

HISTORIC AND DESIGN REVIEW COMMISSION

September 06, 2023

HDRC CASE NO: 2023-332
ADDRESS: 2171 W SUMMIT AVE
LEGAL DESCRIPTION: NCB 6825 BLK 0 LOT 19
ZONING: R-6, H
CITY COUNCIL DIST.: 7
DISTRICT: Monticello Park Historic District
APPLICANT: Mike O'Leary/Mike O'Leary Construction Services
OWNER: LEE CAROL & ELLISON WILLIAM D
TYPE OF WORK: Retaining wall installation
APPLICATION RECEIVED: August 15, 2023
60-DAY REVIEW: October 14, 2023
CASE MANAGER: Claudia Espinosa

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to install a retaining wall measuring six (6) feet in height and tapering down to four (4) feet in height.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

1. Topography

A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

2. Fences and Walls

A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

C. PRIVACY FENCES AND WALLS

i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.

ii. *Location* – Do not use privacy fences in front yards.

3. Landscape Design

A. PLANTINGS

i. *Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.

ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.

iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.

iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.

v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

i. *Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.

ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.

iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

C. MULCH

Organic mulch – Organic mulch should not be used as a wholesale replacement for plant material. Organic mulch with appropriate plantings should be incorporated in areas where appropriate such as beneath a tree canopy.

i. *Inorganic mulch* – Inorganic mulch should not be used in highly-visible areas and should never be used as a wholesale replacement for plant material. Inorganic mulch with appropriate plantings should be incorporated in areas where appropriate such as along a foundation wall where moisture retention is discouraged.

FINDINGS:

a. The structure located at 2171 W Summit was constructed circa 1937 and first appears on the 1938 Sanborn map. The single-family residence is a brick masonry structure featuring composite shingles, an open porch, and sashed one-over-one windows. The primary structure is contributing to the Monticello Park Historic District.

b. **RETAINING WALL** – The applicant has proposed to construct a new six-foot-tall concrete retaining wall. The Guidelines for Site Elements 2.B.iii. notes that new fences and walls should not be located where one did not historically exist. Properties located in the on W. Summit in Monticello Park Historic District traditionally feature retaining walls with a random flag stone stacking pattern in the front yard that tape down towards the street sides. Staff finds the proposed retaining wall to be consistent with the Guidelines. Staff further finds that the proposed construction materials are not found historically within the district, however, staff finds that the applicant should clad the concrete retaining wall in a random stone stacking pattern to be reflective of the Historic District.

RECOMMENDATION:

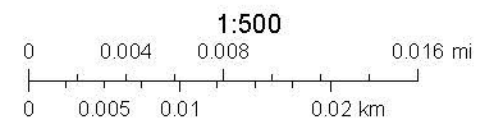
Staff recommends approval of the retaining wall based on findings a through b with the following stipulations:

- i. That the applicant construct the retaining wall in a random flag stone pattern and submits updated material specifications to staff for review and approval prior to the issuance of a Certificate of Appropriateness
- ii. That the applicant construct the retaining wall in a height that does not exceed the neighboring retaining wall to the left and right of the property.
- iii. That the applicant follow the slope of the front yard and taper the retaining walls down towards the street and the neighboring property.

City of San Antonio One Stop



September 1, 2023











WOODLAWN PARK

VERLY
M MIT
ULBERRY

HUISACHE
MAGNOLIA

W KINGS HWY
W SUMMIT
W MULBERRY
W HUISACHE
W MAGNOLIA
W MISTLETOE

KAMPMANN

LAKE BLVD

EMORY
W CRAIG
W FRENCH

WASHBY
CINCINNATI
TEXAS
WAVERLY

GERMANIA
WILSON
PEACOCK
ROUSE
NEFF
GOODRICH
ADAES
GLENMORE
WILLIAMS

Woodlawn Lake

Woodlawn Park

ALEXANDER

421

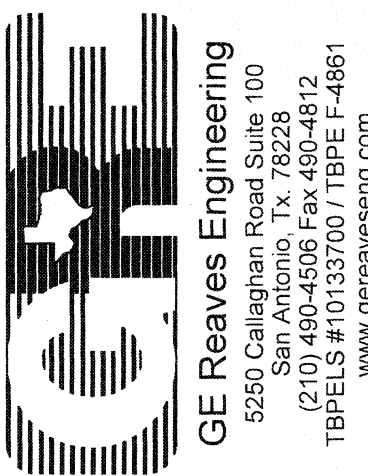
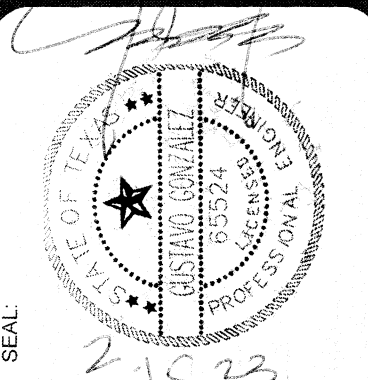
NORTH

SITE

TABLE OF CONTENTS	
SHEET TITLE	SHEET NUMBER
COVER SHEET	C000
PROPOSED RETAINING WALL	C100

REVISIONS			
NO	DESCRIPTION	DATE	APPR

FILE: © COPYRIGHT 2002, GEORGE J. DALY



NCB 6825 BLK 0 LOT 19
COVER SHEET

CAROL LEE RESIDENCE
2171 W. SUMMIT AVE
SAN ANTONIO, TEXAS, BEXAR COUNTY, 78201

JOB NO:	22-0988
DATE:	02/14/23
DESIGNER:	GG
CHECKED:	GG
DRAWN:	BL

C000

BENCH MARK TBM #1

SET MAG NAIL IN PAVEMENT ±63 WEST OF
EXISTING FIRE HYDRANT AT THE NORTHWEST
PROPERTY CORNER OF LOT 19.

ELEV= 702.30'

BENCH MARK TBM #2

SET MAG NAIL IN PAVEMENT ±17' SOUTH OF
EXISTING RETAINING WALL AT THE SOUTHWEST
PROPERTY CORNER OF LOT 19.

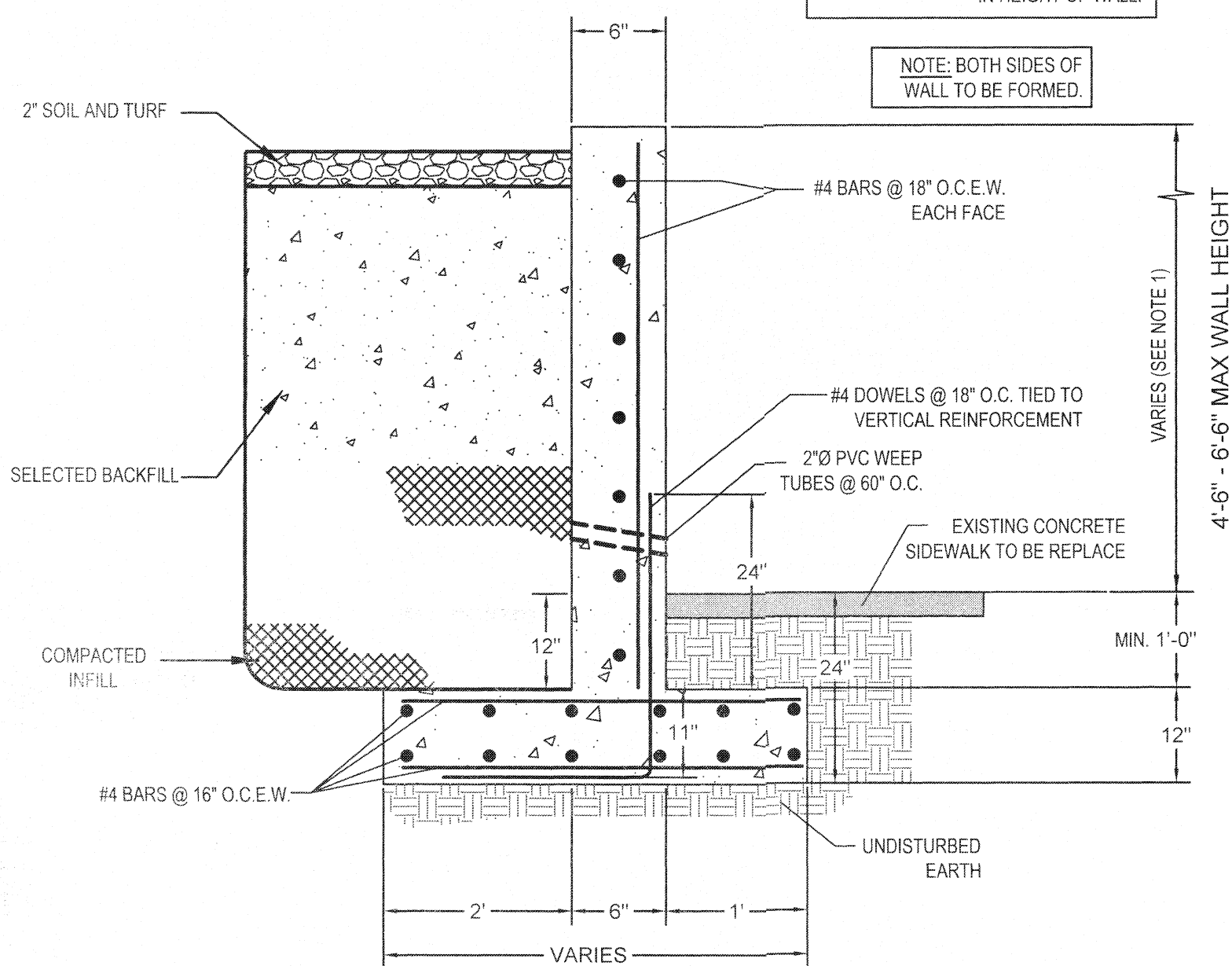
ELEV= 708.89'

LEGAL DESCRIPTION

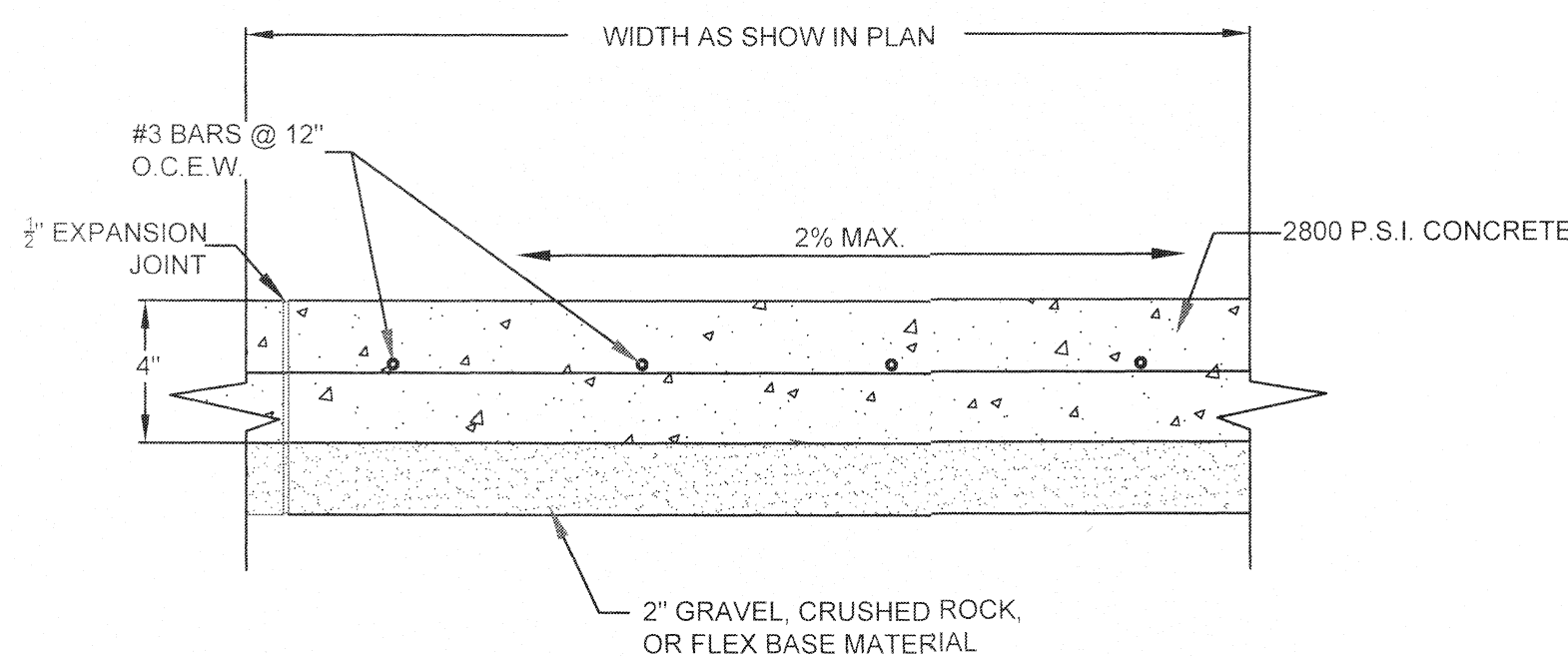
BEING LOT 19, NEW CITY BLOCK 6825, WOODLAWN
PARK, CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS,
ACCORDING TO MAP OR PLAT THEREOF RECORDED IN
VOLUME 980, PAGE(S) 35, DEED AND PLAT RECORDS,
BEXAR COUNTY, TEXAS.

NOTE 1:
CONTRACTOR IS RESPONSIBLE FOR
WALL CONSTRUCTION WITH FOOTING
STEPS AS REQUIRED FOR VARIATION
IN HEIGHT OF WALL.

NOTE: BOTH SIDES OF
WALL TO BE FORMED.

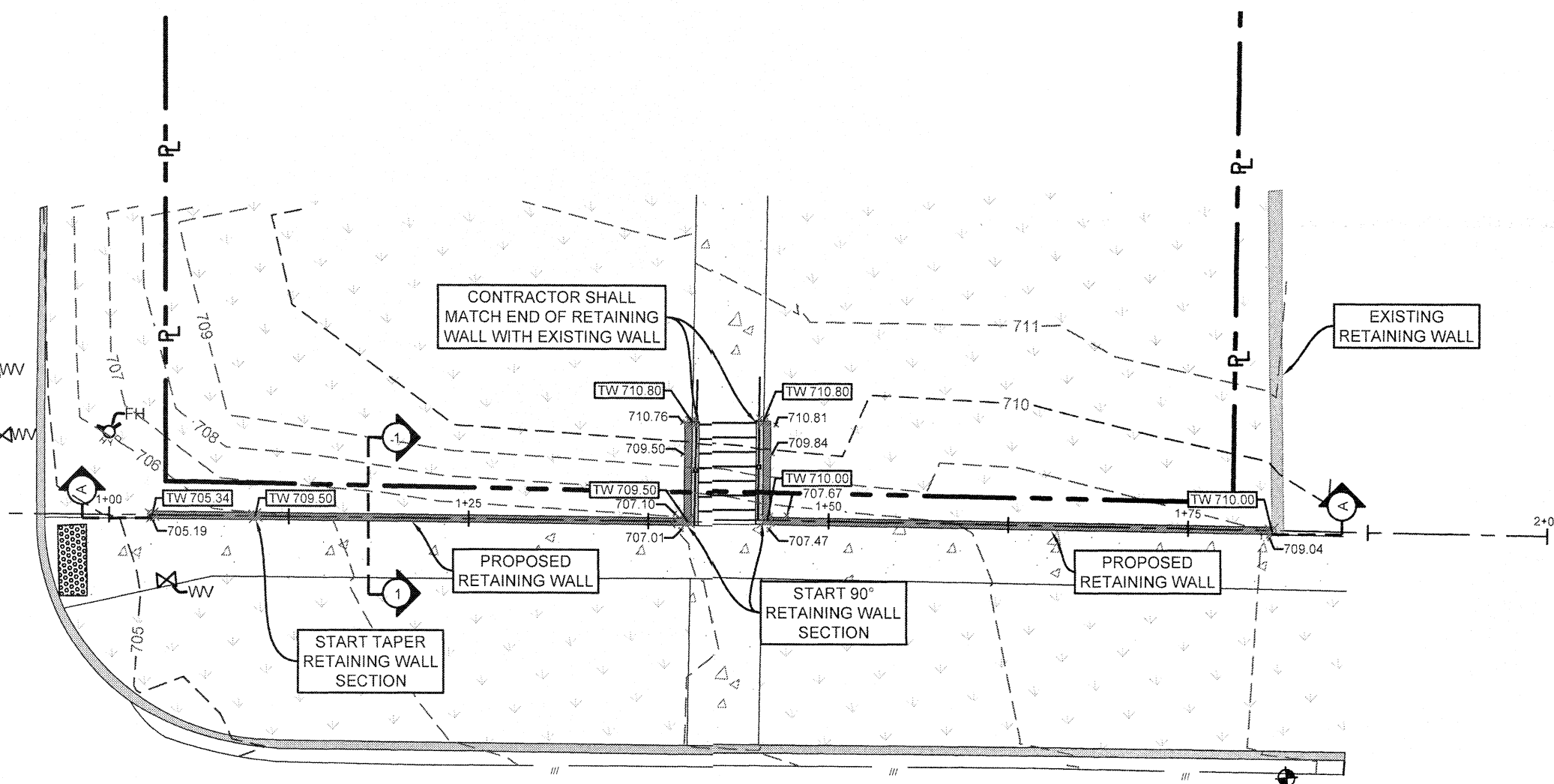
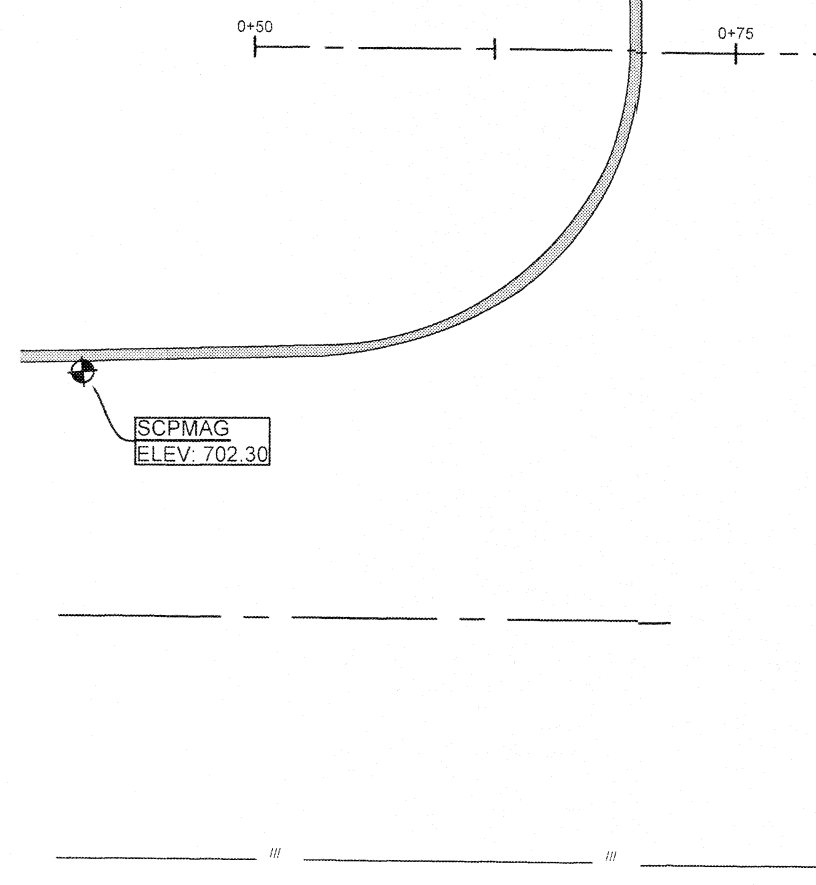


1 RETAINING WALL DETAIL
N.T.S.



2 TYPICAL CONCRETE SIDEWALK DETAIL
N.T.S.

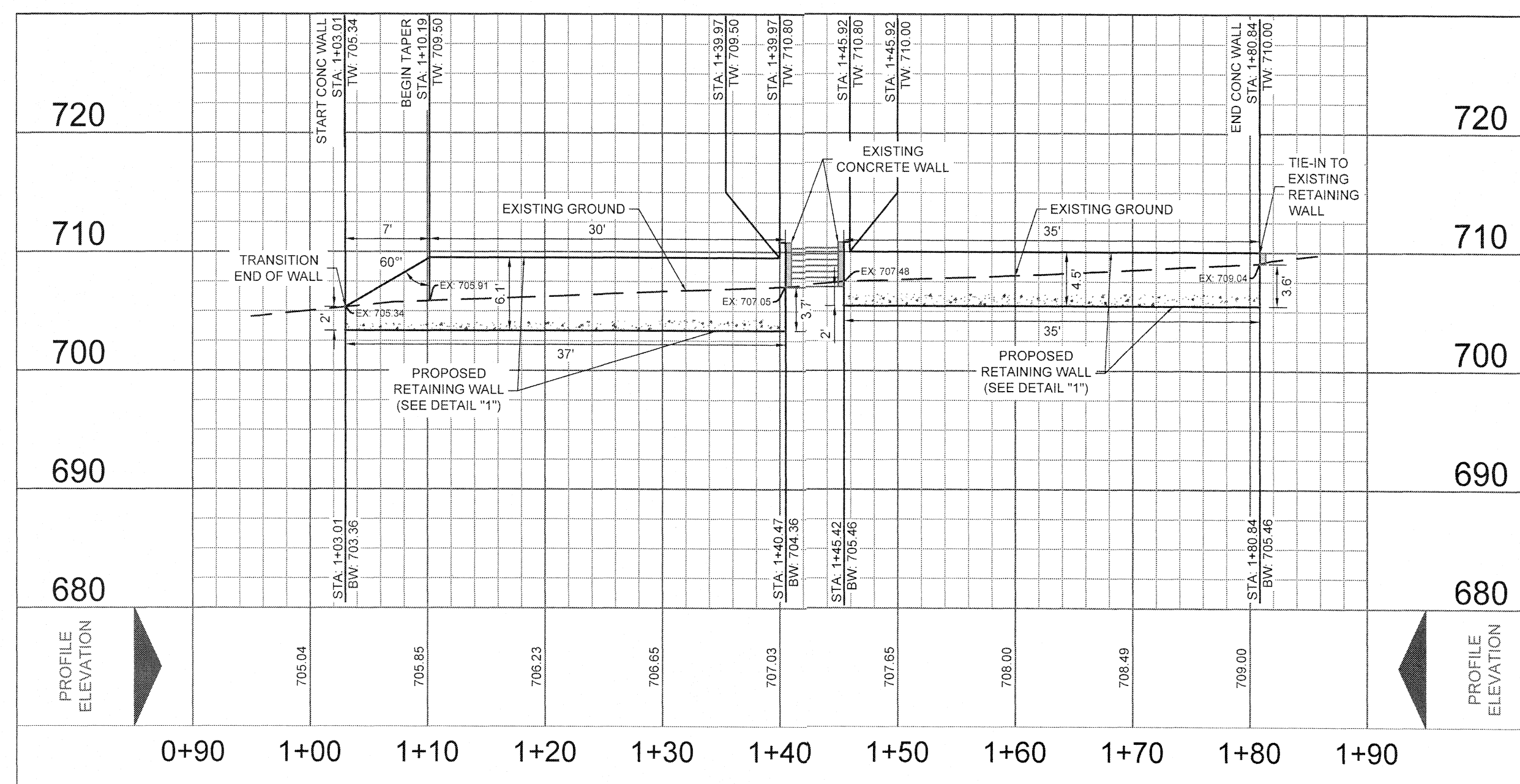
SHEARER BLVD
(PUBLIC RIGHT-OF-WAY)



W SUMMIT AVE
(PUBLIC RIGHT-OF-WAY)

RETAINING WALL ELEVATION "DETAIL A"

SCALE: 1" = 10'



RETAINING WALL ELEVATION "DETAIL A"

SCALE: 1" = 10'

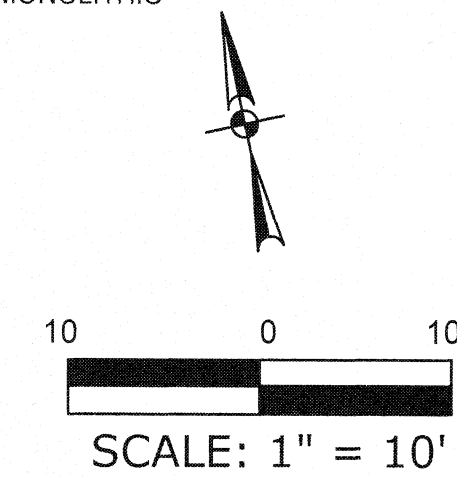
DEMOLITION NOTES:

1. LOCATION OF EXISTING UTILITIES AND DRAINAGE SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
2. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPEDE THE BUILDING CONSTRUCTION PROCESS.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, POWER POLES TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
4. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND CONTRACTOR SHALL REPLACE AT HIS EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION OR CONSTRUCTION.
6. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192, 181, CPS ELECTRIC COMPANY MUST MAINTAIN ACCESS TO VALVES AT ALL TIME THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
7. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION, AND DISPOSAL, OF ALL DEMOLISHED OR UNWANTED MATERIAL.
8. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION.

GENERAL NOTES

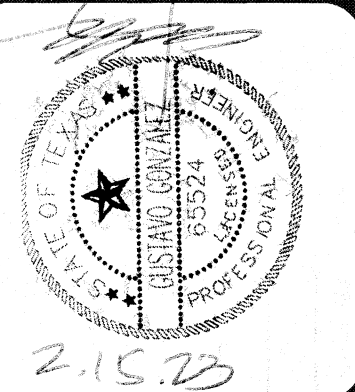
1. CONCRETE TO BE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, AND SHALL BE IN ACCORDANCE ACI 301. CEMENT SHALL BE TYPE 1 AND FLY ASH (IF USED) SHALL BE MONEX RESOURCES CLASS C. IF FLY ASH IS USED, IT SHALL NOT EXCEED 20% OF THE TOTAL AMOUNT OF FLY ASH AND CEMENT USED BY WEIGHT. CONTRACTOR SHALL SATISFY HIMSELF THAT THE MIX DESIGN IS ACCEPTABLE FOR ITS INTENDED PURPOSE.
2. CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH ACI 302.1R. FINISH TOLERANCE SHALL BE IN ACCORDANCE WITH ACI 117. A MINIMUM SET OF TWO TEST CYLINDERS FOR 28-DAY COMPRESSIVE STRENGTH TESTS ARE RECOMMENDED TO BE PERFORMED IN ACCORDANCE WITH ASTM C39.
3. CALL 811 LOCATES AND C.P.S. LOCATOR AT 978-3500, 48 HOURS BEFORE BEGINNING ANY EXCAVATION.
4. UNDERGROUND ELECTRIC, CABLE, GAS, WATER, AND TELEPHONE UTILITIES SHOWN HEREON WERE OBTAINED FROM UTILITY MAP RECORDS AND WERE NOT VERIFIED ON THE GROUND. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UTILITIES FIELD VERIFIED BY THE SPECIFIC UTILITY LOCATOR PRIOR TO BEGINNING CONSTRUCTION.
5. CONTRACTOR SHALL POOR RETAINING WALL MONOLITHIC.



LEGEND

- PROPERTY LINES
- EXISTING PAVEMENT
- EXISTING TOPO LINE
- EXISTING METAL HAND RAIL
- EXISTING CONCRETE
- EXISTING LANDSCAPE
- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL
- PROPOSED TOP ELEVATION OF CONCRETE RETAINING WALL
- EXISTING SPOT ELEVATION
- SITE BENCHMARK
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE

NO.	DESCRIPTION	REVISIONS		
		DATE	APPR.	FILE



GE Reaves Engineering
5250 Callaghan Road Suite 100
San Antonio, TX 78228
916.555.1100
TBPES #10133700 / TBPES F-4661
www.ge-reaveseng.com

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PROPOSED RETAINING WALL

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SHEET: C100