

**HISTORIC AND DESIGN REVIEW COMMISSION**  
**September 6, 2023**

**HDRC CASE NO:** 2023-339  
**ADDRESS:** 228 Odell St  
**LEGAL DESCRIPTION:** NCB 7391 BLK 22 LOT 12 & 13  
**ZONING:** R-5  
**CITY COUNCIL DIST.:** 1  
**APPLICANT:** Mitch S. Ford  
**OWNER:** Mitch S. Ford  
**TYPE OF WORK:** Historic Landmark Designation  
**CASE MANAGER:** Charles Gentry

**REQUEST:** The applicant is requesting a Historic Landmark Designation for 228 Odell St.

**APPLICABLE CITATIONS:**

*Unified Development Code Sec. 35-606. - Designation Process for Historic Landmarks.*

- a. **Authority.** Requests for landmark designation may only be made by or with the concurrence of the property owner or by City Council. Such landmarks shall bear the words "historic, landmark" (HL) in their zoning designation. In instances where a property owner does not consent to the landmark designation, the historic preservation officer shall request a resolution from city council to proceed with the designation process prior to any hearing regarding the designation by the historic and design review commission or zoning commission. Notwithstanding the foregoing, a request for landmark designation may be made and approved by the city council. Additionally, requests for designation by a property owner shall be made on a form obtained from the city historic preservation officer through the office of historic preservation. Completed request forms shall be returned to the office of historic preservation for processing. All buildings, objects, sites, structures, or clusters heretofore designated by the city council as historic landmarks under any pre-existing ordinance of the City of San Antonio shall be accorded the protection of properties designated historic landmarks under this chapter and shall continue to bear the words "historic, exceptional" (HE) or "historic, significant" (HS) in their zoning designation.
- b. **Initiation.**
  1. Any person, the historic and design review commission, zoning commission, the historic preservation officer, or the city council may initiate a request for review of historic significance or evaluation for eligibility for historic landmark designation. Owner consent to initiate historic landmark designation shall be required unless a city council resolution to proceed with the designation has been approved. Requests for historic landmark designation may be requested by or with verified written consent of a property owner and shall be made on a form obtained from the city historic preservation officer. Required application materials are listed in section 35-B129 of this chapter. Completed request forms shall be returned to the office of historic preservation for processing. Additionally, owners may submit with the application a written description and photographs or other visual material of any buildings or structures that they wish to be considered for designation as non-contributing to the historic landmark.
  2. Requests made by a person who does not represent the property owner may be made by submitting a Request for Review of Historic Significance. Required application materials are listed in section 35-B129 of this chapter. Completed request forms shall be returned to the office of historic preservation for processing. Such request does not initiate the historic designation process or automatically result in interim controls. All applications shall be evaluated by the historic preservation officer and may be referred to the Historic and Design Review Commission for a Finding of Historic Significance in accordance with this section.
- g. **Decision.** A Finding of Historic Significance may be approved by the Historic Preservation Officer or by the historic and design review commission by a majority vote of members present. If approved, the Historic Preservation Officer will seek concurrence from the property owner. Property owners may verify or withdraw consent at any time during the designation process.
  1. All requests for a change in zoning to include a historic zoning overlay having either written,

- verified owner consent or resolution by City Council to proceed with the historic landmark designation will be processed in accordance with 35-421.
2. If the subject property owner does not consent to the proposed designation, the Historic Preservation Officer shall request City Council resolution to initiate historic landmark designation.
  3. To designate a historic landmark, the city shall obtain consent to the designation by the owner of the property or approval of designation by three-fourths ( $\frac{3}{4}$ ) vote of the Historic and Design Review Commission recommending the designation and a three-fourths ( $\frac{3}{4}$ ) vote by the City Council. If the property is owned by an organization that is a religious organization under Section 11.20, Tax Code, the property may be designated as a historic landmark only if the organization consents to the designation.
  4. Upon passage of any ordinance designating a historic landmark, or removing the designation of historic, the city clerk shall send notice of the fact by mail to the owner or owners of affected property.

*Unified Development Code Sec. 35-607. – Designation Criteria for Historic Districts and Landmarks.*

- a. **Process for Considering Designation of Historic Districts and Landmarks.** Historic districts and landmarks shall be evaluated for designation using the criteria listed in subsection (b). In order to be eligible for historic landmark designation, properties shall meet at least three (3) of the criteria listed. Historic districts shall consist of at least two (2) or more structures within a legally defined boundary that meet at least three (3) of the criteria. Additionally, all designated landmarks and districts shall demonstrate clear delineation of the legal boundaries of such designated resources.
- b. **Criteria for Evaluation.**
  3. **Its identification with a person or persons who significantly contributed to the development of the community, county, state, or nation;**
  11. **It is distinctive in character, interest or value; strongly exemplifies the cultural, economic, social, ethnic or historical heritage of San Antonio, Texas or the United States;**
  13. **It bears an important and significant relationship to other distinctive structures, sites, or areas, either as an important collection of properties or architectural style or craftsmanship with few intrusions, or by contributing to the overall character of the area according to the plan based on architectural, historic or cultural motif.**

**FINDINGS:**

- a. The request for landmark designation was initiated by the property owner.
- b. **HISTORIC CONTEXT:** The structure at 228 Odell St is a 1935 one-story bungalow single-family residence in the Kenwood neighborhood of north-central San Antonio in City Council District 1. Mitch S. Ford currently owns the property. The earliest known occupants of the house are Reverend Eugene J. (1913-2007) and Jessie Lee Alcorn (1916-2009) Martin and their family who resided at the house for over 60 years. Mr. Martin was reverend at St. John Baptist Church at 119 West Olmos Drive, a Greyhound Bus Station employee, and an armored truck driver at the Federal Reserve Bank (Carter-Taylor-Williams Mortuary 2007). Mrs. Martin worked for the San Antonio Independent School District and assisted with church and community organizations. In 1942, the Martins and their five children moved to San Antonio from Granger, Texas (Carter-Taylor-Williams Mortuary 2009). At this time, the family settled in the Odell Street bungalow where they had six more children (Carter-Taylor-Williams Mortuary 2009). Originally a three-room house with an outdoor privy, the family added onto the home during the 1950s and 1960s (KSAT 12 2023). Mr. and Mrs. Martin were pivotal in improving Kenwood after the neighborhood experienced decades of disinvestment and discrimination. Kenwood was historically the home to many domestic employees who worked in the mansions of Monte Vista and Olmos Park (Ayala 2015, KSAT 12 2023). Despite being so close to these wealthy enclaves, Kenwood was ignored for much of its existence, evident through its unpaved roads, substandard housing, and lack of recreational facilities. During the term of Mayor Lila Cockrell (1989-1991), the Martins worked to establish the Kenwood Community Center and the Kenwood Health Facility (Carter-Taylor-Williams Mortuary 2009). Their activism led to neighborhood-wide revitalization of Kenwood by the U.S. Department of Housing and Urban Development (Carter-Taylor-Williams

Mortuary 2009). Throughout their ownership, the house was used for community gatherings, lodging for newcomers to the city, and meetings for the Kenwood Community Club and the Colored Organized Youths (COYS) (Carter-Taylor-Williams Mortuary 2009; Martin 1959; San Antonio Register 1972).

- c. **SITE CONTEXT:** The subject property occupies Lots 12 and 13 in the 1904 Hazelwood subdivision of Kenwood, a historically Black neighborhood located on the near-north side of San Antonio, bounded by Olmos Drive on the south, Wildwood on the north, between McCullough and San Pedro. The neighborhood is characterized by its mix of housing types, including single-family homes and duplexes constructed by the San Antonio Development Agency (SADA) during the 1970s urban renewal era, as well as churches, a senior living center, a community center and health clinic, and active commercial street corridors. The house at 228 Odell is situated mid-block between Howard Street and North Main Avenue, among a variety of brick-clad minimal traditional homes and ranch-style residences, and the El Salvador Assembly of God Church at the corner of Odell and North Main Avenue.
- d. **ARCHITECTURAL DESCRIPTION:** The subject property does not exhibit a distinctive architectural style, but does feature elements of the Craftsman style, such as exposed rafters and its bungalow form. Facing south from Odell Street, the front façade has two bays arranged in an L-Plan with a recessed integrated porch. The porch area on the west end (right side) of the house has a front-gable roof and the bay on the east end (left side) has a side-gable roof. The front door is set within the ell of the integrated porch. A pairing of 1/1 single-hung vinyl windows flank the entrance on the porch volume and the east volume. The east and west elevations have a side-gable roof and are approximately 4.5 bays long. Both side elevations have three 1/1 single-hung vinyl windows spaced throughout the wall area. One of these windows on the east elevation is a small 1/1 single-hung vinyl window in the kitchen area. Towards the south end of the east elevation is a pantry-sized volume that juts outwards from the building. The south (rear) elevation has a front-gable roof with a shed-roof extension in its southeastern corner. A small 1/1 single-hung vinyl window and back door are behind an uncovered nonhistoric-age wooden deck. The front yard is bordered by a historic-age knee-high concrete retaining wall. At the center of the retaining wall, two steps and a concrete walkway join the porch to the sidewalk. The bungalow has several historic-age additions and modifications. By 1963, the Martins added a rear addition (Nationwide Environmental Title Research 1963). The rear porch was enclosed during this time. In 1969, concrete was poured for the porch and aluminum siding was installed (Bexar County Clerk 1969). Between 1966 and 2019, a garage was present where the driveway currently exists (Bexar County Clerk 1966, Google 2019). Nonhistoric-age alterations to the historical house include replaced windows, doors, wall cladding, and porch supports. The house has vinyl windows, metal composite doors, and HardiPlank cement board siding. The replaced siding appears to have covered existing wooden siding beneath the cement board siding. Exposed rafters are covered by a fascia board. According to historical images (Images 9-12) of the house, a secondary door adjacent to the current entrance was set within the ell of the porch (now enclosed). At this time, the windows were 1/1 single-hung wooden sashes, and the porch supports were metal. Now, the supports are rectangular wooden posts and wooden railings have been installed at the porch staircase. Additional changes to the property include an extended nonhistoric-age privacy fence on the east side yard and a hog wire front yard fence and gates.
- e. **EVALUATION:** In order to be eligible for historic landmark designation, properties shall meet at least three (3) of the 16 criteria listed. The applicant submitted that the property meets the following criteria, consistent with UDC sec. 35-607(b):

**3. Its identification with a person or persons who significantly contributed to the development of the community, county, state, or nation;** for its association with the prominent family of Reverend E.J. and Jessie Lee Martin who both contributed to the development of the historically Black Kenwood neighborhood.

**11. It is distinctive in character, interest or value; strongly exemplifies the cultural, economic, social, ethnic or historical heritage of San Antonio, Texas or the United States;** as a significant

social space where community organizations' meetings, visitors, and gatherings were hosted by the Martin family.

**13. It bears an important and significant relationship to other distinctive structures, sites, or areas, either as an important collection of properties or architectural style or craftsmanship with few intrusions, or by contributing to the overall character of the area according to the plan based on architectural, historic or cultural motif;** as one of the last remaining bungalow residences in the Kenwood neighborhood. Although the building has modifications, it retains its location, bungalow design, neighborhood setting and feeling, and domestic association.

- f. The City offers a tax incentive for the substantial rehabilitation of historic properties because historic landmarks possess cultural and historical value and contribute to the overall quality and character of the City and its neighborhoods. If historic designation is approved, rehabilitation and restoration work may be eligible for this incentive. State and Federal tax incentives are also available for properties listed on the National Register of Historic Places and provide substantial relief for rehabilitation projects.
- g. If the HDRC approves the Historic Landmark Designation, then the recommendation for designation is submitted to the Zoning Commission. The Zoning Commission will schedule a hearing and then forward its recommendation to the City Council. City Council has the ultimate authority to approve the historic designation zoning overlay.
- h. Per UDC Sec. 35-608, once the Commission makes a recommendation for designation, property owners must receive a written approval (a Certificate of Appropriateness) for any exterior work until the City Council makes their final decision.

**RECOMMENDATION:** Staff recommends approval of a Historic Landmark Designation of 228 Odell St. based on findings a through e.

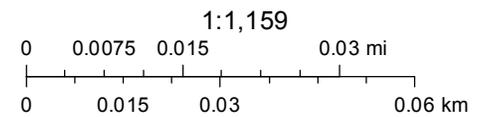
# City of San Antonio One Stop



September 1, 2023

drawGraphics\_poly

User drawn polygons



City of San Antonio Office of Historic Preservation  
1901 S. Alamo  
San Antonio, TX 78204

Date: July 25, 2023  
Re: Landmark Application

## **STATEMENT OF SIGNIFICANCE**

Reverend E.J. and Jessie Lee Martin House  
228 Odell Street  
San Antonio, TX 78212

### **Architectural Description**

The Martin House is a 1935 one-story bungalow single-family residence in the Kenwood neighborhood of north-central San Antonio (Bexar CAD 2023). The house does not exhibit a distinctive architectural style, but does feature elements of the Craftsman style, such as exposed rafters and its bungalow form. Facing south from Odell Street, the front façade has two bays arranged in an L-Plan with a recessed integrated porch. The porch area on the west end (right side) of the house has a front-gable roof and the bay on the east end (left side) has a side-gable roof. The front door is set within the ell of the integrated porch. A pairing of 1/1 single-hung vinyl windows flank the entrance on the porch volume and the east volume. The east and west elevations have a side-gable roof and are approximately 4.5 bays long. Both side elevations have three 1/1 single-hung vinyl windows spaced throughout the wall area. One of these windows on the east elevation is a small 1/1 single-hung vinyl window in the kitchen area. Towards the south end of the east elevation is a pantry-sized volume that juts outwards from the building. The south (rear) elevation has a front-gable roof with a shed-roof extension in its southeastern corner. A small 1/1 single-hung vinyl window and back door are behind an uncovered nonhistoric-age wooden deck. The front yard is bordered by a historic-age knee-high concrete retaining wall. At the center of the retaining wall, two steps and a concrete walkway join the porch to the sidewalk.

The bungalow has several historic-age additions and modifications. By 1963, the Martins added a rear addition (Nationwide Environmental Title Research 1963). The rear porch was enclosed during this time. In 1969, concrete was poured for the porch and aluminum siding was installed (Bexar County Clerk 1969). Between 1966 and 2019, a garage was present where the driveway currently exists (Bexar County Clerk 1966, Google 2019).

Nonhistoric-age alterations to the historical house include replaced windows, doors, wall cladding, and porch supports. The house has vinyl windows, metal composite doors, and HardiPlank cement board siding. The replaced siding appears to have covered existing wooden siding beneath the cement board siding. Exposed rafters are covered by a fascia board. According to historical images ([Images 9-12](#)) of the house, a secondary door adjacent to the current entrance was set within the ell of the porch (now enclosed). At this time, the windows were 1/1 single-hung wooden sashes, and the porch supports were metal. Now, the supports are rectangular wooden posts and wooden railings have been installed at the porch staircase. Additional changes to the property include an extended nonhistoric-age privacy fence on the east side yard and a hog wire front yard fence and gates.

### **Property History**

The Martin House occupies Lots 12 and 13 in the 1904 Hazelwood subdivision of the historically Black Kenwood neighborhood in north-central San Antonio. The earliest known occupants of the house are

Reverend Eugene J. (1913-2007) and Jessie Lee Alcorn (1916-2009) Martin and their family who resided at the house for over 60 years. Mr. Martin was reverend at St. John Baptist Church at 119 West Olmos Drive, a Greyhound Bus Station employee, and an armored truck driver at the Federal Reserve Bank (Carter-Taylor-Williams Mortuary 2007). Mrs. Martin worked for the San Antonio Independent School District and assisted with church and community organizations. In 1942, the Martins and their five children moved to San Antonio from Granger, Texas (Carter-Taylor-Williams Mortuary 2009). At this time, the family settled in the Odell Street bungalow where they had six more children (Carter-Taylor-Williams Mortuary 2009). Originally a three-room house with an outdoor privy, the family added onto the home during the 1950s and 1960s (KSAT 12 2023).

Mr. and Mrs. Martin were pivotal in improving Kenwood after the neighborhood experienced decades of disinvestment and discrimination. Kenwood was historically the home to many domestic employees who worked in the mansions of Monte Vista and Olmos Park (Ayala 2015, KSAT 12 2023). Despite being so close to these wealthy enclaves, Kenwood was ignored for much of its existence, evident through its unpaved roads, substandard housing, and lack of recreational facilities. During the term of Mayor Lila Cockrell (1989-1991), the Martins worked to establish the Kenwood Community Center and the Kenwood Health Facility (Carter-Taylor-Williams Mortuary 2009). Their activism led to neighborhood-wide revitalization of Kenwood by the U.S. Department of Housing and Urban Development (Carter-Taylor-Williams Mortuary 2009). Throughout their ownership, the house was used for community gatherings, lodging for newcomers to the city, and meetings for the Kenwood Community Club and the Colored Organized Youths (COYS) (Carter-Taylor-Williams Mortuary 2009; Martin 1959; *San Antonio Register* 1972).

## Criteria

The Martin House meets the following criteria based on the City of San Antonio Unified Development Code, Article VI, Division 2 Sec. 35-607. - Designation Criteria for Historic Districts and Landmarks:

- 3. Its identification with a person or persons who significantly contributed to the development of the community, county, state, or nation;
- 10. Its character as an established and geographically definable neighborhood, united by culture, architectural style or physical plan and development, and;
- 11. It is distinctive in character, interest, or value; strongly exemplifies the cultural, economic, social, ethnic, or historical heritage of San Antonio, Texas, or the United States.

The Martin House is significant under **Criteria #3** and **#11** for its association with the prominent family of Reverend E.J. and Jessie Lee Martin who both contributed to the development of the historically Black Kenwood neighborhood. The house meets **Criteria #10** as one of the last remaining bungalow residences in the Kenwood neighborhood. Although the building has modifications, it retains its location, bungalow design, neighborhood setting and feeling, and domestic association.

## Partial Chain of Title

Grantor	Grantee	Date	Instrument	Volume/Page
E. J. and Jessie Lee Martin*	F. Kelly	3/30/1949	Lien	293/202
Sam B. Lifshutz	E. J. and Jessie Lee Martin	11/10/1952	Deed	3251/423
E. J. and Jessie Lee Martin	Richard Gill Investment Co.	6/15/1966	Lien	667/944
E. J. and Jessie Lee Martin	South Presa Lumber Co.	3/13/1969	Lien	723/655
Est. of Jessie Lee Martin	Joe and Debra Iley	11/29/2017	Deed	18869/753
Joe and Debra Iley	Adelante Real Estate	12/7/2017	Deed	18888/564
Adelante Real Estate	Amy Wanka	9/23/2021	Deed	20210270273
Amy Wanka	Mitchell Ford	8/1/2022	Deed	20220188224

\*The Martin family moved into the house in 1942 but did not own the home until 1952. It is unclear who owned the house before Sam B. Lifshutz.

## References

Bexar Central Appraisal District (CAD). 2023. "Property Search." Accessed on July 25, 2023 at [https://bexar.trueautomation.com/clientdb/Property.aspx?cid=110&prop\\_id=392040&year=2023](https://bexar.trueautomation.com/clientdb/Property.aspx?cid=110&prop_id=392040&year=2023).

Bexar County Clerk.

1949. Mechanic's Lien 293/202. San Antonio, Texas.

1952. Deed 3251/423. San Antonio, Texas.

1966. Mechanic's Lien 667/944. San Antonio, Texas.

1969. Mechanic's Lien 723/655. San Antonio, Texas.

2017. Deed 18869/753. San Antonio, Texas.

2017. Deed 18888/564. San Antonio, Texas.

2021. Deed 20210270273. San Antonio, Texas.

2022. Deed 20210270273. San Antonio, Texas.

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2007. "Homegoing Celebration for Rev. E. J. Martin."

<https://texashistory.unt.edu/ark:/67531/metaph226646/m1/7/zoom/?q=%22e%20j%20martin%22&resolution=2&lat=1476&lon=750>

2009. "Funeral program for Mrs. Jessie Lee Alcorn Martin." Accessed on July 25, 2023, at

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Google Maps

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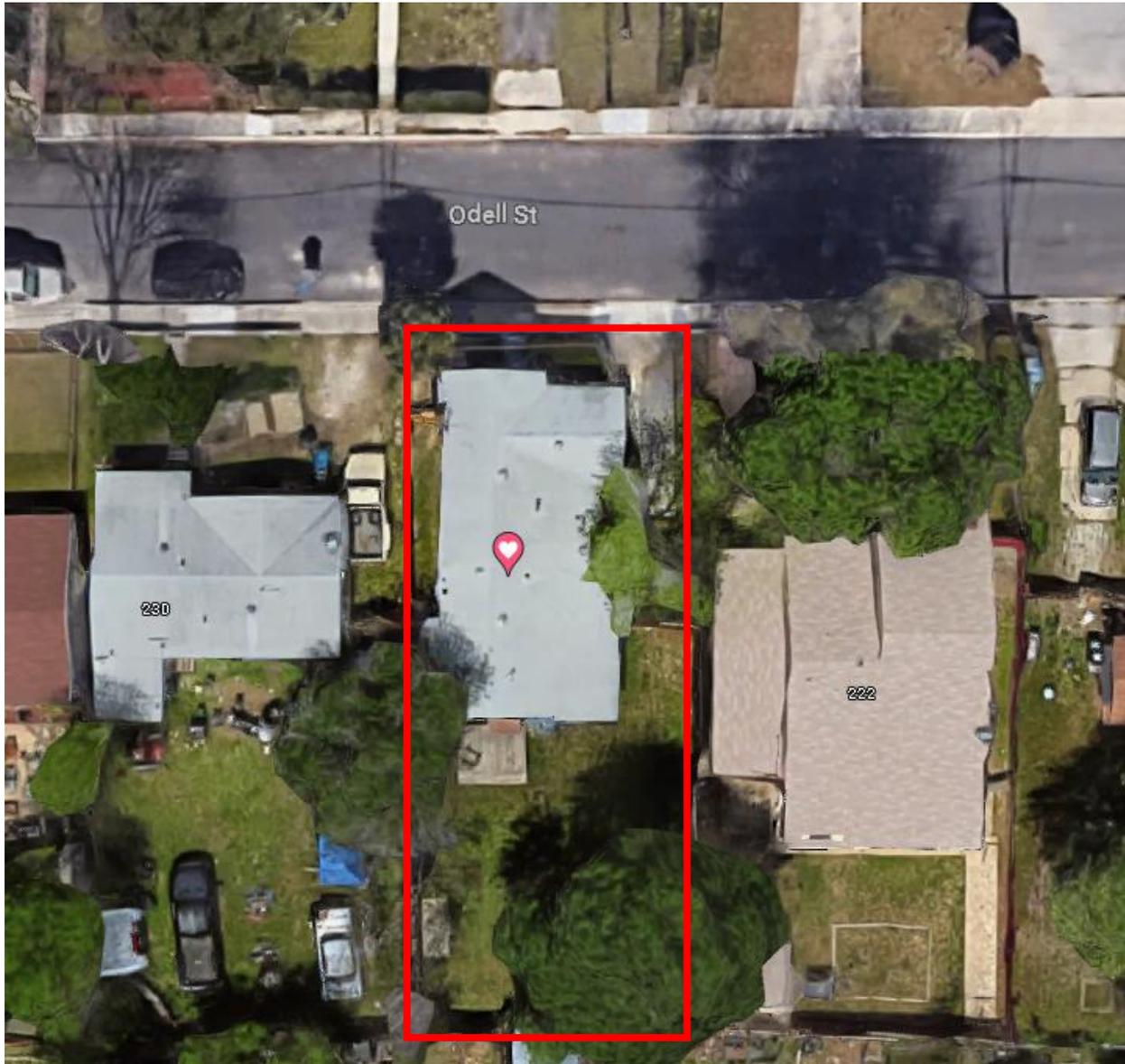
KSAT 12. 2023. "History Untold: A San Antonio neighborhood next to wealthy suburb." Accessed on July 25,

2023, at <https://www.youtube.com/watch?v=9gHtriFeHil>.

*San Antonio Register*. 1972. "COYS." October 6, 1972. Accessed on July 25, 2023, at

<https://texashistory.unt.edu/ark:/67531/metaph1052369/m1/9/?q=%22martin%22%2B%222228+odell%22>

**Map**



Google Map of parcel (Google 2023).

**Property Images**



**Image 1.** View facing south towards front façade from Odell Street.



**Image 2.** View facing southwest.



**Image 3.** View facing south/southwest.



**Image 4.** View facing south/southeast.



**Image 5.** View facing southeast.



**Image 6.** View facing northwest towards rear (south) elevation (left) and east elevation (right).



**Image 7.** View facing south towards rear (south) elevation.



**Image 8.** View facing north/northeast towards west elevation (partially obstructed because of lot size/fence).

**Supplemental Images**



**Image 9.** Front façade with garage addition (date unknown). Source: Dorothy Sawyers (KSAT12 2023).



**Image 10.** Detail of front façade (date unknown). Source: Dorothy Sawyers (KSAT12 2023).



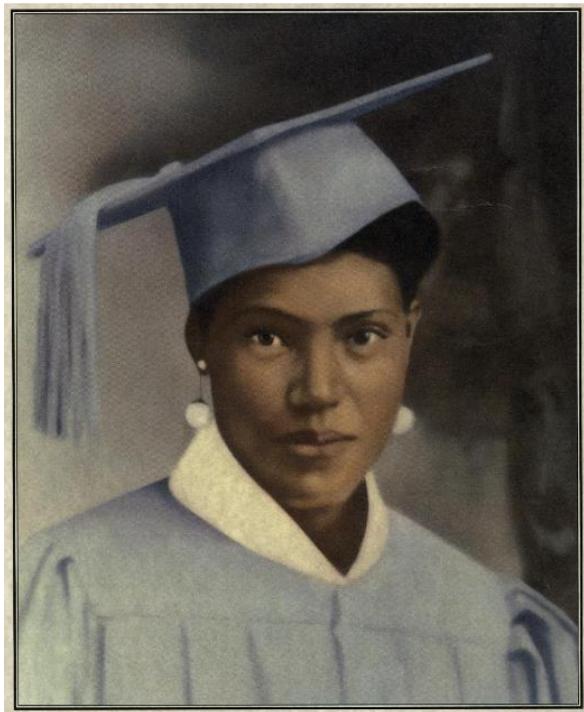
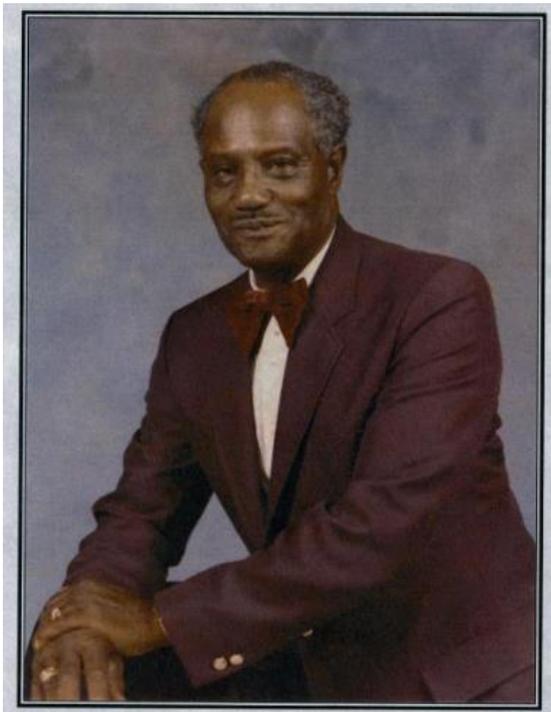
**Image 11.** View facing southeast in 2016. Note the two doors within the ell (Google Street View 2016).



**Image 12.** View facing southwest in 2011 (Google Street View 2011).



**Images 13-14.** Mr. and Mrs. Martin pictured in front of the 228 Odell Street home (dates unknown) (Carter-Taylor-Williams Mortuary 2009).



**Images 15-16.** Portraits of Mr. (left) and Mrs. (right) Martin (dates unknown) (Carter-Taylor-Williams Mortuary 2007; 2009).