HISTORIC AND DESIGN REVIEW COMMISSION

September 20, 2023

HDRC CASE NO:	**2023-370**
ADDRESS:	419 KALTEYER ST
LEGAL DESCRIPTION:	NCB 6515 BLK 4 LOT 18
ZONING:	R-4, H
CITY COUNCIL DIST.:	3
DISTRICT:	Mission Historic District
APPLICANT:	Ammon Farzampour/Personal
OWNER:	GARZA RODOLFO
TYPE OF WORK:	New construction of a 1-story, single-family structure
APPLICATION RECEIVED:	August 29, 2023
60-DAY REVIEW:	October 28, 2023
CASE MANAGER:	Rachel Rettaliata

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a 1-story, single-family residential structure on the vacant lot at 419 Kalteyer, located within the Mission Historic District.

APPLICABLE CITATIONS:

Mission Historic District Design Manual

1. Single-family Construction (8-units or less)
This section is intended to supplement the Historic Design Guidelines, Chapter 4, Guidelines for New Construction for various project types.
Projects that are residential in nature, having 8 units or less, should respond to the existing context established in both urban residential neighborhoods as well as rural residential contexts.

A. ROOF FORM
i. Multiple roof forms — Historic housing stock in the Mission Historic District is typically modest in design and features simple, traditional roof forms. The integration of multiple roof forms or non-traditional roof forms in new construction is discouraged unless stylistically appropriate.
ii. Ridge heights — The ridgelines of roofs with multiple gables should be uniform in height; cross gables should intersect at the primary ridgeline unless established as a uniform secondary roof form.
iii. Contemporary roof forms — Contemporary flat roof or shed roof forms may be considered on a case by case basis where the special merits of the overall proposed design warrant a deviation from traditional roof forms.

B. FACADE DESIGN AND ARCHITECTURAL DETAILS
i. Architectural elements — The integration of traditional architectural elements on the front or primary facades of new buildings is encouraged. This may include porches, groupings of windows, or decorative elements.

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION
i. Setbacks—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
ii. Orientation—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.
B. ENTRANCES

i. Orientation—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS
i. Similar height and scale—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority
of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
ii. Transitions—Utilize step-downs in building height , wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
iii. Foundation and floor heights—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM
i. Similar roof forms—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential building types are more typically flat and screened by an ornamental parapet wall.
ii. Façade configuration—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE
i. Building to lot ratio—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS
i. Complementary materials—Use materials that complement the type, color, and texture of materials traditionally found
in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.
ii. Alternative use of traditional materials—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.
iii. Roof materials—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.
iv. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.
v. Imitation or synthetic materials—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

4. Architectural Details

A. GENERAL

i. Historic context—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.
ii. Architectural details—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district.
Architectural details that are more ornate or elaborate than those found within the district are inappropriate.
iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

5. Garages and Outbuildings

A. DESIGN AND CHARACTER
i. Massing and form—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
ii. Building size – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
iii. Character—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
iv. Windows and doors—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
v. Garage doors—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.
B. SETBACKS AND ORIENTATION
i. Orientation—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley loaded garages were historically used.
ii. Setbacks—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.
6. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING
i. Visibility—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.
ii. Service Areas—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

B. SCREENING
i. Building-mounted equipment—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
ii. Freestanding equipment—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
iii. Roof-mounted equipment—Screen and set back devices mounted on the roof to avoid view from public right-of-way.
Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

B. NEW FENCES AND WALLS
i. Design—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

ii. Location—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district.
New front yard fences or wall should not be introduced within historic districts that have not historically had them.
iii. Height—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences
should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
iv. Prohibited materials—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining
wall systems, concrete block, vinyl fencing, or chain link fencing.
v. Appropriate materials—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

3. Landscape Design

A. PLANTINGS
i. Historic Gardens— Maintain front yard gardens when appropriate within a specific historic district.
ii. Historic Lawns—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
iii. Native xeric plant materials—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light
requirements as those being replaced.
iv. Plant palettes—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract
from the historic structure.
v. Maintenance—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE
i. Impervious surfaces —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
ii. Pervious and semi-pervious surfaces—New pervious hardscapes should be limited to areas that are not highly visible,
and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
iii. Rock mulch and gravel - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

D. TREES
i. Preservation—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
ii. New Trees – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially

cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS
i. Maintenance—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
ii. Replacement materials—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
iii. Width and alignment—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the
historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
iv. Stamped concrete—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
v. ADA compliance—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS
i. Driveway configuration—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
ii. Curb cuts and ramps—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

7. Off-Street Parking

A. LOCATION
i. Preferred location—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.
ii. Front—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.
iii. Access—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

B. DESIGN
i. Screening—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.
ii. Materials—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.
iii. Parking structures—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding historic district when new parking structures are necessary.
Standard Specifications for Windows in Additions and New Construction
Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- GENERAL: Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- SIZE: Windows should feature traditional dimensions and proportions as found within the district.
- SASH: Meeting rails must be no taller than 1.25”. Stiles must be no wider than 2.25”. Top and bottom sashes must be equal in size unless otherwise approved.

- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- TRIM: Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- GLAZING: Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- COLOR: Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

FINDINGS:

a. The applicant is requesting a Certificate of Appropriateness for approval to construct a 1-story, single-family residential structure on the vacant lot at 419 Kalteyer. Kalteyer is the eastern boundary for this portion of the Mission Historic District.
b. CASE HISTORY – In May 2022, a permit was issued in error without a Certificate of Appropriateness for the proposed new construction. In August 2023, OHP staff received a report that construction was taking place at 419 Kalteyer. OHP staff issued a Stop Work Order on August 28, 2023, and the applicant has submitted a Certificate of Appropriateness application for review of the proposed new construction.
c. CONTEXT & DEVELOPMENT PATTERN – The lot addressed at 419 Katleyer currently does not feature any structures. The immediate, surrounding context features houses of various styles and construction periods. On this block of Kalteyer, bound by Benita Street to the north and Palo Blanco Street to the south, only one other primary structure outside of the historic district is oriented toward Kalteyer. Only the west side of Kalteyer is within the Mission Historic District.
d. MISSION PROTECTION OVERLAY DISTRICT – This project falls within the newly expanded MPOD-1, within the neighborhood located to the southwest of Mission Concepcion. This property is located approximately 1,420 feet from Mission Concepcion. Based on the location of the property it is not anticipated that the proposed height of the new construction should pose a conflict to MPOD-1 height restrictions.
e. SETBACKS & ORIENTATION – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Additionally, the orientation of new construction should be consistent with the historic examples found on the block. The applicant has noted that the proposed setback from the property line along Kalteyer will total 28'-9 1/8" to the front-facing garage. In the immediate context, no other structures within the district boundary are oriented toward Kalteyer, as Kalteyer is a side property line for the existing structures facing Benita Street and Palo Blanco Street. Staff finds the proposal generally appropriate.
f. ENTRANCES – According to the Guidelines for New Construction 1.B.i., primary building entrances should be oriented towards the primary street. The applicant has proposed to orient the proposed new construction and its entrance toward Kalteyer Street. This is consistent with the Guidelines.
g. SCALE & MASS – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. The applicant has proposed for the new construction to feature one story in height. Staff finds this to be appropriate and consistent with the Guidelines.
h. FOUNDATION & FLOOR HEIGHTS – According to the Guidelines for New Construction 2.A.iii., foundation and floor heights should be aligned within one (1) foot of neighboring structure's foundation and floor heights. Primarily, the majority of the structures on this block appear to feature foundation heights of approximately one (1) foot. The applicant has not yet submitted dimensions for the foundation height. Staff finds that the applicant should confirm that a foundation height consistent with the Guidelines is used. A foundation height of at least one (1) foot in height should be used.
i. ROOF FORM – The applicant has proposed a series of shed roofs. Guideline 1.A.i from the Mission Historic District Design Manual states that historic housing stock in the Mission Historic District is typically modest in design and features simple, traditional roof forms. The integration of multiple roof forms or non-traditional roof forms in new construction is discouraged unless stylistically appropriate. Additionally, Guideline 1.A.iii from the Mission Historic District Design Manual states that contemporary flat roof or shed roof forms may be

considered on a case-by-case basis where the special merits of the overall proposed design warrant a deviation from traditional roof forms Staff finds that the applicant should greatly simplify the proposed roof forms. A structure featuring one traditional primary roof form and one traditional secondary roof form would be most appropriate.

j. LOT COVERAGE – The applicant has noted a total building footprint of 2,137 square feet and a total of 2,749 square feet of slab area and 552 square feet of flatwork, totaling 3,301 square feet of impervious area on the 8,096-square-foot lot. The total lot coverage is approximately 41 percent. Guideline 2.D.i for New Construction states that new construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio. Staff finds that proposal consistent with the Guidelines.

k. MATERIALS – The applicant has proposed to install a composition shingle roof, stucco cladding on the front and side elevations, and fiber cement board siding on the rear elevation. Lap siding and stucco are found historically as façade materials within the Mission Historic District. Guideline 3.A.i for New Construction states that new construction should feature materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding. The fiber cement board siding should feature a reveal of no more than 6 inches and a smooth texture. A faux wood grain finish is not permitted. Staff finds the proposal generally appropriate but finds that the applicant should submit final material specifications to staff for review and approval.

l. WINDOW MATERIALS – The applicant has not specified window materials at this time. Staff finds that windows should be installed that adhere to the adopted policy guide for windows. Windows should feature a one over one profile with sashes of equal size. The windows should feature an inset of two (2) inches within facades and should feature profiles that are found historically within the immediate vicinity. Meeting rails must be no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. Wood or aluminum-clad wood windows would be most appropriate; however, an alternative window material may be proposed, provided that the window features meeting rails that are no taller than 1.25” and stiles no wider than 2.25”.

m. WINDOW & DOOR OPENINGS – Per the submitted documents, the applicant has proposed window profiles and fenestration patterns that are inconsistent with those found historically within the district and the Guidelines for New Construction. Guideline 2.C.i for New Construction states that new construction should incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades. Staff finds that the applicant should update the fenestration pattern to features sizes, proportions, and operations that are traditionally found in the Mission Historic District.

n. GARAGE – The applicant has proposed an attached front-facing garage oriented toward Kalteyer. Guideline 5A.i for New Construction states that new garages and outbuildings should be visually subordinate to the principal historic structure in terms of their height, massing, and form. Structures throughout the Mission Historic District, including those constructed circa 1955 feature parking attached to, or within the massing of the primary structure. As the proposed structure is oriented toward Kalteyer, staff finds the attached garage to be appropriate in this context, but finds that the garage should be setback from the front façade wall plane.

o. ARCHITECTURAL DETAILS – Guideline 1.B.i from the Mission Historic District Manual states that the integration of traditional architectural elements on the front or primary facades of new buildings is encouraged. This may include porches, groupings of windows, or decorative elements. Staff finds that the new construction as submitted distracts from the historic interpretation of the district and that the design should be greatly simplified and should feature traditional architectural elements.

p. WALKWAY – The applicant has proposed to install a 3-foot-wide fully concrete walkway from the driveway to the front entry. Staff finds the proposal generally appropriate.

q. MECHANICAL EQUIPMENT – The applicant has not noted the location of mechanical equipment at this time. Staff finds that all mechanical equipment should be screened from view from the public right of way.
r. LANDSCAPING – At this time the applicant has not provided information regarding landscaping. A detailed landscaping plan should be submitted to OHP staff for review and approval. Landscaping should be consistent with the Guidelines for Site Elements.
s. DRIVEWAY – The applicant has noted a driveway width of 17 feet. The Guidelines for Site Elements notes that driveways within historic districts should be limited to ten (10) feet in width. As the request includes a front-facing attached garage, staff finds that the proposed driveway is generally appropriate.

RECOMMENDATION:

Staff does not recommend approval based on findings a through s. Staff finds that the applicant should address the following stipulations prior to returning to the HDRC:

i. That the applicant confirms that a foundation height that is consistent with the Guidelines is used based on finding h. A foundation height of at least one (1) foot should be used.
ii. That the applicant greatly simplifies the proposed roof forms and submits updated plans and elevation drawings for staff review and approval prior to returning to the HDRC based on finding i. A structure featuring one traditional primary roof form and one traditional secondary roof form would be most appropriate.
iii. That the applicant submits final material specifications showing that the proposed fiber cement board siding will feature a reveal of no more than 6 inches and a smooth texture based on finding k. A faux wood grain finish is not permitted. Final specifications must be submitted to staff for review and approval prior to returning to the HDRC.
iv. That the applicant submits final material specifications for the proposed windows for staff to review that meet the standard windows specifications based on finding l. Windows should feature a one over one profile with sashes of equal size. The windows should feature an inset of two (2) inches within facades and should feature profiles that are found historically within the immediate vicinity. Meeting rails must be no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. Wood or aluminum-clad wood windows would be most appropriate; however, an alternative window material may be proposed, provided that the window features meeting rails that are no taller than 1.25” and stiles no wider than 2.25”.
v. That the applicant updates the proposal to feature an attached garage that is setback from the front façade wall plane and submits updated plans and elevation drawings to staff for review prior to returning to the HDRC based on finding n.
vi. That all mechanical equipment be screened from view from the right of way based on finding q.
vii. That a detailed landscaping plan be submitted for review prior to returning to the HDRC as noted in finding r.

City of San Antonio One Stop

September 15, 2023

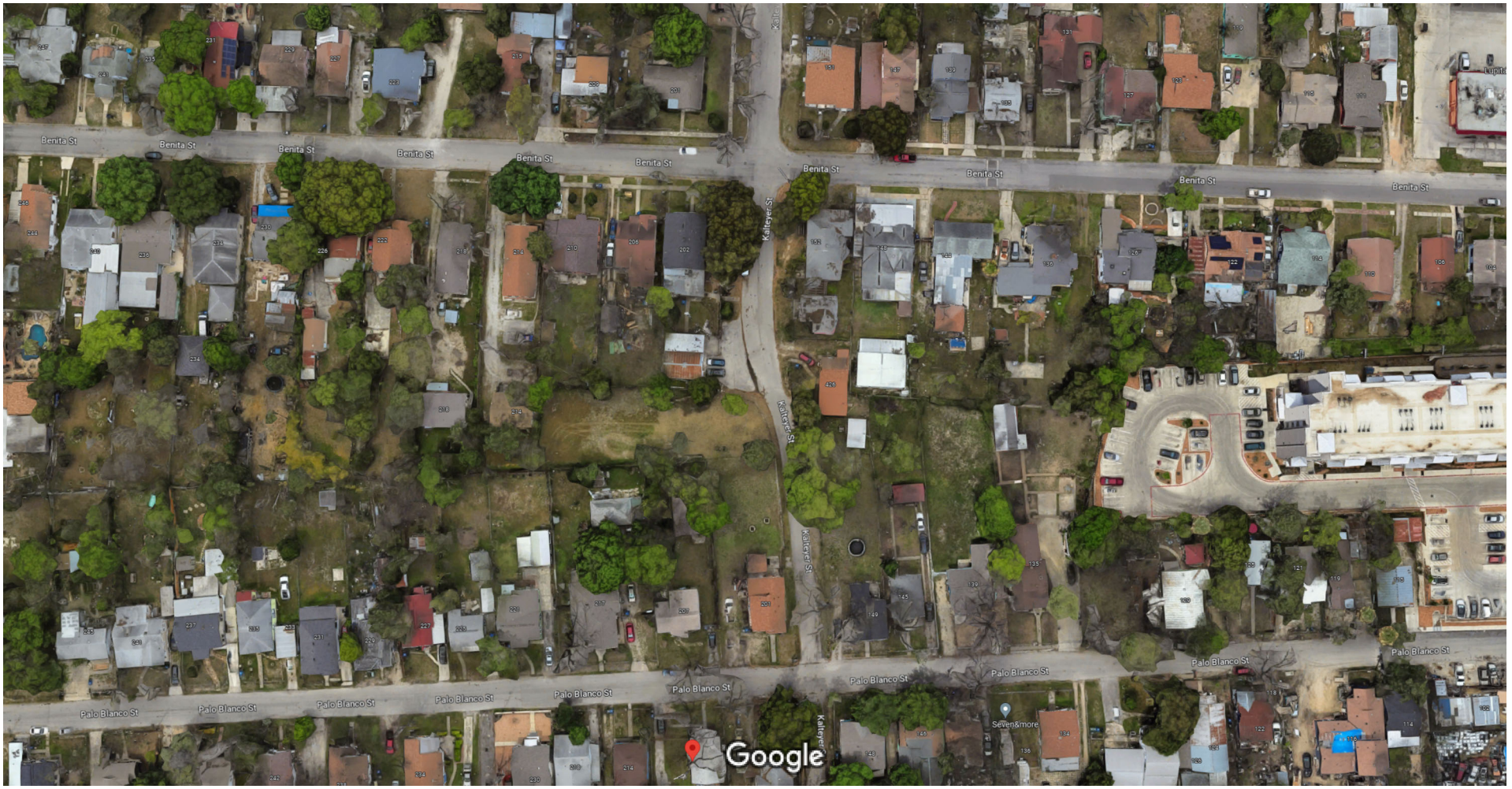
User drawn lines

1:1,000

0 0.0075 0.015 0.03 mi

0 0.0125 0.025 0.05 km

Google Maps 206 Palo Blanco St



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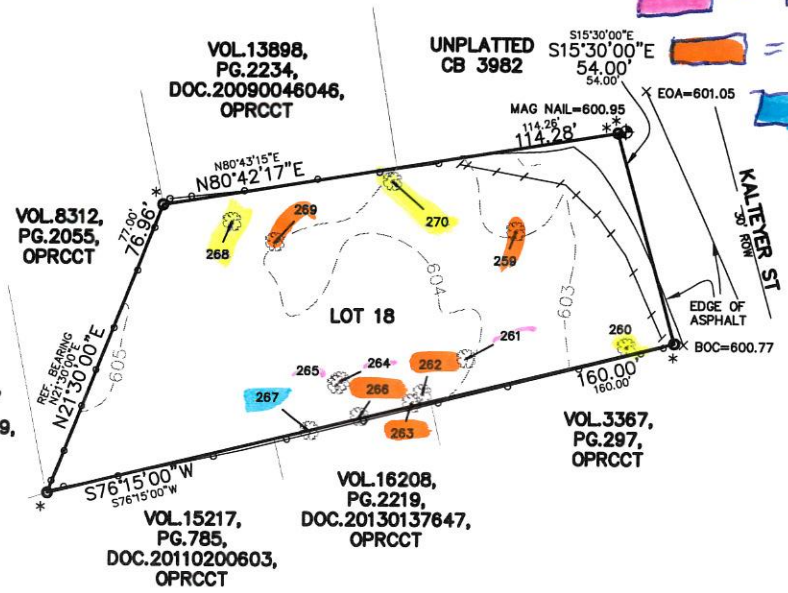
NOTE: THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND MAY NOT SHOW ALL SETBACK / EASEMENTS OR OTHER MATTERS AFFECTING THIS PROPERTY.

NOTE: TREE SIZES AND SPECIES SHOWN ON THIS DRAWING WERE NOT VERIFIED BY A LICENSED ARBORIST, SGCE ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS INFORMATION.

= preserved
= Remove
= In Decline
= undersized

NOTE: ELEVATIONS BASED ON GPS OBSERVATIONS; CONTROL POINT ESTABLISHED IN THE RIGHT-OF-WAY.

TREE #	DBH	SPECIES
#259	17"	SUGARBERRY
#260	26"	CHINA BERRY
#261	12"	NETLEAF HACK
#262	13"	HACKBERRY
#263	6"	HACKBERRY
#264	20"	HACKBERRY
#265	12"	SUGARBERRY
#266	9"	SUGARBERRY
#267	8"	HACKBERRY
#268	11"	SUGARBERRY
#269	19"	SUGARBERRY
#270	26"	SANDPAPER ANACUA



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* – 1/2" IRON ROD FOUND
** – RECORD CORNER

LEGEND

N45°00'00"E 100.00' RECORD INFORMATION
S45°00'00"W 100.00' AS MEASURED IN FIELD
WOOD FENCE | WIRE FENCE | CHAIN LINK FENCE
IRON FENCE | X100.00 100.00 ELEVATION DATA
PROPERTY CORNER MONUMENTATION | GUARD SET | CONCRETE CURB | FIRE HYDRANT | TRANSFORMER | ELECTRIC BOX | TELEPHONE PEDESTAL | CABLE TV BOX | POWER POLE
RETAINING WALL | AC | TREE | WATER METER | WATER VALVE | SAN. SEWER MANHOLE | CLEAN OUT | LIGHT POST | OVERHEAD ELECTRIC LINE | WATER FLOW

SUBJECT TO RECORDED RESTRICTIVE COVENANTS AND/OR EASEMENTS AS FOLLOWS:

VOL. — PAGE — RECORDS VOL. — PAGE — RECORDS
VOL. — PAGE — RECORDS VOL. — PAGE — RECORDS
VOL. — PAGE — RECORDS VOL. — PAGE — RECORDS

I, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT IS TRUE AND CORRECT ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, OF THE PROPERTY DESCRIBED HEREON. I FURTHER CERTIFY THAT ENCROACHMENTS, EASEMENTS AND RIGHT-OF-WAYS VISIBLE ON SITE ARE SHOWN HEREON. SETBACKS AND EASEMENTS SHOWN ARE FROM RECORDED COUNTY DOCUMENT RECORDS. MUNICIPAL RESTRICTIONS ARE NOT SHOWN.

STEPHEN G. COOK, R.P.L.S.

STATE OF TEXAS REGISTERED STEPHEN G. COOK 5293 PROFESSIONAL LAND SURVEYOR

SGC
STEPHEN G. COOK ENGINEERING, INC.
REGISTERED LAND SURVEYORS
TBPE FIRM # F-184
TBPLS # 10005400
13302 THORNRIDGE LANE
SAN ANTONIO, TEXAS 78232-4117
210/481-2533
WWW.SGCE.NET

LOT(S) 18 BLOCK 4 N.C.B. 6515 SUBDIVISION MISSION GROVE ADDITION
VOLUME 642 PAGE 44 DOC# — OF THE DEED & PLAT RECORDS OF BEXAR COUNTY.
WITNESS MY HAND AND SEAL THIS 19TH DAY OF DECEMBER, 2022
ADDRESS: 419 KALTEYER ST
BUYER: EVERVIEW HOMES GF# —
STEPHEN G. COOK, INC. JOB NO. 180-451-001 DRAWN BY: ELB DISK: CAD/W SURV. BY: GT

NOTE: THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND MAY NOT SHOW ALL SETBACK / EASEMENTS OR OTHER MATTERS AFFECTING THIS PROPERTY.

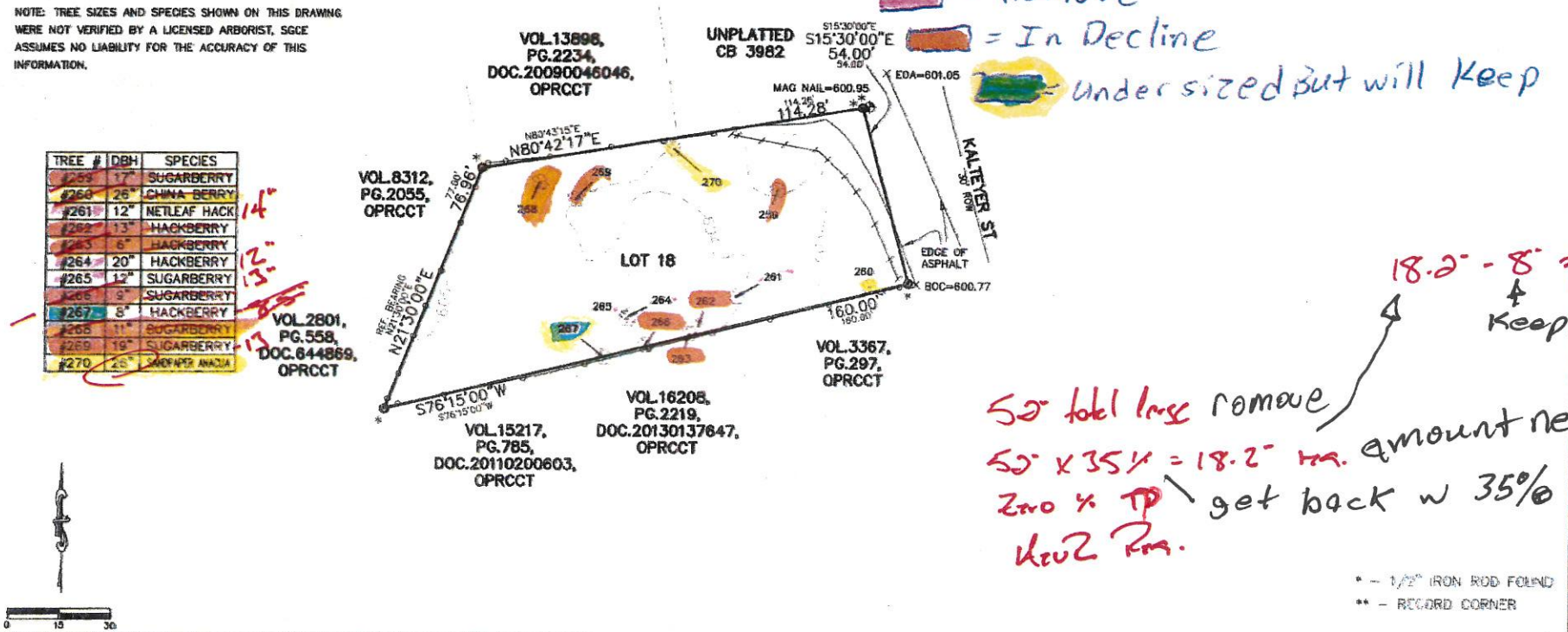
NOTE: TREE SIZES AND SPECIES SHOWN ON THIS DRAWING WERE NOT VERIFIED BY A LICENSED ARBORIST. SGCE ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS INFORMATION.

= preserved
= Remove
= In Decline
= undersized But will Keep

NOTE: ELEVATIONS BASED ON GPS OBSERVATIONS; CONTROL POINT ESTABLISHED IN THE RIGHT-OF-WAY.

TREE #	DBH	SPECIES
#259	17"	SUGARBERRY
#260	26"	CHINA BERRY
#261	12"	NETLEAF HACK
#262	13"	HACKBERRY
#263	6"	HACKBERRY
#264	20"	HACKBERRY
#265	12"	SUGARBERRY
#266	9"	SUGARBERRY
#267	8"	HACKBERRY
#268	11"	SUGARBERRY
#269	19"	SUGARBERRY
#270	28"	SHOEPEA ANACUA

14"
12"
13"
8"
13"



needed in inches

18.2" - 8" = 10.2"
+ Keeping 267

52" total loss remove

52" x 35% = 18.2" min. amount needed

Two x TP \ get back w 35%

Have 2 min.

* – 1/2" IRON ROD FOUND
** – RECORD CORNER

0 15 30

LEGEND

N45°00'00"E 100.00' RECORD INFORMATION
S45°00'00"W 100.00' AS MEASURED IN FIELD
WOOD FENCE | WIRE FENCE | CHAIN LINK FENCE
IRON FENCE | 100.00 | ELEVATION DATA
PROPERTY CORNER MONUMENTATION | GUARD SET | CONCRETE CURB | FIRE HYDRANT | TRANSFORMER | ELECTRIC BOX | TELEPHONE PEDESTAL | CABLE TV BOX | POWER POLE
RETAINING WALL | AC | TREE | WATER METER | WATER VALVE | SAN. SEWER MANHOLE | CLEAN OUT | LIGHT POST | OVERHEAD ELECTRIC LINE | WATER FLOW

SUBJECT TO RECORDED RESTRICTIVE COVENANTS AND/OR EASEMENTS AS FOLLOWS.

VOL. ___ PAGE ___ RECORDS
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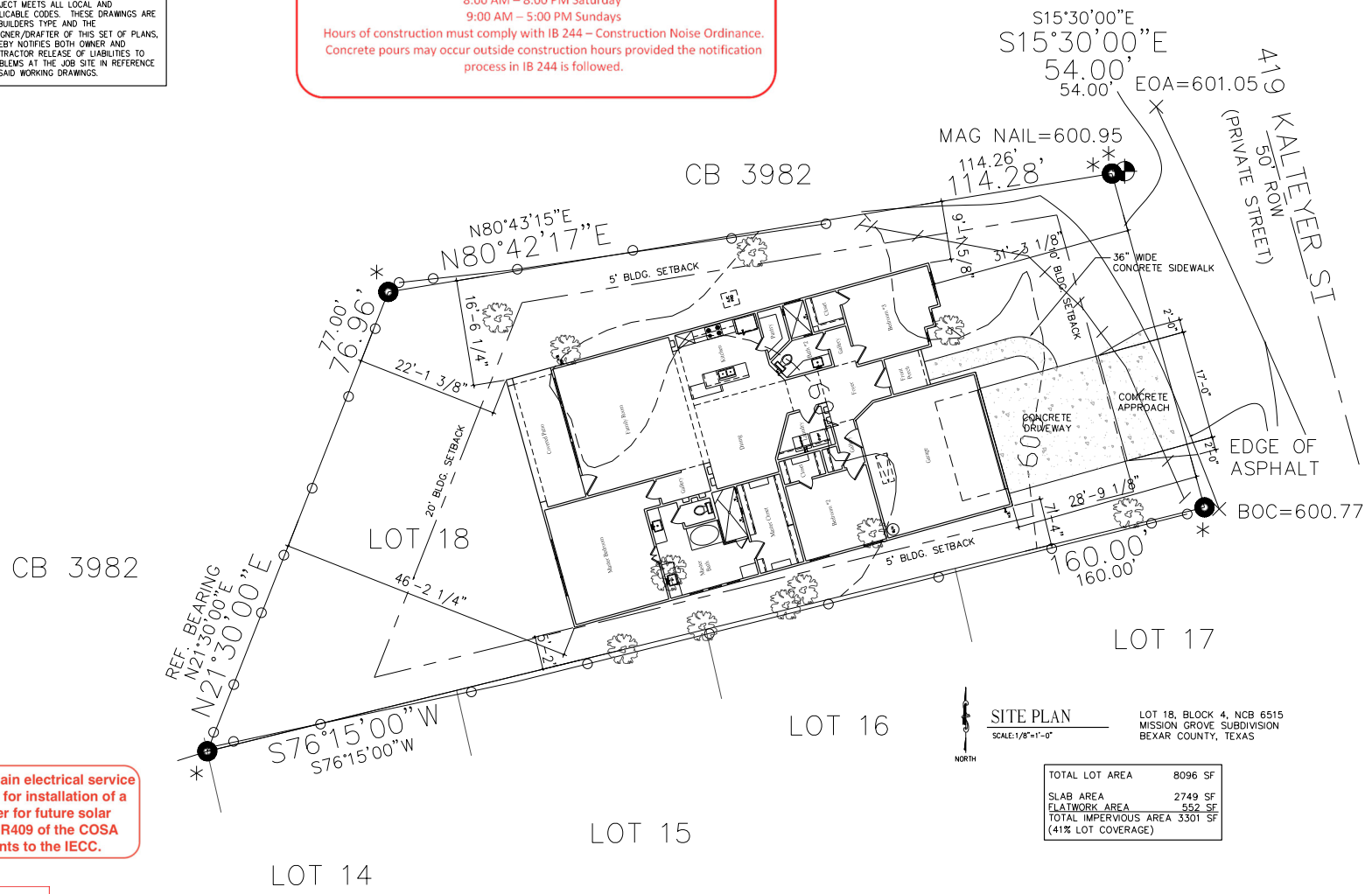
8

WORKING DRAWINGS SHALL NOT BE SCALED. CONTRACTOR AND /OR SUB-CONTRACTOR SHALL REVIEW AND VERIFY ALL NOTES AND MEASUREMENTS BEFORE PROCEEDING WITH ANY WORK OR ORDERING MATERIALS. VERIFY FOR CLARITY AND CONSULT CONTRACTOR OR FIELD MANAGER FOR ANY DESCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE TO INSURE CONSTRUCTION OF PROJECT MEETS ALL LOCAL AND APPLICABLE CODES. THESE DRAWINGS ARE OF BUILDERS TYPE AND THE DESIGNER/DRAFTER OF THIS SET OF PLANS, HEREBY NOTIFIES BOTH OWNER AND CONTRACTOR RELEASE OF LIABILITIES TO PROBLEMS AT THE JOB SITE IN REFERENCE TO SAID WORKING DRAWINGS.

Please note construction hours have now been set to the following:
7:00 AM – 8:00 PM Monday – Friday
8:00 AM – 8:00 PM Saturday
9:00 AM – 5:00 PM Sundays
Hours of construction must comply with IB 244 – Construction Noise Ordinance.
Concrete pours may occur outside construction hours provided the notification process in IB 244 is followed.



SITE PLAN
SCALE:1/8"=1'-0"

LOT 18, BLOCK 4, NCB 6515
MISSION GROVE SUBDIVISION
BEXAR COUNTY, TEXAS

TOTAL LOT AREA	8096 SF
SLAB AREA	2749 SF
FLATWORK AREA	552 SF
TOTAL IMPERVIOUS AREA	3301 SF
(41% LOT COVERAGE)	

A reserved space on the main electrical service panel is required to allow for installation of a dual pole circuit breaker for future solar electric installation per R409 of the COSA Chapter 10 amendments to the IECC.

COMPLY WITH IRC AND AMENDMENTS

5/26/2023
CITY OF SAN ANTONIO — TEXAS
RES-RBP-APP22-35502402

419 Kalteyer
BEXAR COUNTY, TEXAS

MICHAEL CORTEZ
DESIGN GROUP
(210) 860-6920

Everview Homes Plan 2137C

DATE: 04-01-2022
REVISION DATE: 11-09-2022

SHEET
A-4
OF 5

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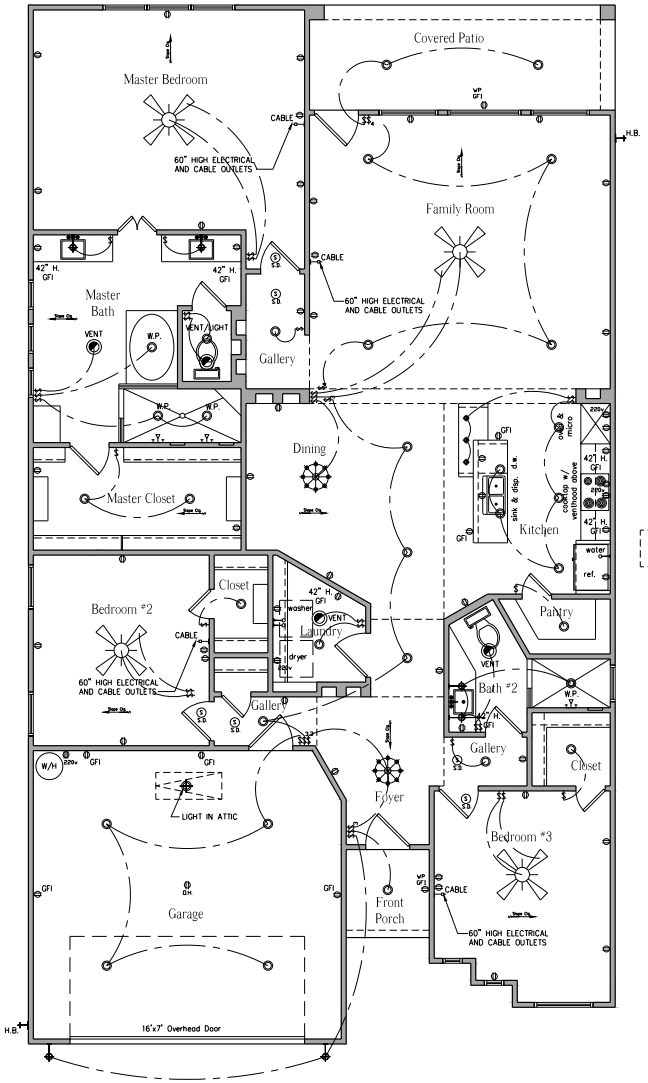


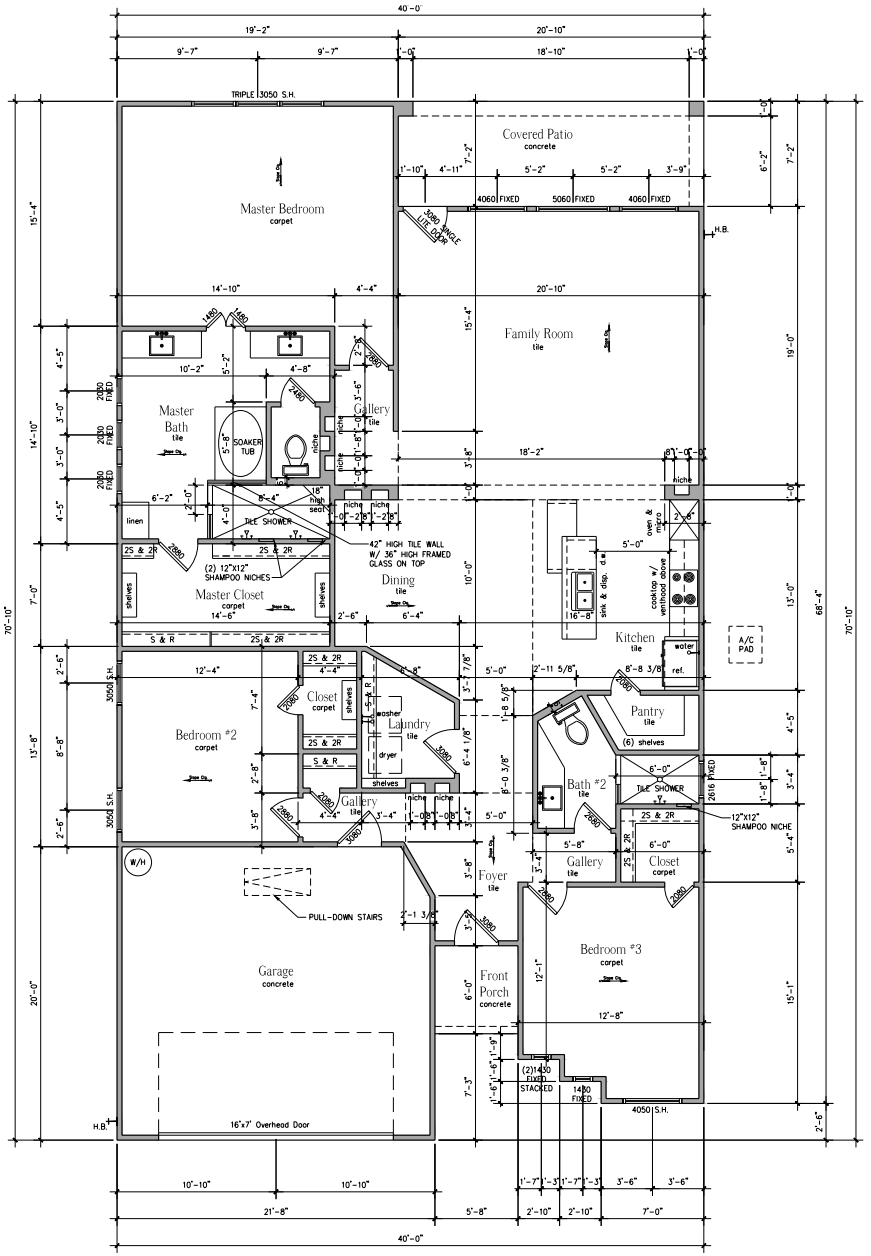
FLOOR PLAN - ELECTRICAL

SCALE: $\frac{1}{4}$"=1'-0"

SQUARE FOOTAGES	
A/C Area	2,137 S.F.
Garage	428 S.F.
Covered Patio	150 S.F.
Front Porch	34 S.F.
Gross Area	2,749 S.F.

ELECTRICAL LEGEND

- Security Lights
- Smoke Detector
- 110v Wall Outlet
- Outlet on Overhang or Ceiling
- Weather Proof Outlet
- Under Cabinet Outlet
- Floor Outlet
- Phone Line
- Electrical Panel
- Cable Jack Outlet
- Under Cabinet Light
- Carbon Monoxide Detector
- 2x4 Fluorescent Light Fixture
- 1x4 Fluorescent Light Fixture
- Ceiling Fan W/ Light Kit or as Noted
- Recessed Light
- Water Proof Recessed Light
- Mini Recessed Light
- Surface Mounted Fixture/ Hanging Fixture
- Bracket Light/Vanity Light
- Decorative Hanging Fixture
- Track Lighting



FLOOR PLAN

SCALE: $\frac{1}{4}$"=1'-0"

*R302.5 Dwelling-garage opening and penetration protection. Openings and penetrations through the walls or ceilings separating the dwelling from the garage shall be in accordance with Sections R302.5.1 through R302.5.3. *

5/26/2023
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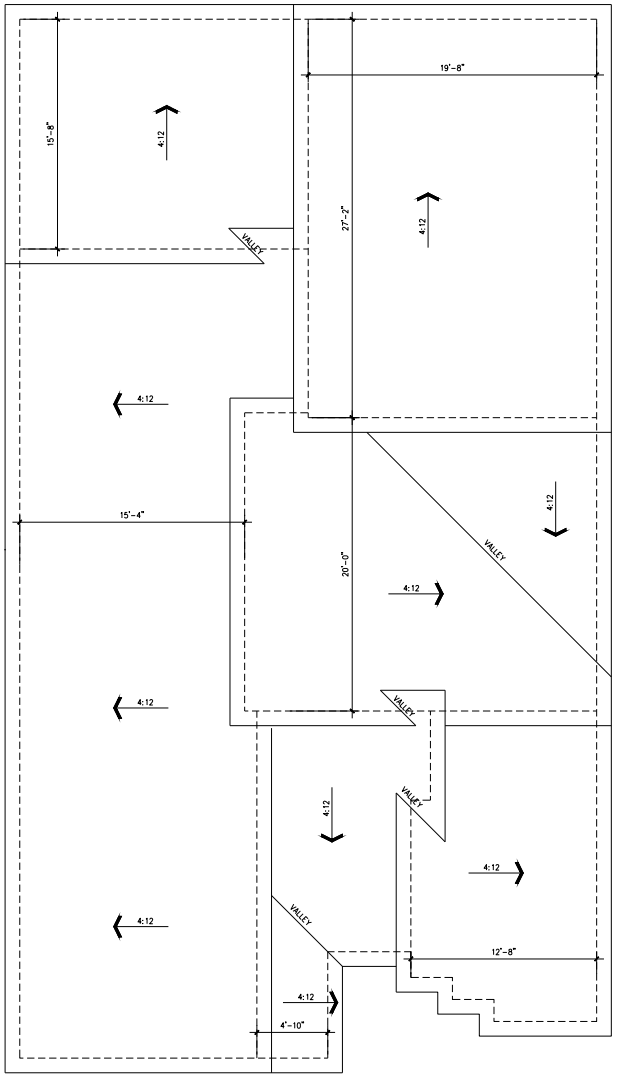
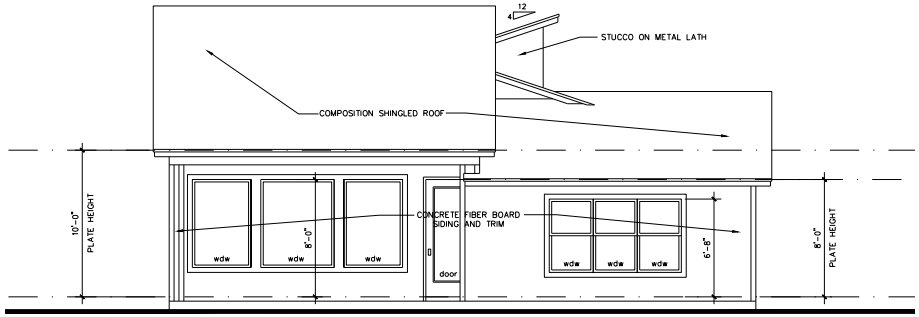


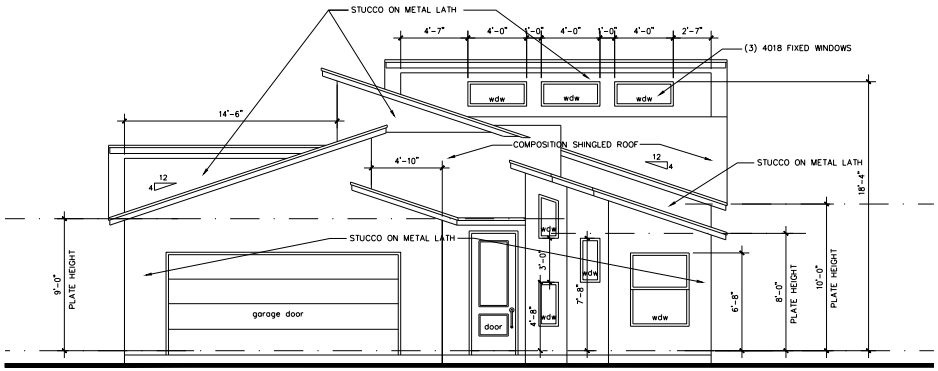
ROOF PLAN

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE: 1/4"=1'-0"

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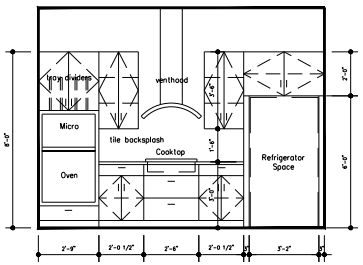
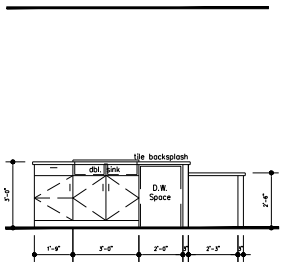
OF 5



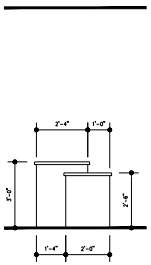
Kitchen

Scale: 3/8"



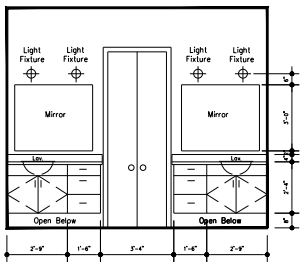
Kitchen

Scale: 3/8"



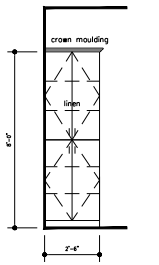
Kitchen

Scale: 3/8"



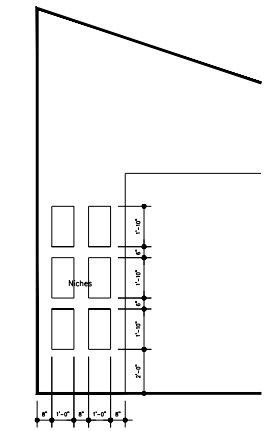
Master Bath

Scale: 3/8"



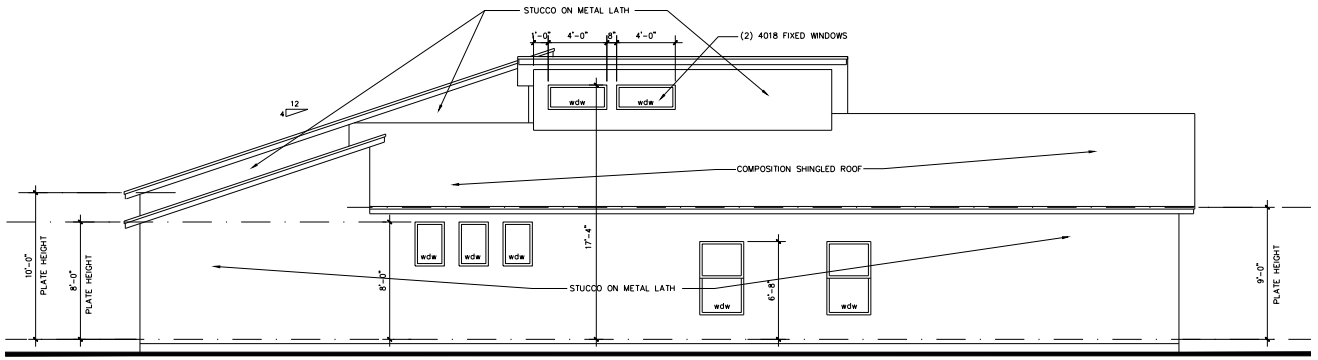
Master Bath

Scale: 3/8"



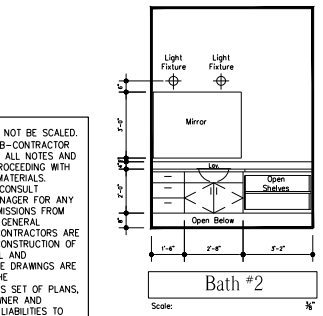
Typical Niches

Scale: 3/8"



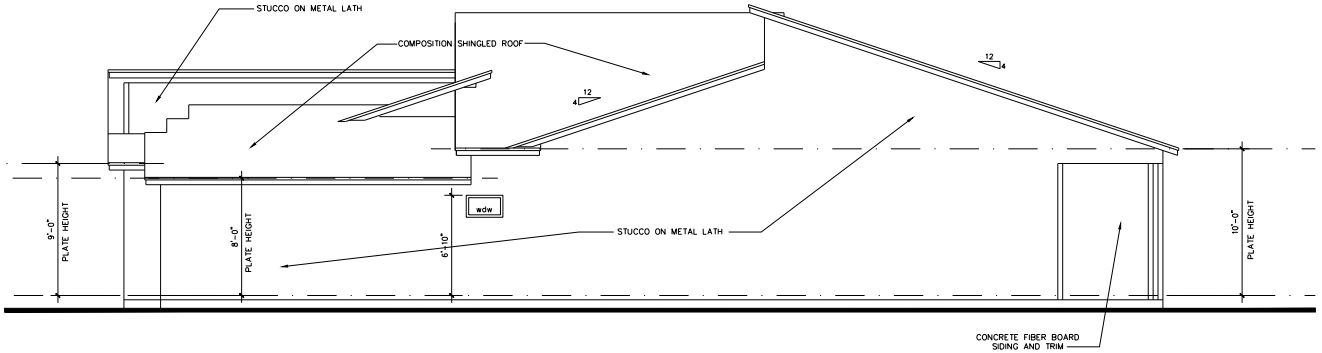
LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



Bath #2

Scale: 3/8"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

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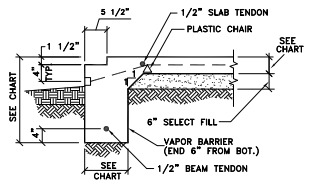
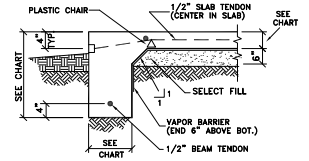
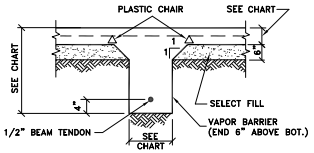


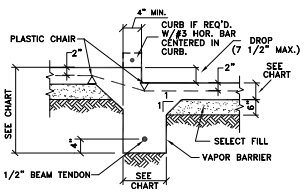
DETAIL - 1
EXTERIOR BEAM W/BRICK LUG



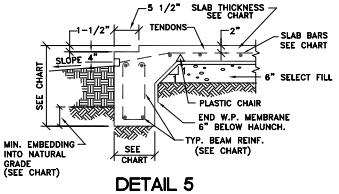
DETAIL - 2
EXTERIOR BEAM – NO BRICK LUG



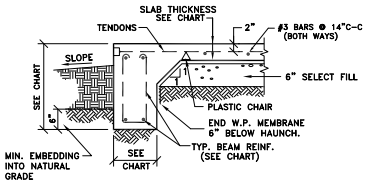
DETAIL 3
TYPICAL INTERIOR BEAM



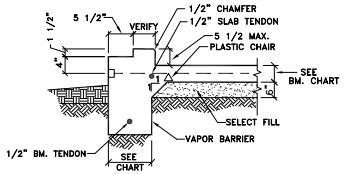
DETAIL 4
FOR DROPS 7 1/2" OR SMALLER



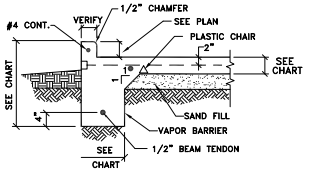
DETAIL 5
EXTERIOR BEAM W/BRICK LUG



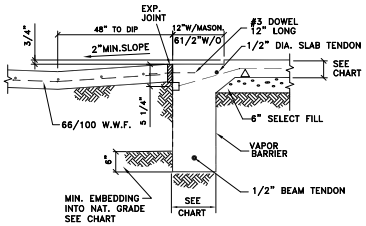
DETAIL 6
EXTERIOR BEAM – NO BRICK LUG



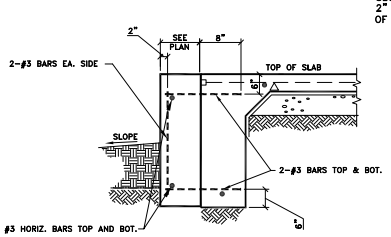
DETAIL 7
WITH BRICK LUG



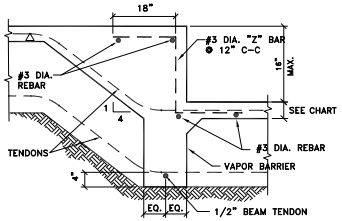
DETAIL 8
WITH WALL CURB



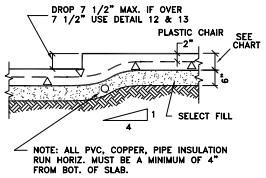
DETAIL 9
GARAGE RAMP DETAIL



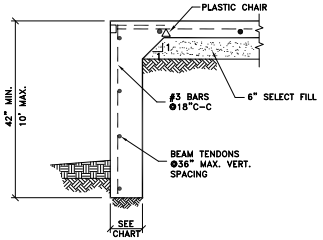
COLUMN REINFORCEMENT



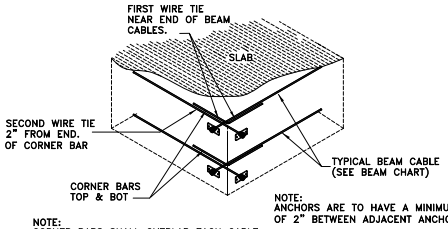
DETAIL 11
CONT. CABLE DROPS 8"–16"



DETAIL 12
DROPPED SLAB DETAIL



DETAIL 13
FOR BEAMS OVER 42"
CONTACT STEPHEN G. COOK ENGINEERING FOR BEAM DEPTHS GREATER THAN 10 FT.



NOTE:
CORNER BARS SHALL OVERLAP EACH CABLE FOR A MINIMUM DISTANCE OF 30 BAR DIAMETERS (I.E. 15 INCHES FOR 1/2 INCH DIA BAR)

TYP. EXT. CORNER BARS-POST TENSION
FOR ALL EXT. CORNERS WHERE CABLES TERMINATE N.T.S.

GENERAL NOTES

1. This foundation has been designed in accordance with the Post Tensioning Institute – "Design and Construction of Post Tensioned Slabs–On–Ground"; American Concrete Institute – Building Code Requirements for Reinforced Concrete" and B.R.A.B. Report–Criteria for selection and design of residential slab–on–grade.
2. This design is for a particular location only. Reuse in a different location is strictly prohibited and the design is void.
3. This foundation has been designed for a post–tensioning system conforming to the requirements of these drawings. The design is based on a soil supported stiffened grid type beam and slab foundation, and as such, will move with the soils upon which it bears.
4. Contractor shall verify all dimensions and drops with floor plans and elevations.
5. Contractor shall call Stephen G. Cook Engineering 48–72 hours before prepour inspection is made. Failure to request prepour inspection shall void this design.
6. In the case where geotechnical investigation or soils report is not provided by owner/builder, Stephen G. Cook Engineering has designed the foundation based on our knowledge of the soil conditions in the vicinity of this site and other soil surveys and reports for this area.
7. It is the responsibility of the builder/general contractor to inform the owner of the importance of proper drainage away from slab, maintaining moisture content of the soils around perimeter of foundation and planting trees near foundation.

CONSTRUCTION

1. Builder/General Contractor shall notify Stephen G. Cook Engineering if fill material is encountered beneath the building foot print.
2. All slabs to have a minimum of 6" layer of granular fill underneath followed by a 6 mil thick polyethylene vapor barrier. The vapor barrier shall be taped at all tears and splices.
3. Provide positive drainage away from the perimeter of the finished foundation. Top of foundation should be a minimum of 8" above the adjacent earthen finished grade. Slope away from foundation should be 6" in the first five feet. All french drains and condensation lines should discharge a minimum of 5 feet away from the slab.
4. All beam and slab sizes are minimum and shall not be decreased without prior approval from Stephen G. Cook Engineering.
5. Tendons and reinforcing bars shall be supported on chairs or similar approved support at a maximum of 4'–6" centers. All tendons shall be 270,000 psi, grade 7 wire, steel strand, greased and sheathed with a plastic sleeve. All tears in the sheathing shall be taped to prevent contact with concrete.
6. Formwork construction shall be done as outlined in ACI 347, and shall be reused in accordance with ACI 347 only.
7. Concrete procedures outlined in ACI 318–83 shall be strictly followed. Particular attention shall be given to the consolidate concrete around post–tensioning anchorages.
8. Utility lines under the slab shall pass beneath the stiffening grade beams where possible. Sleeving is recommended for utility lines which must cross through the beams.
9. All 1/2" tendons shall be post–tensioned to an initial force of 33,000 ibs. each. Post–tensioning shall not take place until concrete has attained a minimum compression strength of 2,500 psi. This initial stress shall provide 0.08" of elongation of the tendon length for every foot of tendon length unless specified otherwise.
10. Tendons greater than 100 feet in length shall have "live" ends at both ends.
11. Reinforcing bars shall comply with ASTM A–615, grade 60. Reinforcing bars shall be continuous with splices lapped at minimum of 40 bar diameters.
12. Provide corner bars top and bottom at all perimeter beam corners.
13. Pre–pour inspection by Stephen G. Cook Engineering is required for review of reinforcing steel, tendons, beam size and depth. Elongation inspection by Stephen G. Cook Engineering after tendons are stressed is required before tendons are trimmed and pockets are patched. Tendons are to be marked prior to stressing for verification of elongation.
14. Concrete is not to be poured if site has been disturbed by rainfall or seepage, and all beam areas to be free of loose soils, ponded water and trash prior to placing the concrete.
15. Beam depths may be reduced to a minimum of 14" if the grade beam is bearing on solid rock.

CONCRETE

1. Concrete shall develop a 28–day compressive stress (f'c) of at least 3,000 psi and shall be in accordance with ACI 301. Cement shall be Type 1 (gray) Portland. Maximum water cement ratio shall be 7.0 and a slump range of 2 to 5 inches. Contractor shall satisfy himself that the mix design is acceptable for it's intended purpose.
2. Concrete shall be placed and cured in accordance with ACI 302.1R. Finish tolerance shall be in accordance with ACI 117.
3. Testing shall be the sole responsibility of the builder, and any substandard strength shall be reported to Stephen G. Cook Engineering.
4. While some shrinkage cracking is to be expected in the concrete, it has been shown to be significantly reduced through proper curing procedure and proper control of admixtures. Only those admixtures having specific written authorization of the design engineer shall be introduced having specific written authorization of the design engineer shall be with the concrete mix.
5. Where a brick facade is to be utilized in the superstructure, vertical control joints shall be installed at a maximum spacing of twenty–five feet (25')
6. Concrete pour shall not be started unless the site temperature is 40 degrees F and rising.

ANCHORAGE

1. Anchor bolts to be 1/2"dia. steel through the base plate around the perimeter, or engineering approved alternate connection, commencing at 12" from all exterior corners. Anchorage is to be centered at 4 feet on center maximum, and embedded 6" min.

SOIL TYPE	BY	DATE	P.I.	BEAM WIDTH	EXT. BEAM DEPTH	EXT.BM. DEPTH IN GRADE	INT. BEAM DEPTH	BEAM BARS (IF REQ'D)	STIRRUP EXT. BEAM (IF REQ'D)	STIRRUP INT. BEAM (IF REQ'D)	PAD BARS (IF REQ'D)	SLAB THICKNESS
PATRICK SOILS, 1 TO 3 PERCENT SLOPES, RARELY FLOODED	USDA SOIL CONSERVATION SURVEY – BEXAR COUNTY	APRIL 2022	8.6	10"	28" MINIMUM	12" MIMIMUM	24" MIMIMUM	2–#6 T & B	#3 @24"o.c.	#3 24"o.c.	#3 @16"o.c.	4"

STEPHEN G. COOK
CITY OF SAN ANTONIO
ENGINEERING, INC.
TBPE FIRM NO. F-184
13302 Thornridge Lane
San Antonio, Tx. 78232
(210) 481–2533
www.sgce.net

THIS DRAWING HAS BEEN APPROVED IF SEALED:

STATE OF TEXAS
STEPHEN G. COOK
83139
REGISTERED PROFESSIONAL ENGINEER
STEPHEN G. COOK, P.E.

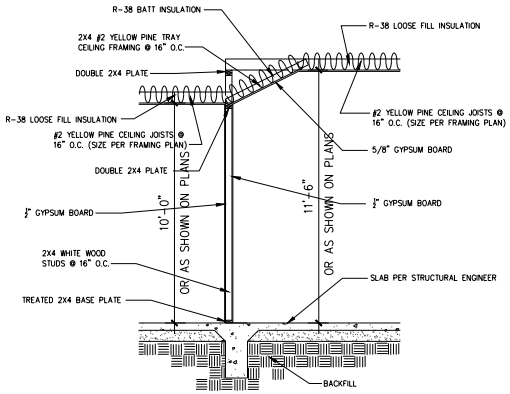
180–451–003
STEPHEN G. COOK ENG. JOB NO.
11–11–22 SMT
DRAWING DATE: BY:

PROJECT DESIGNS FOR
EVERVIEW HOMES
FOUNDATION DESIGN

REVISIONS:
REVISION DATE
REVISION DATE
REVISION DATE

ADDRESS:
419 KALTEYER ST.
18 4 6515
LOT BLOCK N.C.B.
MISSION GROVE ADDITION
SUBDIVISION
SAN ANTONIO, TEXAS 78210
CITY, STATE ZIP
BEXAR COUNTY
COUNTY

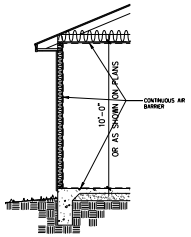
PLAN NUMBER:
2 OF 2



TYPICAL ONE-STORY WALL SECTION AT INTERIOR TRAY CEILING

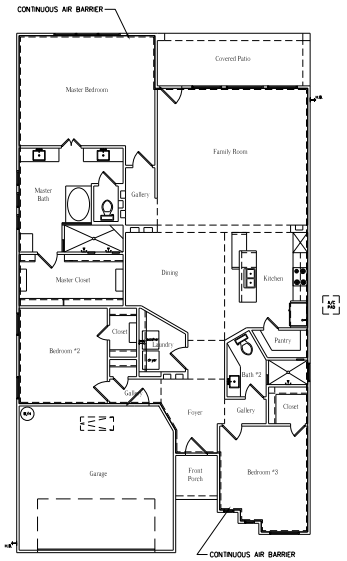
Scale: 3/8" = 1'-0"

WORKING DRAWINGS SHALL NOT BE SCALED. CONTRACTOR AND /OR SUB-CONTRACTOR SHALL REVIEW AND VERIFY ALL NOTES AND MEASUREMENTS BEFORE PROCEEDING WITH ANY WORK OR ORDERING MATERIALS. VERIFY FOR CLARITY AND CONSULT CONTRACTOR OR FIELD MANAGER FOR ANY DESCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE TO INSURE CONSTRUCTION OF PROJECT MEETS ALL LOCAL AND APPLICABLE CODES. THESE DRAWINGS ARE OF BUILDERS TYPE AND THE DESIGNER/DRAFTER OF THIS SET OF PLANS, HEREBY NOTIFIES BOTH OWNER AND CONTRACTOR RELEASE OF LIABILITIES TO PROBLEMS AT THE JOB SITE IN REFERENCE TO SAID WORKING DRAWINGS.



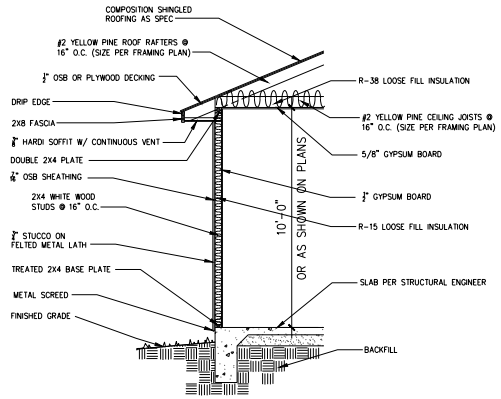
THERMAL BARRIER WALL SECTION

Scale: 1/4" = 1'-0"



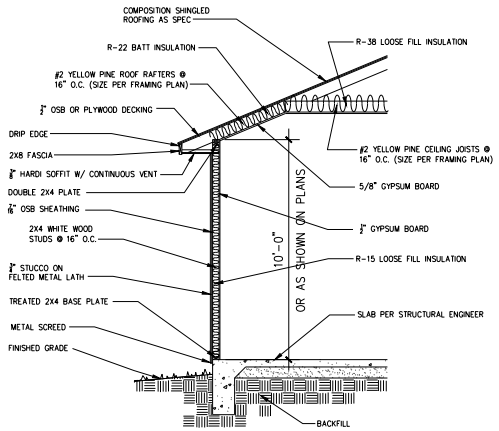
THERMAL BARRIER FLOOR PLAN

SCALE: 1/8"=1'-0"



TYPICAL ONE-STORY WALL SECTION

Scale: 3/8" = 1'-0"



TYPICAL ONE-STORY WALL SECTION AT TRAY CEILING ON EXTERIOR WALL

Scale: 3/8" = 1'-0"

419 Kalteyer

BEXAR COUNTY, TEXAS

MICHAEL CORTEZ
DESIGN GROUP
(210) 860-6920

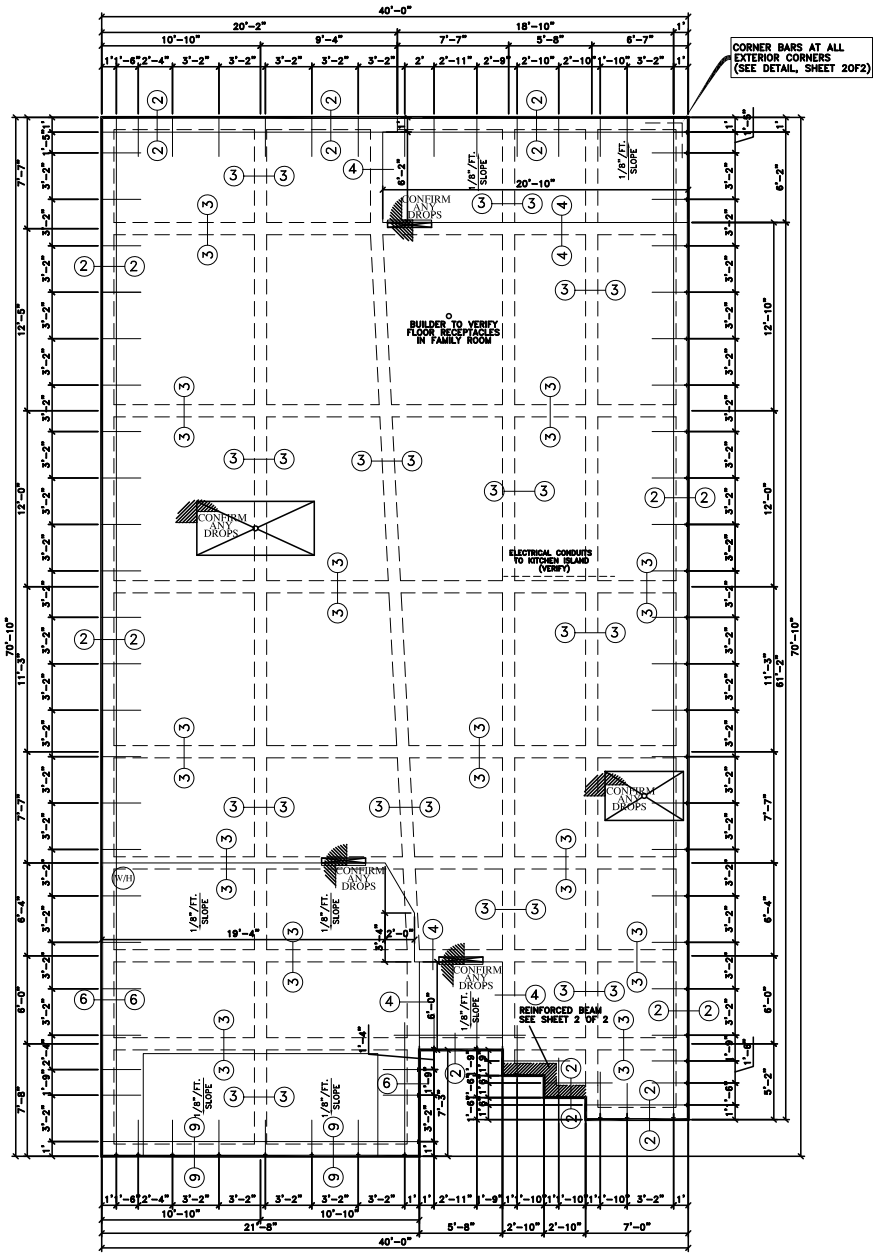
Everview Homes Plan 2137C

DATE: 04-01-2022
REVISION DATE: 11-09-2022

SHEET

A-5

OF 5



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

2747.83 SQ. FT.

BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONS, DROP AREAS, FLOOR PENETRATIONS, AND BLOCK-OUT LOCATIONS ON SITE.

THIS PLAN IS FOR FOUNDATION DESIGN ONLY AND SHALL NOT BE USED TO DETERMINE THE DIMENSIONS OF THE HOUSE. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR SUB-CONTRACTOR TO VERIFY ALL DIMENSIONS, DROPPED AREAS, FLOOR PENETRATIONS, AND UTILITY LOCATIONS WITH THE LATEST CLIENT APPROVED ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION

VERIFY FLOOR COVERINGS W/OWNER AND BUILDER. 6X6X10GA. SHEET MESH WIRE TIED TO TOP OF PAD BARS RECOMMENDED FOR THIN SET TILE OR RECESS 1 1/2" FOR MUD SET TILE AREAS. WOOD FLOORS AND OTHER COVERINGS MAY BE RECESSED AS DETERMINED BY BUILDER.

SEE SHEET 2 OF 2 FOR DETAILS AND GENERAL INFORMATION.

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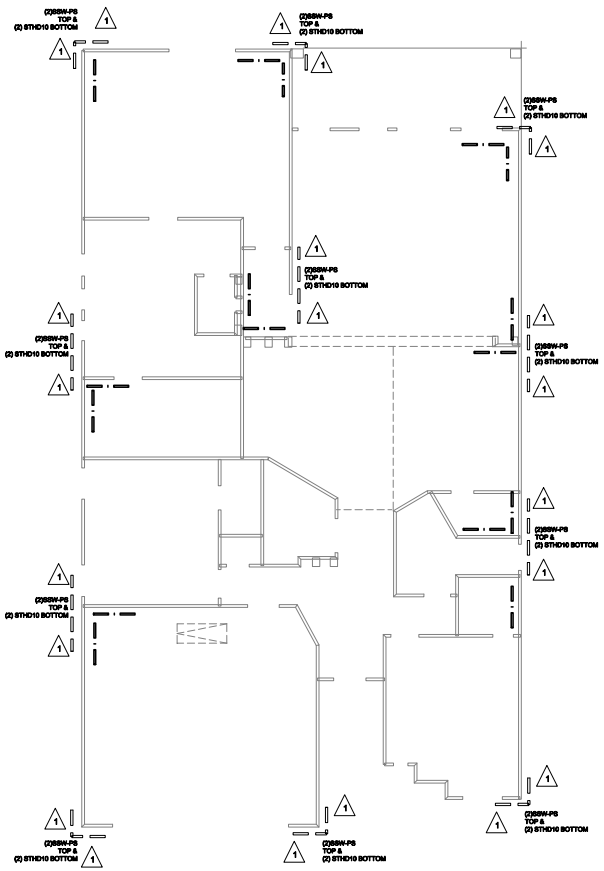
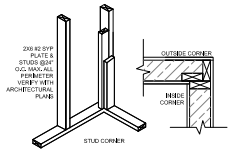
PLAN NUMBER:
1 OF 2

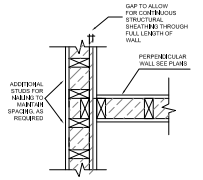


1 WIND BRACING PLAN
SCALE: 3/16" = 1'-0"

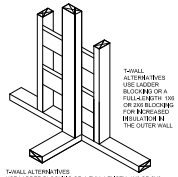


D CONTINUOUS SHEAR WALL
NOT TO SCALE

Reference architectural plans for all dimensions, sections, and elevations, which are not being provided by the Civil Engineer. Note: 2x6's will reduce overall room dimensions and must be coordinated with architectural plans



E CONTINUOUS SHEAR WALL
NOT TO SCALE



F CONTINUOUS SHEAR WALL
NOT TO SCALE

TALL WALL NOTES:

1. ALL STUDS TO BE MIN. 2x4 #2 SYP OR SPF.

2. SINGLE BOTTOM PLATE, DOUBLE TOP PLATE.

3. ATTACH STUDS TO TOP AND BOTTOM PLATES WITH MIN. OF (4) 12d NAILS.

4. ATTACH HEADERS TO FRAMING W/ MIN. (8) 12d NAILS IN EACH END.

5. ALL STUDS TO BE CONTINUOUS EXCEPT JACK AND CRIPPLE STUDS ABOVE AND BELOW OPENINGS.

6. EXTERIOR WALL BOTTOM PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS. THE ANCHOR BOLTS SHALL HAVE A MINIMUM DEPTH OF 7 INCHES INTO CONCRETE. BOLT SPACING SHALL BE A MAXIMUM OF 6 FEET ON CENTER. WITH ONE BOLT LOCATED NO MORE THAN 12 INCHES FROM EACH END. A NUT AND WASHED SHALL BE TIGHTENED ON EACH BOLT OF THE PLATE.

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180-451-004
STEPHEN G. COOK ENG. JOB NO.
11-11-22 G.S.I.
DRAWING DATE: BY:

PROJECT DESIGNS FOR
EVERVIEW HOMES
WIND BRACING

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PLAN NUMBER:
2 OF 5

4.0 Conventional Wood Framing:
4.1 Framing shall conform with the IRC or the IBC and the Wood Frame Construction Manual (WFCM), published by the American Forst & Paper Association (AF & PA).
4.2 Framing shall be adequate to to provide a continous load path to transfer all vertical and lateral loads from the roof, wall, and floor systems to the foundation.
4.3 Roof-Ceiling Construction
1. Rafters shall be sized and spaced per the Rafter Span Schedule.
2. Roof sheathing shall be minimum 7/16" thickness sheathing with 24/16 span rating. For roof coverings weighing more than 1000 pounds per square (100 sq.ft.), roof framing spacing shall be limited to not more than 24 inches on center. Refer to Sheathing and Cladding Attachment Schedule for fastening requirements.
6. Ceiling joists shall be sized and spaced per the Ceiling Joist Span schedule.
7. All ceilings are designed for limited attic storage unless noted otherwise, except for cathedral type ceilings where no attic storage is permitted, Ceilings are not designed for future rooms, unless noted otherwise.
8. Rafters and ceiling joists shall have minimum 1 1/2 Inches of bearing and opposing ceiling joists shall be tapped a minimum of 3 inches at Interior bearing walls. Rafters and joists shall be face nailed together and both shall be toe nailed to the plate. At vaulted ceilings, cripple rafters shall be added, to achieve full bearing and toe nailing at the plate.
9. Where ceiling joists run perpendicular to rafters or where ceiling joists do not tie into rafters, rafter ties or some other method of resisting out thrust shall be installed. Refer to Typical Rafter Tie Detail. Cripple joists and rafters shall be added to allow full bearing and toe nailing at the top plate.
10. Rafter and ceiling joists with a depth:thickness ratio greater than 5:1 shall have lateral blocking at bearing points to prevent rotation. Where solid sawn rafters and joists are parallel and face nailed together, the combined thickness may be used.
11. Rafters and ceiling joists with a depth:thickness ratio greater than 6:1 shall have Intermediate blocking at intervals not exceeding 8 feet.
12. Notches In sawn lumber rafters and joists shall not exceed one-sixth the depth of the member, shall not be longer than one-third the depth of the member, and shall not be located in the middle one-third of the span. Notches at the ends shall not exceed one-fourth the depth of the member.
13. Holes In sawn lumber rafters and joists shall not exceed one-third the depth of the member and shall not be within 2 Inches of the top or bottom edge of the member, a notch, or another hole.
4.4 Floors
1. Floor joists shall be sized and spaced per IRC Table R502.3.1(2) IBC Table 2308.8(2). Manufactured floor systems (such as I-Joists) shall be sized and spaced per manufacturer's specifications. Manufactured floor trusses shall be designed for the applicable loads.
2. Floor joists or trusses shall be doubled under parallel walls or otherwise provide full bearing, unless noted otherwise. Joists or trusses under perpendicular walls shall be designed for the additional loads.
3. Floor joists or trusses shall have minimum 1 1/2, Inches bearing and opposing members shall lap minimum 3 Inches at Interior bearing walls.
4. Floor joists or trusses shall be supported at the ends by full depth 2x blocking, full depth beam, band of rim joist. Blocking Is also required for continuous floor joists or trusses at perpendicular load bearing walls above or below.
5. Floor joists or trusses with a depth: thickness ratio greater than 6:1 shall have intermediate blocking or bracing at intervals not exceeding 8 feet.
6. Floor sheating shall be minimum 23/32" thickness T&G sheating with 48/24 span rating. Refer to sheathing and Cladding Attachment Schedule for fastening requirements.
7. Allowances for notches and holes In sawn lumber floor joists are the same as for the fasters and ceiling joists. For manufactured products, notches and holes are prohibited except where permitted by the manufacturer's installation guide or where the effects, of the alternations are specifically considered In the design of the member by a registered engineer.
4.5 Wall Construction
Load bearing studs shall be sized and spaced per the Wall Stud Schedules, unless otherwise noted on the plans. Interior non-load bearing walls may be 2x4s @ 24 Inches on center up to 14' height and 2x6s @ 24 Inches on center up to 19'8" height.
2. Notching in any stud in a nonbearing wall shall not exceed 40 percent of Its width. Notching of any stud In an exterior or load bearing wall shall not exceed 25 percent of Its width.
3. Holes In any stud in a nonbearing wall shat not exceed 60 percent of Its width. Holes In stud In an exterior or load bearing wall shall not exceed 40 percent of Its width. Hole diameter may be increased to 60 percent of the stud width if the studs are doubled and not more than two successive studs are so bored. Holes may not be located within 5/8 Inch of the edge of the stud or In the same section as a notch. Approved stud shoes may also be used.
4. Load bearing walls shall have minimum one bottom plate and two top plates, having a width at least equal to the width of the studs. The double top plate shall overlap at corners and Intersections of bearing walls. End joints and splices shall be offset atleast 24 Inches, unless noted otherwise.
5. The sill plate at exterior walls shall be anchored to the foundation with anchor bolts fo per the Sill Plate Anchorage Schedule, with atleast two bolts in each section of sil plate spaced not more than 12" or less than 7 bolt diameters from the end. Bolts shall be at least 1/2" diameter and shall extend at least 7 Inches into the foundation. The sill plate at Interior bearing walls shall be positively connected to the foundation with approved fasteners. Additional bolts may be required per the Sheathing Schedule or other connections. At wind speeds In excess of 100 mph In hurricane prone regions, all anchor bolts shall have a 2 x 2 x 1/4 thick plate washer or (2) 2x2x 1/8 plate washers. At wind speeds less than or equal to 100 mph, all anchors bolts shall have a standard washer. Equivalent fasteners are permitted.

REFER TO 2018 IRC BOOK
TABLE R602.10.4
BRACING METHODS

6. Single top plates may be used, except that 3" x 6" 20ga galvanized steel plates shall used at corners, intersections, and joints. Rafters or joists shal be centered over studs with a tolerance of not more than 1 Inch.
7. If drilling or notching of the top plate exceeds 50 percent of Its width, a 1-1/2" x16ga galvanized metal tie shall be used across the opening.
8. Headers or beams at openings shall be per IRC Table R502.5 or IBC Tables 2308.9.5 and 2308.9.6 and WFCM Table 3.23, unless other wise noted In the plans.
9. The ends of flush beams and girders bearing on the top plate shal be supported byt a full-heighted stud pack. Dropped headers shal be supported by jack studs. For conventional lumber, stud pack or jack studs shall not be less the 1 for 2x6 and 2x8 membersjac ane. svat not less than 1 for 2x6 and 2x8) members and not less than 2 for 2x10 and 2x12 members. For manufactured lumber and trusses, studs shall provide full bearing and shal be not less than 1 for up to 7 1/4 depth and 2 for up to 11 7/8 depth. These are mInImums - additional studs required based on actual loads. At upper floors, stud packs and jack studs with 2 or more studs shal be continued at lower floors to the foundation, to include blocking through subfloor as necessary.
10. At dropped headers, all jack studs shall have not less than one full-height king stud. Additional king studs may be required at exterior walls subject to wind loads. Refer to WFCM Tables 3.23C and 3.23D. King stud may replace required jack studs If a mechanical connector Is used to fasten the header to the king stud.
11. Wall bracing shal be per the IRC Section R602.10 or IBC Section 2308.9.3. Perpendicular to braced wall lines shal be blocked In the plane of the wall as required by the IRC/BC. Framing parallel to braced wal lines shall have a structural member In the plane of the wall. All braced wall lines shal be anchored to the concrete foundation. These plans may contain a layout of braced wall lines and panels, including portions of the structure which have been designed per IRC Section R602.10.10 or IBC Section 2308.4. Refer to the Sheathing Schedule/Shear Connection Schedule.
4.6 Coverings, Openings and Veneers
1. Wall coverings shall comply with IRC Chapter 7. Roof coverings shall comply with IRC Chapter 9. Coverings, windows and other openings shall be rated for the components and cladding loads of IRC Table R301.2(2) or IBC Table 1609.6.1.(2)
2. Windows and other openings in wind borne debris regions shall be protected per IRC Table R301.2.1.2 or IBC Table 1609.1.2, or per the TDI as applicable.
3. Masonry veneers shall not exceed 30' In height or 40psf In weight, unless noted otherwise on the plans. Brick ties shall be minimum 22ga corrugated sheet metal, spaced not more than 24 inches on center horizontally and spaced not more than 2.67 square feet of masonry. In high wind areas where the basic wind speed is greater than or equal to 110 mph but does not exceed 130 mph, space anchors a maximum of 16"o.c. In either direction. Add additional anchors around perimeter of opening at a maximum of 24" o.c. and place anchors within 12" of openinting. Flashing is required beneath the first course of masonry and at other points of support. Weepholes located immediately above the flashing shall be minimum 3/16 inch diameter, spaced not more than 33 Inches on center.
4. Steel lintels supporting only dead load from masonry shall be per Schedule or plans. Lintels shall have bearing length not less than 4 Inches and shall not be fastened to the wood framing, unless noted otherwise.
5. Brick veneer not exceeding 12'-8" in height may be supported on wood framing per IRC Section R703.7.2.
4.7 Connections
1. Connections and fasteners shall be per IRC Table R602.3 or IBB Table 2304.9.1.
2. Where joists or beams frame Into a flush beam or girder, the connection shall consist of a metal hanger or other framing angle, except that single ceiling joists spanning not more than 6 feet may be connceted with 3-8d common or 3-0.131"x3" toe nails.
3. Framing members consisting of multiple plies of dimensional lumber shal be fastened together 2 rows of 0.131" x 3" nails at 24 Inches on center, except where side-loaded beams shall be fastened together with 2 rows of 0,131" x 3" nails at 12 Inches on center.
4. Framing members consisting of multiple plies of engineered wood products shal be fastened per the manufacturer's Instructions. Solid members of the same nominal size and capacity may be used in lieu of built up members.
5.0 Construction Documentation
5.1 Submittals. Review of submittals is for general conformance with the structural drawings and project specifications, not for dimension control. The Engineer shall be entitled to rely on the accuracy and completeness of Information provided by the contractor, the Architect, or other third party. All materials and systems shall be Installed In accordance with the structural plans, project specifications, and manufacturer's Installation instructions.
5.2 Site Visits. The purpose of site visits is to observe and become generally familiar with the quality and progress of the construction work. Site visits are not Intended as detailed Inspections. The Engineer makes no warranty or guarantee about work observed during a site visit. Site visits may be conducted by a registered engineer or by other qualified personnel.

Loose Intels for Masonry Support

Masonry Weight# Width (NTE)	Opening Width	Height of Masonry Veener 12"	24"	36"	48"	Arch Action
30 psf (3" Max Width)	≤ 6'	3x3x¼	3x3x¼	3x3x¼	3x3x¼	3x3x¼
	> 6' - < 8'-3"	3x3x¼	3½ x3½ x¼	4 x3 ½ x¼	4 x3 ½ x¼	3½ x3 ½ x¼
	≥ 8'-3" - <12'	4x3x¼	5 x3 ½ x⅝	5 x 3 ½ x⅝	6 x 4 x ⅝	6 x 4 x ⅝
40 psf (4" Max Width)	>12'-3" - <16'-3"	5x3x⅝	6 x 4 x ⅝	7 x 4 x ⅝	7 x 4 x ⅝	8 x 4 x ⅝
	≤ 6'	3½ x 3½ x ¼	3½ x3½ x¼	3½ x3½ x¼	3½ x3½ x¼	3½ x3½ x¼
	≥ 6' - < 8'-3"	3½ x 3½ x ¼	3½ x3½ x¼	4 x3½ x¼	5 x 3½ x ¼	4 x3½ x¼
	< 8'-3" - <12'	4½ x 3½ x ¼	5 x 3½ x ¼	6 x 4 x ⅝	6 x 4 x ⅝	6 x 4 x ⅝
	>12'-3" - <16'-3"	5 x 3½ x ⅝	7 x 4 x ⅝	7 x 4 x ⅝	8 x 4 x ⅝	8 x 4 x ⅝
60 psf (4" Max Width)	≤ 6'	3½ x 3½ x ¼	3½ x3½ x¼	3½ x3½ x¼	4½ x3½ x¼	3½ x3½ x¼
	> 6' - < 8'-3"	3½ x 3½ x ¼	4½ x3½ x¼	5 x 3½ x ¼	5 x 3½ x ¼	5 x 3½ x ¼
	≤ 8'-3" - <12'	5 x 3½ x ¼	6 x 4 x ⅝	6 x 4 x ⅝	7 x 4 x ⅝	7 x 4 x ⅝
	>12'-3" - <16'-3"	6 x 4 x ⅝	7 x 4 x ⅝	8 x 4 x ½	—	—

Steel Lintel:
1. All lintels shall be A36 steel, oriented In the strong direction (longer leg vertical).
2. All lintels shall extend at least 4 Inches beyand each end of the opening.
3. The arching action assumes that the weight of the masonry load is transferred around the opening at a 45 degree angle. This assumption is valid when there is sufficient masonry on both sides of the opening to carry the load from above and when no openings Interrupt the arch action.
4. Deflection Is limited to L/600 or 0.30", whichever Is less.
5. Lintels are designed for supporting non-structural masonry veneer only. Other gravity loads shall be carried by other structural members. Lintels shall not be attached to header/beams U.N.O.
6. Table Is based on typical sizes and weights. Builder to verify. Contact this office for alternate materials.
7. Masonry shall not extend more than 1/2" past the edge of the horizontal leg.
8. References: Brick Industry Association and IRC R703.7.3

Sheathing and Cladding Attachment Schedule

	Max Framing Spacing	Min Sheathing Thickness	APA Span Rating	Interior Zone (Edge/Field)
Roof Sheathing[12]	16" O.C.	7/16"	24/16	6/12
	24" O.C.	7/16"	24/16	6/12[5]
Gable Endwall Rake		7/16"	24/16	
Exterior Wall Sheathing	16" O.C.	7/16"	24/16	6/12[6]
Floor Sheathing[3]	24" O.C.	23/32"	48/24	6/12

1. Perimeter Edge Zone shall be used at roofs within 4 feet of either the roof edge or roof peak. It shall also be used at walls within 4 feet of outside or re-entrant corners.
2. Sheathing shall be OSB or APA Rated sheathing. Alternate sheathing materials may be used, provided they have code approval for suitability for the anticipated wind pressures.
3. These are minimum requirements for cladding loads. Refer to notes and plans for wall bracing or shear wall requirements.
4. Refer to WFCM Tables 3.10 through 3.14
5. Reduce spacing to 6" oc for framing members with specific gravity between 0.42 and 0.49
6. Reduce spacing to 4" oc for framing members with specific gravity between 0.42 and 0.49
7. Reduce spacing to 3" oc for framing members with specific gravity between 0.42 and 0.49
8. Reduce spacing to 2" oc for framing members with specific gravity between 0.42 and 0.49
9. Roof sheathing shall be fastened with 8d common nails or equivalent.
10. Floor sheathing shall be fastened with 10d common nails or equivalent.

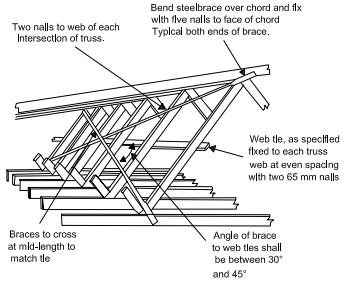
Sill Plate Anchorage Schedule

Anchorage Options	Shear Wall A	B	C	D	E	F
½ " O anchor bolts [1]	28"	34"	72"	46"	72"	72"
MASA Anchors [2]	15"	18"	34"	24"	32"	32"
Hilti X-CP 72 (exterior walls [3])	5"	7"	48"	14"	48"	48"
Hilti X-CP 72 (Interior walls [4])	4"	5"	12"	7"	12"	18"

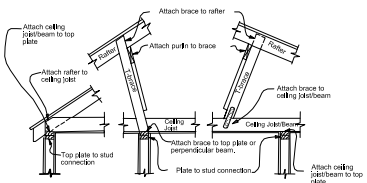
1. Refer to Note 5 In Section 4.5 of the General Notes on Sheet FR-0.1 for anchor bolt Installation requirements.
2. Hilti X-CP 72 "shots" or equivalent shall have a min. allowable shear value of 250 lbs. Begin spacing fasteners 2" from end studs of shear wall.
3. Interior shear walls are assumed to have powder actuated sill anchorage, If 1/2" bolts or other embedded connection will be used, either due to builder preference or local code, the builder shall contact this office prior to concrete placement. This Is necessary to ensure mInImum concrete coverage for required embedment depth of alternate anchorages.
4. Hilti X-CP 72 "shots" at exterior shear walls are required In addition to 1/2" anchor bolts or MASA specified for "non-shear wall" Installation.
5. Sill plate anchorage shall be the more restrictive of the applicable shear wall and non-shear wall requirements.
6. For sill plates anchored with MASA anchors, (2) Hilti X-CP 72 "shots" shall be placed for each 4'-0" braced wall panel specified on the plans.

Nailing Schedule

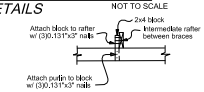
Fastening Schedule	IRC Table R602.3(1)
Joist to Sill or Girder Bridging to Joist Sole Plate to Joist or Blocking Top Plate to Stud Stud to Sole Plate	3 - 8d (Toenail) 2 - 10d (Toenail each end) 3 - 16d @ 16" oc (Facenail) 2 - 16d (Endnail) 3 - 8d or 2 - 16d (Toenail)
Double Studs Double Top Plates Top Plates Laps & Intersections Continuous Header, Two Pieces Ceiling Joist to Plate Continuous Header to Stud Ceiling Joists to Parallel Rafters Built- Up Corner Studs Built- Up Girders and Beams	10d @ 16" (Facenail) 10d @ 12" (Facenail) 2 - 10d (Facenail) 16d @ 16" oc along each edge 3-8d (Toenail) 4-8d (Toenail) 3-10d (Facenail) 3-10d (Facenail) 10d @ 16" oc 10d @ 24" oc Top, Bot & Staggered - 2 nails @ ends & each splice
Built- Up Wood Columns Roof or Floor Truss to Plate Ledger Strip Blocking @ Joists/ Rafters to Top Plate Rim Joist to Top Plate Rafter to Plate Collar Tie to Rafter Jack Rafter to Hip	16d @ 8" oc (2x4's); 2 rows 16d @ 8" oc for 2x6 or greater 3- 10d (Toenail) 3 - 16d (Facenail) 3- 8d (Toenail) 8d @ 6" oc Toenail 2 - 16d (Facenail) 3 - 10d (Facenail) 4- 16d (Toenail)/3 - 16d (Facenail)
Roof Rafter to 2x Ridge Bm	4 - 16d (Toenail)/3 - 16d (Facenail)
Rafter Ties to Rafters Joist to Band Joist	3 - 8d (Facenail) 3 - 16d (Facenails)



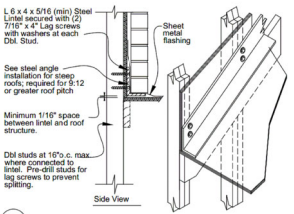
B TYP. ROOF FRAMING DETAIL — NOT TO SCALE



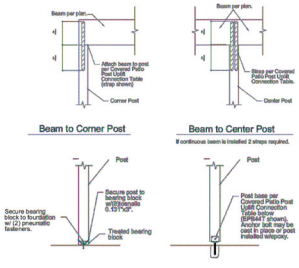
B TYP. ROOF FRAMING AND BRACING DETAILS — NOT TO SCALE



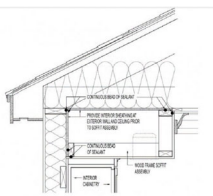
Intermediate Rafter to Purlin Connection

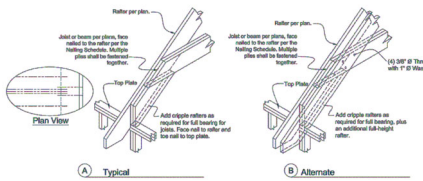


B1 Alt. Lintel for Brick Support

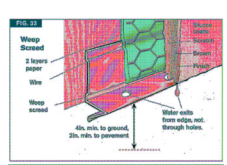


F DETAILS — NOT TO SCALE

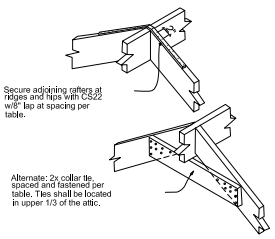




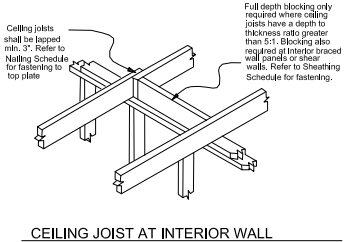
I RAFTER TO JOIST CONNECTION AT SLOPED CEILINGS — NOT TO SCALE



J DETAIL — NOT TO SCALE



K RIDGE STRAP OR COLLAR TIE DETAIL — NOT TO SCALE



CEILING JOIST AT INTERIOR WALL
L JOISTS PERPENDICULAR TO WALL — NOT TO SCALE

STEPHEN G. COOK ENGINEERING, INC.
TBPE FIRM NO. F-184
13302 Thornridge Lane
San Antonio, Tx. 78232
(210) 481-2533
www.sgce.net

THIS DRAWING HAS BEEN APPROVED IF SEALED:
STEPHEN G. COOK, P.E. 63139

180-451-004
STEPHEN G. COOK ENG. JOB NO.
11-11-22 G.S.I.
DRAWING DATE: BY:

PROJECT DESIGNS FOR
EVERVIEW HOMES
FRAMING DETAILS

REVISIONS:
REVISION
DATE
REVISION
DATE

ADDRESS:
419 KALTEYER ST.
ADDRESS
18 4 6515
LOT BLOCK N.C.B.
MISSION GROVE ADDITION
SUBDIVISION
SAN ANTONIO, TX 78210
CITY STATE ZIP
BEXAR
COUNTY

PLAN NUMBER:
5 OF 5

NOTE: THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND MAY NOT SHOW ALL SETBACK / EASEMENTS OR OTHER MATTERS AFFECTING THIS PROPERTY.

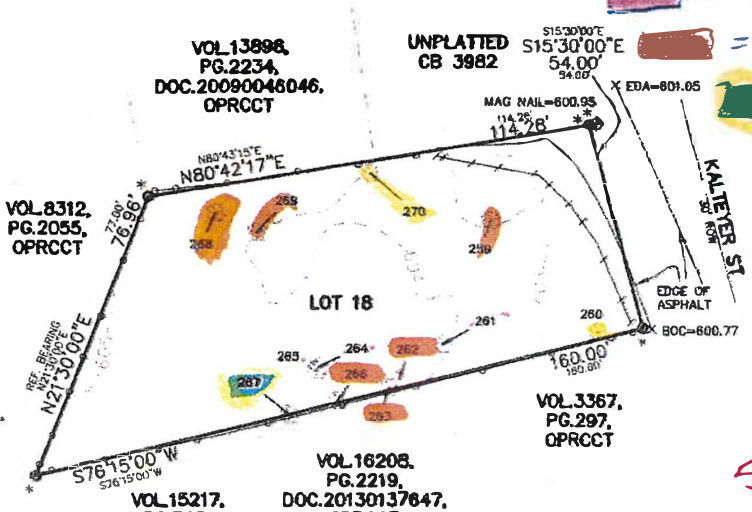
NOTE: TREE SIZES AND SPECIES SHOWN ON THIS DRAWING WERE NOT VERIFIED BY A LICENSED ARBORIST. SGCE ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS INFORMATION.

= preserved
= Remove
= In Decline
= Undersized But will Keep

NOTE: ELEVATIONS BASED ON GPS OBSERVATIONS; CONTROL POINT ESTABLISHED IN THE RIGHT-OF-WAY.

TREE #	DBH	SPECIES
#259	17"	SUGARBERRY
#260	26"	CHINA BERRY
#261	12"	NETLEAF HACK
#262	13"	HACKBERRY
#263	6"	HACKBERRY
#264	[illegible]	[illegible]
#265	12"	SUGARBERRY
#266	9"	SUGARBERRY
#267	8"	HACKBERRY
#268	11"	SUGARBERRY
#269	19"	SUGARBERRY
#270	26"	SMOOTHER ANACUA

14" 12" 13" 13"



needed in inches

18.2" - 8" = 10.2"
Keeping 267

50" total Inch remove
50" x 35% = 18.2" Inch. amount needed
Two x Tp get back w 35%
Keep 2 Inch.

* – 1/2" IRON ROD FOUND
** – RECORD CORNER

0 15 30

LEGEND

N45°00'00"E 100.00' RECORD INFORMATION
S45°00'00"W 100.00' AS MEASURED IN FIELD
WOOD FENCE | WIRE FENCE | CHAIN LINK FENCE | IRON FENCE | X100.00 ELEVATION DATA
PROPERTY CORNER MONUMENTATION | GUARD SET | CONCRETE CURB | FIRE HYDRANT | TRANSFORMER | ELECTRIC BOX | TELEPHONE PEDESTAL | CABLE TV BOX | POWER POLE
RETAINING WALL | AC | TREE | WATER METER | WATER VALVE | [illegible] IN OUT | LIGHT POST | OVERHEAD [illegible] | WATER FLOW

SUBJECT TO RECORDED RESTRICTIVE COVENANTS AND/OR EASEMENTS AS FOLLOWS:

VOL. — PAGE — RECORDS
VOL. — PAGE — RECORDS
VOL. — PAGE — RECORDS
VOL. — PAGE — RECORDS
VOL. — PAGE — RECORDS
VOL. — PAGE — RECORDS

I, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT IS TRUE AND CORRECT ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, OF THE PROPERTY DESCRIBED HEREON. I FURTHER CERTIFY THAT ENCROACHMENTS, EASEMENTS AND RIGHT-OF-WAYS VISIBLE ON SITE ARE SHOWN HEREON. SETBACKS AND EASEMENTS SHOWN ARE FROM RECORDED COUNTY DOCUMENT RECORDS. MUNICIPAL RESTRICTIONS ARE NOT SHOWN.

STEPHEN G. COOK, R.P.L.S.

STATE OF TEXAS REGISTERED STEPHEN G. COOK 5293 PROFESSIONAL LAND SURVEYOR

SGC
STEPHEN G. COOK ENGINEERING, INC.
REGISTERED LAND SURVEYORS
TBPE FIRM # F-184
TBPLS # 10013400
13302 THORNBRIDGE LANE
SAN ANTONIO, TEXAS 78232-4117
210/481-2533
WWW.SGCE.NET

LOT(S) 18 BLOCK 4 N.C.B. 6515 SUBDIVISION MISSION GROVE ADDITION
VOLUME 642 PAGE 44 DOC# — OF THE DEED & PLAT RECORDS OF BEXAR COUNTY
WITNESS MY HAND AND SEAL THIS 19TH DAY OF DECEMBER, 2022
ADDRESS: 419 KALTEYER ST
BUYER: EVERVIEW HOMES GF# —
STEPHEN G. COOK, INC. JOB NO. 180-451-001 DRAWN BY: ELB DISK: CAD/W SURV. BY: GT

8

SYMBOLOGY KEY

— — —	ENGINEERED SHEAR WALL CONTINUOUSLY SHEATHED WITH 7/16" MIN OSB
— · —	LET-IN-BRACING 50" MINIMUM LENGTH DETAIL E1
	1/2" MIN. INTERIOR GYPSUM CONTINUOUSLY SHEATHED AS SHOWN ON PLANS. Reference architectural plans for full dimensions information not being provided by the Civil Engineer.
	(2) TEC SSW-PS STRAPS TOP & (2) STHD10 BOTTOM

REFER TO 2018 IRC BOOK TABLE R602.10.4 BRACING METHODS

PER IRC SECTION R602.10.6 HORIZONTAL JOINTS SHALL OCCUR OVER AND BE FASTENED TO COMMON BLOCKING OF A MINIMUM 1-1/2 INCH THICKNESS.

NOTES:
1) ALL DOOR, WINDOW, AND OPENING HEADERS TO BE 7/16" OSB BETWEEN DOUBLE 2x6 #2 SYP., ALL HEADERS SUPPORTING FLOOR LOAD TO BE 7/16" OSB BETWEEN DOUBLE 2x12 #2 SYP.
2) ALL JOIST TERMINATION INTO HEADERS OR BEAMS WHERE JOIST HAVE CLEAR SPANS OVER 4' ARE TO BE ATTACHED WITH APPROPRIATE SIZE JOIST HANGER PER THE 2000, 2003, 2006, 2009, 2012 & 2015 IRC & IBC
3) ALL HANGERS SHALL BE NAILED PER MANUFACTURERS RECOMMENDATIONS
4) ALL HEADERS / BEAMS SHALL HAVE THE APPROPRIATE NUMBER OF JACK STUDS PER THE 2000, 2003, 2006, 2009, 2012 & 2015 IRC
5) CEILING JOIST SHALL HAVE AN 18" DEPTH @ 12" & 16" O.C. -2x6,2x10 SYP.#1 @ 16" O.C. UNLESS OTHERWISE NOTED. S.Y.P.(SOUTHERN YELLOW PINE) REF. PLAN VIEW
6) DOUBLE JOISTS BENEATH ALL PARALLEL SECOND FLOOR NONBEARING WALLS. THIS RULE SHALL APPLY TO SAWN LUMBER AND ENGINEERED WOOD LAYOUTS.
7) PROVIDE BLOCKING BETWEEN ALL JOISTS BENEATH PERPENDICULAR SECOND FLOOR WALLS.
8) JOISTS AT VAULTED CEILINGS SHALL BEAR ON TOP PLATES OR BE TIED-TO-RAFTERS. FALSE FRAMING IS PERMITTED TO CREATE VAULTS.
9) ALL BEAMS SHALL BE SUPPORTED BY THE MINIMUM NUMBER OF WALL STUD LAMINATIONS USED TO ACHIEVE SUPPORT FOR THE ENTIRE WIDTH OF BEAM ATTACH LAMINATIONS WITH 10D NAILS @ 6" O.C.
10) AS A MINIMUM, LVL BEAMS SHALL HAVE E=2,0E6 P.S.I.
11) FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 12'-0" PROVIDE 2x4 CONTINUOUS STUDS @ 16" O.C. FOR TOP PLATE HEIGHTS ABOVE 12'-0" TO 17'-0", PROVIDE 2x6 CONTINUOUS STUDS @ 16" O.C.

MAXIMUM SPAN ALLOWANCE FOR HEADERS SUPPORTING WOOD FRAME WALLS	
1ST STORY OR 2ND FLOOR OF 2 STORY	
SIZE OF WOOD HEADER	MAX SPAN
(2) 2X6'S	4' - 6"
(2) 2X8's	6' - 0"
(2) 2x10's	8' - 0"
(2) 2x12's	9' - 6"
1ST FLOOR OF 2 STORY	
SIZE OF WOOD HEADER	MAX SPAN
(2) 2x12's	7' - 0"

FASTENING FOR STRUCTURAL SHEATHING

MAXIMUM STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING
16"	8d COMMON (2.5 X 0.113")	6" EDGE, 12" FIELD

FASTENING FOR 1/2" GYPSUM

MAXIMUM STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING
16"	5d COOLER NAILS	7" EDGE, 7" FIELD

THIS PLAN WAS DESIGNED BASED ON A WIND SPEED OF 100 MPH AND EXPOSURE B WIND ZONE

R602.10.4 Construction Methods For Braced Wall Panels
Intermittent and continously sheated braced wall panels shall be constructed in accordance with this section and the methods listed in **Table R06104**
BRACING METHODS

METHODS, MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA	
			FASTENERS	SPACING
OSB (ORIENTED STRAND BOARD) (see section R605)	1/2" or 7/16" for maximum of 26" stud spacing		for 1/2" common (2" long x 0.113" dia.) nails For 7/16" 8d common (2 1/2"long x 0.121" dia.) nails	3" edges - 6" field

R602.10.2.2 - Locations of braced wall panels

A braced wall panel shall begin within 10 feet from each end of a braced wallline as determined in Section R602.10.1.1. The distance between adjacent edges of braced wall panels along a braced wall line shall be no greater than 20 feet as shown in Figure R602.10.2.2

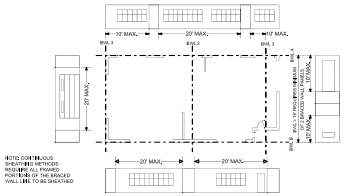


FIGURE R602.10.2.2
LOCATION OF BRACED WALL PANELS

BUILDING CODES:
2018 INTERNATIONAL RESIDENTIAL CODE

ARCHITECTURAL BARRIERS ACT, TEXAS CIVIL & TEXAS DEPARTMENT OF LICENSING AND REGULATION, TEXAS CIVIL STATUTES ARTICLE 9100, 2012

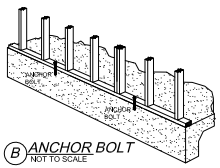
R602.3.1 OFFSETS ALONG BRACED WALL LINE Exterior wall parallel to a braced wallline shall be offset not more than 4 feet from the designated braced wall line location.
Interior wall used as bracing shall be offset not more than 4 feet from a braced wall line through the interior of the building.

R602.10.1.3 SPACING OF BRACED WALL LINES The spacing between parallel braced wall lines shall be in accordance with Table R602.10.1.2. Intermediate braced wall lines through the interior of the building shall be permitted.

APPLICATION	CONDITION	BUILDING TYPE	BRACED WALL LINE SPACING CRITERIA	
			MAX SPACING	EXCEPTION TO MAX SPACING
Wind Bracing	Ultimate design wind speed 100 mph	Single Family Houses	50 Feet	None

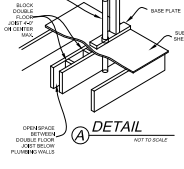
TABLE R602.10.3(1) BRACING REQUIREMENTS BASED ON WIND SPEED

EXPOSE CATEGORY B 30-FOOT MEAN ROOF HEIGHT 10-FOOT WALL HEIGHT 2 BRACED WALL LINES			MINIMUM TOTAL LENGTH (FEET) OF BRACED WALL PANELS REQUIRED ALONG EACH BRACED WALL LINE			
Ultimate Design Wind Speed (mph)	Story Location	Braced Wall Line Spacing (feet)	Method LIB[a]	Method GB	Methods DWB, WSP, SFB, PBS, PCP, HPS, BV-WSP, AWB, PPH, PFG, CS-SFB[a]	Methods CS-WSP, C S-G, C-PF
<140		10	5.5	10	3.0	2.5
		20	10.0	20	5.5	5.0
		30	14.0	30	8.0	7.0
		40	18.0	40	10.5	9.0
		50	22.5	50	13.0	11.0
		60	26.5	60	15.0	13.0
		10	10.0	10.0	6.0	5.0
		20	18.5	18.5	11.0	9.0
		30	27.0	27.0	15.5	13.0
		40	35.0	35.0	20.0	17.0
		50	43.0	43.0	24.5	21.0
		60	51.0	51.0	29.0	25.0
		10	NP	15.0	8.5	7.5
		20	NP	27.5	16.0	13.5
		30	NP	39.5	23.0	19.5
		40	NP	51.5	29.5	25.0
		50	NP	63.5	36.5	31.0
		60	NP	75.5	43.0	36.5

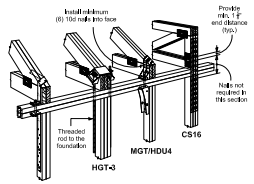


B ANCHOR BOLT
NOT TO SCALE

EXTERIOR WALL BOTTOM PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS. THE ANCHOR BOLTS SHALL HAVE A MINIMUM DEPTH OF 7" INCHES INTO CONCRETE. BOLT SPACING SHALL BE A MAXIMUM OF 6 FEET ON CENTER , WITH ONE BOLT LOCATED NO MORE THAN 12 INCHES FROM EACH END A NUT AND WASHED SHALL BE TIGHTENED ON EACH BOLT OF THE PLATE.

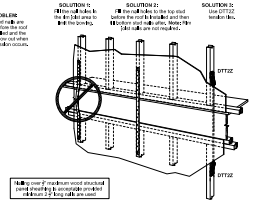


A DETAIL
NOT TO SCALE

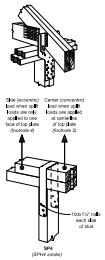


C DETAIL
NOT TO SCALE

BULGING FLOOR-TO-FLOOR STRAPS



C1 MSTC-40
NOT TO SCALE



C2 SP8
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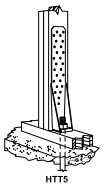

D HTT4 STEEL CONNECTOR
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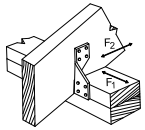
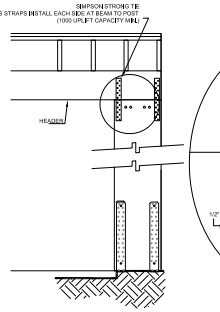


H3 HURRICANE TIE
NOT TO SCALE

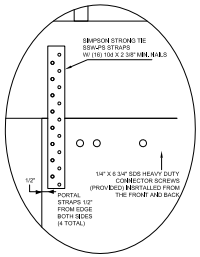
TALL WALL NOTES:
1, ALL STUDS TO BE MIN. 2X4 #2 SYP. OR SPF.
2. SINGLE BOTTOM PLATE, DOUBLE TOP PLATE.
3. ATTACH STUDS TO TOP AND BOTTOM PLATES WITH MIN. OF (4) 12d NAILS.
4. ATTACH HEADERS TO FRAMING W/ MIN. (8) 12d NAILS IN EACH END .
5. ALL STUDS TO BE CONTINUOUS EXCEPT JACK AND CRIPPLE STUDS ABOVE AND BELOW OPENINGS.
6. EXTERIOR WALL BOTTOM PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS. THE ANCHOR BOLTS SHALL HAVE A MINIMUM DEPTH OF 7" INCHES INTO CONCRETE. BOLT SPACING SHALL BE A MAXIMUM OF 6 FEET ON CENTER . WITH ONE BOLT LOCATED NO MORE THAN 12 INCHES FROM EACH END A NUT AND WASHED SHALL BE TIGHTENED ON EACH BOLT OF THE PLATE.

NOTE:
1) **FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 12'**, PROVIDE 2X4 CONTINUOUS STUDS @16" O.C.. FOR TOP
PLATE HEIGHTS ABOVE 12' TO 17' PROVIDE 2X6 CONTINUOUS STUDS @ 16" O.C.

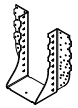
D1 FOR WALLS MAX. 10'
NOT TO SCALE



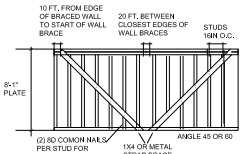
E SSW-PS
NOT TO SCALE



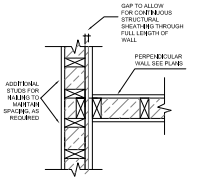
G LUS 210-2
NOT TO SCALE



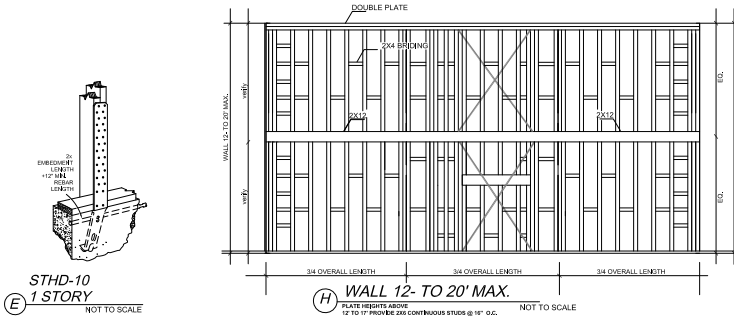
F HGUS 5.5/12
NOT TO SCALE



E1 DETAIL
NOT TO SCALE

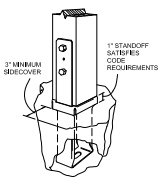


I CONTINUOUS SHEAR WALL
NOT TO SCALE

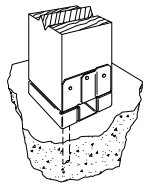


H WALL 12- TO 20' MAX.
NOT TO SCALE
PLATE HEIGHTS ABOVE 12' TO 17' PROVIDE 2X6 CONTINUOUS STUDS @ 16" O.C.

STHD-10
1 STORY
NOT TO SCALE



L LCB/CB COLUMN TO FOUNDATION CONNECTION
NOT TO SCALE



M ABA ZMAX GALVANIZED COLUMN TO FOUNDATION CONNECTION
NOT TO SCALE

STEPHEN G. COOK
ENGINEERING, INC.
TBPE FIRM NO. F-184
13302 Thornridge Lane
San Antonio, Tx. 78232
(210) 481-2533
www.sgce.net

THIS DRAWING HAS BEEN APPROVED & SEALED:

STEPHEN G. COOK, P.E.

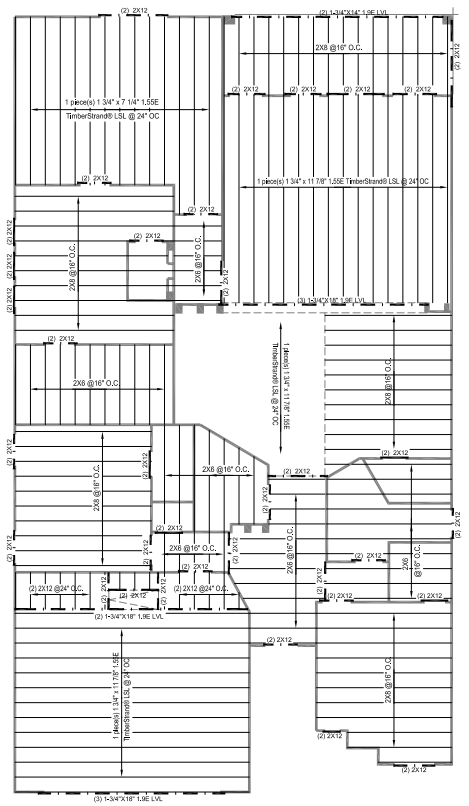
180-451-004
STEPHEN G. COOK ENG. JOB NO.
11-11-22 G.S.I.
DRAWING DATE: BY:

PROJECT DESIGNS FOR EVERVIEW HOMES WIND BRACING

REVISIONS:
REVISION
DATE
REVISION
DATE

ADDRESS: 419 KALTEYER ST.
ADDRESS
18 LOT | 4 BLOCK | 6515 N.C.B.
MISSION GROVE ADDITION
SUBDIVISION
SAN ANTONIO, TX 78210
CITY STATE ZIP
BEXAR
COUNTY

PLAN NUMBER:
1 OF 5



1 FRAMING PLAN

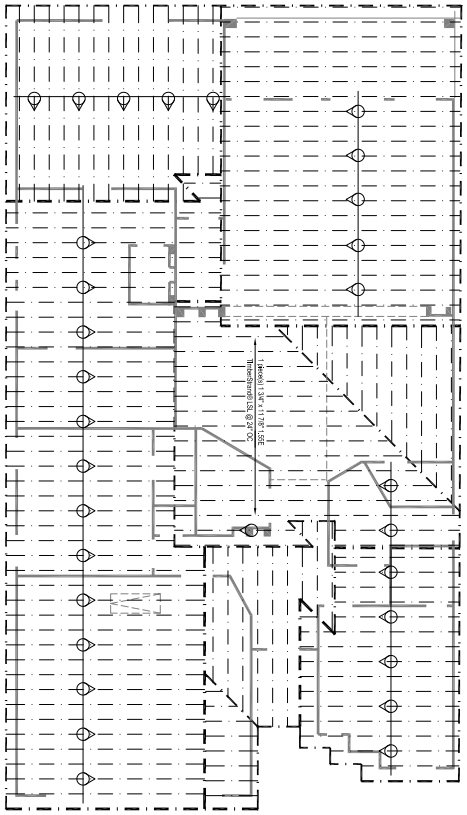
SCALE: 3/16" = 1'-0"

Reference architectural plans for all dimensions, sections, and elevations, which are not being provided by the CMI Engineer.

LEGEND:
O.C. - ON CENTER
S.Y.P.- SOUTHERN YELLOW PINE

EQUIPMENT AREA:
(PLEASE VERIFY WITH ARCHITECTURAL PLANS)
ATTIC STORAGE OR FURR DOWN/FRAME

CEILING JOIST
-2x6 @ 16" O.C
-2x8 @ 16" O.C
1 piece(s) 1 3/4" x 11 7/8" 1.55ETimberStrand® LSL @ 24" OC
1 piece(s) 1 3/4" x 7 1/4" 1.55E TimberStrand® LSL @ 24" OC



2 ROOF PLAN FRAMING PLAN

SCALE: 3/16" = 1'-0"

LEGEND:
O.C. - ON CENTER
S.Y.P.- SOUTHERN YELLOW PINE

ROOF RAFTERS:
-2x8 @ 16" O.C

HIP VALLEYS
-2x10

Reference architectural plans for all dimensions, sections, and elevations, which are not being provided by the CMI Engineer.

ROOF FRAMING:
1. RAFTERS ARE TO BE SUPPORTED BY A CONTINUOUS 2X6 PURLIN & BRACED WITH 2X6'S DOWN TO THE LOAD BEARING WALLS @ 48"O.C.
NOTE: THE MAXIMUM ANGLE FOR 2X6 BRACES = 45 DEGREES FROM VERTICAL
NOTE: MAXIMUM UNSUPPORTED LENGTH FOR 2X6 BRACE = 8'
NOTE: PROVIDE 2X6 COLLAR TIES @ 48" O.C. IN UPPER THIRD OF RAFTERS.
2. ROOF LIVE LOAD = 16 PSF
3. ROOF DECKING SHALL BE 7/16" O.S.B. (EXPOSURE 1)
4. ALL JOIST FRAMING TO BEAMS SHALL BE SUPPORTED BY SIMPSON U-JOIST METAL HANGERS, UNLESS STATED OTHERWISE
5. ALL BEAMS FRAMING TO WALLS SHALL BE SUPPORTED BY A MINIMUM OF 2- 2X4 OR 2- 2X6 STUDS.

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PROJECT DESIGNS FOR
EVERVIEW HOMES
FRAMING PLANS

REVISIONS:
REVISION
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REVISION
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ADDRESS:
419 KALTEYER ST.
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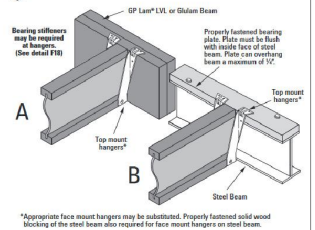
18 4 6515
LOT BLOCK N.C.B.
MISSION GROVE ADDITION
SUBDIVISION
SAN ANTONIO, TX 78210
CITY STATE ZIP
BEXAR
COUNTY

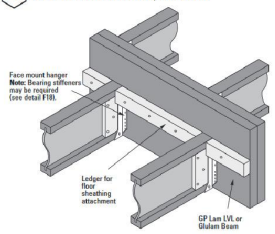
PLAN NUMBER:
3 OF 5

F15 JOIST TO BEAM CONNECTION

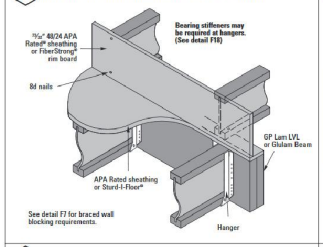


*Appropriate face mount hangers may be substituted. Properly fastened solid wood blocking of the steel beam also required for face mount hangers on steel beam.

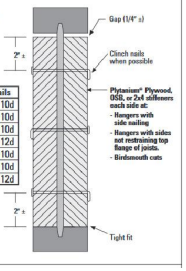
F16 JOIST TO BEAM CONNECTION, STEP DOWN



F17 JOIST TO DROPPED BEAM CONNECTION, STEP DOWN



F18 BEARING STIFFENERS



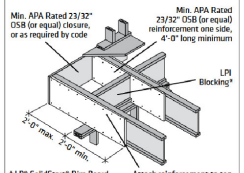
Joist Series	Stiffener Size	Nails
GPI 20	½" × 2¾"	(3) 10d
GPI 40	½"+½" × 2¾"	(3) 10d
GPI 65	½"+½" × 2¾"	(3) 10d
GPI 90	1½" × 2¾"	(3) 12d
WI 40	½"+½" × 2¾"	(3) 10d
WI 60	½"+½" × 2¾"	(3) 10d
WI 80	1½" × 2¾"	(3) 12d

Minimum stiffener width is 2¾"

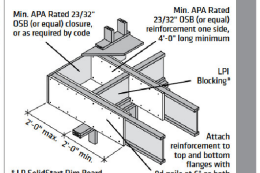
TO USE:

1. Select the required product.
2. Select the row corresponding to the Roof Load and Truss Span needed.
3. Follow across the row to the required joist spacing.
4. The letter represents the required detail.

C2 23/32" OSB (OR EQUAL) REINFORCEMENT ONE SIDE ONLY

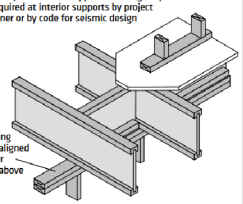


C3 23/32" OSB (OR EQUAL) REINFORCEMENT BOTH SIDES



B3 BLOCKING AT INTERIOR SUPPORT

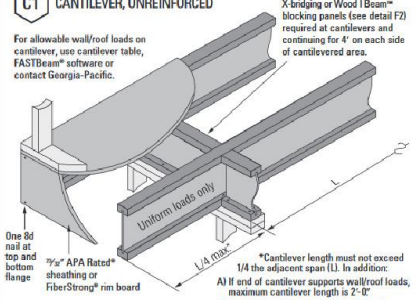
Blocking is not required if no wall above unless I-joists end at support. Blocking may be required at interior supports by project designer or by code for seismic design



C1 CANTILEVER, UNREINFORCED

For allowable wall/roof loads on cantilever, use cantilever table, FASTBeam® software or contact Georgia-Pacific.

X-bridging or Wood I Beam™ blocking panels (see detail F2) required at cantilevers and continuing for 4' on each side of cantilevered area.



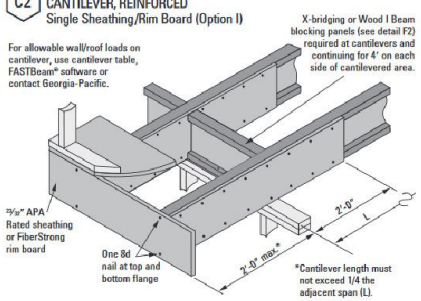
*Cantilever length must not exceed 1/4 the adjacent span (L). In addition:
A) If end of cantilever supports wall/roof loads, maximum cantilever length is 2'-0"
B) If no loads are placed on end of cantilever, maximum cantilever length is 4'-0"
For other conditions contact Georgia-Pacific.

Note: Wood I Beam joists must be protected from the weather.

C2 CANTILEVER, REINFORCED
Single Sheathing/Rim Board (Option I)

For allowable wall/roof loads on cantilever, use cantilever table, FASTBeam® software or contact Georgia-Pacific.

X-bridging or Wood I Beam blocking panels (see detail F2) required at cantilevers and continuing for 4' on each side of cantilevered area.



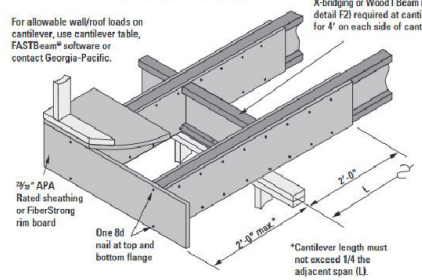
*Cantilever length must not exceed 1/4 the adjacent span (L).

Note: FiberStrong rim board or 48/24 APA Rated sheathing (strength axis horizontal) required one side of joist. Depth must match full depth of joist. Nail to joist flanges with 8d nails at 6" o.c.

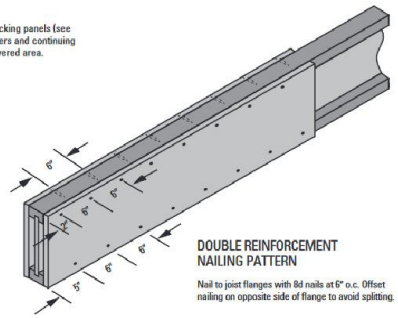
C3 CANTILEVER, REINFORCED
Double Sheathing/Rim Board (Option II)

For allowable wall/roof loads on cantilever, use cantilever table, FASTBeam® software or contact Georgia-Pacific.

X-bridging or Wood I Beam blocking panels (see detail F2) required at cantilevers and continuing for 4' on each side of cantilevered area.



*Cantilever length must not exceed 1/4 the adjacent span (L).



DOUBLE REINFORCEMENT NAILING PATTERN

Nail to joist flanges with 8d nails at 6" o.c. Offset nailing on opposite side of flange to avoid splitting.

Note: FiberStrong rim board or 48/24 APA Rated sheathing (strength axis horizontal) required both sides of joist. Depth must match full depth of joist.

MIT Installed

A MIT 418 NOT TO SCALE

STEPHEN G. COOK
CITY OF SAN ANTONIO
ENGINEERING, INC.
TBPE FIRM NO. F-184
13302 Thornridge Lane
San Antonio, Tx. 78232
(210) 481-2533
www.sgce.net

THIS DRAWING HAS BEEN APPROVED IF SEALED:

STEPHEN G. COOK, P.E.

180-451-004
STEPHEN G. COOK ENG. JOB NO.
11-11-22 G.S.I.
DRAWING DATE: BY:

PROJECT DESIGNS FOR
EVERVIEW HOMES
FRAMING PLANS

REVISIONS:
REVISION
DATE
REVISION
DATE

ADDRESS:
419 KALTEYER ST.
ADDRESS
18 4 6515
LOT BLOCK N.C.B.
MISSION GROVE ADDITION
SUBDIVISION
SAN ANTONIO, TX 78210
CITY STATE ZIP
BEXAR
COUNTY

PLAN NUMBER:

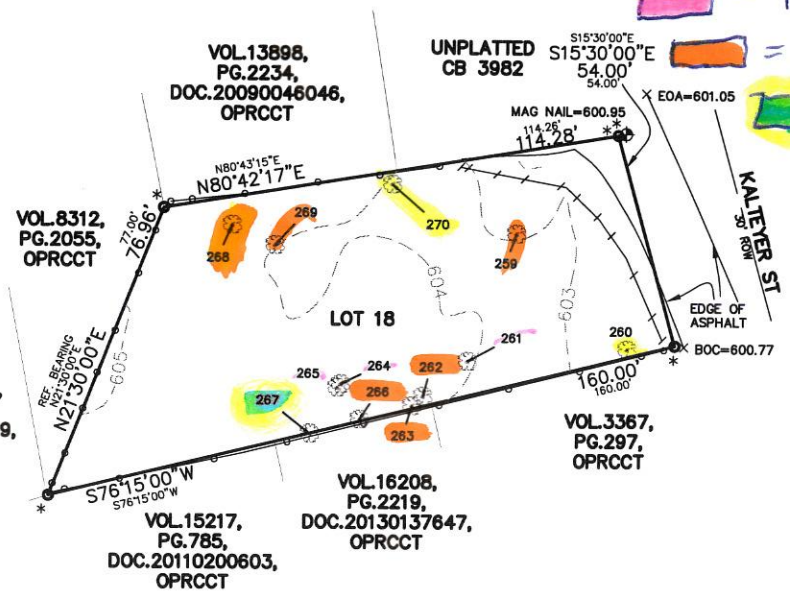
NOTE: THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND MAY NOT SHOW ALL SETBACK / EASEMENTS OR OTHER MATTERS AFFECTING THIS PROPERTY.

NOTE: TREE SIZES AND SPECIES SHOWN ON THIS DRAWING WERE NOT VERIFIED BY A LICENSED ARBORIST, SGCE ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS INFORMATION.

= preserved
= Remove
= In Decline
= Undersized But will Keep

NOTE: ELEVATIONS BASED ON GPS OBSERVATIONS; CONTROL POINT ESTABLISHED IN THE RIGHT-OF-WAY.

TREE #	DBH	SPECIES
#259	17"	SUGARBERRY
#260	26"	CHINA BERRY
#261	12"	NETLEAF HACK
#262	13"	HACKBERRY
#263	6"	HACKBERRY
#264	20"	HACKBERRY
#265	12"	SUGARBERRY
#266	9"	SUGARBERRY
#267	8"	HACKBERRY
#268	11"	SUGARBERRY
#269	19"	SUGARBERRY
#270	26"	SANDPAPER ANACUA



0 15 30

* – 1/2" IRON ROD FOUND
** – RECORD CORNER

LEGEND

N45°00'00"E 100.00' RECORD INFORMATION
S45°00'00"W 100.00' AS MEASURED IN FIELD
WOOD FENCE | WIRE FENCE | CHAIN LINK FENCE
IRON FENCE | X100.00 100.00 ELEVATION DATA
PROPERTY CORNER MONUMENTATION | GUARD SET | CONCRETE CURB | FIRE HYDRANT | TRANSFORMER | ELECTRIC BOX | TELEPHONE PEDESTAL | CABLE TV BOX | POWER POLE
RETAINING WALL | AC | TREE | WATER METER | WATER VALVE | SAN. SEWER MANHOLE | CLEAN OUT | LIGHT POST | OVERHEAD ELECTRIC LINE | WATER FLOW

SUBJECT TO RECORDED RESTRICTIVE COVENANTS AND/OR EASEMENTS AS FOLLOWS:

VOL. —, PAGE —, RECORDS
VOL. —, PAGE —, RECORDS
VOL. —, PAGE —, RECORDS
VOL. —, PAGE —, RECORDS
VOL. —, PAGE —, RECORDS
VOL. —, PAGE —, RECORDS

I, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT IS TRUE AND CORRECT ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, OF THE PROPERTY DESCRIBED HEREON. I FURTHER CERTIFY THAT ENCROACHMENTS, EASEMENTS AND RIGHT-OF-WAYS VISIBLE ON SITE ARE SHOWN HEREON. SETBACKS AND EASEMENTS SHOWN ARE FROM RECORDED COUNTY DOCUMENT RECORDS. MUNICIPAL RESTRICTIONS ARE NOT SHOWN.

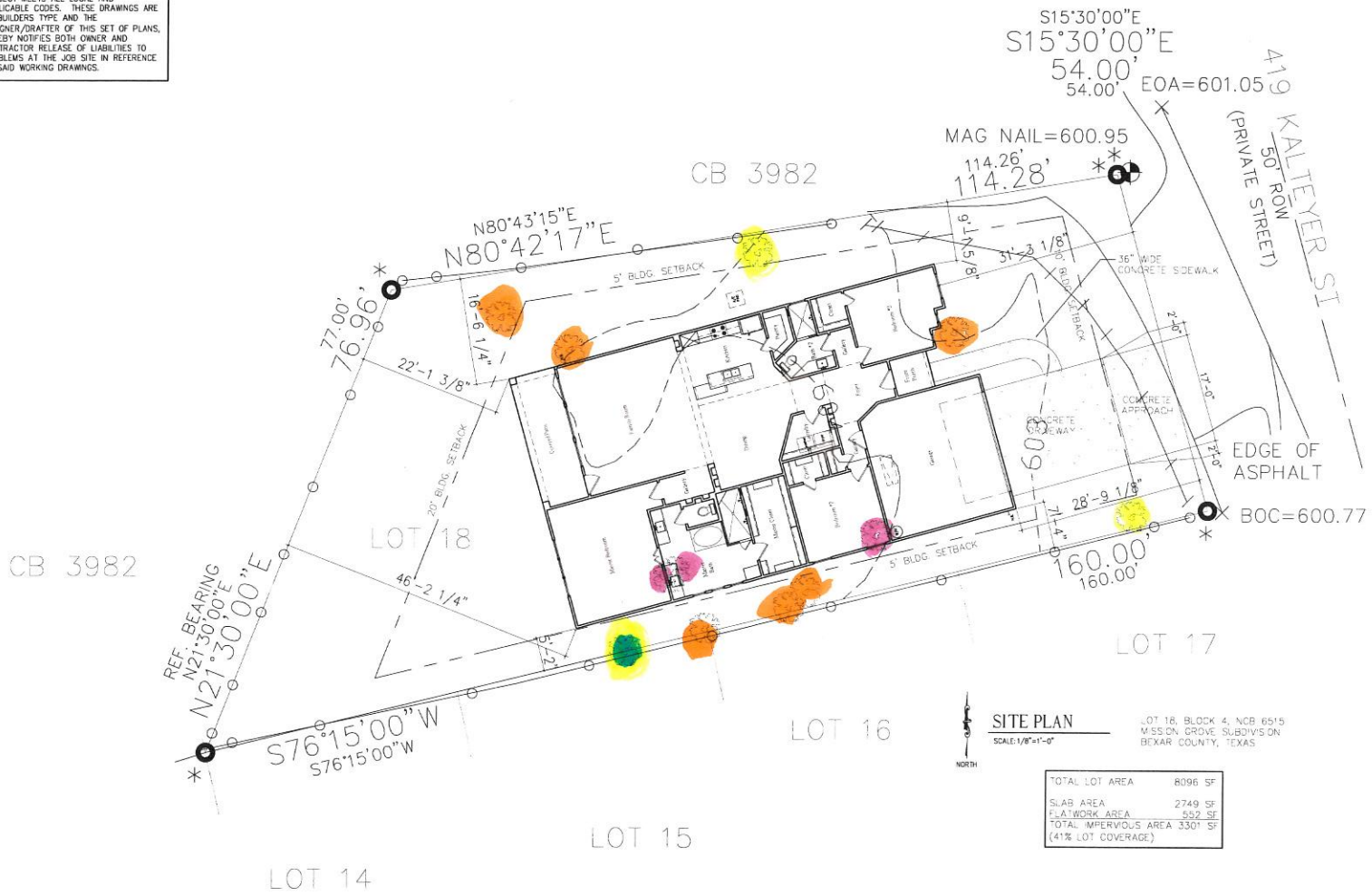
STEPHEN G. COOK, R.P.L.S.

STATE OF TEXAS REGISTERED STEPHEN G. COOK 5293 PROFESSIONAL LAND SURVEYOR

SGC
STEPHEN G. COOK ENGINEERING, INC.
REGISTERED LAND SURVEYORS
TBPE FIRM # F-184
TBPLS # 10005400
13302 THORNRIDGE LANE
SAN ANTONIO, TEXAS 78232-4117
210/481-2533
WWW.SGCE.NET

LOT(S) 18 BLOCK 4 N.C.B. 6515 SUBDIVISION MISSION GROVE ADDITION
VOLUME 642 PAGE 44 DOC# — OF THE DEED & PLAT RECORDS OF BEXAR COUNTY.
WITNESS MY HAND AND SEAL THIS 19TH DAY OF DECEMBER, 2022
ADDRESS: 419 KALTEYER ST
BUYER: EVERVIEW HOMES GF# —
STEPHEN G. COOK, INC. JOB NO. 180-451-001 DRAWN BY: ELB DISK: CAD/W SURV. BY: GT

WORKING DRAWINGS SHALL NOT BE SCALED. CONTRACTOR AND /OR SUB-CONTRACTOR SHALL REVIEW AND VERIFY ALL NOTES AND MEASUREMENTS BEFORE PROCEEDING WITH ANY WORK OR ORDERING MATERIALS. VERIFY FOR CLARITY AND CONSULT CONTRACTOR OR FIELD MANAGER FOR ANY DESCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE TO INSURE CONSTRUCTION OF PROJECT MEETS ALL LOCAL AND APPLICABLE CODES. THESE DRAWINGS ARE OF BUILDERS TYPE AND THE DESIGNER/DRAFTER OF THIS SET OF PLANS, HEREBY NOTIFIES BOTH OWNER AND CONTRACTOR RELEASE OF LIABILITIES TO PROBLEMS AT THE JOB SITE IN REFERENCE TO SAID WORKING DRAWINGS.



SITE PLAN
SCALE: 1/8"=1'-0"

LOT 18, BLOCK 4, NCB 6515
MISSION GROVE SUBDIVISION
BEXAR COUNTY, TEXAS

TOTAL LOT AREA	8096 SF
SLAB AREA	2749 SF
FLATWORK AREA	552 SF
TOTAL IMPERVIOUS AREA (41% LOT COVERAGE)	3301 SF

419 Kalteyer

BEXAR COUNTY, TEXAS

Everview Homes Plan 2137C

MICHAEL CORTEZ
DESIGN GROUP
(210) 860-6920

DATE: 04-01-2022
REVISION DATE: 11-09-2022

SHEET

A-4

OF 5