

ALAMO TITLE-VENTURA

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NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM THIS INSTRUMENT BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

SPECIAL WARRANTY DEED

Date: March 20, 2012

Grantor: Billy M. Carlisle, Jr. and Evelyn Carlisle

Grantor's Mailing Address: 9617 Huebner Road, San Antonio, Texas 78240

Grantee: Merlin 21 Real Estate Holdings, LLC

Grantee's Mailing Address: c/o Winstead PC, 300 Convent Street, Ste. 2700, San Antonio, TX 78205

Consideration: Cash and other good and valuable consideration, the receipt of which is acknowledged.

Property: A parcel of land containing approximately 1.7285 acres, more or less, in the City of San Antonio, Bexar County, Texas, and being more particularly described in Exhibit "A", attached hereto and made a part hereof (the "Land"), together with (i) all buildings, fixtures, structures and improvements thereon; (ii) any strips or gores between the Land and all abutting properties; (iii) all right, title and interest, if any, of Grantor in and to any land lying in the bed of any street, road or access way, opened or proposed, in front of, at a side of or adjoining the Land, to the center line of such street, road or access way; (iv) all rights in and to alleys, roads, rights-of-ways and easements relating to the Land, whether surface, subsurface or otherwise; (v) all owned mineral, air, water, or subsurface development rights or interests of any kind or character pertaining to the Land, if any; (vi) all governmental or quasi-governmental permits and approvals of any kind or character pertaining to the Land, if any; (vii) all permits, contracts and rights of any kind or character to receive utilities services for the Land, if any; (viii) all drainage facilities and utility facilities pertaining to the Land, if any; and (ix) all other rights, privileges and appurtenances belonging or in any way pertaining to the Land.

Exceptions to Conveyance and Warranty: Those Permitted Exceptions described in Exhibit "B" attached hereto and made a part hereof.

Grantor, for the Consideration and subject to the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's successors and assigns forever. Grantor binds Grantor and Grantor's successors to warrant and forever defend all and singular the Property to Grantee and Grantee's successors and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof when the claim is by, through, or under Grantor but not otherwise, except as to the Exceptions to Conveyance and Warranty.

When the context requires, singular nouns and pronouns include the plural.

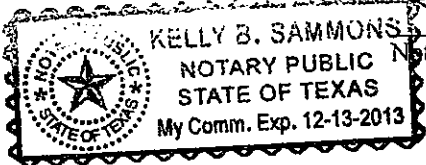
By: Billy M. Carlisle
Billy M. Carlisle, Jr.

By: Evelyn Carlisle
Evelyn Carlisle

STATE OF TEXAS §
COUNTY OF BEXAR §

This instrument was acknowledged before me this 20TH day of MARCH 2011, by Billy M. Carlisle, Jr.


Notary Seal:

 Kelly B. Sammons
Notary Public, State of Texas

STATE OF TEXAS §
COUNTY OF BEXAR §

This instrument was acknowledged before me this 20TH day of MARCH 2011, by Evelyn Carlisle.

Notary Seal:

 Kelly B. Sammons
Notary Public, State of Texas

AFTER RECORDING, RETURN TO:

Frank Z. Ruttenberg
Winstead P.C.
300 Convent #2700
San Antonio, Texas 78205

EXHIBIT "A"
LEGAL DESCRIPTION

A tract of land containing 1.728 Acre of land and being the remaining portion of Lot 15, Block 2, New City Block 14702, Oakland Estates Subdivision recorded in Volume 980, Page 281A of the Plat Records of Bexar County, Texas and this 1.728 Acre Tract of land being more particularly described as follows:

Beginning at an iron pin found on the new north right of way line of Huebner Road at the east line of said Lot 15, for the southeast corner of the herein described tract, and said point bears S. 40° 54' 15" W., 1196.33 feet from the west right of way line of Southwell Road;

THENCE: S. 40° 54' 15" W., 200.00 feet along the new north right of way line of Huebner Road, to an iron pin found at the south line of said Lot 15, for the southwest corner of the herein described tract;

THENCE: N. 49° 00' 00" W., 376.64 feet leaving the north right of way line of Huebner Road and along the west line of said Lot 15 with fence line, to a Y2" iron pipe found at a fence corner post, being the northwest corner of said Lot 15 and of the herein described tract;

THENCE: N. 41° 00' 01" E., 200.00 feet along the north line of said Lot 15 with fence line, to an iron pin found at a fence corner post, being the northeast corner of said Lot 15 and of the herein described tract;

THENCE: S. 49° 00' 00" E., 376.31 feet along the east line of said Lot 15 with fence line, to the Point of Beginning and containing 1.728 Acres of land more or less.

EXHIBIT "B"

PERMITTED EXCEPTIONS

1. Restrictive covenants recorded in Volume 8254, Page 204, Real Property Records, Bexar County, Texas.
2. Standby fees, taxes and assessments by any taxing authority for the year 2012, and subsequent years; and subsequent taxes and assessments by any taxing authority for prior years due to change in land usage or ownership.
3. Electric Line Right of Way Agreement granting an easement to the City of San Antonio, recorded in Volume 9239, Page 2114, Real Property Records, Bexar County, Texas.
4. The following matters as shown on Survey dated December 12, 2011, prepared by Hal B. Lane III, Registered Professional Land Surveyor No. 4690, of Bury+Partners, Job H:\102719-50006TI:
 - (a) Building Setback line 50 feet along the rear property line and 25 feet along the Huebner Road property line, as provided by instrument recorded in Volume 8254, Page 204, Real Property Records, Bexar County, Texas.
 - (b) Overhead Electric line into subject property from Huebner Road.
 - (c) Fence inset along the side property line, as shown on the above mentioned survey.
 - (d) Wastewater Manhole, Wastewater Cleanout, Gas Valve, and Water Valve, as shown on the above mentioned survey.

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Pages 5
03/22/2012 12:06PM
e-Filed & e-Recorded in the
Official Public Records of
BEXAR COUNTY
GERARD C. RICKHOFF
COUNTY CLERK
Fees \$28.00

STATE OF TEXAS
COUNTY OF BEXAR
This is to Certify that this document
was e-FILED and e-RECORDED in the Official
Public Records of Bexar County, Texas
on this date and time stamped thereon.
03/22/2012 12:06PM
COUNTY CLERK, BEXAR COUNTY TEXAS

