (no bus or truck traffic)	10,000	12	2

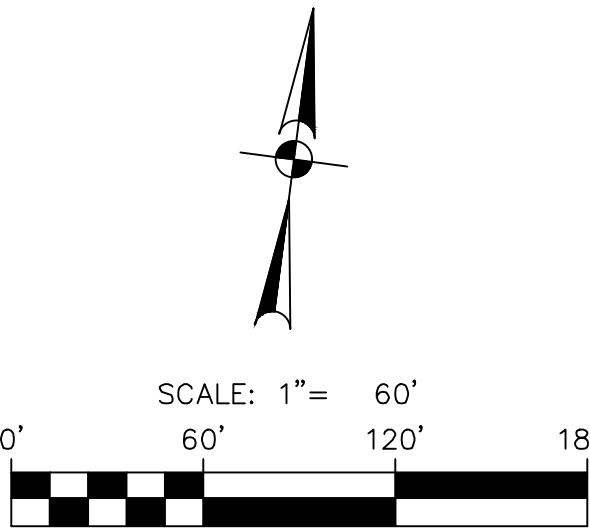
NOTE: TO BE USED FOR PRICING ONLY. PAVEMENT SECTION TO BE VERIFIED.

ASPHALT PAVEMENT SECTION

REFERENCE: GEOTECHNICAL ENGINEERING REPORT PREPARED BY FUGRO CONSULTANTS, INC. (REPORT NO. 04-36121077, SEPTEMBER 25, 2012) FOR PAVEMENT MATERIALS AND CONSTRUCTION REQUIREMENTS. CONTRACTOR SHALL MEET OR EXCEED ALL PAVING RECOMMENDATIONS.



LOCATION MAP
NOT-TO-SCALE



LEGEND:

- PROPERTY LINE
- FULL DEPTH ASPHALT RECONSTRUCTION AND RESTRIPING
- PATCH, SEAL COAT, AND RESTRIPE
- SEAL COAT AND RESTRIPE

GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY TRADE PERMITS/APPROVALS BEFORE BEGINNING CONSTRUCTION. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED TESTING, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THIS SCOPE OF WORK SHALL COMPLY WITH THE PROJECT GEOTECH REPORT, THE PROJECT SPECIFICATIONS, THE CURRENT APPLICABLE CITY, COUNTY AND/OR TxDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND WATER AND SEWER PURVEYOR STANDARD SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, SIGNS OR OTHER ITEMS INTENDED TO REMAIN.
- CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT NEW PAVEMENT, CURB AND SIDEWALK JUNCTIONS. NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED AFTER CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING VEGETATION IN ALL DISTURBED AREAS BY PERIODIC WATERING OR OTHER APPROVED MEANS. REFERENCE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT OR LIMITS OF ALL ITEMS COVERED WITHIN THE SCOPE OF WORK OF THESE PLANS.
- THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, AND FIBER OPTIC LINES. SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHALL BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT THE CONTRACTORS SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, ACCESS MUST BE PROVIDED TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER MONUMENTATION, CONTROL POINTS & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS SUBS OR EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

60% DISCUSSION ITEMS:

- CONFIRM BID ALTERNATE AND SCOPE FOR ADA CORRECTIONS TO STRUCTURAL RAMP AT TRACK/FIELD PARKING
- CONFIRM ADA CORRECTIONS NEEDED AT PARKING AREAS (SURVEY PENDING) - ASPHALT REPLACEMENT PLACEHOLDERS SHOWN.



This document is released for INTERIM REVIEW purposes ONLY under the authorization of Stacey L. Weichert, P.E. #84036 on 8/14/2023. This document is not to be used for CONSTRUCTION.

Revisions

Mark	Date	Description
------	------	-------------

Drawn By: RWJ/F	Approved By: SW
Project Number: FPC# 67364	Project Issue Date: 8/14/2023

OVERALL PAVING PLAN

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY TRADE PERMITS/APPROVALS BEFORE BEGINNING CONSTRUCTION. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED TESTING, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
3. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THIS SCOPE OF WORK SHALL COMPLY WITH THE PROJECT GEOTECH REPORT, THE PROJECT SPECIFICATIONS, THE CURRENT APPLICABLE CITY, COUNTY AND/OR TxDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND WATER AND SEWER PURVEYOR STANDARD SPECIFICATIONS.
4. CONTRACTOR IS RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, SIGNS OR OTHER ITEMS INTENDED TO REMAIN.
5. CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT NEW PAVEMENT, CURB AND SIDEWALK JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
6. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED AFTER CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING VEGETATION IN ALL DISTURBED AREAS BY PERIODIC WATERING OR OTHER APPROVED MEANS. REFERENCE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT OR LIMITS OF ALL ITEMS COVERED WITHIN THE SCOPE OF WORK OF THESE PLANS.
8. THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC AND

PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHALL BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT THE CONTRACTORS SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

9. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, ACCESS MUST BE PROVIDED TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

10. CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER MONUMENTATION, CONTROL POINTS & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS SUBS OR EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

DIMENSIONAL CONTROL NOTES:

1. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
2. THE CONTRACTOR SHALL PRESERVE ALL CONTROL POINTS, PROPERTY PINS, BENCH MARKS, HUBS OR OTHER KEY CONTROL POINTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH ANY SUCH POINTS AT THEIR OWN EXPENSE IN THE EVENT THEY ARE REMOVED.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL PER THE CONSTRUCTION DRAWINGS.
5. COORDINATES FOR HORIZONTAL CONTROL POINTS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD 83(96) DISPLAYED IN SURFACE VALUES USING A SURFACE ADJUSTMENT FACTOR FOR EACH COUNTY.
6. BENCHMARK ELEVATIONS ARE BASED ON NAVD 88, GEOID 0.3.
7. ALL DIMENSIONAL CONTROL POINTS OR DIMENSIONS ARE TO THE FACE OF CURB, AND CENTER OF PAINT STRIPING. ALL DIMENSIONS ARE PERPENDICULAR TO THE POINT OF REFERENCE.
8. REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL DIMENSIONAL CONTROL INFORMATION.
9. CURB RADI ARE 3' UNLESS OTHERWISE NOTED ON THE DRAWINGS.

LAYOUT NOTE:

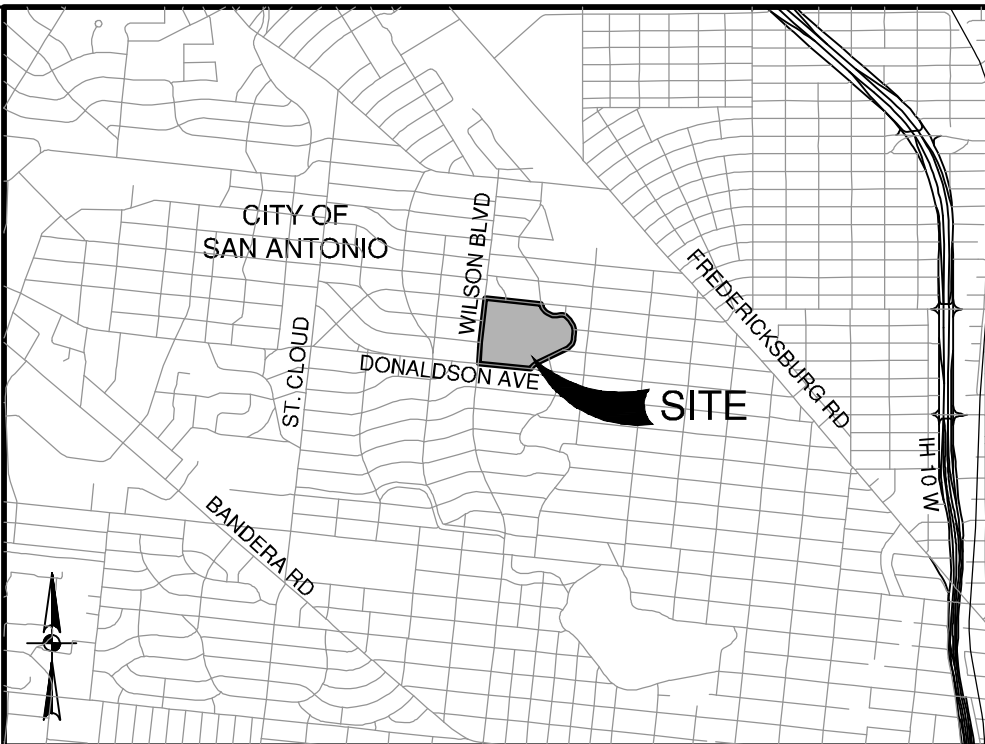
1. BUILDING DIMENSIONS SHOWN ARE NOMINAL. CONTRACTOR TO CONFIRM DIMENSION/STRUCTURAL GRID AGAINST FINAL STRUCTURES PLANS PRIOR TO CONDUCTING ANY BUILDING LAYOUT.

ADDRESS:

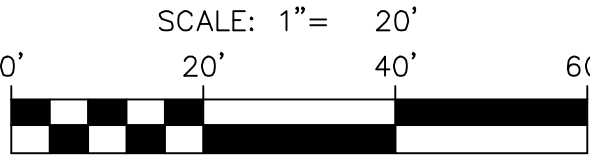
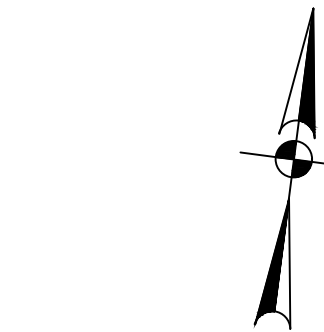
723 DONALDSON AVE.
SAN ANTONIO, TX 78201

LEGAL DESCRIPTION:

LOT 23, BLOCK 8, NCB 6758
(VOL. 9658, PGS. 70-72 O.P.R.)



LOCATION MAP
NOT-TO-SCALE

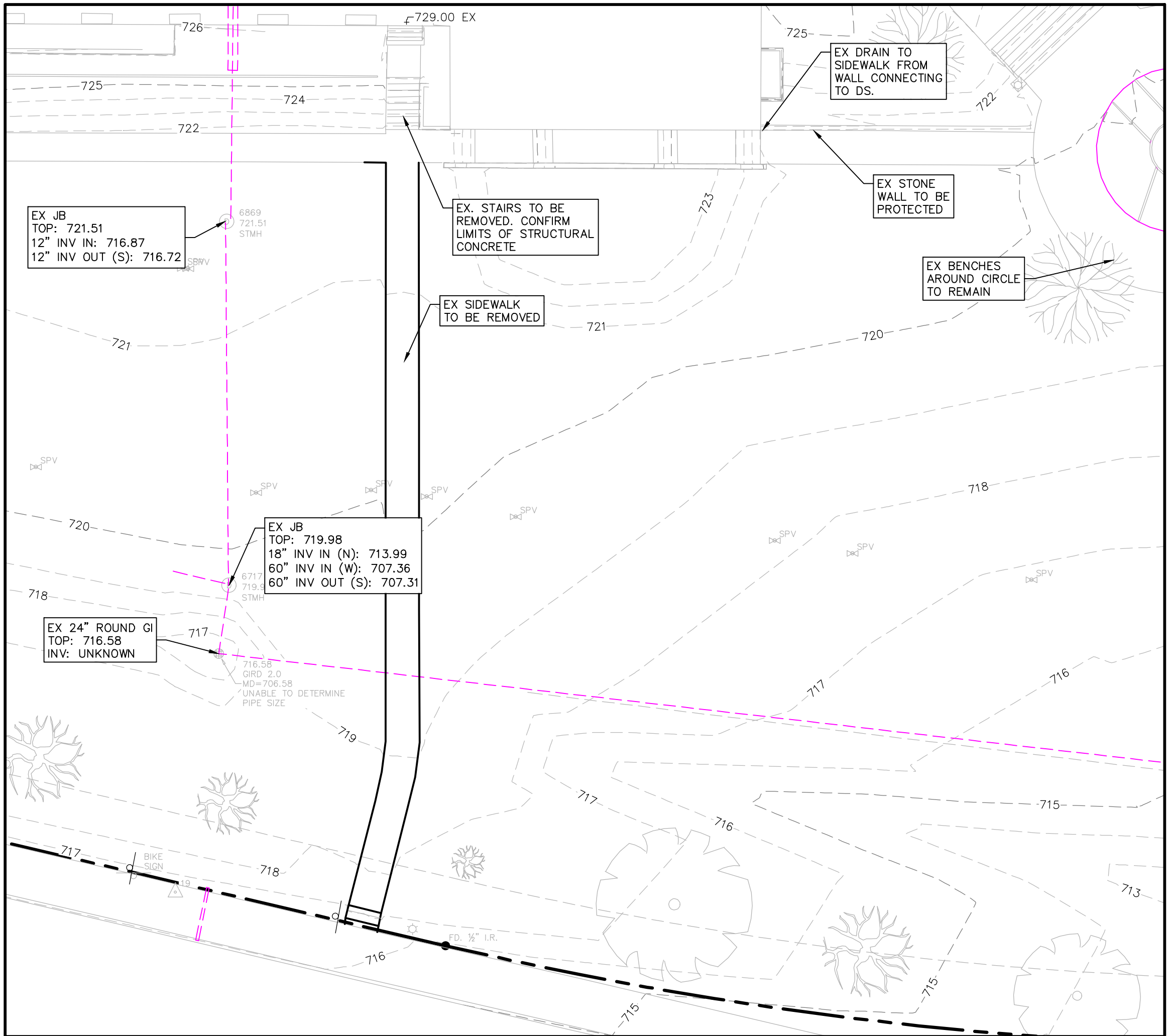


LEGEND:

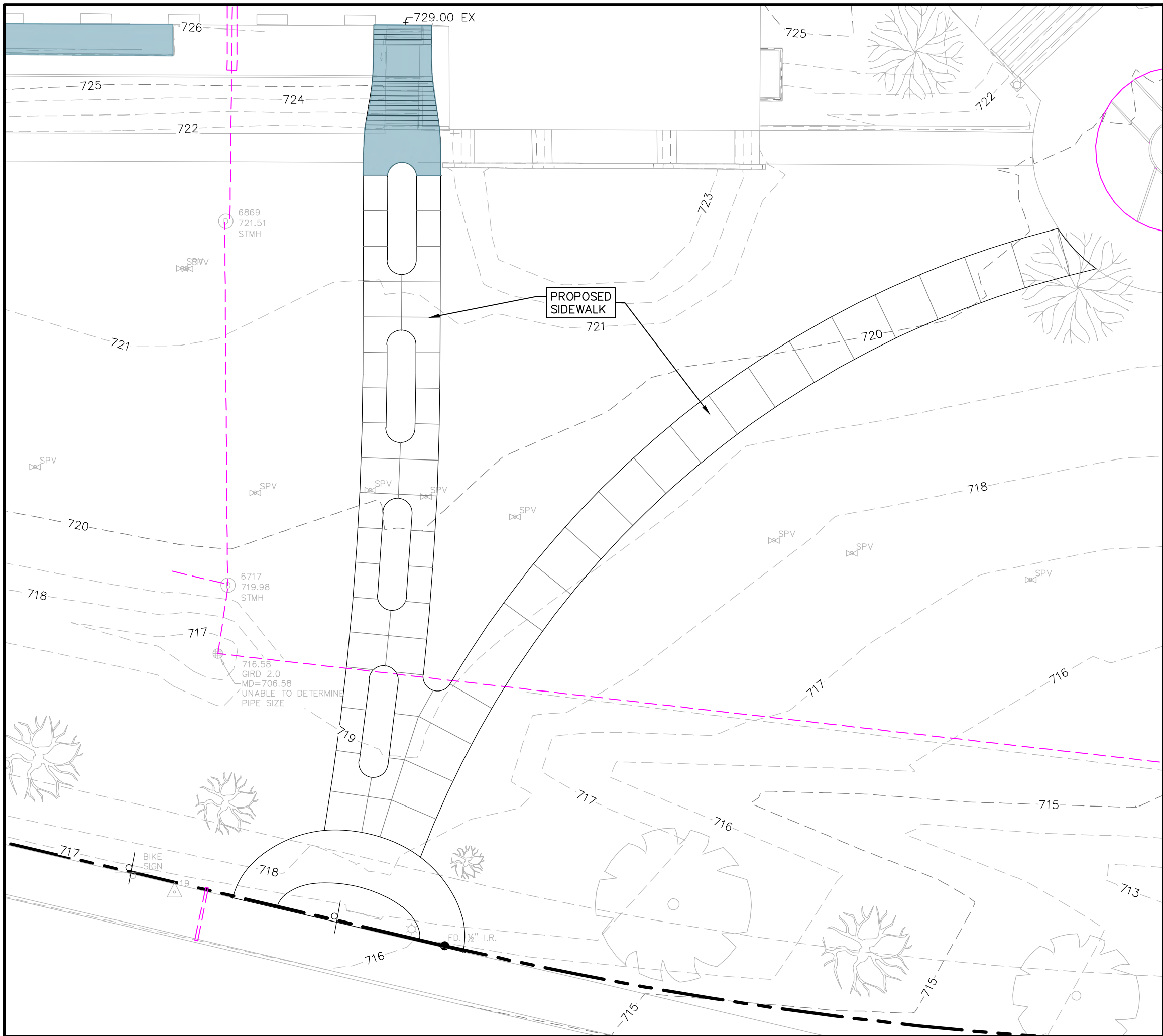
- | | |
|--|---|
| | PROPERTY LINE |
| | EXISTING CONTOURS |
| | EXISTING CURB |
| | CONCRETE SIDEWALK/FLATWORK
(SEE SHEET C3.10) |
| | STRUCTURAL CONCRETE
(REF. STRUCTURAL FOR DETAIL) |
| | EXISTING SIDEWALK, PAVEMENT,
STRUCTURES, CURBS, ETC. TO BE
DEMOLISHED PRIOR TO CONSTRUCTION |
| | TREES TO REMAIN |
| | TREES TO BE REMOVED |
| | EXISTING SEWER CLEANOUT |
| | EXISTING WATER VALVES |
| | EXISTING SPRINKLER |
| | EXISTING LIGHT POLE |
| | EXISTING DOWNSPOUT DRAINS TO SURFACE |
| | EXISTING DOWNSPOUT DRAINS TO
UNDERGROUND PIPE |
| | UTILITIES
(EXISTING DASHED, PROPOSED SOLID) |
| | SANITARY SEWER |
| | DOMESTIC WATER |
| | FIRE WATER |
| | IRRIGATION |
| | GAS |
| | ELECTRIC |
| | STORM |

60% DISCUSSION ITEMS:

1. REVIEW ITEMS FOR STRUCTURAL SCOPE.
2. INCREASED IMPERVIOUS COVER REQUIRES DETENTION UNLESS COOPERATIVE DETENTION MAY BE ARRANGED WITH COSA PROJECT.



EXISTING CONDITIONS & DEMOLITION PLAN
SCALE: 1" = 20'



PROPOSED SITE PLAN
SCALE: 1" = 20'



2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800



FORD POWELL CARSON

420 BROADWAY, SUITE 100 210.226.1246
SAN ANTONIO TX 78205 www.fpcarch.com

San Antonio ISD
Jefferson High School
Bond 2020 - Courtyard Package



This document is released
for INTERIM REVIEW purposes
ONLY under the authorization
of Stacey L. Weichert, P.E.
#84036 on 8/14/2023
This document is not to be
used for CONSTRUCTION.

Revisions

Mark	Date	Description
------	------	-------------

Drawn By:	Approved By:
RWJ/F	SW
Project Number:	Project Issue Date:
FPC# 67364	8/14/2023

CENTRAL FRONT LAWN PLAN

60% ISSUE


SHEET

C3.07

LANDSCAPE DRAWINGS

C.1


CONCRETE (SAISD STANDARD)



COLOR: GRAY
FINISH: MEDIUM BROOM
NOTES: PEDESTRIAN WALKS

P.1


CONCRETE PAVERS



COLOR: BLEND OF COLORS
FINISH: STANDARD
NOTES: PLAZA AREAS

G.1


DECOMPOSED GRANITE



COLOR: TAN
FINISH: NATURAL
NOTES: 1/4" MINUS, WITH BINDING ADDITIVE

M.1


STEEL EDGING



COLOR: NONE
FINISH: RAW STEEL
NOTES: 3/16" X 4"

M.2


HANDRAIL



COLOR: REF. CAMPUS STANDARDS
FINISH: POWDER COATED
NOTES: REF. SCHEDULE AND SPECS

S.1

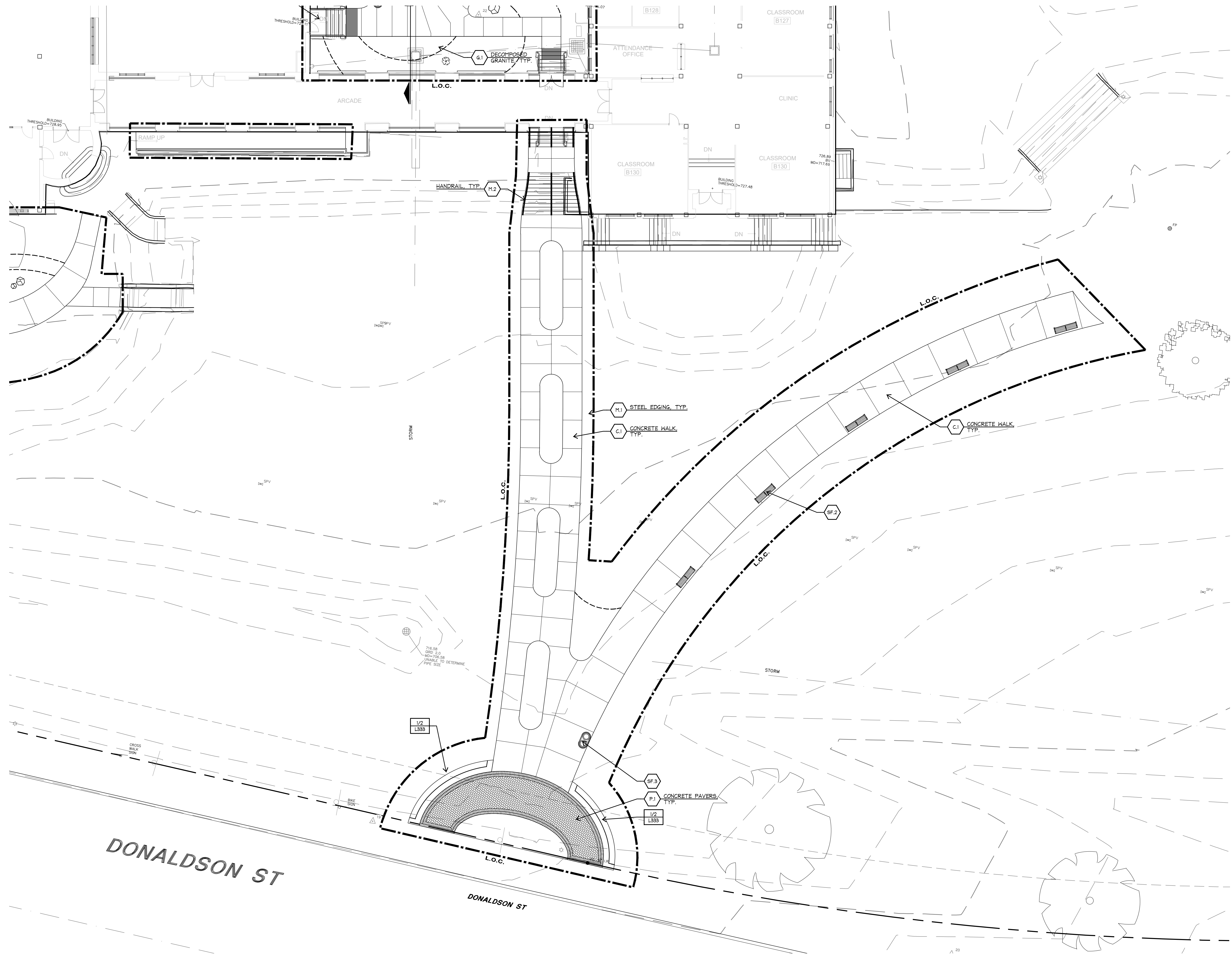
LEUDERS LIMESTONE BLOCKS



COLOR: CREAM
FINISH: SMOOTH FINISH TOP, ROUGH SIDES
NOTES: 2' X 2' X 4'

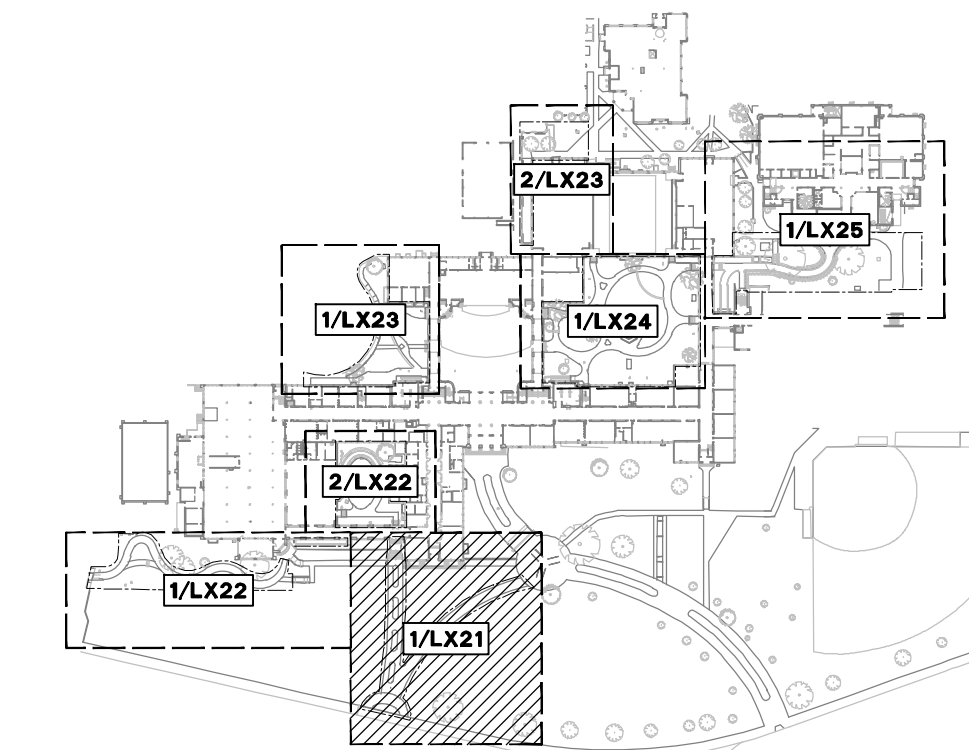
MATERIALS SCHEDULE					
KEY	DESCRIPTION /MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
A.1	SYNTHETIC TURF FOREVER LAWN	PRIMARY: OLIVE GREEN SECONDARY: TURF GREEN/TAN BLEND	STANDARD	COMPANY: FOREVER LAWN TEXAS CONTACT: NICK PAVEY EMAIL: NICK@TX.FOREVERLAWN.COM PHONE: (214) 206-3920 WEBSITE: WWW.FOREVERLAWN.US	CONTRACTOR SHALL INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL SUBMIT PRODUCT DATA & SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. REF. PLANS FOR LAYOUT.
B.1	BRICK	MATCH EXISTING ON CAMPUS	MATCH EXISTING ON CAMPUS		
C.1	CONCRETE (SAISD STANDARD)	GRAY	MEDIUM BROOM	LOCAL SOURCE	CONTRACTOR SHALL PROVIDE MOCK-UP FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL; REF. SPECIFICATIONS FOR MOCK-UP SIZE REF. PLANS FOR LAYOUT
G.1	1/4" MINUS DECOMPOSED GRANITE W/ ENVIROBOND ORGANIC-LOCK BINDING ADDITIVE	TAN	NATURAL	AGGREGATE: LOCAL SOURCE BINDING ADDITIVE: COMPANY: LIVING EARTH CONTACT: PAUL TOMASO PHONE: (214) 533-6296	CONTRACTOR SHALL PROVIDE PRODUCT SAMPLE FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO CONSTRUCTION. REF. SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS
M.1	1/4" X 5" X 16" SURE-LOC STEEL EDGING	NATURAL	SURE-RUST	COMPANY: SURE-LOC CONTACT: ZACK JANNENGA EMAIL:ZACK@SURELOCEDGING.COM PHONE: (616) 312-1806	OR APPROVED EQUAL; REF. PLANS FOR LENGTH AND LAYOUT. INSTALL PER MANUFACTURER SPECIFICATIONS
M.2	WELDED BAR STOCK HANDRAIL	POWDER COATED	REF. CAMPUS STANDARDS	LOCAL SOURCE	OR APPROVED EQUAL; CONTRACTOR SHALL PROVIDE SIGNED AND SEALED ENGINEERED SHOP DRAWINGS FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL; REF. PLANS FOR LAYOUT
P.1	PAVER: 4" X 8" VINTAGE STONE 60MM W/ FLAT TOP (STANDARD)	BLEND: 50% CHARCOAL 50% SAND BROWN CHARCOAL	STANDARD	COMPANY: KEYSTONE HARDSCAPES CONTACT: ROBERT PARKER PHONE: (512) 558-7283	CONTRACTOR SHALL PROVIDE MOCK-UP FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL; REF. SPECIFICATIONS FOR MOCK-UP SIZE REF. PLANS FOR LAYOUT
S.1	LEUDERS LIMESTONE BLOCKS SIZE: 24"W X 24"H X 48"L	WHITE CREAM	ROUGH BACK FRONT AND BACK FACES, SAWN CUT TOP AND SIDE FACES	COMPANY: MEIZER STONE PHONE: (254) 547-8174	OR APPROVED EQUAL; 1" CHAMFER ON TOP EDGES; CONTRACTOR SHALL GRIND SMOOTH ANY SHARP CORNERS; CONTRACTOR SHALL REQUEST LANDSCAPE ARCHITECT REVIEW OF EDGES TO GRIND SMOOTH PRIOR TO FINAL INSTALLATION; ANY ABUTTING ENDS TO BE CUT AT QUARRY TO ANGLE SHOWN ON PLANS
S.2	CAST STONE	MATCH EXISTING	SEALED	COMPANY: CHRISTOPHER STUART CAST STONE PHONE: (210) 653-5100	CONTRACTOR SHALL PROVIDE MOCK-UP FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL; REF. SPECIFICATIONS FOR MOCK-UP SIZE REF. PLANS FOR LAYOUT
SF.1	TABLE MODEL: A-H-425-1 W/ UMBRELLA POLE HOLE AND GUIDE FOR UMBRELLA POLE; PERFTOP-AN PERFORATED ROUND PATTERN	RED	PER MANUFACTURER RECOMMENDATIONS	COMPANY: VICTOR STANLEY CONTACT: KRISTEN BEVARD PHONE: (301) 855-830 EXT. 341	INSTALL PER MANUFACTURER SPECIFICATIONS
SF.2	BENCH MODEL: RB-28-6	RED	PER MANUFACTURER RECOMMENDATIONS	COMPANY: VICTOR STANLEY CONTACT: KRISTEN BEVARD PHONE: (301) 855-830 EXT. 341	INSTALL PER MANUFACTURER SPECIFICATIONS
SF.3	LITTER AND RECYCLE MODEL: SD-242	RED	PER MANUFACTURER RECOMMENDATIONS	COMPANY: VICTOR STANLEY CONTACT: KRISTEN BEVARD PHONE: (301) 855-830 EXT. 341	INSTALL PER MANUFACTURER SPECIFICATIONS
SF.4	BIKE RACK MODEL: BRCA-101	BLACK	PER MANUFACTURER RECOMMENDATIONS	COMPANY: VICTOR STANLEY CONTACT: KRISTEN BEVARD PHONE: (301) 855-830 EXT. 341	INSTALL PER MANUFACTURER SPECIFICATIONS

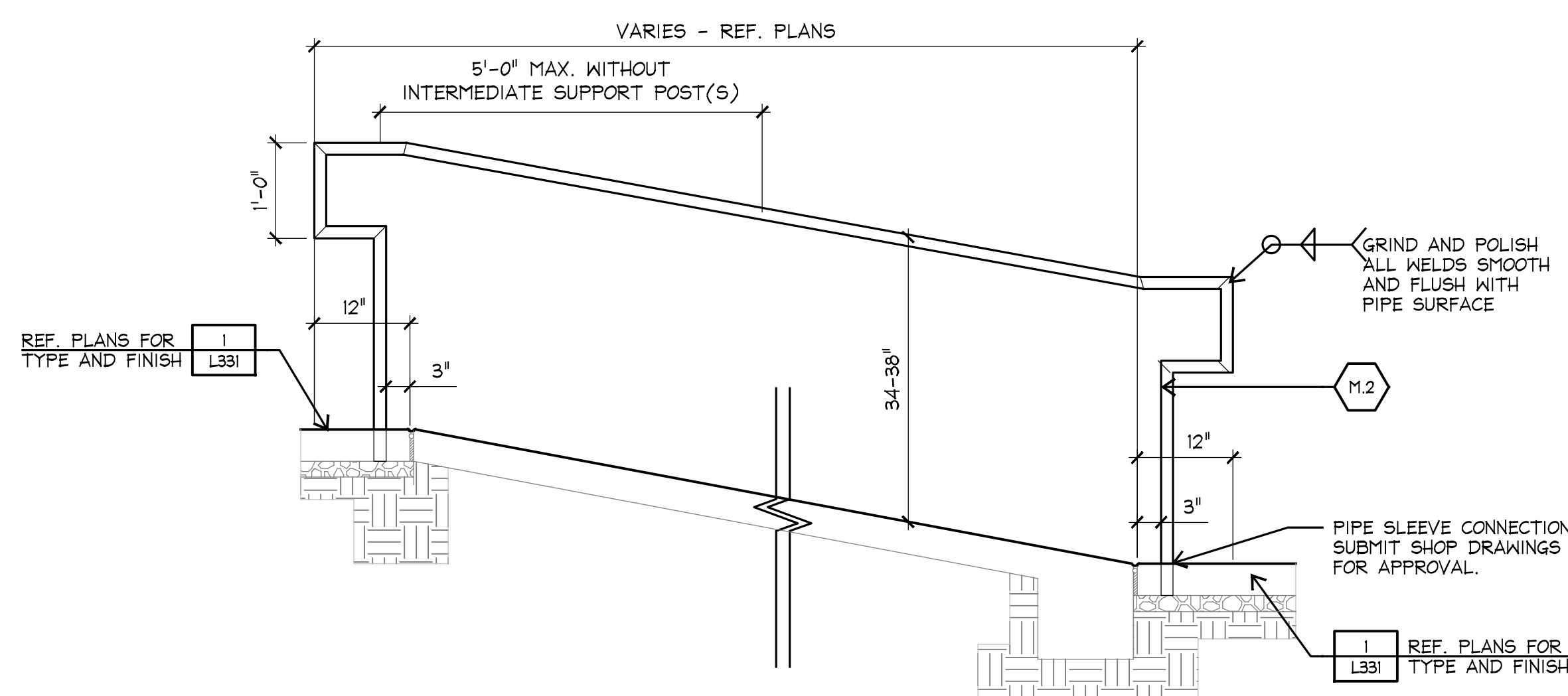
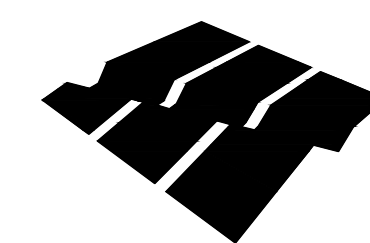
NOTES:
CONTRACTOR SHALL INCLUDE ALLOWANCE FOR SITE FURNISHING, INCLUDING BUT NOT LIMITED TO LITTER RECEPTACLES, BENCHES,



Revisions		
Mark	Date	Description

Drawn By:	Approved By:
AH, AR	EK
Project Number:	Project Issue Date:
FPC# 67364	---



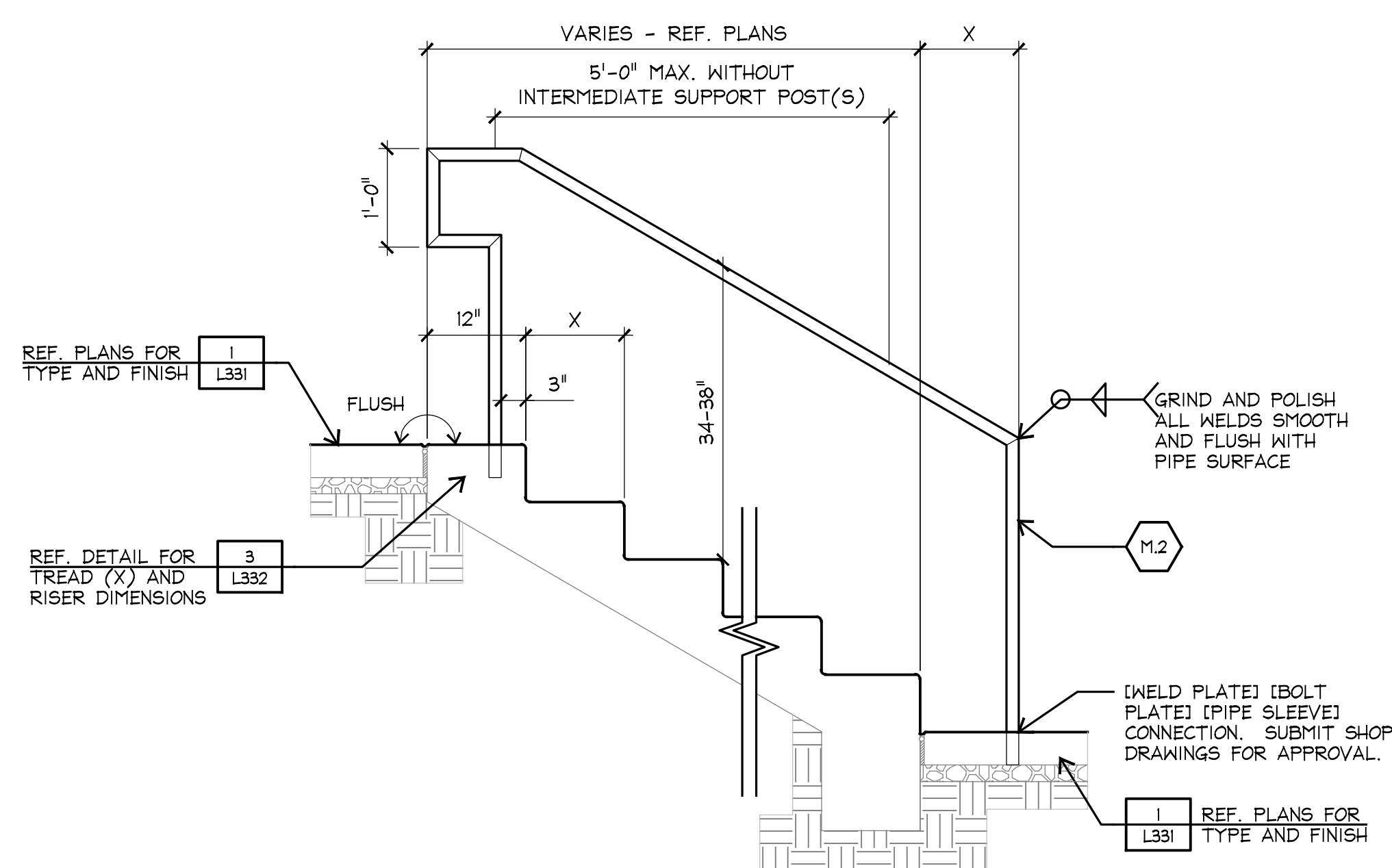


1. REFER TO SECTION 4.7 OF THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES FOR ADDITIONAL INFORMATION. VERIFY THAT ANY STATE OR LOCAL SPECIFICATIONS DO NOT EXCEED THE MINIMUM GUIDELINES.
2. CURB RUMPS SHALL BE ISOLATED FROM ALL OTHER CONCRETE BY EXPANSION JOINTS.
3. A MIN. 4'-0" X 8'-0" LANDING SHALL BE PROVIDED AT THE TOP OF CURB. REFERENCE SHALL BE MADE FOR ACTUAL LAYOUT. LANDING SHALL NOT EXCEED 2% CROSS SLOPE OR 5% LONGITUDINAL SLOPE.
4. THE WALK THICKENED EDGE SHALL BE CONTINUED THROUGH FLARED SIDES
5. THE FLARED SIDES SHALL HAVE A MEDIUM BROWN FINISH PARALLEL TO THE CURB.
6. THE CURB SHALL BE CONTINUED FROM INLETS, POLES, HYDRANTS AND OTHER ABOVE GROUND OBSTACLES SHALL BE 1'-0" FROM THE SCORED OR DETECTABLE WARNING PORTION OF THE CURB RAMP.
7. INLETS SHALL BE SO LOCATED THAT GUTTER FLOW DOES NOT FLOW PAST THE CURB RAMP.
8. REMOVE THE RAMP SURFACE SCHEDULE FOR TYPE AND COLOR OF DETECTABLE WARNING SURFACE.

5 WELDED TUBE HANDRAIL @ RAMP

SECTION

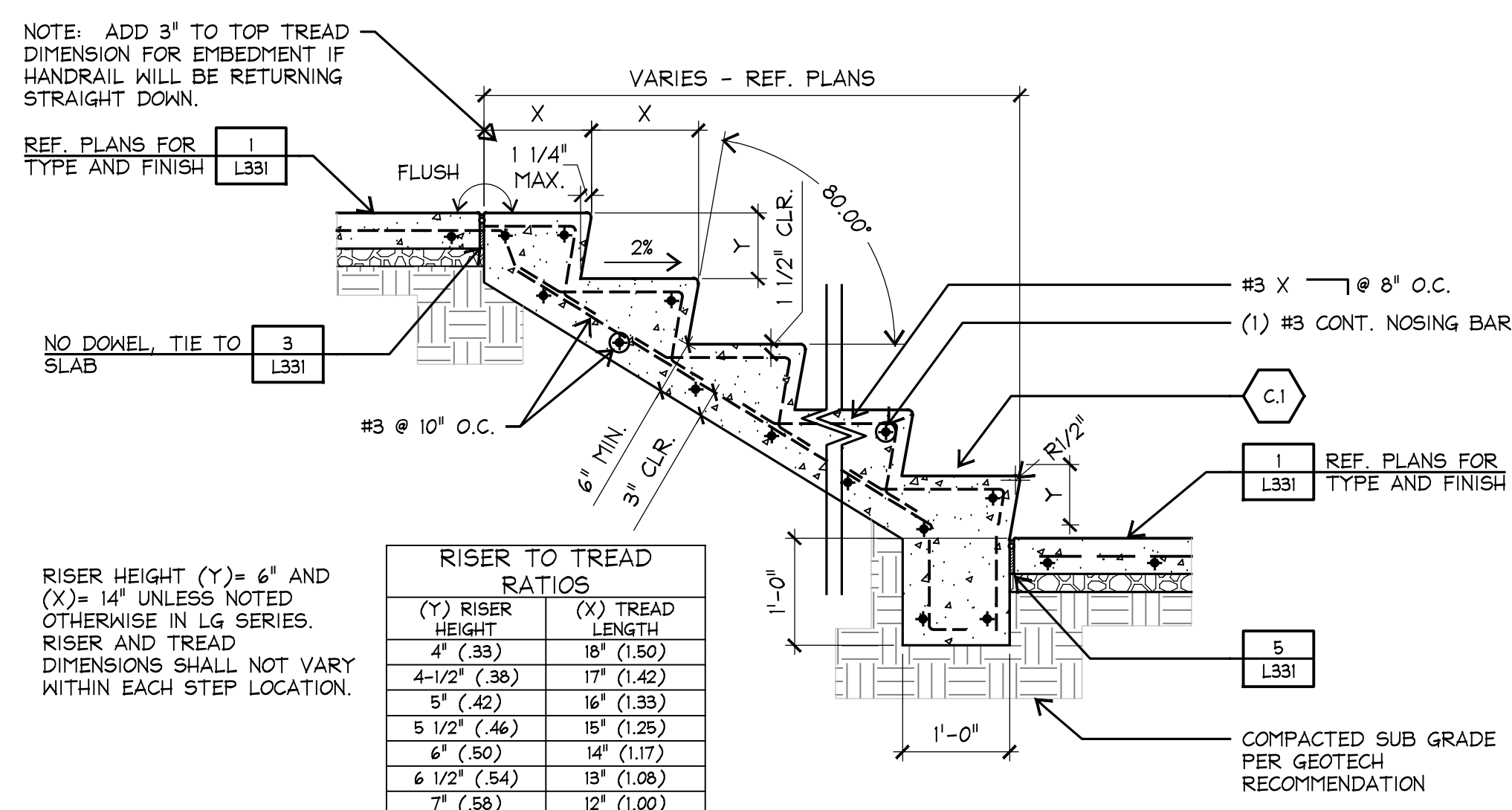
SCALE: 3/4"=1'-0'



1 WELDED TUBE HANDRAIL @ STAIRS

SECTION

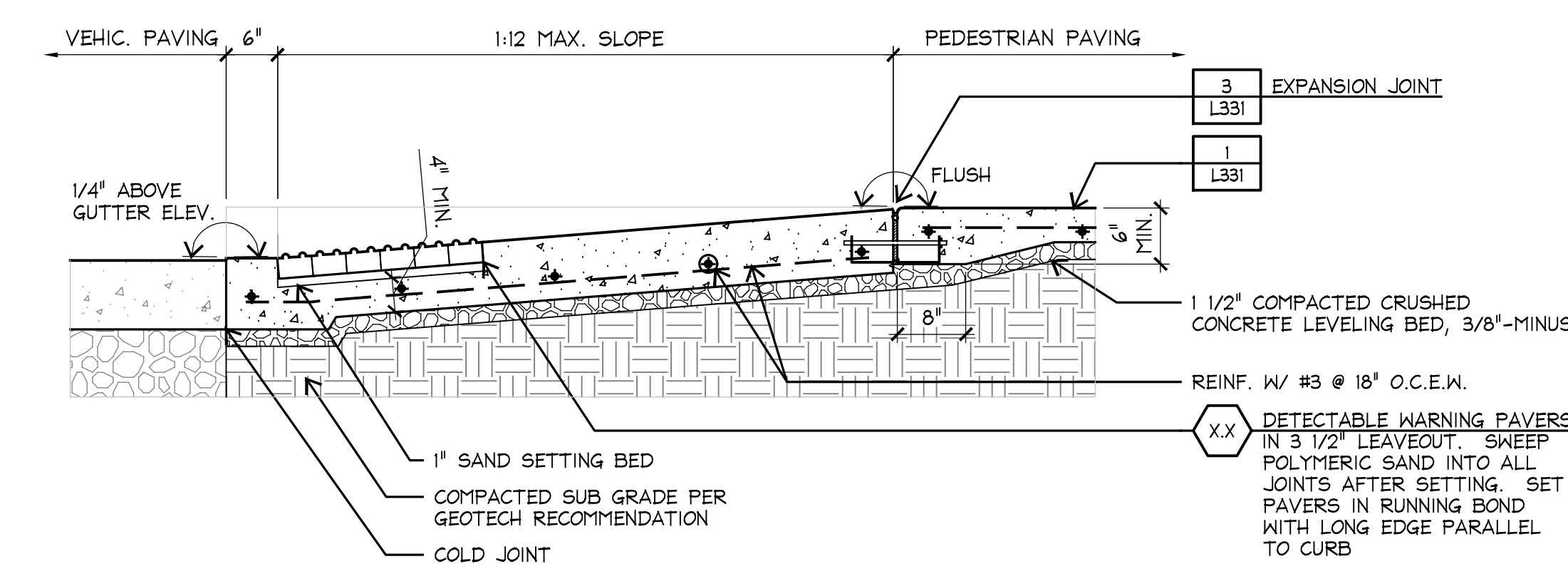
SCALE: 3/4"=1'-0"



2 STEPS WITH ANGLED RISER

SECTION

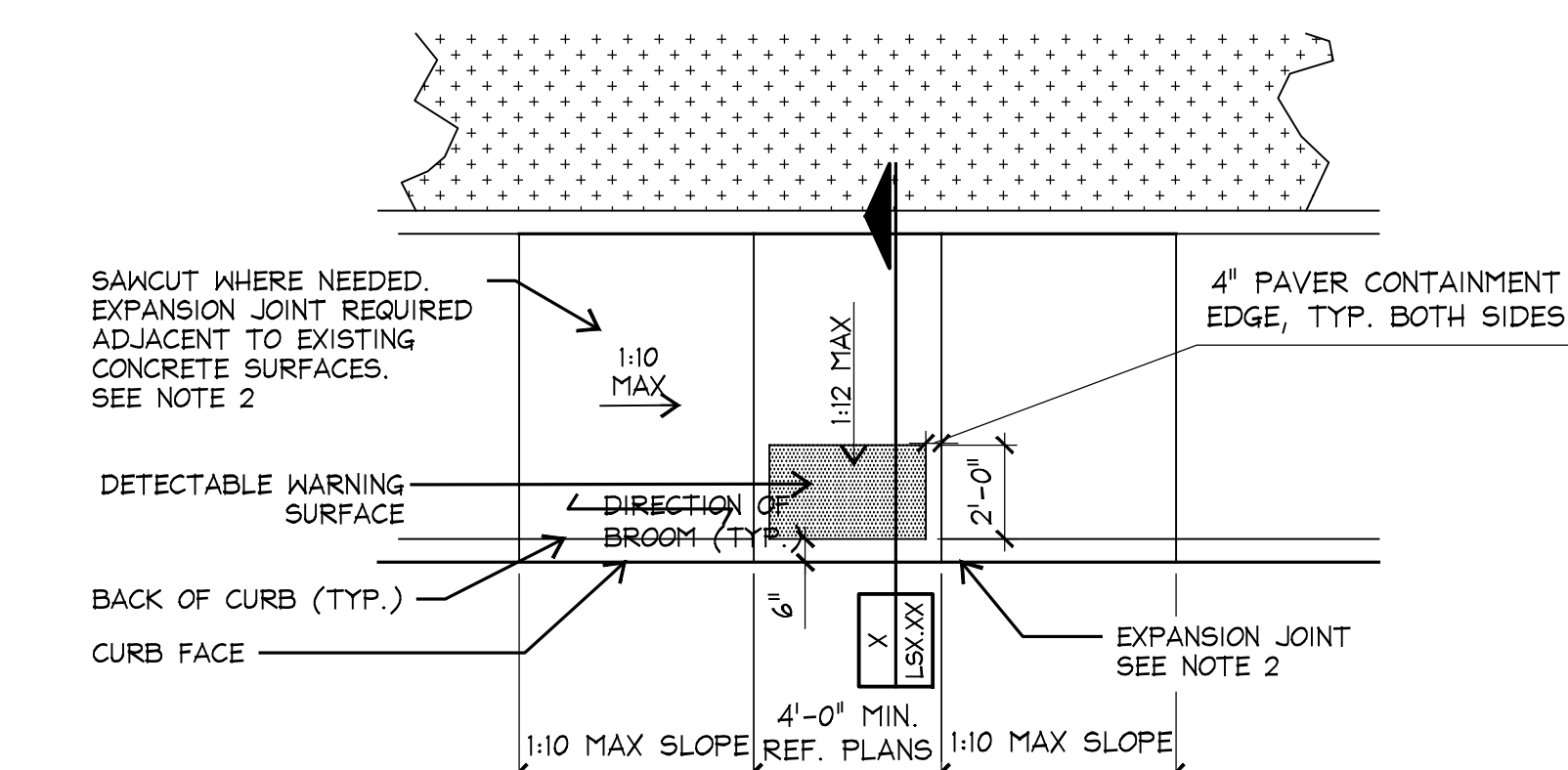
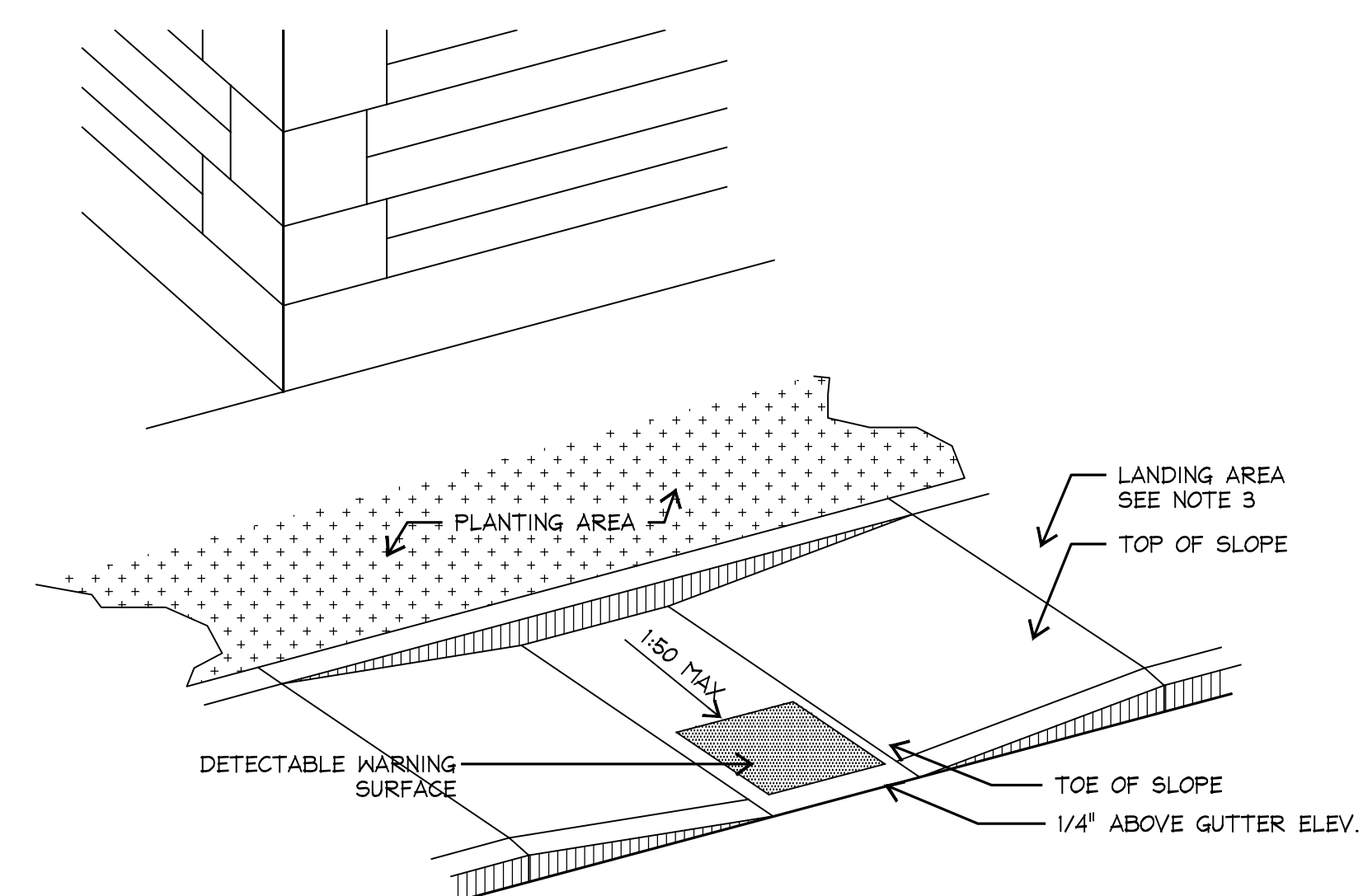
SCALE: 3/4"=1'-0"



2 CURB RAMP

SECTION

SCALE: 3/4"=1'-0"



1 CURB RAMP TYPE 'A'

PLAN

NOT TO SCALE



for review only.
not for regulatory approval,
permitting or construction

60%
CD Set

August 11, 2023
Sarah Elaine Kearney #3109

Revisions		
Mark	Date	Description

Drawn By:	Approved By:
AH, AR	EK
Project Number:	Project Issue:
FPC# 67364	----

SITE DETAILS

Construction Documents

SHEET

L332



4 ENTRY SIGN - DAY

NOT TO SCALE



3 ENTRY SIGN - NIGHT

PERSPECTIVE

NOT TO SCALE



2 DONALDSON ST. ENTRY - NIGHT

NOT TO SCALE



1 DONALDSON ST. ENTRY - DAY

PERSPECTIVE

NOT TO SCALE



ORD POWELL CARSON

100 BROADWAY, SUITE 100
SAN ANTONIO TX 78025

210.226.1246
w.fpcarch.com



- BG

AUSTIN ST, STE 100
N ANTONIO TX 78215

210.366.9933
partners.com

San Antonio ISD
Jefferson High School
Bond 2020

723 Donaldson Ave.
San Antonio, TX 78201



not for regulatory approval,
permitting or construction.

50%
CD Set

Revisions		
Mark	Date	Description

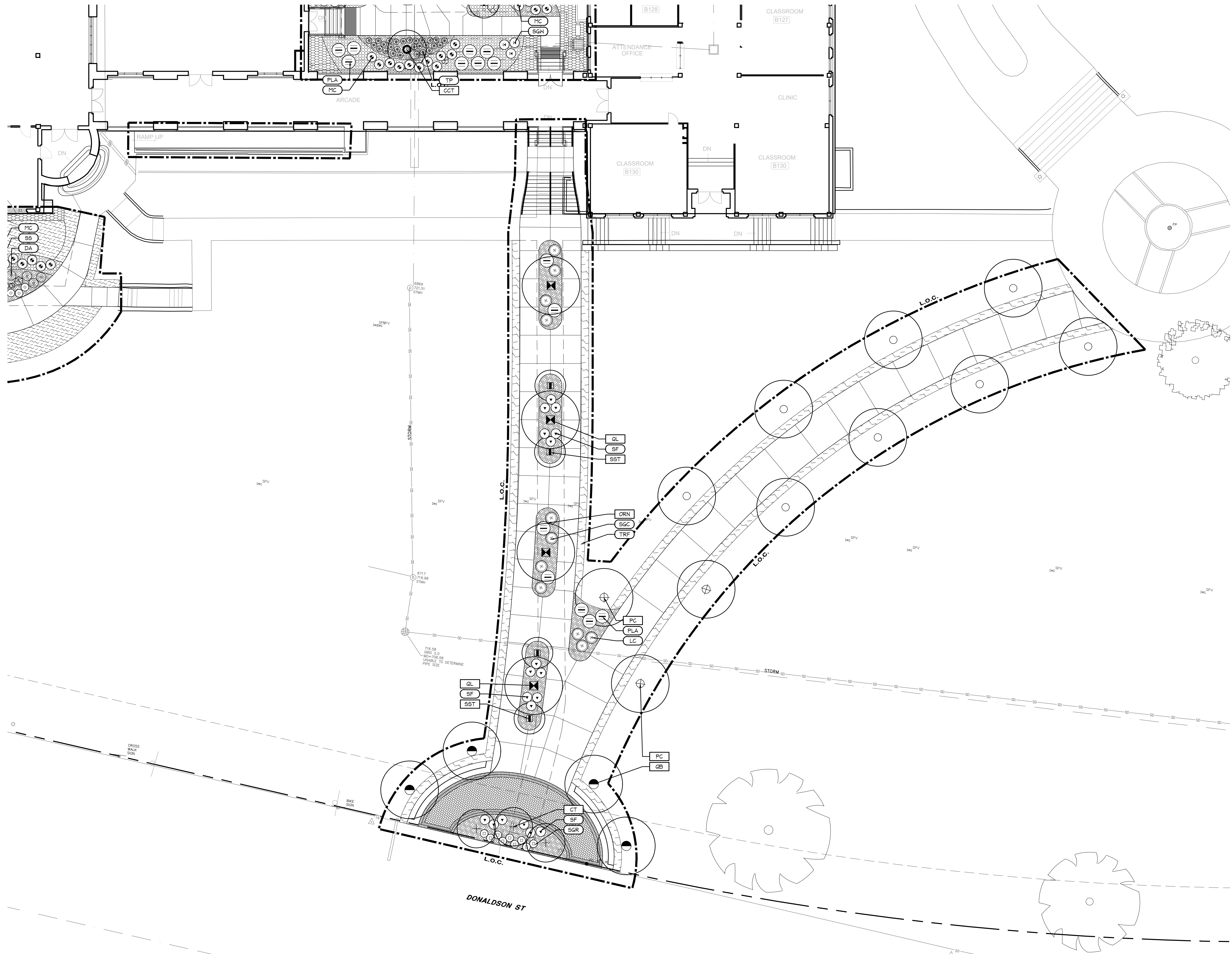
Drawn By: J, AR	Approved By: EK
Project Number: C# 67364	Project Issue Date: -----

TE DETAILS

Instruction Documents

SHEET

L333



1 CENTRAL FRONT LAWN
SITE PLAN



for review only.
not for regulatory approval,
permitting or construction.
**60%
CD Set**
August 11, 2023
Sarah Elaine Kearney #3109

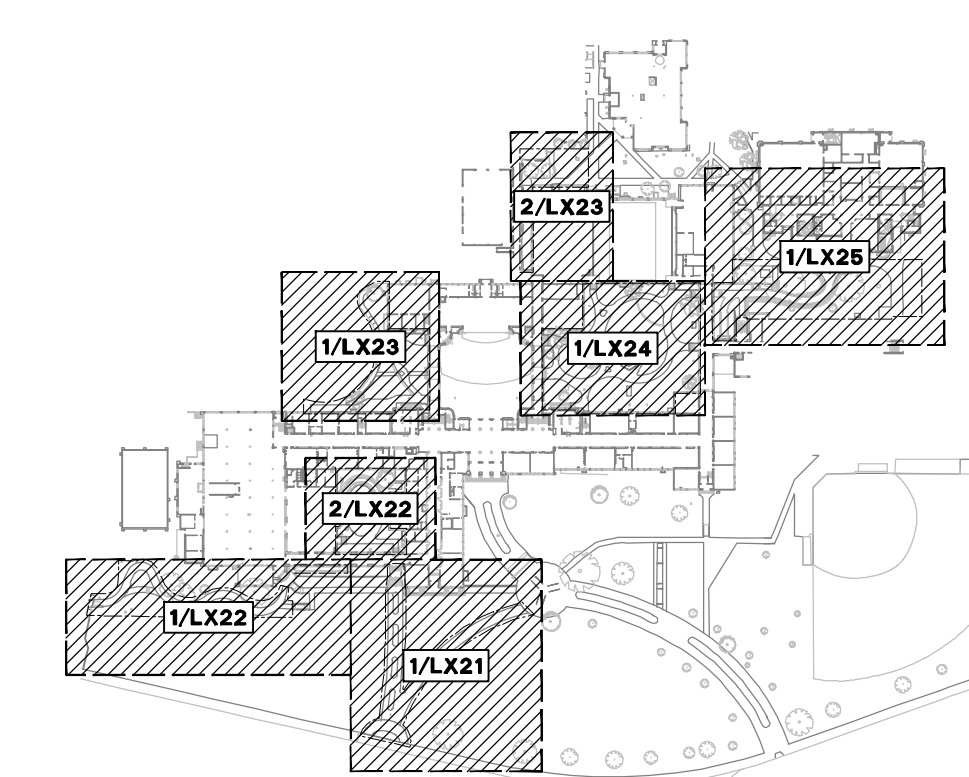
Revisions		
Mark	Date	Description

Drawn By: AH, AR
Approved By: EK
Project Number: FPC# 67364
Project Issue Date: ---

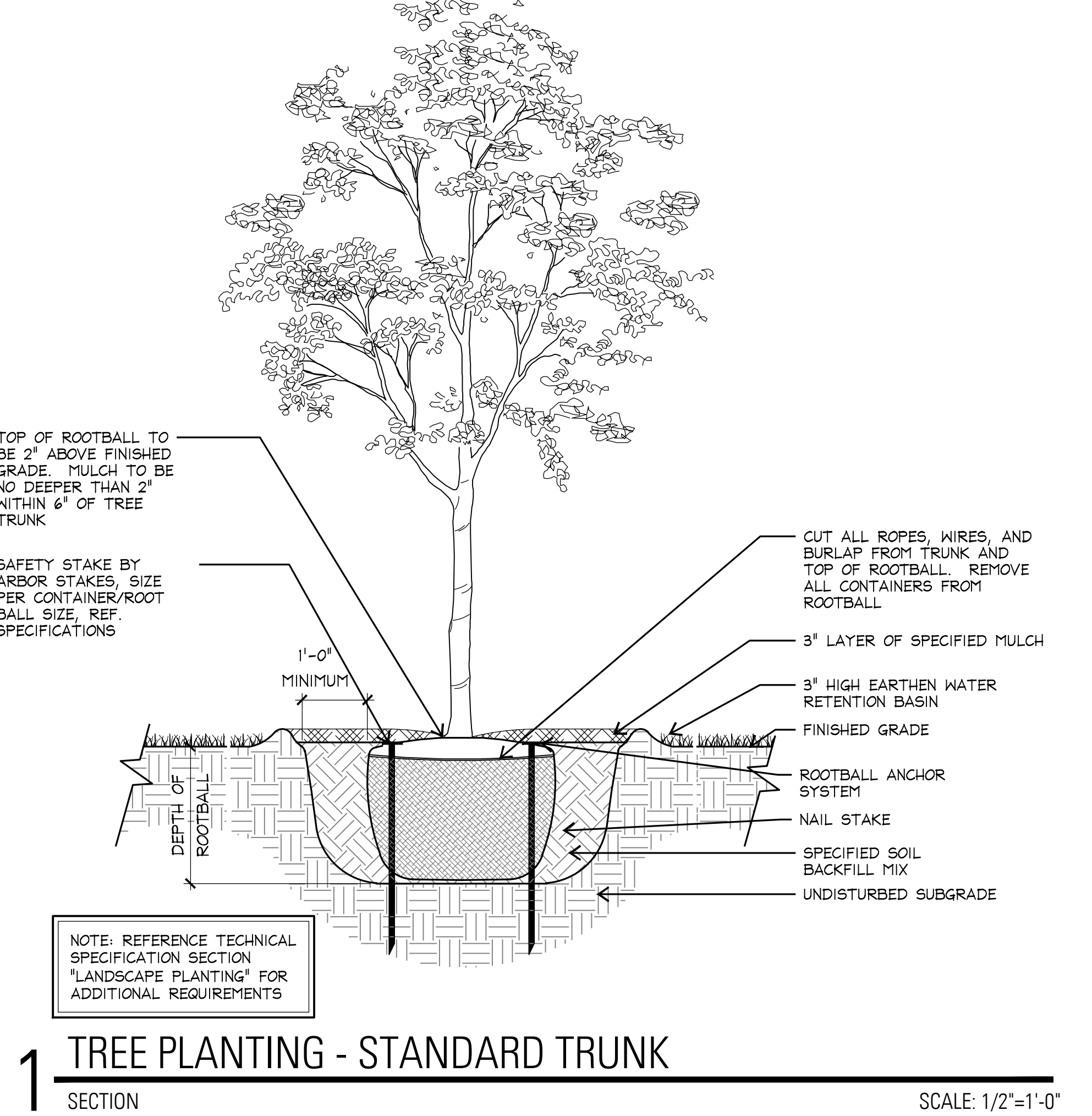
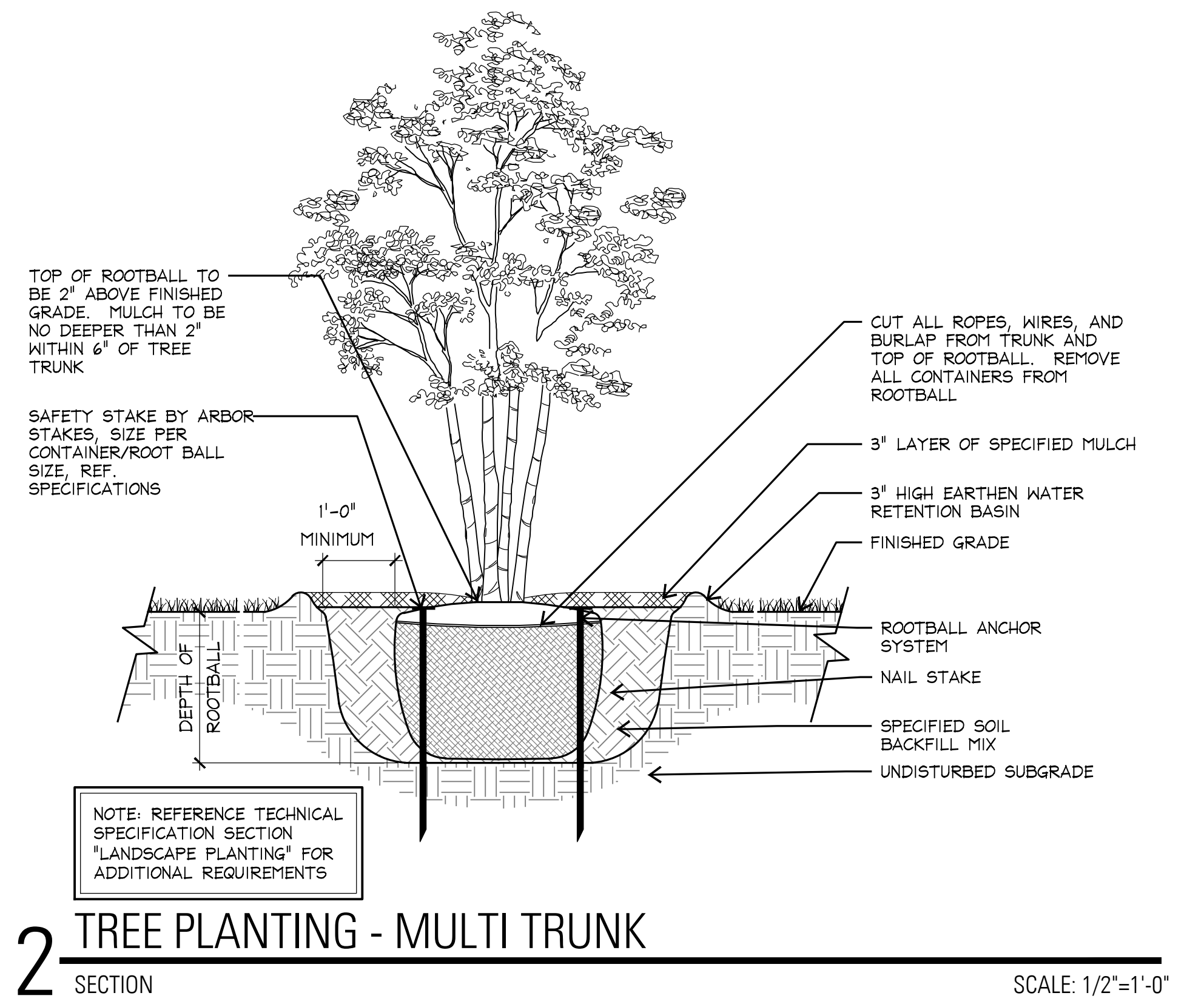
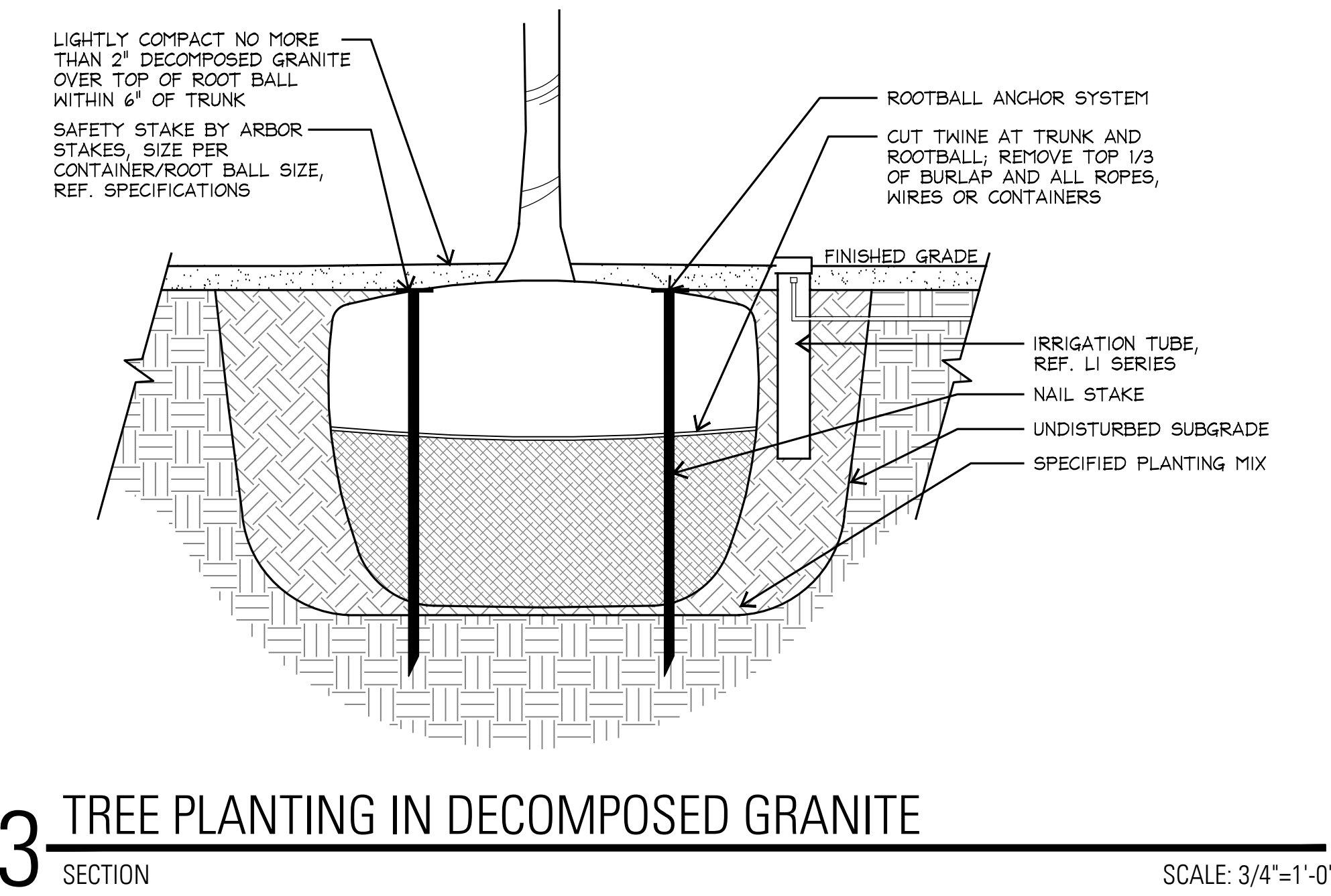
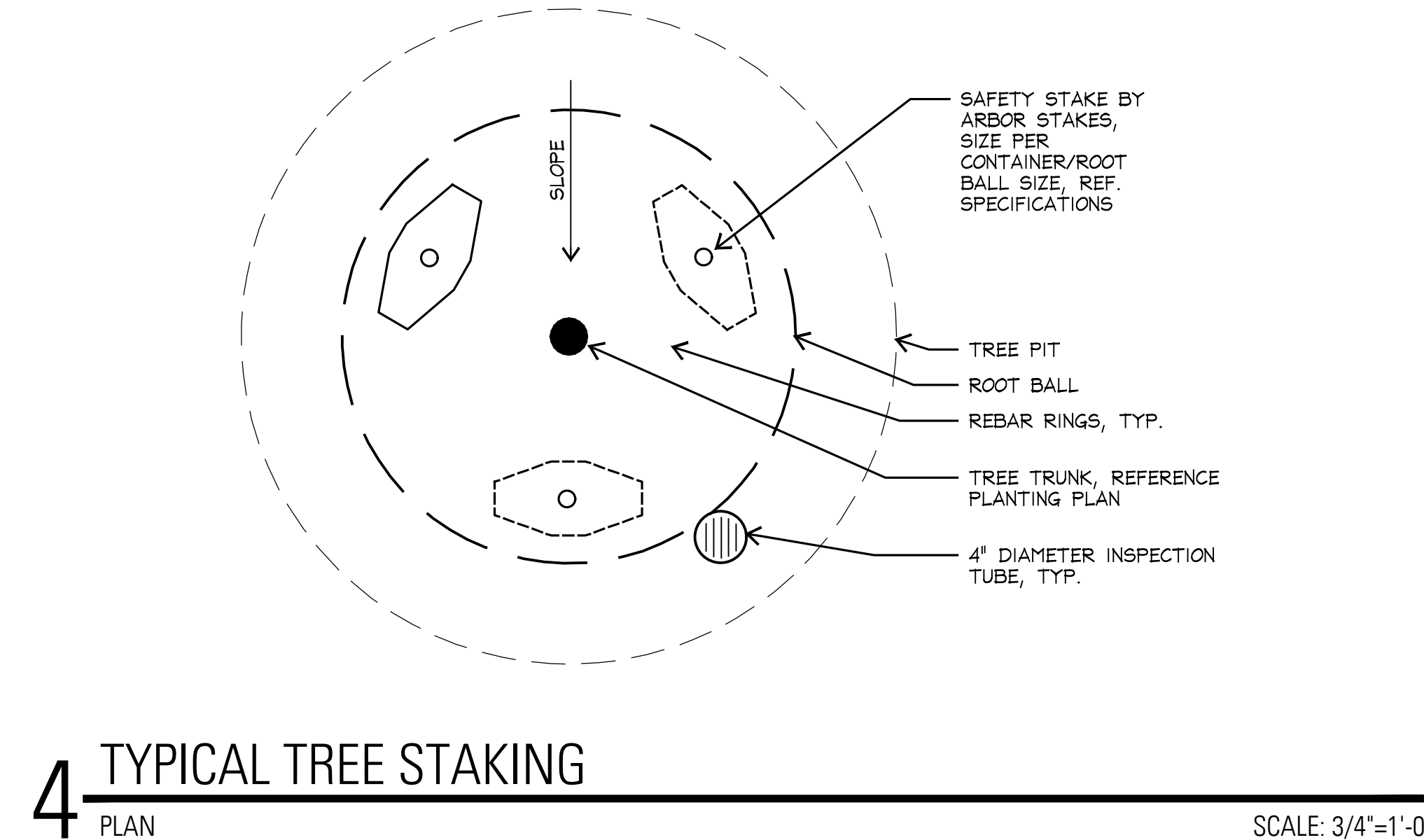
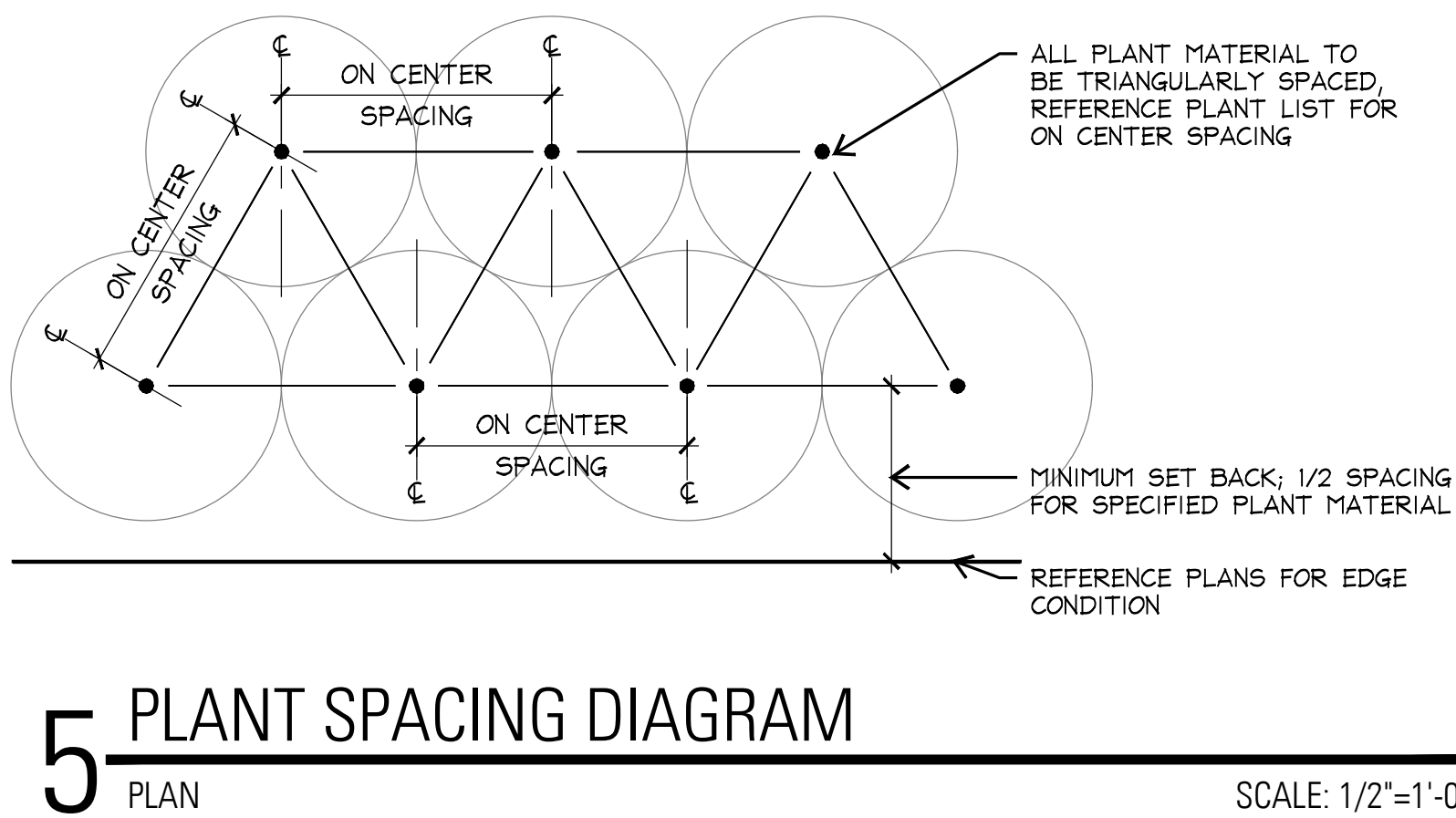
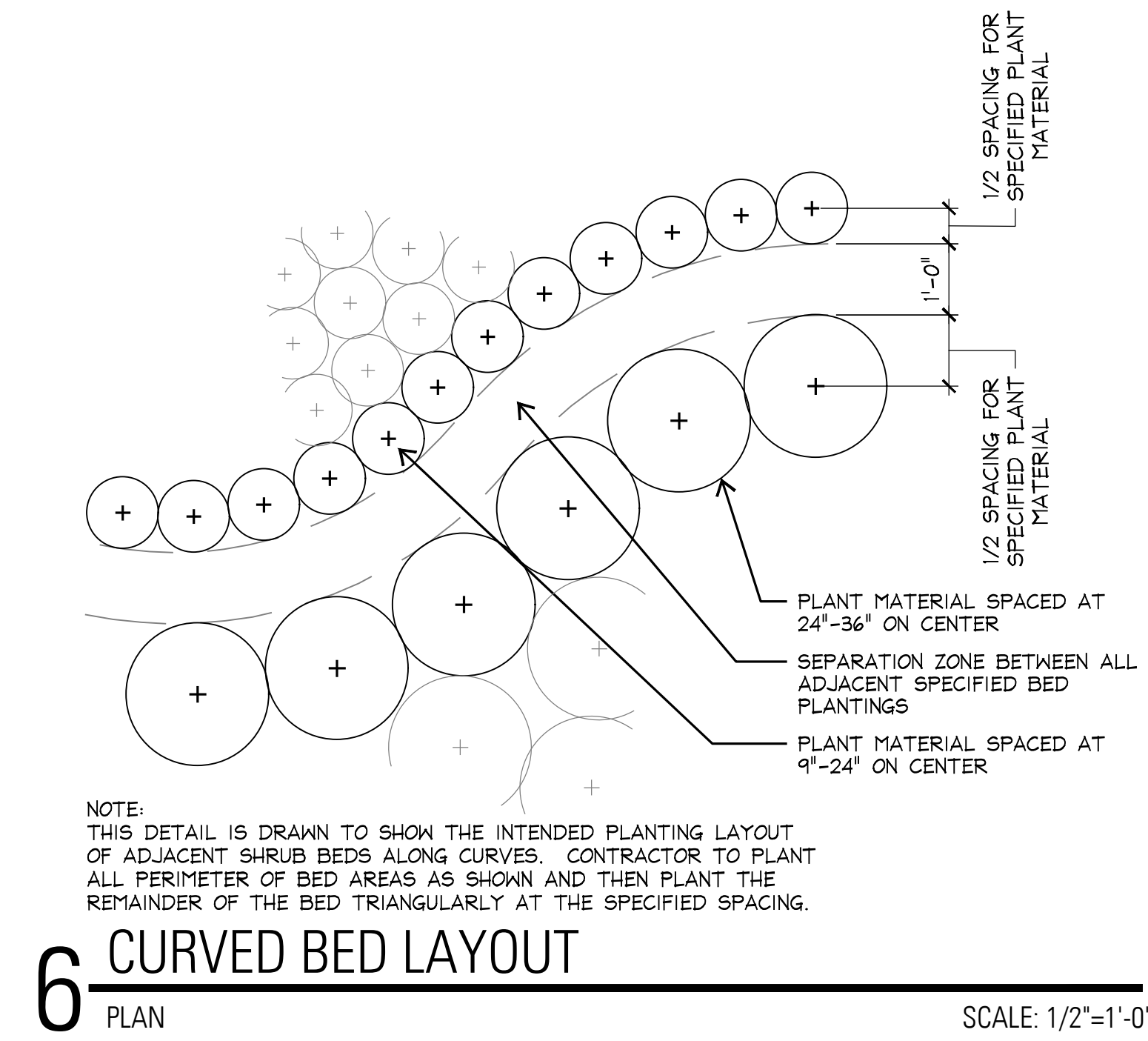
PLANTING PLAN ENLARGEMENT

Construction Documents

SHEET
L521



PLANT LIST					
SHADE TREES					
GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
	PC	CHINESE PISTACHE	PISTACIA CHINENSIS	MIN. 2" CAL. 8' HT MIN 6' SPRD	SINGLE-TRUNK; FULL CANOPY; DARK GREEN
	GB	TEXAS RED OAK	QUERCUS BUCKLEYI	MIN. 2" CAL. 8' HT MIN 6' SPRD	SINGLE-TRUNK; FULL CANOPY; DARK GREEN
	QL	LACEY OAK	QUERCUS LACEYI	MIN. 2" CAL. 8' HT MIN 6' SPRD	SINGLE-TRUNK; FULL CANOPY; BLUE-GREEN FOLIAGE
	UC	CEDAR ELM	ULMUS CRASSIFOLIA	MIN. 2" CAL. 8' HT MIN 6' SPRD	SINGLE-TRUNK; FULL CANOPY; DARK GREEN
ORNAMENTAL TREES					
GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
	CB8	MEXICAN OLIVE	CORDIA BOSSIERI	8' HT; 5' MIN. SPRD.	MULTI-TRUNK; 3-5 TRUNKS; 1-1/2" MIN. CANE CALPER; FULL, UNIFORM CANOPY; CONTAINER GROWN
	CC2	RELOCATED REDBUD	CERCIS CANADENSIS	EXISTING	MULTI-TRUNK; 3-5 TRUNKS; 1-1/2" MIN CANE CAL; FULL CANOPY; DARK GREEN;
	CC1	TEXAS REDBUD 'FOREST PANSY'	CERCIS CANADENSIS VAR. FOREST PANSY	2" CAL. 8' HT MIN 6' SPRD	MULTI-TRUNK; 3-5 TRUNKS; 1-1/2" MIN CANE CAL; FULL CANOPY; DARK GREEN;
	CT	CHITALPA	X CHITALPA TASHKENTENSIS	10' HT. & 8' SPRD. MIN.	MULTI-TRUNK; 3-5 TRUNKS; 1-1/2" MIN CANE CAL; FULL CANOPY; DARK GREEN;
	LR	GOLDENBALL LEADTREE	LEUCAENA RETUSA	2" CAL. 8' HT MIN 6' SPRD	MULTI-TRUNK; 3-5 TRUNKS; 1-1/2" MIN CANE CAL; FULL CANOPY; DARK GREEN;
	PD	THORNLESS PALO VERDE	PARKINSONIA X 'DESERT MUSEUM'	10' HT. & 8' SPRD. MIN.	SPECIMEN MULTI-TRUNK; 3-5 TRUNKS; 1-1/2" MIN CANE CAL.; FULL CANOPY; CONTAINERS GROWN, LIME GREEN BARK, DARK GREEN FOLAIGE, YELLOW FLOWER
	PM	MEXICAN PLUM	PRUNUS MEXICANA	2" CAL. 8' HT MIN 6' SPRD	SINGLE-TRUNK; 1-1/2" MIN CANE CAL; FULL CANOPY; DARK GREEN;
	SGT	TEXAS MOUNTAIN LAUREL	SOPHORA SECUNDFLORA	15 GAL.; 6' HT. MIN. & 5' MIN. SPRD.	PLANT AS SHOWN
SHRUBS, ORNAMENTAL GRASSES, AND VINES					
GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
	AA	RAY OF LIGHT FOX TAIL AGAVE	AGAVE ATTENUATA 'AGAVNS' #21854	15 GAL.; 2' HT. & 5' SPRD.	FULL POT, GREEN FOLIAGE
	AH	HAVARD'S CENTURY PLANT	AGAVE HAVARDIANA	7 GAL.; 36" HT. & 36" SPRD.	PLANT AS SHOWN
	AP	PARRY'S AGAVE	AGAVE PARRYI	7 GAL.; MIN. 12" HT.; MIN. 18" SPRD.	PLANT 30" O.C.
	CF	NONE	NONE	NONE	None
	CL	INLAND SEA OATS	CHASMANTHIUM LATIFOLIUM	3 GAL.; 2'-3' HT. & 2' SPRD.	FULL POT, GREEN FOLIAGE
	FJ	JAPANESE ARALIA	FATSIA JAPONICA	7 GAL.; 48" HT. & 48" SPRD.	PLANT 48" OC.
	MA	TURKS CAP	MALVAVISUS DRUMMONDI 'WHITE'	3 GAL.; 2'-3' HT. & 2' SPRD.	FULL POT, GREEN FOLIAGE, WHITE
	MC	GULF MUHLY	MUHLENBERGIA CAPILLARIS	5 GAL.; 24" HT.; 8' SPRD	FULL, PLANT 30" O.C.
	ML	LINDHEIMER'S MUHLY	MUHLENBERGIA LINDHEIMERI	5 GAL.; 24" HT.; 18" SPRD	FULL, PLANT 30" O.C.
	OCE	ELLISIANA SPINELESS PRICKLY PEAR CACTUS	OPUNTIA CACANAPA 'ELLISIANA'	7 GAL.; 36" HT. & 36" SPRD.	PLANT AS SHOWN
	PLA	PLUMBAGO	PLUMBAGO AURICULATA	1 GAL.; 12" HT.; 12" SPRD	PLANT 12" OC
	ROP	TRAILING ROSEMARY	ROSEMARINUS OFFICINALIS 'PROSTRATUS'	5 GAL.; 12" HT. & 36" SPRD.	SPACE 40" O.C.
	SM	DWARF PALMETTO PALM	SABAL MINOR	10 GAL. 48" HT, 36" SPRD	PLANTAS SHOWN
	TS	ESPERANZA	TECOMA STANS	10 GAL. 36" HT, 24" SPRD	PLANT AS SHOWN
	YRU	TWISTED LEAF YUCCA	YUCCA RUPICOLA	1" HT, 1' SPRD	FULL, PLANT 2' O.C.
PERENNIALS					
GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
	AE	CAST IRON	ASPIDISTRA ELATIOR	5 GAL.; 30" HT. & 24" SPRD.	PLANT 36" OC.
	CH	DAMIANITA	CHRYSACTINIA MEXICANA	1 GAL.; 18" HT. & 18" SPRD.	PLANT 24" OC.; YELLOW FLOWERS
	DA	SILVER PONYFOOT	DICONDRA ARGENTEA	1 GAL.; 6" HT. & 18" SPRD.	PLANT 30" O.C.
	DR	AUTUMN FERN	DRYOPTERIS ERYTHROSORA	3 GAL.; 18" HT. & 3' SPRD.	FULL POT, GREEN & COPPER FOLAGE
	HF	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL.; 24" HT 24" SPRD.	PLANT 30" OC
	LC	LANTANA 'DALLAS RED'	LANTANA CAMARA X 'DALLAS RED'	5 GAL.; 30" HT. & 24" SPRD.	PLANT 36" O.C.
	LS	SPANISH LAVENDER	LAVANDULA STOECHAS	3 GAL.; 18" HT. & 18" SPRD.	PLANT 30" OC.; PURPLE FLOWERS
	SF	MEALY BLUE SAGE	SALVIA LEUCANTHA	5 GAL.; 24" HT; 24" SPRD.	PLANT 36" O.C.
	SGR	AUTUMN SAGE 'RED'	SALVIA GREGGII 'RED'	3 GAL.; 2'-3' HT. & 2' SPRD.	FULL POT, PLANT 36" OC
	SGN	AUTUMN SAGE 'WHITE'	SALVIA GREGGII 'WHITE'	3 GAL.; 2'-3' HT. & 2' SPRD.	FULL POT, PLANT 36" OC
	SLU	MEXICAN BUSH SAGE	SALVIA LEUCANTHA	3 GAL; 15" HT; 15" SPRD.	PLANT 36" O.C.
	SR5	CEDAR SAGE	SALVIA ROEMERIANA SCHEELE	3 GAL.; 18" HT. & 18" SPRD.	PLANT 30" OC.; RED FLOWERS
	SS	PINK TEXAS SKULLCAP	SCUTELLARIA SUPERUTESCENS	1 GAL.; 18" HT. & 24" SPRD	PLANT 24" OC.; PINK FLOWERS
	TL	MEXICAN MINT MARGIGOLD	TAGETES LUCIDA	3 GAL.; 2'-3' HT. & 2' SPRD.	FULL POT, PLANT 36" O.C.; YELLOW FLOWER
	TP	PURPLE HEART PLANT	SETCREASEA PALLIDA	1 GAL; 12"; HT 12" SPRD.	PLANT 18" O.C.
PERENNIALS, GROUNDCOVERS, AND ANNUALS					
GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
	AGG1	AGGREGATE WITH PLANTING	NONE	NONE	None
	AGG2	NONE	NONE	NONE	None
	DGR	DECOMPOSED GRANITE	N/A	N/A	DECOMPOSED GRANITE AGGREGATE MULCH FOR XERISCAPE PLANTING BEDS
	DGN	DECOMPOSED GRANITE WALK	NONE	NONE	None
	MUL1	NATIVE HARDWOOD MULCH	NONE	NONE	None
	SGC	SHRUBS AND GROUNDCOVERS	N/A	1 GAL. TO 5 GAL.	XERISCAPE PLANTING BEDS TO BE MADE UP OF NATIVE AND DROUGHT TOLERANT PLANTS; PLANT SPECIES TO BE DETERMINED. 12" MIN. SOIL PLANTING MIX
	TRF	TURF	N/A	SOD ROLLS	OVERLAPPING JOINTS, TIGHT SPACING. 6" MIN. DEPTH OF PLANTING SOIL MIX; SPECIES TBD
	TRMUL	TREE MULCH	NONE	NONE	SHREDDED HARDWOOD MULCH



LANDSCAPE RENDERINGS





TBG

fpc

FORD POWELL CARSON

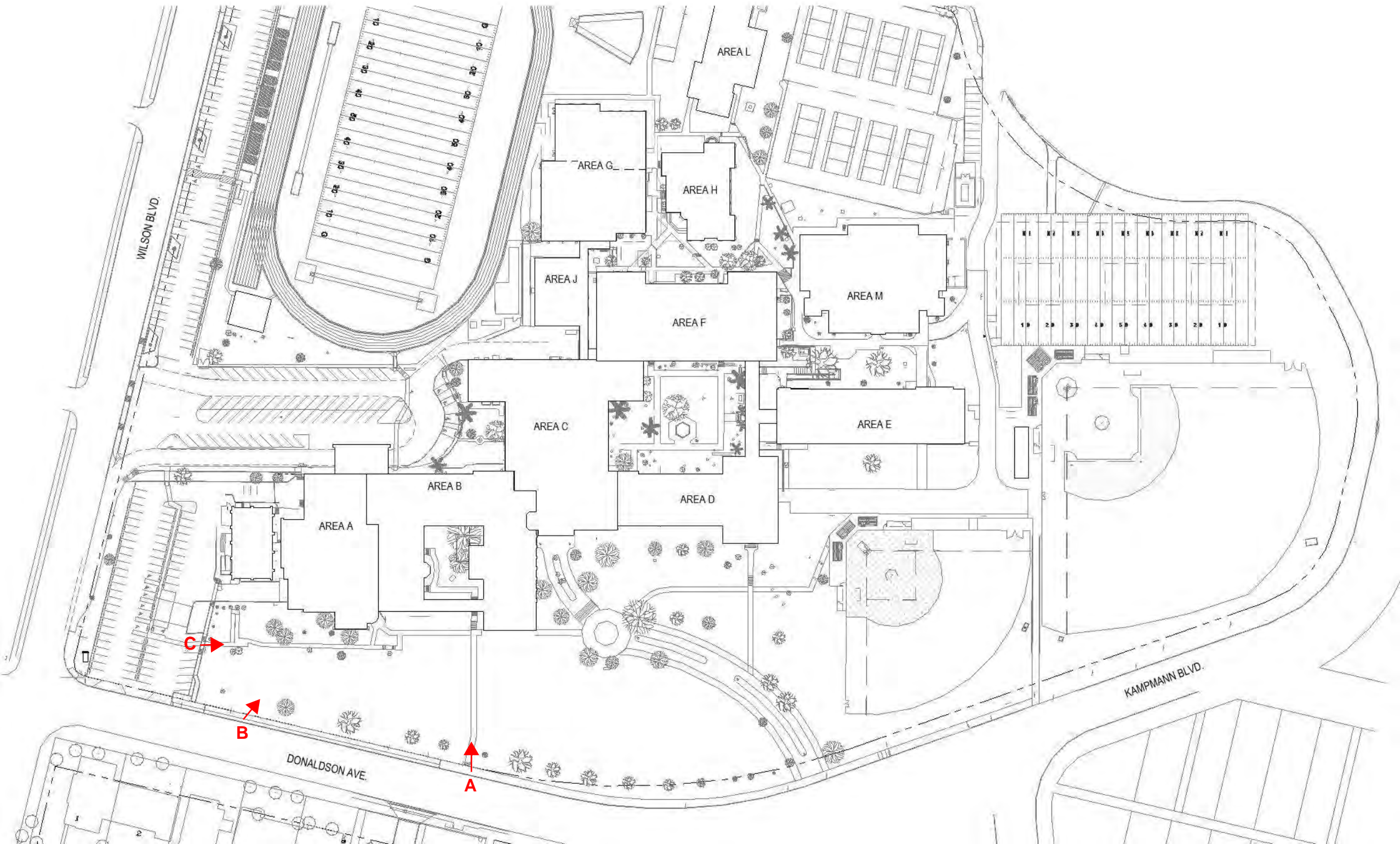
Thomas Jefferson High School

San Antonio, Texas

SAISD

09/28/23

TBG - (210) 366-9933 - tbgpartners.com
430 austin st, suite 100, san antonio, tx 78215
The information shown is subject to change without notice.





Thomas Jefferson
High School

enhanced pedestrian
approach signage studies

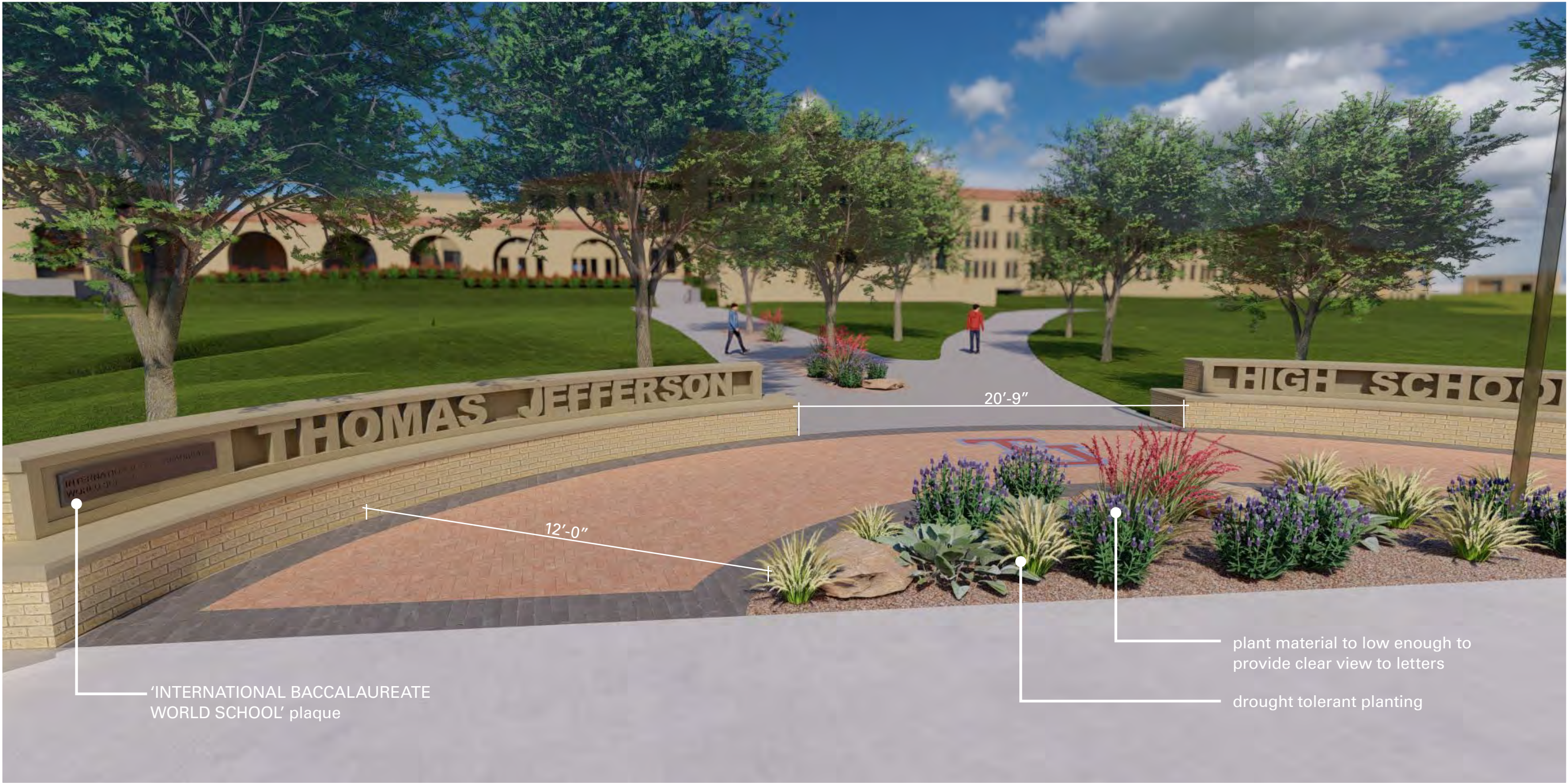
San Antonio, Texas
SAISD
10/12/23



Thomas Jefferson High School

enhanced pedestrian
approach signage studies

San Antonio, Texas
SAISD
10/12/23



Thomas Jefferson
High School

enhanced pedestrian
approach signage studies

San Antonio, Texas
SAISD
10/12/23

TBG – [210] 366-9933 – tbgpartners.com
430 austin st, suite 100, san antonio, tx 78215
The information shown is subject to change without notice.



Thomas Jefferson High School

enhanced pedestrian
approach signage studies

San Antonio, Texas
SAISD
10/12/23



'INTERNATIONAL BACCALAUREATE
WORLD SCHOOL' plaque



Thomas Jefferson High School

enhanced pedestrian
approach signage studies

San Antonio, Texas
SAISD
10/12/23



Thomas Jefferson High School

enhanced pedestrian
approach signage studies

San Antonio, Texas
SAISD
10/12/23



gap provided behind letters to allow for wall wash light to illuminate background at night and shadow during the day



Thomas Jefferson
High School

enhanced pedestrian
approach signage studies

San Antonio, Texas
SAISD
10/12/23



gap provided behind letters to allow for wall wash light to illuminate background at night



Thomas Jefferson
High School

enhanced pedestrian
approach signage studies

San Antonio, Texas
SAISD
10/12/23



'TJ' logo inset with paver pattern



Thomas Jefferson
High School

enhanced pedestrian
approach signage studies

San Antonio, Texas
SAISD
10/12/23



Thomas Jefferson High School

Donaldson and Wilson View

San Antonio, Texas
SAISD
10/12/23



Thomas Jefferson
High School

Donaldson Pedestrian Approach View

San Antonio, Texas
SAISD
10/12/23



Thomas Jefferson High School

plan view
enhanced pedestrian
approach signage studies

San Antonio, Texas
SAISD
10/12/23



Thomas Jefferson High School

Accessible Approach View

San Antonio, Texas
SAISD
10/12/23