

HISTORIC AND DESIGN REVIEW COMMISSION

September 06, 2023

HDRC CASE NO:	2023-352
COMMON NAME:	Rosedale Park
ADDRESS:	303 DARTMOUTH ST
LEGAL DESCRIPTION:	NCB 8274 BLK 12 LOT 12 THRU 20
ZONING:	R-5
CITY COUNCIL DIST.:	5
APPLICANT:	Beth Wells/Bender Wells Clark Design
OWNER:	Jeffrey Wurzbach/CITY OF SAN ANTONIO
TYPE OF WORK:	Park improvements
APPLICATION RECEIVED:	August 16, 2023
60-DAY REVIEW:	October 15, 2023
CASE MANAGER:	Jessica Anderson
REQUEST:	

The applicant requests a Certificate of Appropriateness for approval to:

1. Install a new concrete walkway from the Greenway trail to the play area and parking lot.
2. Expand the existing skate park to include a covered seating area, a new shade structure, picnic tables, and hardscaping.
3. Construct a toilet enclosure on a concrete pad.
4. Remove 780 linear feet of existing fencing south of the existing play area and install 520 linear feet of new fencing along the south edge of the event venue.
5. Add site furniture, upgraded drinking fountains, and fabric shade structures.
6. Plant additional trees near the existing play area and skate park.
7. Relocate two existing signs.

APPLICABLE CITATIONS:

UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

UDC Sec 35-642. – New Construction of Buildings and Facilities:

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

- (1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.
- (2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

- (3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.
 - (4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.
- (b) Building Design.
- (1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.
 - (2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.
 - (3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.
 - (4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.
 - (5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.
 - (6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.
 - (7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.
 - (8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

FINDINGS:

- a. The property at 303 Dartmouth is Rosewood Park, a city-owned property not located in an historic district or individually designated as a landmark. The property is bound to the west by N General McMullen Dr, the north by Ruiz St, the east by N 27th St, and the south by W Martin St. The park includes a playground, event venue, playground, soccer fields, and baseball diamonds.
- b. WALKWAY: The applicant requests to install walkways connecting the Greenway trail to the play. UDC Sec. 35-642(b)(8) states that the site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places. Staff finds the proposal generally consistent with the UDC Sec. 35-642.
- c. SKATE PARK EXPANSION: The applicant requests to expand the existing skate park to include a covered seating area, a new shade structure, picnic tables, and hardscaping. Staff finds the request appropriate.
- d. TOILET ENCLOSURE: The applicant requests to construct an 8'2"x9" metal frame and mesh toilet enclosure on 15'x11.5' concrete slab. Staff finds the request appropriate.
- e. FENCING: The applicant requests to remove 780 linear feet of existing fencing south of the existing play area and install 520 linear feet of new fencing along the south edge of the event venue. The applicant indicated that elements of the existing fencing will be reused to construct the new fencing. Staff finds the request appropriate.
- f. LANDSCAPING (TREES): The applicant requests to plant additional trees near the existing play area and skate park, as well as revegetate areas disturbed by the proposed scope of work. Staff finds the request appropriate.

- g. SIGNAGE: The applicant requests to relocate two existing signs, one near the proposed toilet enclosure and one at the skate park. Staff finds the request appropriate.

RECOMMENDATION:

Staff recommends approval of items 1 through 7, based on findings a through g.

ROSEDALE PARK 2022-2027 BOND IMPROVEMENTS

The applicant is requesting final approval for construction of new park improvements at Rosedale Park.

Bender Wells Clark Design and their sub-consultants have developed Construction Documents for these proposed improvements. Components of this project were funded by the 2022 Parks Bonds and include:

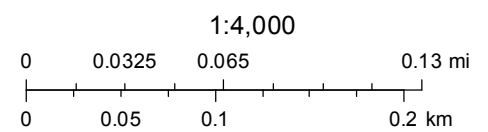
- 1) A new accessible concrete walk from Martin Street (greenway trailhead) to the parking lot and play area at the top of the hill near the event space
- 2) Re-location of existing chain-link fencing to allow more access to park facilities from the neighborhood
- 3) New chemical toilet enclosure
- 4) Skatepark expansion
- 5) Alternate for shade structures and seating at the skatepark

All the proposed improvements will be accessible, constructed of long-lived materials. All the improvements were approved through neighborhood meetings.

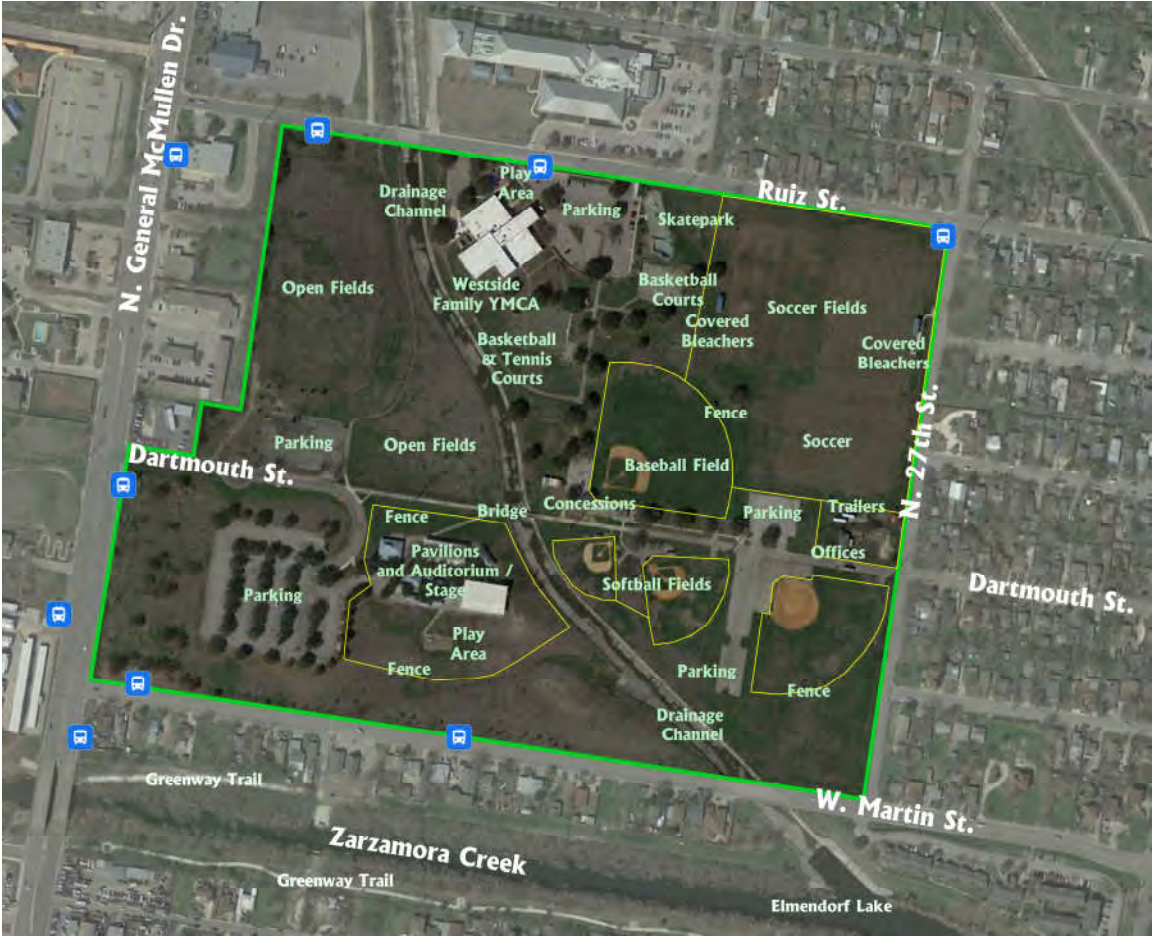
City of San Antonio One Stop



August 31, 2023



Rosedale Park Improvements -2022 Bond



Aerial Photo of site



Existing Play Area



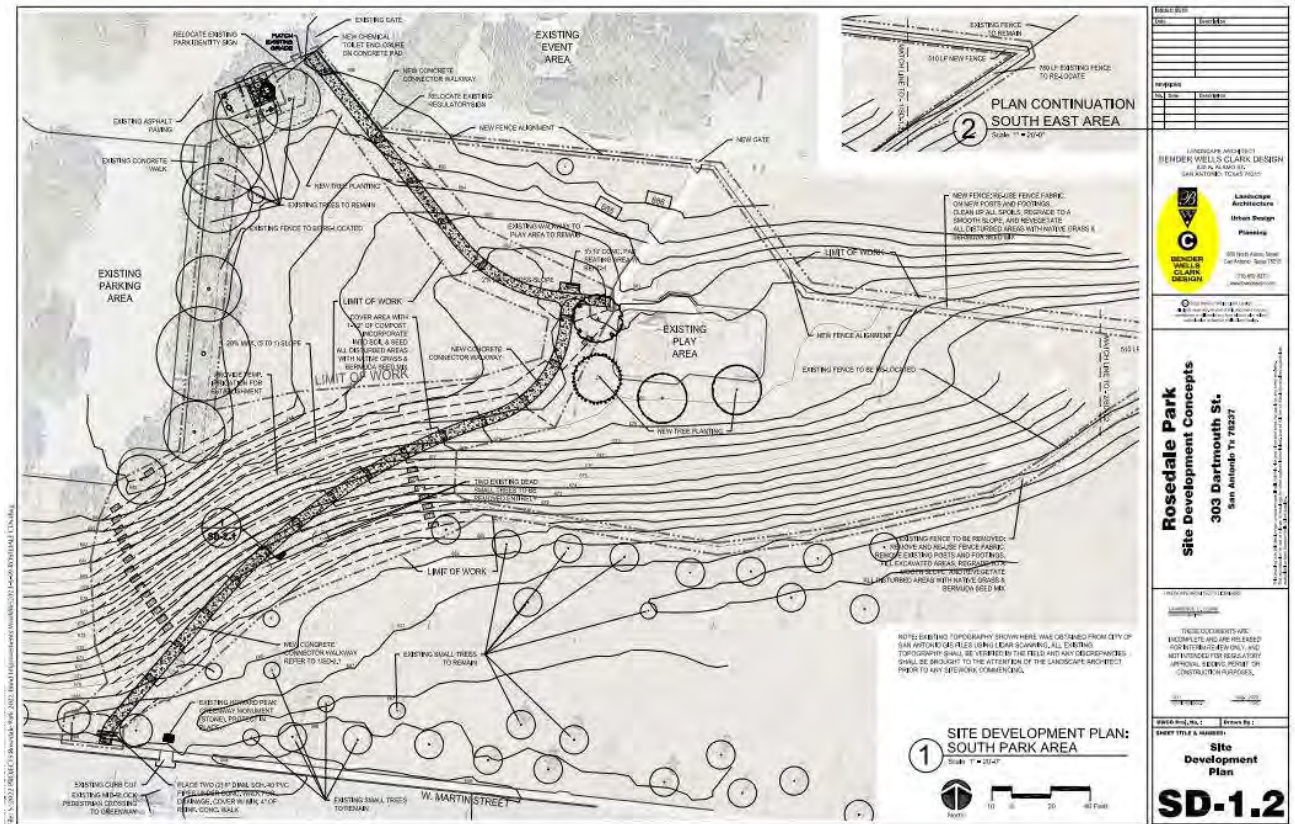
Existing Skatepark



Proposed Skatepark Addition (lighter area)



Area of new walk connection from Martin Street



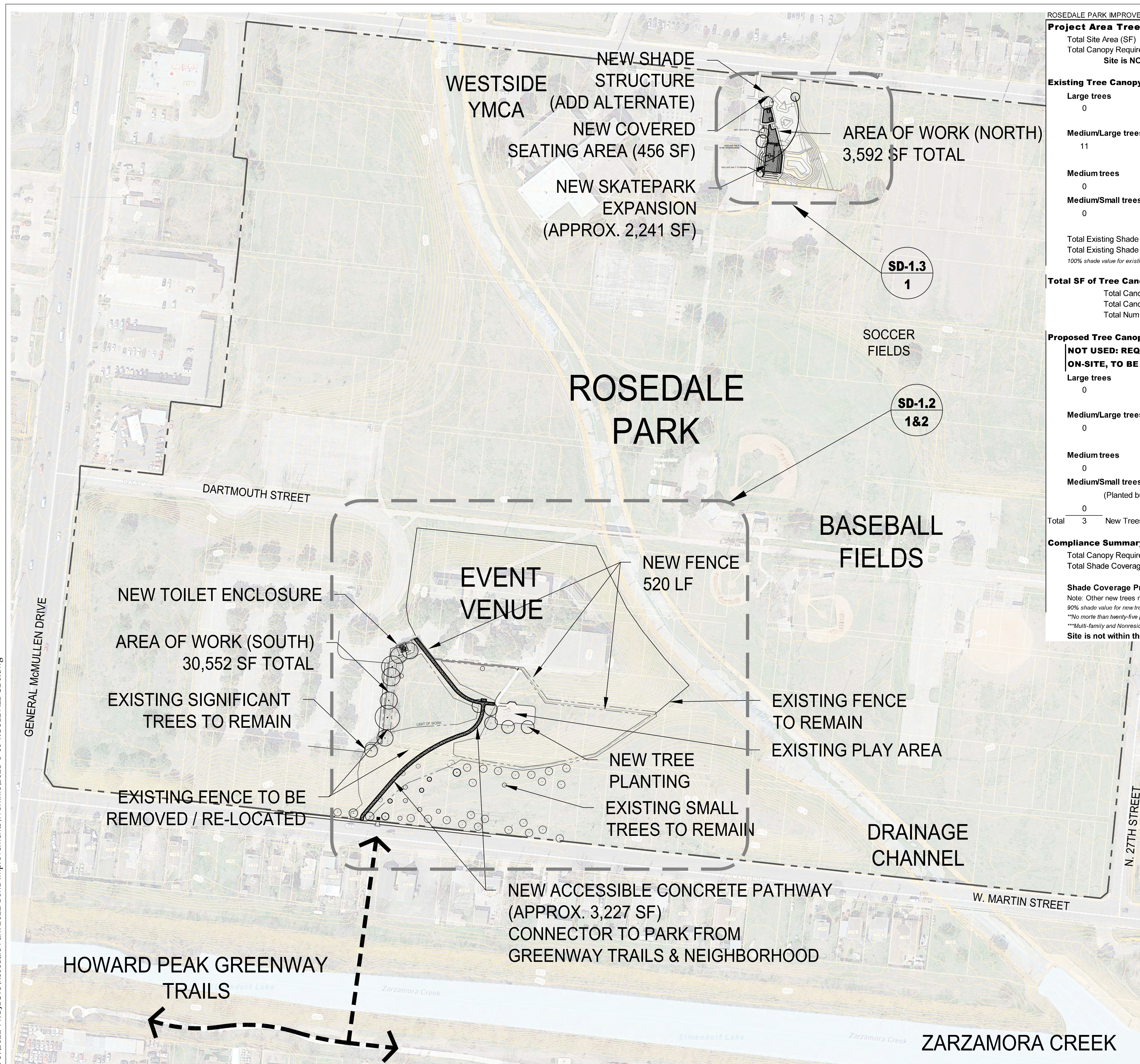
Proposed accessible walk connection from Martin Street and relocated fence alignment



Existing Chemical Toilet Enclosure (proposed similar)

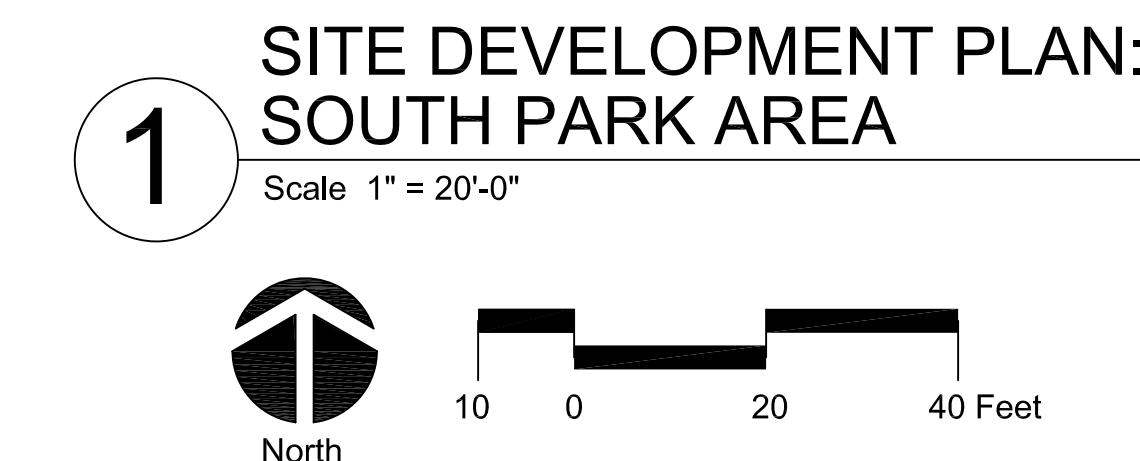


Fabric Shade at Skatepark (Alternate)

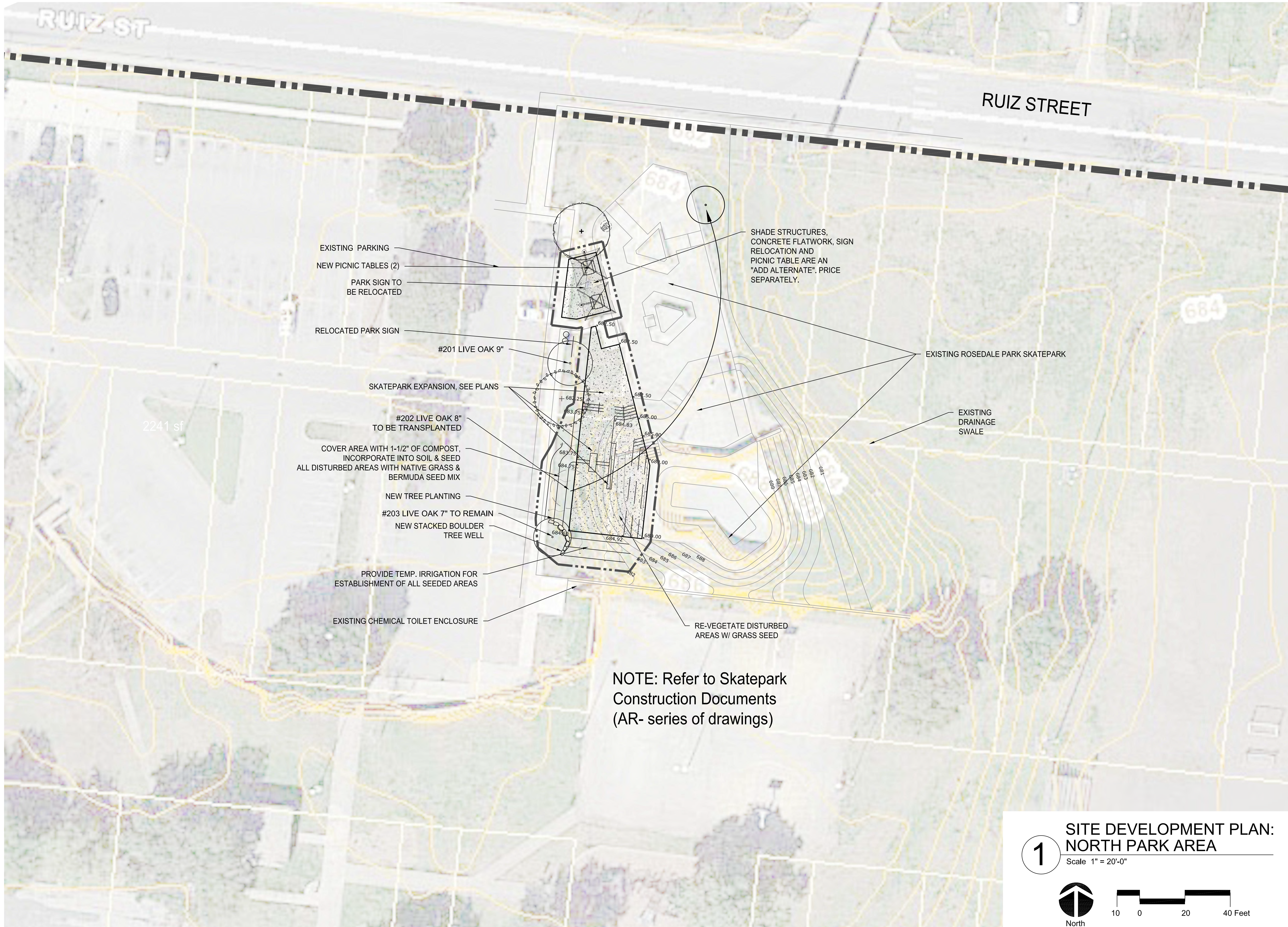


ROSEDALE PARK IMPROVEMENTS			
Project Area Tree Canopy Coverage Table			
Total Site Area (SF)		34,144 SF	
Total Canopy Required		25%	
Site is NOT within the CRAG Boundary		8,536 SF	
Existing Tree Canopy Preservation			
Large trees	Shade Value	Species	Bald Cypress, Cottonwood, Deodar Cedar,
0	1200	0.00 sf	Pecan, Red Oak, Sycamore, Burr Oak and Texas Sycamore
Medium/Large trees		Species	Anaqua, Arizona Cypress, Live Oak, Texas Grn. Ash, Cedar Elm,
11	875	9,625.00 sf	Cedar Elm, Chinkapin Oak, Esc. Blk. Cherry, Blk. Willow, Eve's and Western Soapberry
Medium trees		Species	Honey Locust, Huisache & Lacey Oak
0	550	0.00 sf	
Medium/Small trees		Species	Anacacho Orchid Tree, Ashe Juniper, Carolina Buckthorne,
0	275	0.00 sf	Condalia, Crabapple, Goldenball Lead Tree, Mesquite, Persimmon, Possumhaw, Redbud, Retama, Wild Olive, and Vitex
Total Existing Shade Coverage Provided=		9,625.00 SF	
Total Existing Shade Coverage Provided=		28.19%	
100% shade value for existing trees meeting RP2 criteria			
Total SF of Tree Canopy Outstanding			
Total Canopy Required		15% of Site Area	8,536 SF
Total Canopy Required minus Existing Canopy Provided			-1,089 SF
Total Number of Trees for Canopy Outstanding		-1,089 SF / 788 SF=	-1.38 Trees or -2 Trees
Proposed Tree Canopy Planting (New Planting with 90% Shade Value of Existing Trees)			
NOT USED: REQUIRED TREE CANOPY IS MET ENTIRELY WITH EXISTING TREES ON-SITE, TO BE PRESERVED AS NOTED ON THE DRAWINGS.			
Large trees	Shade Value	Species	Bald Cypress, Cottonwood, Deodar Cedar,
0	1080	0 sf	Pecan, Red Oak, Sycamore, Burr Oak and Texas Sycamore
Medium/Large trees		Species	Anaqua, Arizona Cypress, Live Oak, Texas Grn. Ash,
0	788	0 sf	Cedar Elm, Chinkapin Oak, Esc. Blk. Cherry, Blk. Willow, Eve's Necklace, and Western Soapberry
Medium trees		Species	Honey Locust, Huisache & Lacey Oak
0	495	0 sf	
Medium/Small trees		Species	Anacacho Orchid Tree, Ashe Juniper, Carolina Buckthorne,
(Planted but not counted)			
0	247.5	0.0 sf	Condalia, Crabapple, Goldenball Lead Tree, Mesquite,
Total	3	New Trees	Persimmon, Possumhaw, Redbud, Retama, Tx. Mt. Laurel, Wild Olive & Vitex
Total Shade Value		0.00 SF	
Compliance Summary			
Total Canopy Required		15% of Site Area	8,536 SF
Total Shade Coverage Provided (Existing + New):		9,625 SF	
Shade Coverage Provided (Existing + New) as a percent of Required Shade Canopy for Site = 112.76%			
Note: Other new trees may be provided, as shown on the Site Development Plans, though not counted for Tree Canopy here.			
90% shade value for new trees, minimum of 1.5" cal. Each			
**No more than twenty-five of the replacement trees shall be of the same species for purposes of mitigation			
***Multi-family and Nonresidential sites require a minimum tree canopy cover of twenty-five (25) percent of the total site area			
Site is not within the CRAG Boundary * 25% Gross Project Area Shade Canopy Required			

ISSUED SETS		
Date	Description	
REVISIONS		
No.	Date	Description
<div><div><div>LANDSCAPE ARCHITECT</div><div>BENDER WELLS CLARK DESIGN</div><div>830 N. ALAMO ST.</div><div>SAN ANTONIO, TEXAS 78215</div></div><div><div><div>Landscape Architecture</div><div>Urban Design</div><div>Planning</div><div>830 North Alamo Street San Antonio, Texas 78215</div><div>210-692-9221 www.bwcdesign.com</div></div></div></div>		
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<div><div><div>Rosedale Park</div><div>Site Development Concepts</div><div>303 Dartmouth St.</div><div>San Antonio Tx 78237</div></div><div><div>This drawing and this design was prepared specifically for this site and client and does not apply to any other projects. The reproduction or use of this set of drawings for other projects is prohibited. Use of this set of drawings requires appropriate</div></div></div>		
<div>LANDSCAPE ARCHITECT'S LICENSURE</div> <div><div>LAWRENCE C. CLARK</div><div>LANDSCAPE ARCHITECT</div></div> <div><div>THESE DOCUMENTS ARE INCOMPLETE AND ARE RELEASED FOR INTERIM REVIEW ONLY, AND NOT INTENDED FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.</div></div> <div><div>1211 TX REGISTRATION NO.</div><div>Aug., 2022 DATE</div></div>		
BWCD Proj. No. :		Drawn By :
SHEET TITLE & NUMBER:		
Site Reference Plan		
SD-1.1		



BWCD Proj. No. :	Drawn By :
SHEET TITLE & NUMBER:	
<p style="text-align: center;">Site Development Plan</p> <p style="text-align: center;">SD-1.2</p>	



NOTE: Refer to Skatepark
Construction Documents
(AR- series of drawings)

1 SITE DEVELOPMENT PLAN:
NORTH PARK AREA
Scale 1" = 20'-0"

North

10 0 20 40 Feet

ISSUED SETS	
Date	Description

REVISIONS		
No.	Date	Description

LANDSCAPE ARCHITECT
BENDER WELLS CLARK DESIGN
830 N. ALAMO ST.
SAN ANTONIO, TEXAS 78215

**Landsc
Architecture**

Urban Design

Planning

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Rosedale Park
Site Development Concepts
303 Dartmouth St.
San Antonio Tx 78237

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LANDSCAPE ARCHITECT'S LICENSURE

LAWRENCE G. CLARK
LANDSCAPE ARCHITECT

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1211
TX REGISTRATION NO.

Aug., 2022
DATE

BWCD Proj. No. : Drawn By :

SHEET TITLE & NUMBER:

**Site
Development
Plan- North**

SD-1.3

ROSEDALE SKATEPARK - PHASE II

SAN ANTONIO, TEXAS

100% SUBMITTAL

GENERAL NOTES

1. NOTIFY THE ACTION SPORTS DESIGNER IMMEDIATELY OF ANY DISCREPANCIES WITHIN THE CONSTRUCTION DOCUMENTS AND/OR WRITTEN SPECIFICATIONS.
2. THE METRIC EQUIVALENT "[]" DIMENSIONS ARE SHOWN FOR REFERENCE ONLY.
3. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL QUANTITIES.
4. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND/OR NATIONAL BUILDING CODES AND REQUIREMENTS.
5. THE CONTRACTOR SHALL WARRANTY ALL OF THEIR WORK DURING CONSTRUCTION AND A MINIMUM OF ONE YEAR AFTER THE PROJECT IS COMPLETED.

STEEL SHAPES CHART

ROUND		SQUARE		RECTANGULAR	
NOMINAL	HSS	NOMINAL	HSS	NOMINAL	HSS
2"	2.375 x 0.1875 6.03cm x 4.76mm	2"x2"	2.00 x 2.00 x 0.1875 5.08cm x 5.08cm x 4.76mm	2"x6"	2.00 x 6.00 x 0.1875 5.08cm x 15.24cm x 4.76mm
2-1/2"	2.875 x 0.1875 7.30cm x 4.76mm	2-1/2"x2-1/2"	2.50 x 2.50 x 0.1875 7.30cm x 7.30cm x 4.76mm	2"x8"	2.00 x 8.00 x 0.1875 5.08cm x 20.32cm x 4.76mm
3"	3.50 x 0.1875 8.89cm x 4.76mm	3"x3"	3.00 x 3.00 x 0.1875 7.62cm x 7.62cm x 4.76mm	2-1/2"x4"	2.50 x 4.00 x 0.1875 6.35cm x 10.16cm x 4.76mm
3-1/2"	4.00 x 0.1875 10.16cm x 4.76mm	3-1/2"x3-1/2"	3.50 x 3.50 x 0.1875 8.89cm x 8.89cm x 4.76mm	2-1/2"x5"	2.50 x 5.00 x 0.1875 6.35cm x 12.70cm x 4.76mm
4"	4.50 x 0.1875 11.43cm x 4.76mm	4"x4"	4.00 x 4.00 x 0.1875 10.16cm x 10.16cm x 4.76mm	3"x5"	3.00 x 5.00 x 0.1875 7.62cm x 12.70cm x 4.76mm

- NOTES:**
1. ALL HOLLOW STRUCTURAL SECTIONS (HSS) TO BE ASTM A-500 GRADE B STEEL.

REBAR DEVELOPMENT LENGTHS

NORMAL WEIGHT CONCRETE									
REBAR SIZE		3000 P.S.I.				4000 P.S.I.			
ENGLISH	METRIC	TOP BARS ld	BOT. BARS ld	ldh	ld	TOP BARS ld	BOT. BARS ld	ldh	
#3	#10	21" [53.34cm]	16" [40.64cm]	8" [20.32cm]	18" [45.72cm]	14" [35.56cm]	7" [17.78cm]		
#4	#13	28" [71.12cm]	22" [55.88cm]	11" [27.94cm]	25" [63.50cm]	19" [48.26cm]	9" [22.86cm]		
#5	#16	36" [91.44cm]	27" [68.58cm]	14" [35.56cm]	31" [78.74cm]	24" [60.96cm]	12" [30.48cm]		
#6	#19	43" [109.22cm]	33" [83.82cm]	16" [40.64cm]	37" [93.98cm]	28" [71.12cm]	14" [35.56cm]		
#7	#22	62" [157.48cm]	48" [121.92cm]	19" [48.26cm]	54" [137.16cm]	42" [106.68cm]	17" [43.18cm]		
#8	#25	71" [180.34cm]	55" [139.70cm]	22" [55.88cm]	62" [157.48cm]	47" [119.38cm]	19" [48.26cm]		
#9	#29	80" [203.20cm]	62" [157.48cm]	25" [63.50cm]	69" [175.26cm]	53" [134.62cm]	21" [53.34cm]		
#10	#32	89" [226.06cm]	68" [172.72cm]	27" [68.58cm]	77" [195.58cm]	59" [149.86cm]	24" [60.96cm]		
#11	#36	98" [248.92cm]	75" [190.50cm]	30" [76.20cm]	85" [215.90cm]	65" [165.10cm]	26" [66.04cm]		

- NOTES:**
1. THESE LENGTHS APPLY TYPICALLY UNLESS OTHERWISE NOTED.
 2. CLEAR SPACING BETWEEN PARALLEL BARS MUST BE AT LEAST ONE BAR DIAMETER BUT NOT LESS THAN 1" [2.54cm].
 3. TOP BARS: HORIZONTAL BARS SO PLACED THAT MORE THAN 12" [30.48cm] OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW.
 4. LIGHTWEIGHT CONCRETE: MULTIPLY VALUES IN TABLE BY 1.3.
 5. CLASS B SPLICE: LD X 1.3 LAP LENGTH. STAGGER SPLICES MIN. OF 24" [60.96cm].

CONSTRUCTION DISCLAIMER

ALL MEASUREMENTS, DISTANCES AND RADII TO BE VERIFIED IN THE FIELD.

SURVEY DISCLAIMER

THESE DRAWINGS HAVE BEEN PREPARED **WITHOUT** THE BENEFIT OF ANY SURVEYS OR GEO-TECHNICAL REPORTS. ALL EXISTING SITE FEATURES AND TOPOGRAPHY ARE SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE PLACEMENT OF THE PROPOSED PARK BOTH VERTICALLY AND HORIZONTALLY ON THE EXISTING SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO ENSURE THE PROPOSED PARK DOES NOT CONFLICT WITH ANY EXISTING FACILITIES ABOVE OR BELOW GRADE.

STRUCTURAL NOTES

1. DESIGN CRITERIA
DESIGN CRITERIA:

2018 EDITION OF THE INTERNATIONAL BUILDING CODE, WITH LOCAL AMENDMENTS.

LOADS:

WIND DESIGN: BASIC WIND SPEED = 90 MPH (3 SECOND GUST). Iw = 1.0. EXPOSURE C.

SEISMIC DESIGN: Ie = 1.0. Ss = 0.172 S1 = 0.051 SEISMIC SITE CLASS = D.
Sds = 0.183 SD1 = 0.081 SEISMIC DESIGN CATEGORY B.

GENERAL:

1. WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA.

2. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT. FOR BIDDING PURPOSES, WHERE ANY MEMBER IS SHOWN BUT NOT CALLED OUT, THE LARGEST SIMILAR MEMBER SHALL BE UTILIZED.

3. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER REQUIREMENTS SHALL GOVERN.

CONCRETE AND SHOTCRETE:

1. ALL CONCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF ACI 301 AND ACI 318. CEMENT PER ASTM C150, TYPE II. AGGREGATE PER ASTM C33. LIGHTWEIGHT AGGREGATE PER ASTM C330. CONCRETE SHALL BE READY MIXED IN ACCORDANCE WITH ASTM C94 AND SHALL BE DESIGNED FOR A MINIMUM 28 DAY COMPRESSIVE STRENGTH AS FOLLOWS:

FLAT SLABS, WALLS -----4,000 PSI
SLABS ON GRADE -----4,000 PSI
FOUNDATIONS -----4,000 PSI

2. ALL SHOTCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF ACI 506, LATEST EDITION, "SPECIFICATION FOR MATERIALS, PROPORTIONING AND APPLICATION OF SHOTCRETE" AND ACI 506.2, LATEST EDITION, "RECOMMENDED PRACTICES FOR SHOTCRETE." AGGREGATE PER ASTM C33.

3. SHOTCRETE MIX DESIGNS SHALL BE DESIGNED FOR A MINIMUM 28 DAY COMPRESSIVE STRENGTH AS FOLLOWS:

FLAT SLABS, WALLS -----4,000 PSI
SLABS ON GRADE -----4,000 PSI

4. SHOTCRETE SURFACE PREPARATION: EXPOSED EXISTING CONCRETE SHALL BE CLEAN. SURFACES SHALL BE BROUGHT TO SATURATED SURFACE DRY (SSD) JUST PRIOR TO SHOTCRETE APPLICATION.

5. ANY REBOUND OR ACCUMULATED LOOSE AGGREGATE SHALL BE REMOVED FROM THE SURFACES TO BE COVERED PRIOR TO PLACING THE INITIAL OR ANY SUCCEEDING LAYERS OF SHOTCRETE, REBOUND SHALL NOT BE REUSED AS AGGREGATE.

6. JOINTS IN WALL POURS ARE PERMISSIBLE. AT JOINTS, SHOTCRETE SHALL BE SLOPED TO A THIN EDGE. BEFORE PLACING ADDITIONAL MATERIAL, ALL SURFACES SHALL BE THOROUGHLY CLEANED AND WETTED.

7. ANY IN-PLACE SHOTCRETE MATERIAL WHICH EXHIBITS SAGS OR SLOUGHS, SEGREGATION, HONEY COMBING, SAND POCKETS OF OTHER OBVIOUS DEFECTS SHALL BE REMOVED AND REPLACED.

8. DURING THE CURING PERIOD, CONCRETE SHALL BE MAINTAINED AT A TEMPERATURE ABOVE 40 DEGREES F AND IN MOIST CONDITION. FOR INITIAL CURING, CONCRETE SHALL BE KEPT CONTINUOUSLY MOIST FOR 24 HOURS AFTER PLACEMENT IS COMPLETE. FINAL CURING SHALL CONTINUE FOR SEVEN DAYS AFTER PLACEMENT AND SHALL CONSIST OF APPLICATION OF CURING COMPOUND PER ASTM C309. APPLY AT A RATE SUFFICIENT TO RETAIN MOISTURE, BUT NOT LESS THAN 1 GALLON PER 200 SQUARE FEET OR COVER CONCRETE WITH POLYETHYLENE PLASTIC TO MAINTAIN TEMPERATURE IF NECESSARY. LAP SEAMS IN THE PLASTIC 6" AND TAPE, WEIGHT DOWN THE PLASTIC AS NEEDED.

9. THE CONTRACTOR SHALL FIX ALL CRACKS AND DISPLACEMENTS LARGER THAN 1/8".

STRUCTURAL NOTES

REINFORCING STEEL:

1. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (Fy = 60 KSI) DEFORMED BARS FOR ALL BARS #3 AND LARGER. ALL REINFORCING TO BE WELDED SHALL BE ASTM A706. WELDED WIRE FABRIC PER ASTM A185, WIRE PER ASTM A82. LATEST ACI CODE AND DETAILING MANUAL APPLY.
2. ACCURATELY PLACE OR SUPPORT ALL REINFORCING, INCLUDING WELDED WIRE FABRIC, WITH GALVANIZED METAL CHAIRS, SPACERS OR HANGERS FOR THE FOLLOWING CLEAR CONCRETE COVERAGES:
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ----- 3"
EXPOSED TO EARTH OR WEATHER
#6 OR LARGER ----- 2"
#5 AND SMALLER ----- 1 1/2"
COLUMNS (TO TIES) ----- 1 1/2"
BEAMS (TO STIRRUPS) ----- 1 1/2"
FLAT SLAB ----- 3/4"
ALL OTHER PER LATEST EDITION OF ACI 318.
3. REINFORCING BAR SPACING GIVEN ARE MAXIMUM ON CENTERS. ALL BARS PER CRSI SPECIFICATIONS AND HANDBOOK. DOWEL ALL VERTICAL REINFORCING TO FOUNDATION WITH STANDARD 90 DEGREE HOOKS UNLESS NOTED OTHERWISE. SKEW HOOKS AS REQUIRED TO MAINTAIN CONCRETE COVER. SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE. CONCRETE COLUMN DOWEL EMBEDMENT SHALL BE A STANDARD COMPRESSION DOWEL WITH EMBEDMENT LENGTH ACCORDING TO THE LATEST EDITION OF THE ACI 318.

STRUCTURAL STEEL:

1. ALL STEEL CONSTRUCTION SHALL CONFORM WITH THE LATEST AISC HANDBOOK. ALL RECTANGULAR TS/HSS SHALL BE ASTM A500, GRADE B (Fy = 46 KSI). ALL PIPE STEEL SHALL BE ASTM A53, GRADE B (Fy = 35 KSI). ALL OTHER STRUCTURAL SHAPES AND PLATES SHALL BE ASTM A36 (Fy = 36 KSI). PAINT ALL STEEL SURFACES WITH FABRICATOR'S STANDARD RUST-INHIBITTING PRIMER EXCEPT AT SURFACES ENCASED IN CONCRETE.
 2. ALL WELDING PER LATEST AMERICAN WELDING SOCIETY STANDARDS, (EXCEPT STEEL JOISTS AND JOIST GIRDERS SHALL COMPLY WITH SJI STANDARDS). ALL WELDING DONE BY E70 SERIES LOW HYDROGEN RODS UNLESS NOTED OTHERWISE. FOR GRADE 60 REINFORCING BARS, USE E90 SERIES. THESE DRAWINGS DO NOT DISTINGUISH BETWEEN SHOP AND FIELD WELDS; THE CONTRACTOR MAY SHOP WELD OR FIELD WELD AT HIS DISCRETION.
 3. NON-SHRINK GROUT SHALL BE 5,000 PSI, FIVE STAR, Sika 212 OR EQUIVALENT. INSTALL NON-SHRINK GROUT UNDER BEARING PLATES BEFORE FRAMING MEMBER IS INSTALLED.
- POST-INSTALLED ANCHORS:
1. EPOXY BOLTS OR DOWELS SHALL BE A THREADED ROD OR REINFORCING STEEL INSTALLED WITH THE ONE OF THE FOLLOWING APPROVED PRODUCTS SATISFYING CRACKED CONCRETE REQUIREMENTS IN ACCORDANCE WITH ACI APPENDIX D.

SIMPSON "SET-XP" ICC REPORT ESR-2508
HILTI "RE-500 SD" ICC REPORT ESR-2322
POWERS "PE1000+" ICC REPORT ESR-2583
 2. THE CONTRACTOR MAY NOT USE SUBSTITUTES FOR EPOXY OR EXPANSION ANCHORS WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
 3. FOR MINIMUM EMBEDMENT LENGTH SEE DETAILS. INSTALL ALL BOLTS AS OUTLINED IN MANUFACTURER'S SPECIFICATIONS, UTILIZING PROPER SIZE AND TYPE OF DRILL, CLEANING HOLE, DRIVING AND TIGHTENING BOLT.

CONSTRUCTION DETAIL NOTES

1. "BASE COURSE" SHALL CONSIST OF A 4" [10.16cm] LAYER OF COMPACTED 1" [2.54cm] CRUSHED ROCK; "COMPACTED SUBGRADE" SHALL CONSIST OF THE UPPER MOST 1'-0" [30.48cm] OF NATIVE SOIL AND/OR ENGINEERED FILL COMPACTED TO 95% STANDARD PROCTOR. IF THESE GUIDELINES CONFLICT WITH THE GEO-TECHNICAL REPORT, THE CONTRACTOR TO FOLLOW THE MORE STRINGENT OF THE TWO GUIDELINES
2. GRIND SMOOTH ALL EXPOSED COPING AND RAIL WELDS. APPLY END CAPS TO ALL EXPOSED COPING AND RAIL ENDS, OPEN STEEL ENDS OR CONCRETE FILLED CAPS ARE UNACCEPTABLE.
3. HOOK ANCHORS OR HEX BOLTS MAY BE USED IN-LIEU OF NELSON STUDS TO SECURE COPING AND PROTECTIVE PLATES IN PLACE PROVIDED THEY ARE THE SAME NOMINAL SIZE.
4. ALL RAIL POSTS SHALL BE PLACED 3" [7.62cm] MINIMUM CLEAR OF ALL CONCRETE AND/OR SHOTCRETE FACES.
5. SOME REINFORCEMENT MEMBERS MAY BE SHOWN OUT OF SCALE AND/OR POSITION FOR CLARITY ONLY. AT A MINIMUM ALL REINFORCEMENT SHALL BE PLACED CLEAR OF ALL CONCRETE AND/OR SHOTCRETE FACES AS NOTED BELOW:
 - WELDED WIRE FABRIC: 2" [5.08cm]
 - SPEED DOWELS: 3" [7.62cm]
 - REBAR IN FLATWORK, BANKS, BOWLS, WATERFALLS AND TURNDOWN WALLS: 2" [5.08cm] OR 3" [7.62cm] IF PERMANENTLY EXPOSED TO EARTH
 - REBAR IN FORMED LEDGES, EXTENSIONS AND RETAINING WALLS: 3" [7.62cm]
6. ALL SHOTCRETE SHALL BE CUT, SCREEDED AND INSPECTED WITH TEMPLATES CUT TO THE SPECIFIED HEIGHT, WIDTH, RADIUS AND/OR ANGLE. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH DIMENSIONS, MATERIAL AND LOCATION OF USED FOR ALL TEMPLATES FOR APPROVAL BY THE OWNER'S REPRESENTATIVE AND THE ACTION SPORTS DESIGNER.
7. ALL CONCRETE AND SHOTCRETE SHALL HAVE A SMOOTH TROWEL FINISH UNLESS OTHERWISE NOTED.
8. ALL EXPOSED OUTSIDE CONCRETE CORNERS SHALL RECEIVE A 1/2" [12.70mm] CHAMFER UNLESS OTHERWISE NOTED.
9. CAP ALL EXPOSED ENDS, FILL ALL VOIDS AND GRIND ALL WELDS SMOOTH.

SHEET INDEX

SHEET	DESCRIPTION
AS-01	COVER SHEET
AS-02	EXISTING CONDITIONS AND DEMO PLAN
AS-03	MASTER PLAN
AS-04	3 DIMENSIONAL GRAPHIC
AS-05	LAYOUT PLAN
AS-06	SURFACE GRADING & DRAINAGE PLAN
AS-07	COPING PLAN
AS-08	CONCRETE PLAN
AS-09	JOINTING PLAN
AS-10	CROSS SECTIONS
AS-11	CONSTRUCTION DETAILS

CONTACTS

DESIGNER	PILLAR DESIGN STUDIOS BRAD SIEDLECKI 1960 W. HAWK CT. CHANDLER, ARIZONA 85286 [t] 888.880.5112 [f] 888.841.2569
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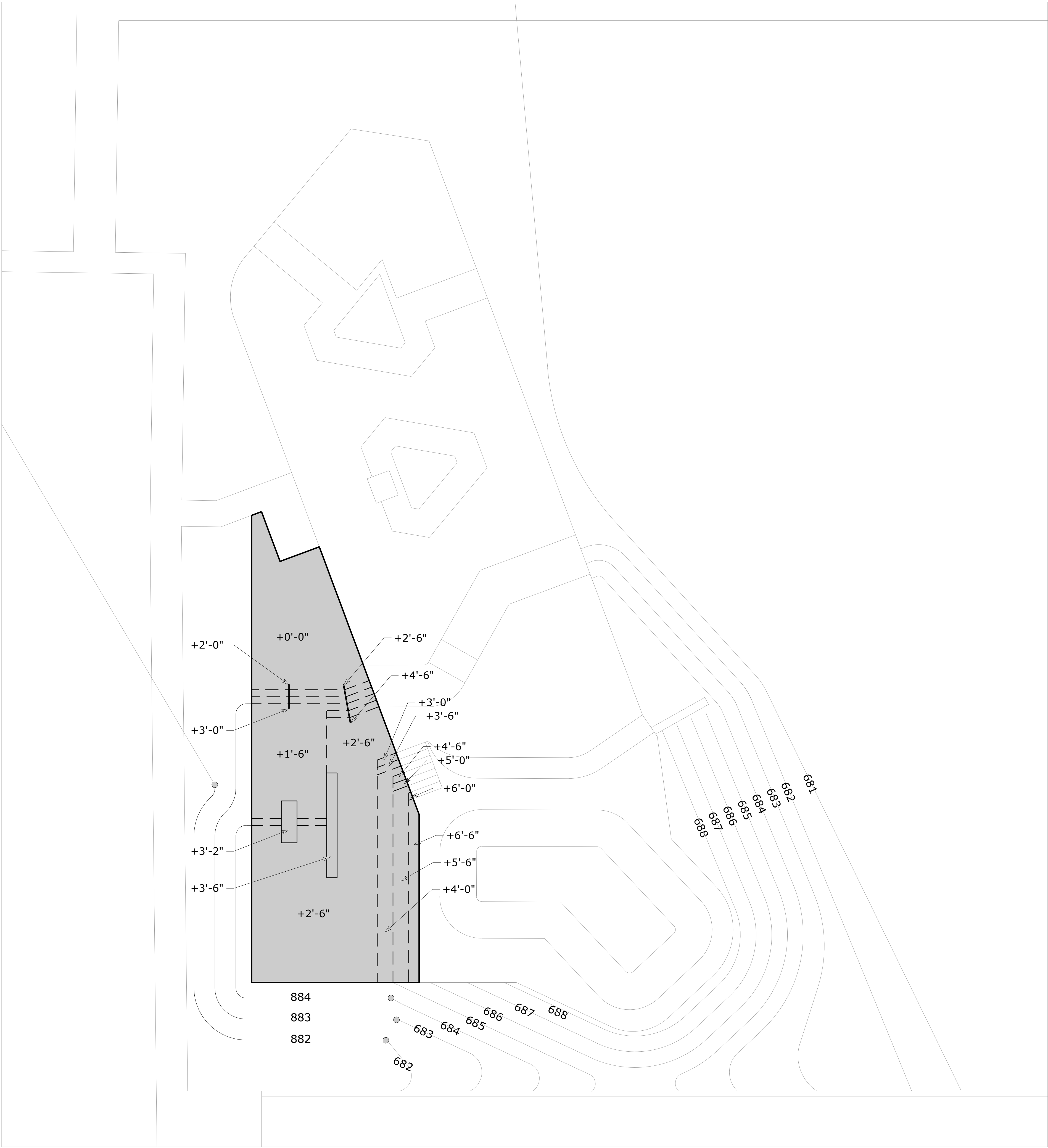
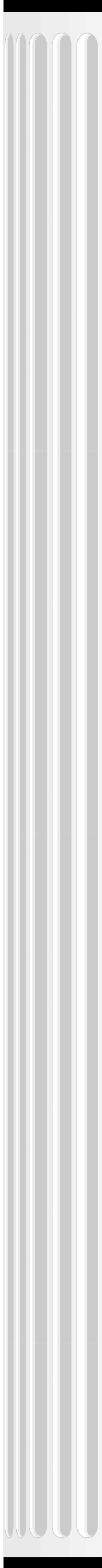
PROJECT #:: 23-0035

DATE:: 07/10/23

PROJECT:: ROSEDALE SKATEPARK - PHASE II
SAN ANTONIO, TEXAS
SHEET TITLE:: COVER SHEET

SHEET:: 01 OF 11

AS-01
SKATE PARK



LEGEND		
SYMBOL	DESCRIPTION	DETAIL(S)
	PHASE II SKATEPARK	N/A
	FINISH GRADE CONTOUR	AS-06

- NOTES
- ALL ELEVATIONS ARE BASED ON AN ASSUMED ELEVATION OF 0'-0", AND ARE USED TO DEMONSTRATE OVERALL TERRAIN ELEVATIONS ONLY. REFER TO SURFACE GRADING & DRAINAGE PLAN FOR ACTUAL ELEVATIONS.



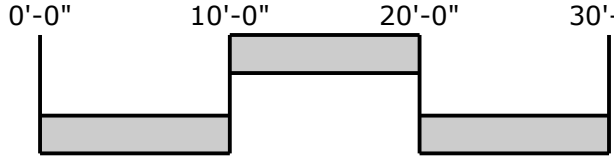
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PROJECT #::	23-0035
DATE::	07/10/23

PROJECT::
ROSEDALE SKATEPARK - PHASE II
SAN ANTONIO, TEXAS
SHEET TITLE:
MASTER PLAN

SHEET:: 03 OF 11
AS-03
SKATE PARK





3D GRAPHICS ARE FOR REFERENCE ONLY.



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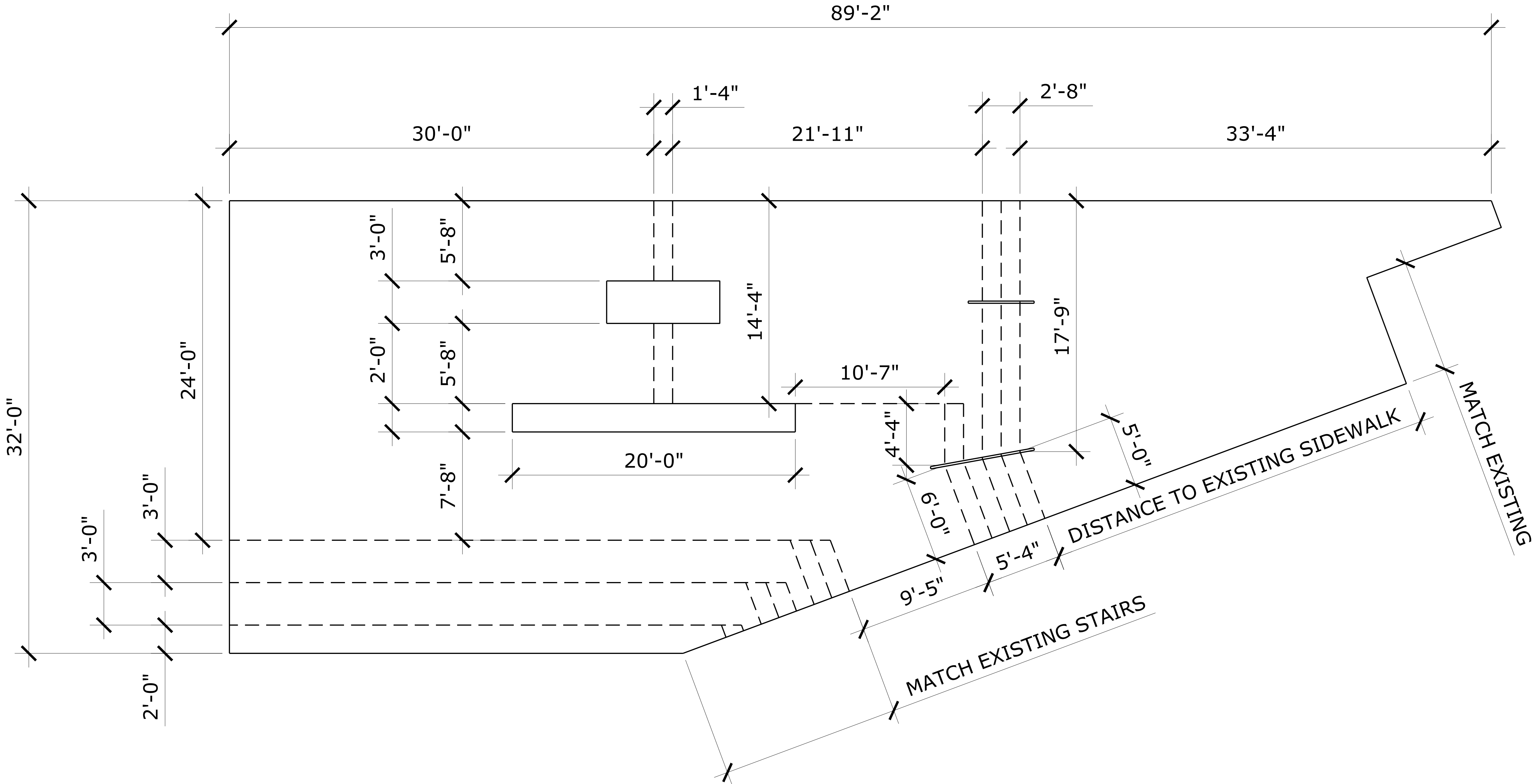
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PROJECT:: ROSEDALE SKATEPARK - PHASE II
SAN ANTONIO, TEXAS

SHEET:: 04 OF 11

AS-04
SKATE PARK

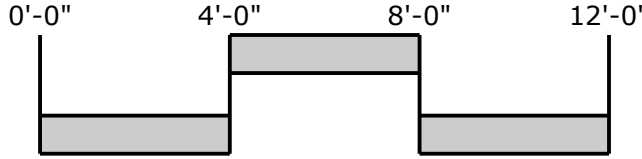
SHEET TITLE:
3 DIMENSIONAL IMAGES

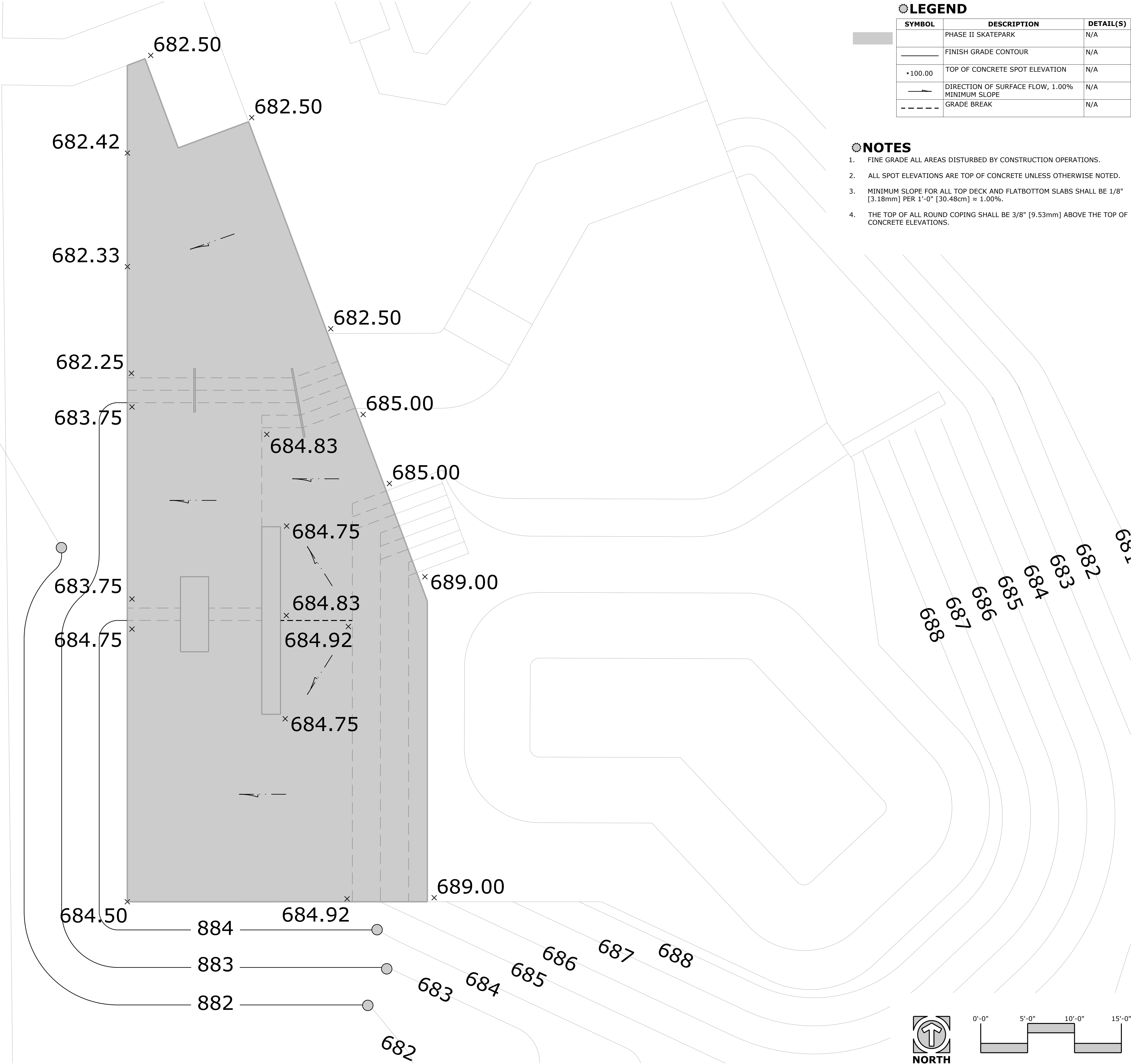
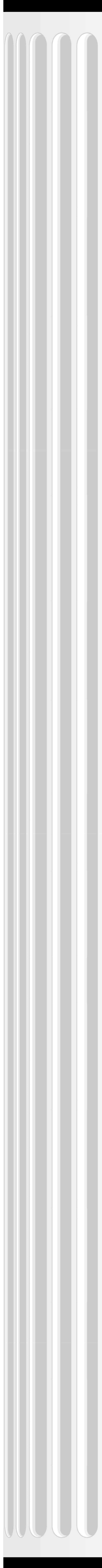


- NOTES
1.

DIMENSIONS SHOWN ARE INTENDED FOR HORIZONTAL POSITIONING AND DIMENSION CLARIFICATION ONLY. ALL POINTS SET IN THE FIELD FROM THESE VALUES SHALL FIRST BE CHECKED BY THE CONTRACTOR TO ENSURE THAT THE LOCATION IS CONSISTENT WITH THE DIMENSIONS AND GRAPHIC LOCATIONS SHOWN WITHIN THE APPROVED CONSTRUCTION DOCUMENTS
2.

THE FINAL DIMENSIONS WILL BE DETERMINED BY THE ROUGH GRADING PROVIDED BY THE TOWN. THE DESIGNER WILL REVIEW ROUGH GRADING AND MAKE THE NECESSARY ADJUSTMENTS IN THE FIELD.





LEGEND		
SYMBOL	DESCRIPTION	DETAIL(S)
	PHASE II SKATEPARK	N/A
	FINISH GRADE CONTOUR	N/A
	TOP OF CONCRETE SPOT ELEVATION	N/A
	DIRECTION OF SURFACE FLOW, 1.00% MINIMUM SLOPE	N/A
	GRADE BREAK	N/A

- NOTES
- FINE GRADE ALL AREAS DISTURBED BY CONSTRUCTION OPERATIONS.
 - ALL SPOT ELEVATIONS ARE TOP OF CONCRETE UNLESS OTHERWISE NOTED.
 - MINIMUM SLOPE FOR ALL TOP DECK AND FLATBOTTOM SLABS SHALL BE 1/8" [3.18mm] PER 1'-0" [30.48cm] \approx 1.00%.
 - THE TOP OF ALL ROUND COPING SHALL BE 3/8" [9.53mm] ABOVE THE TOP OF CONCRETE ELEVATIONS.

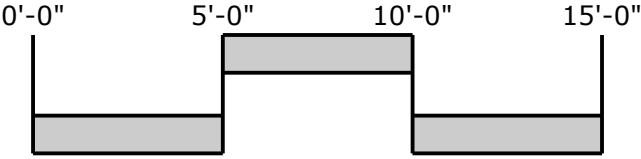
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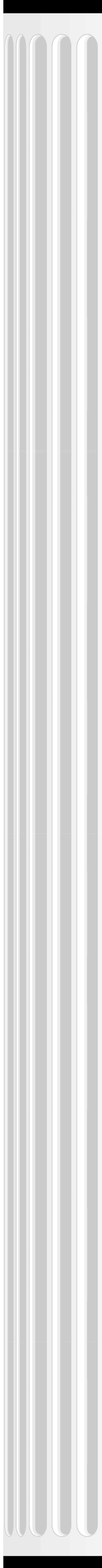
REGISTRATION::

DESIGNED::	PILLAR TEAM
DRAWN::	PILLAR TEAM
PROJECT #::	23-0035
DATE::	07/10/23

PROJECT::
ROSEDALE SKATEPARK - PHASE II
SAN ANTONIO, TEXAS
SHEET TITLE:
SURFACE GRADING & DRAINAGE PLAN

SHEET::
06 OF 11
AS-06
SKATE PARK



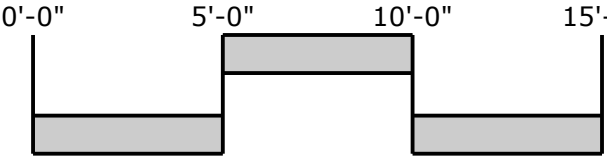
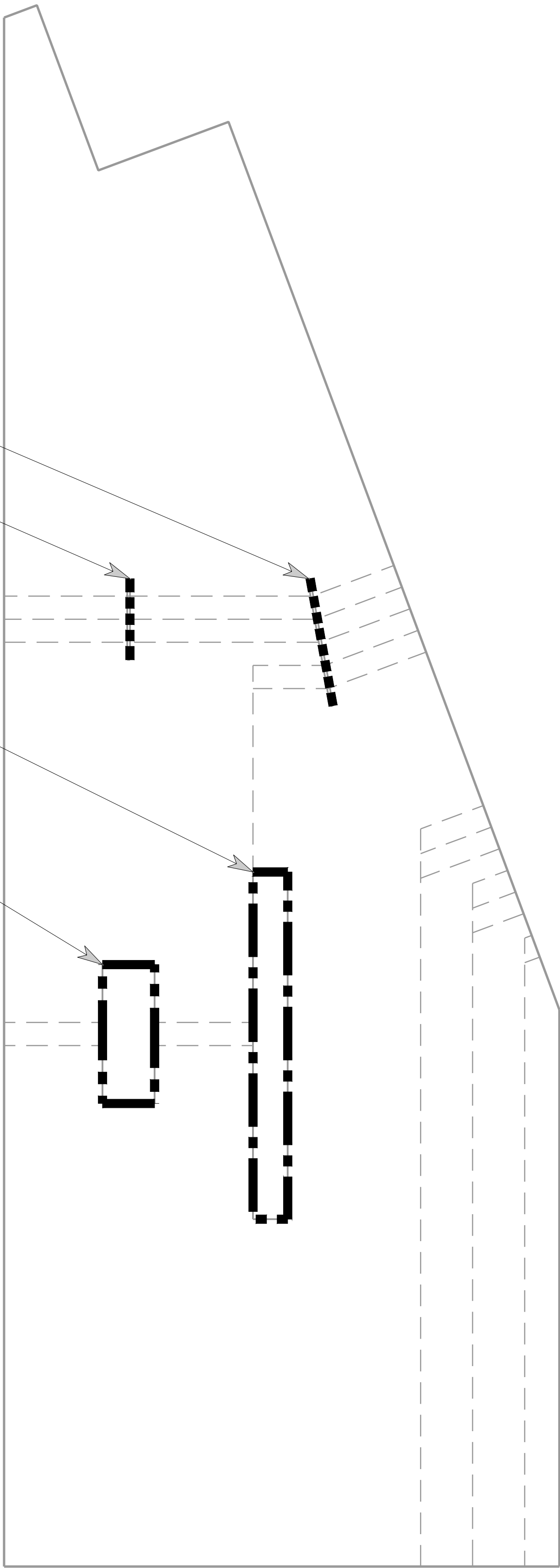


2" ROUND W/ 2" ROUND LEGS

2" ROUND W/ 2" ROUND LEGS

2" x 2" SQUARE

2" x 2" SQUARE



LEGEND

SYMBOL	DESCRIPTION	DETAIL(S)	COLOR	FINISH
	2" [6.03cm] ROUND STEEL PIPE	AS-11 / 3 & 6	T.B.D.	PAINTED
	2" [5.08cm] X 2" [5.08cm] SQUARE STEEL TUBE	AS-11 / 4 & 5	T.B.D.	PAINTED

NOTES

- ALL COPING/RAIL SIZES ARE NOMINAL, REFER TO THE STEEL SHAPES CHART FOR THE ACTUAL DIMENSIONS.

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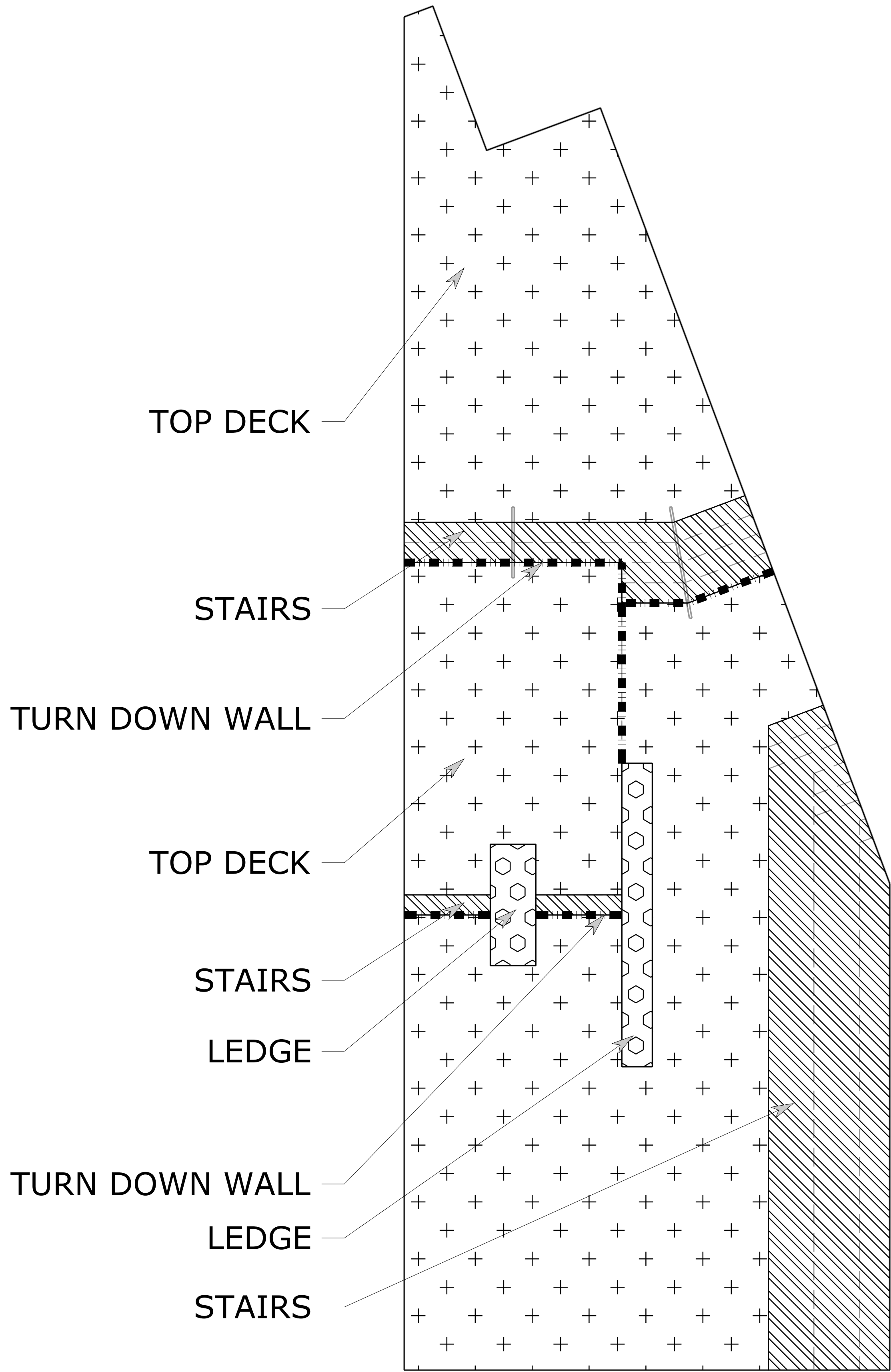
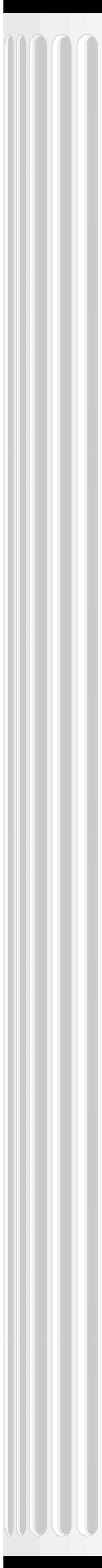
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PROJECT #::	23-0035
DATE::	07/10/23

PROJECT::
ROSEDALE SKATEPARK - PHASE II
SAN ANTONIO, TEXAS
SHEET TITLE:
COPING PLAN

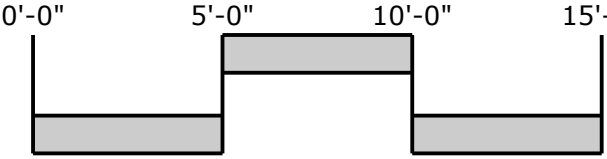
SHEET::
07 OF 11
AS-07
SKATE PARK





LEGEND

SYMBOL	DESCRIPTION	DETAIL(S)	COLOR	FINISH
	4" [10.16cm] CONCRETE TOP DECK	AS-11 / 1	NATURAL GRAY	SMOOTH TROWEL
	CONCRETE GRIND LEDGES	AS-11 / 5	NATURAL GRAY	SMOOTH TROWEL
	CONCRETE STAIRS	AS-11 / 2	NATURAL GRAY	LIGHT BROOM
	CONCRETE TURNDOWN WALL	AS-11 / 7	NATURAL GRAY	SMOOTH TROWEL



SHEET: 08 OF 11

PROJECT:

AS-08
SKATE PARK

ROSEDALE SKATEPARK - PHASE II
SAN ANTONIO, TEXAS

SHEET TITLE:

CONCRETE PLAN

DESIGNED::

PILLAR TEAM

DRAWN::

PILLAR TEAM

PROJECT #::

23-0035

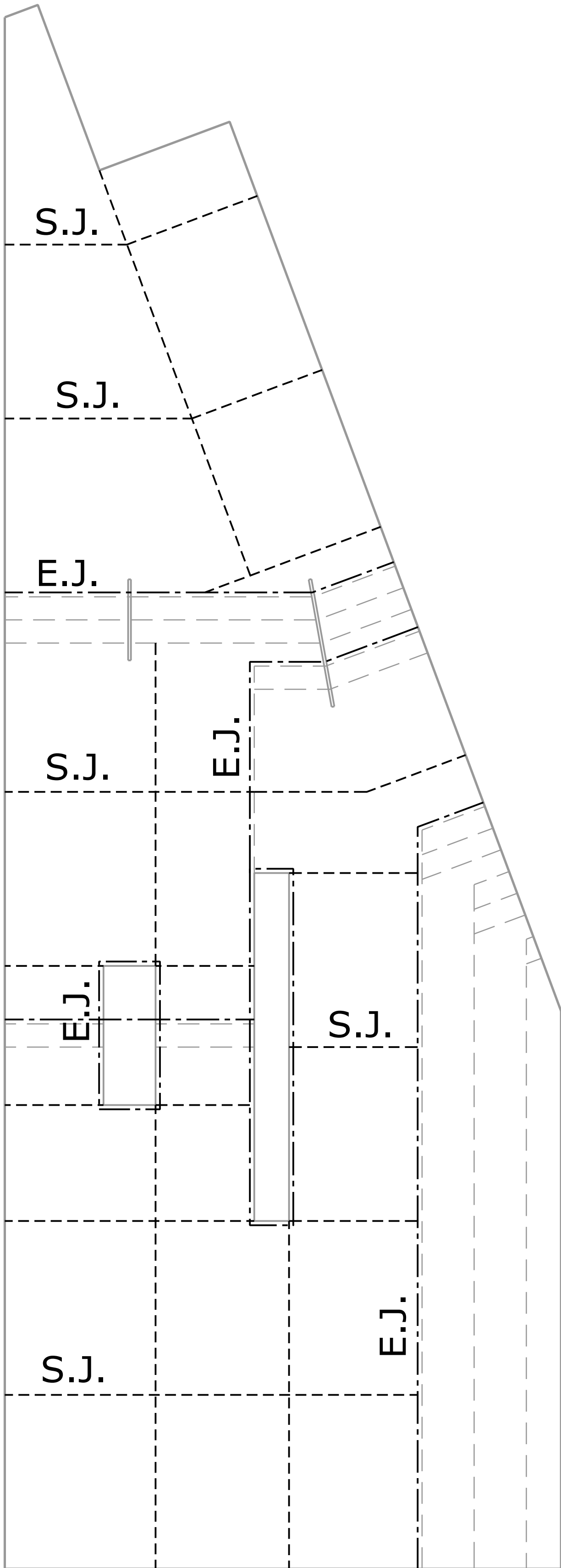
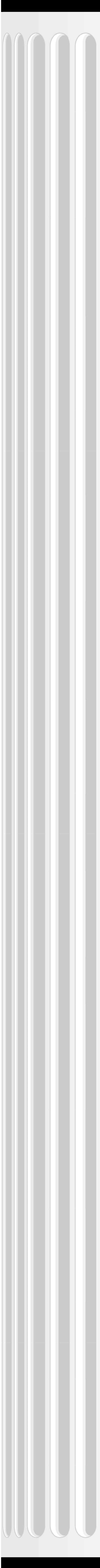
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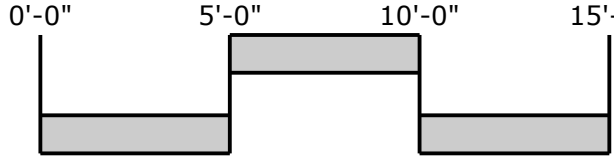


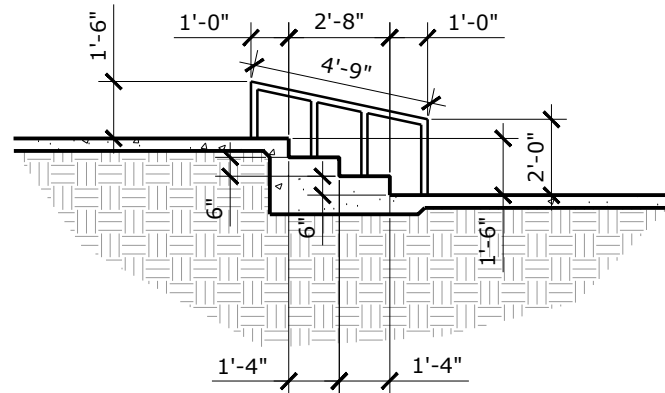
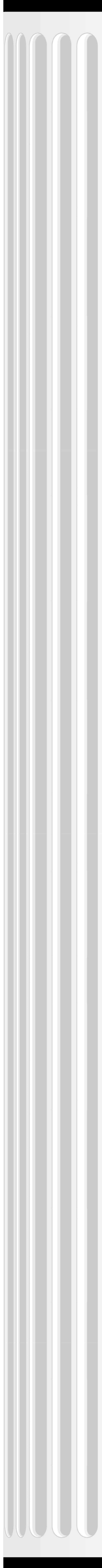
LEGEND

SYMBOL	DESCRIPTION	DETAIL(S)
---	EXPANSION JOINT (E.J.)	AS-11 / 9
----	SAWCUT JOINT (S.J.)	AS-11 / 8

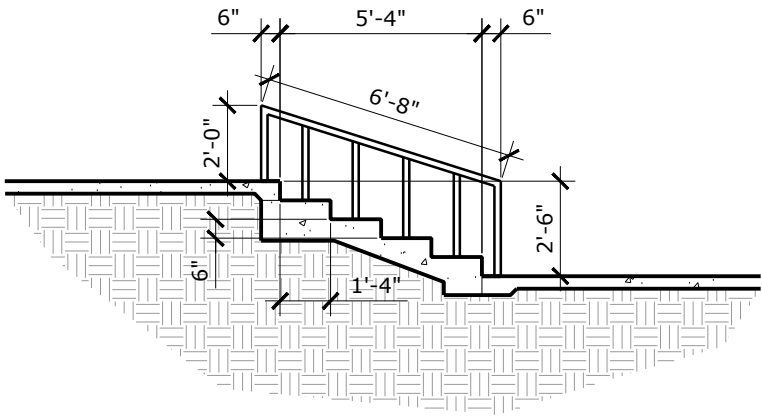
NOTES

- THE JOINTING PLAN IS DIAGRAMMATIC ONLY.
- CONTRACTOR SHALL SNAP CHALK LINES FOR ALL SAW-CUT JOINTS BASED ON THE LOCAL EXPERIENCE AND KNOWLEDGE OF THE CONCRETE MIX AND THE WEATHER.

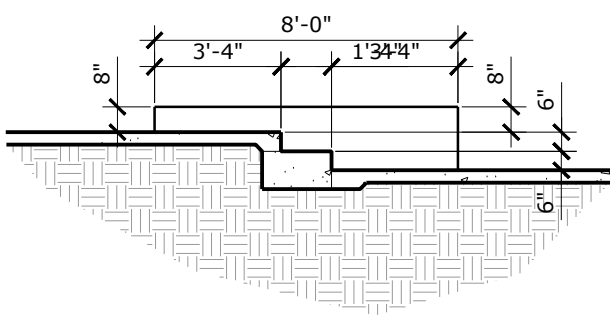




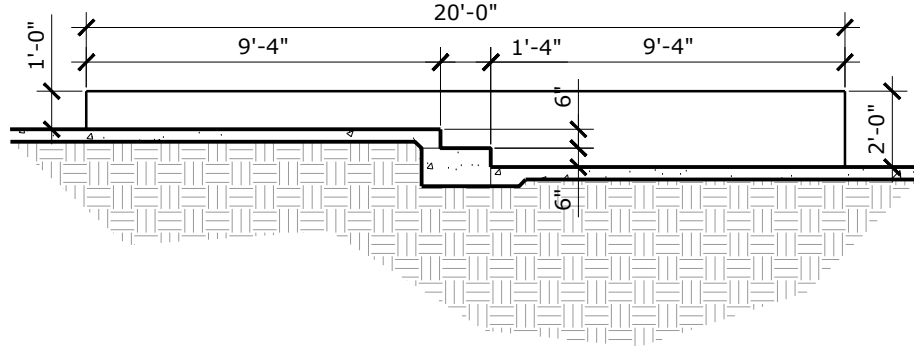
SECTION 1



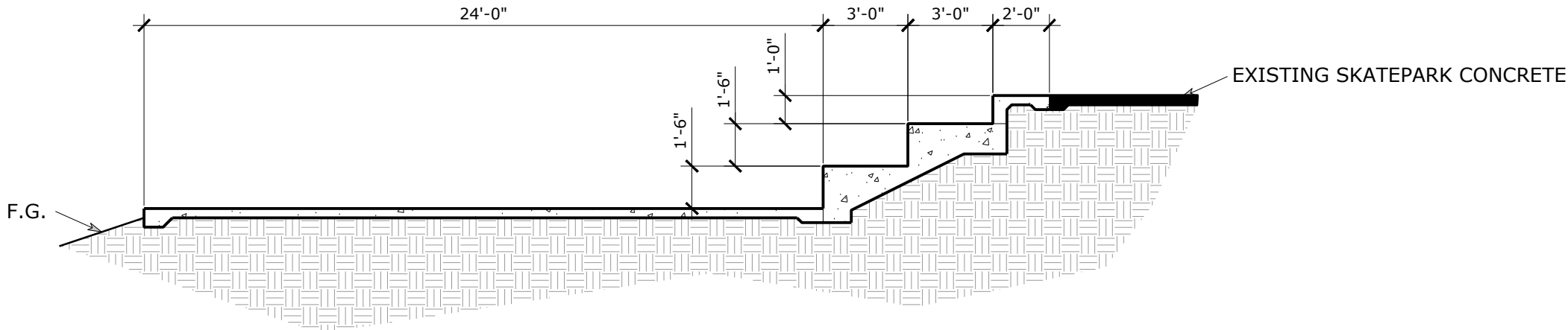
SECTION 2



SECTION 3

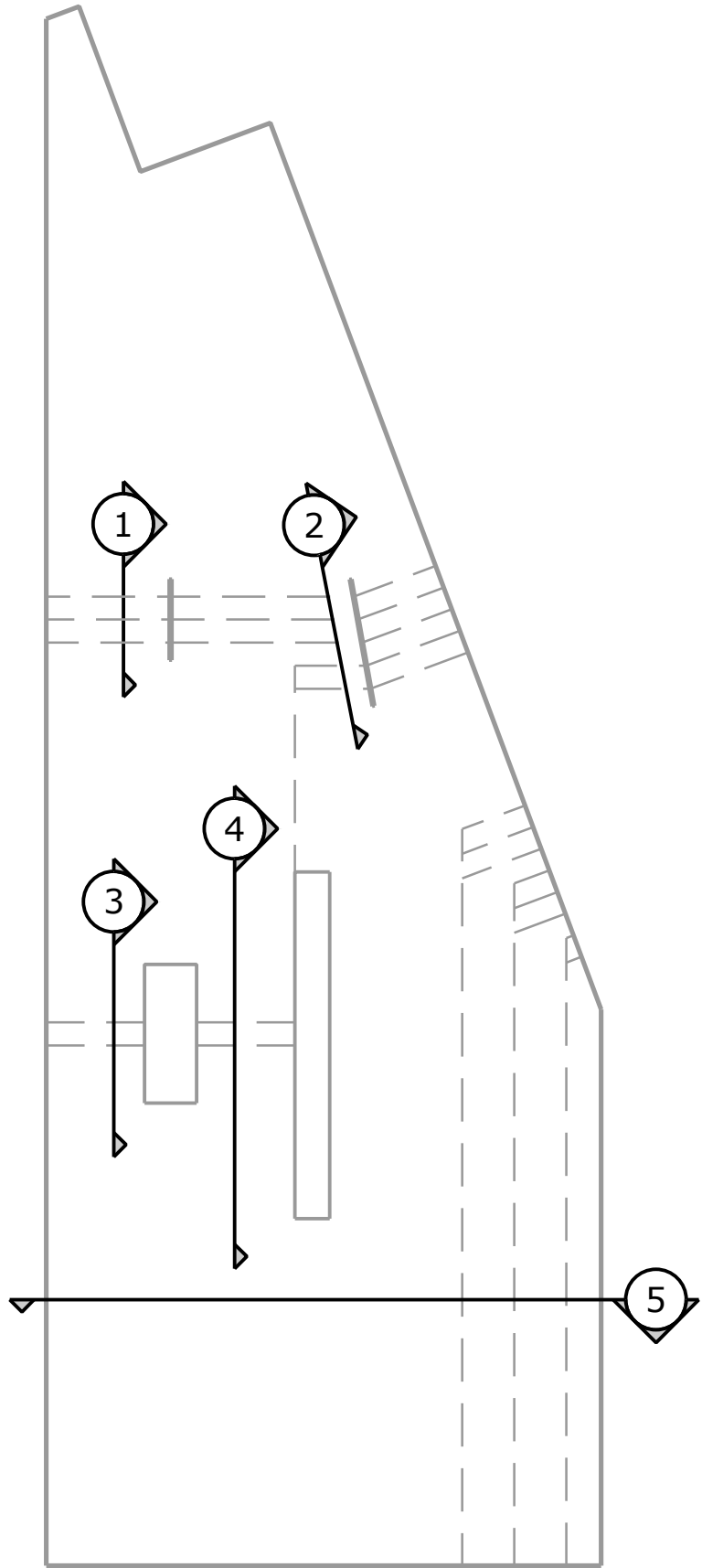


SECTION 4



SECTION 5

KEY MAP

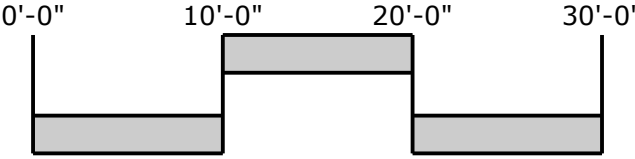


LEGEND

SYMBOL	DESCRIPTION	DETAIL(S)
	CONCRETE/SHOTCRETE	N/A
	SUBGRADE	N/A
	FINISH GRADE	N/A

NOTES

- REFER TO THE COPING PLAN FOR EDGE TREATMENT LOCATION AND TYPE
- REFER TO THE LAYOUT PLAN FOR ACTUAL HORIZONTAL LOCATIONS.
- REFER TO THE SURFACE GRADING AND DRAINAGE PLAN FOR ACTUAL VERTICAL ELEVATIONS.



SHEET: 10 OF 11

PROJECT: ROSEDALE SKATEPARK - PHASE II
SAN ANTONIO, TEXAS
SHEET TITLE: CROSS SECTIONS

DESIGNED: PILLAR TEAM
DRAWN: PILLAR TEAM
PROJECT #: 23-0035
DATE: 07/10/23

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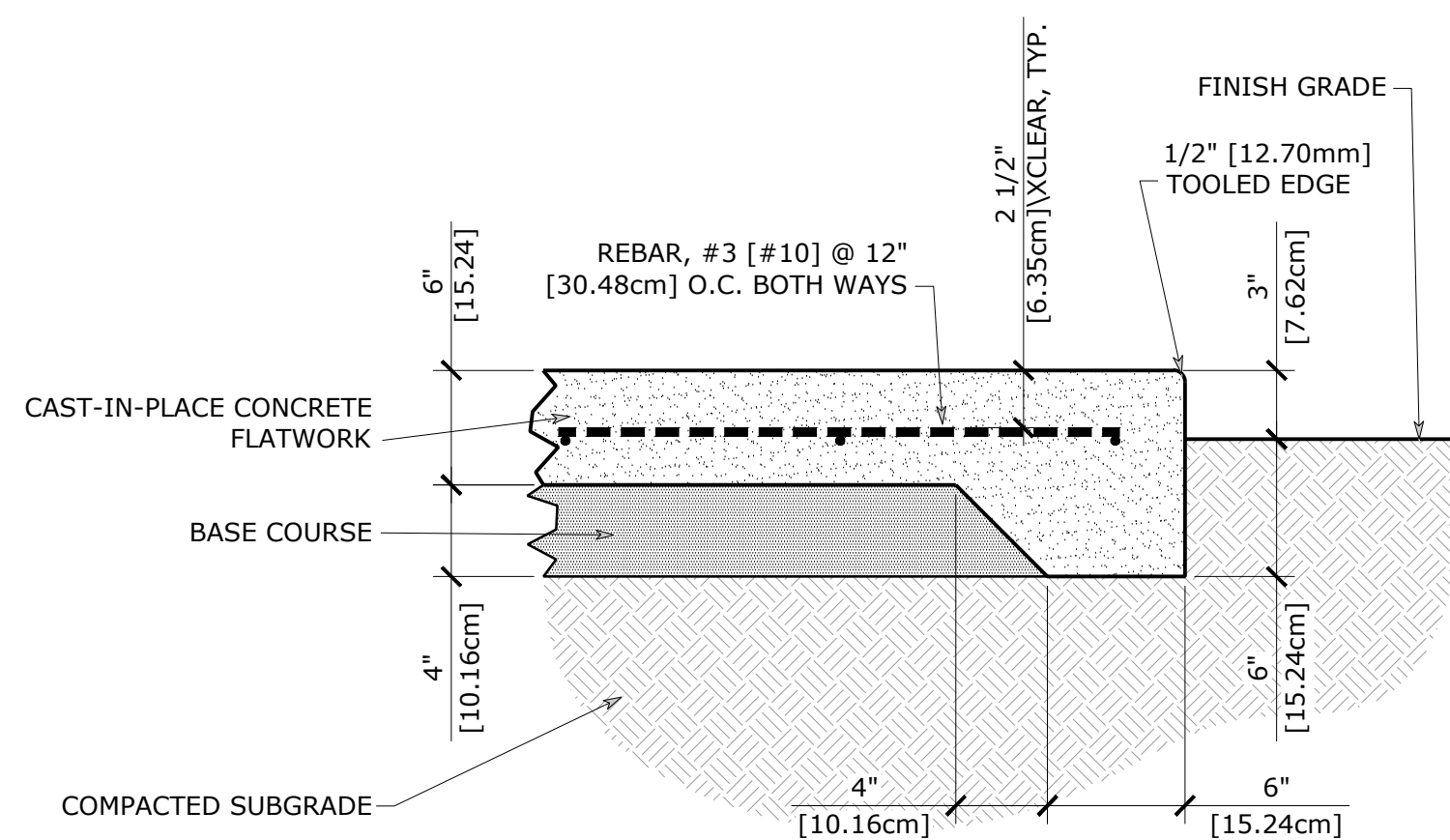


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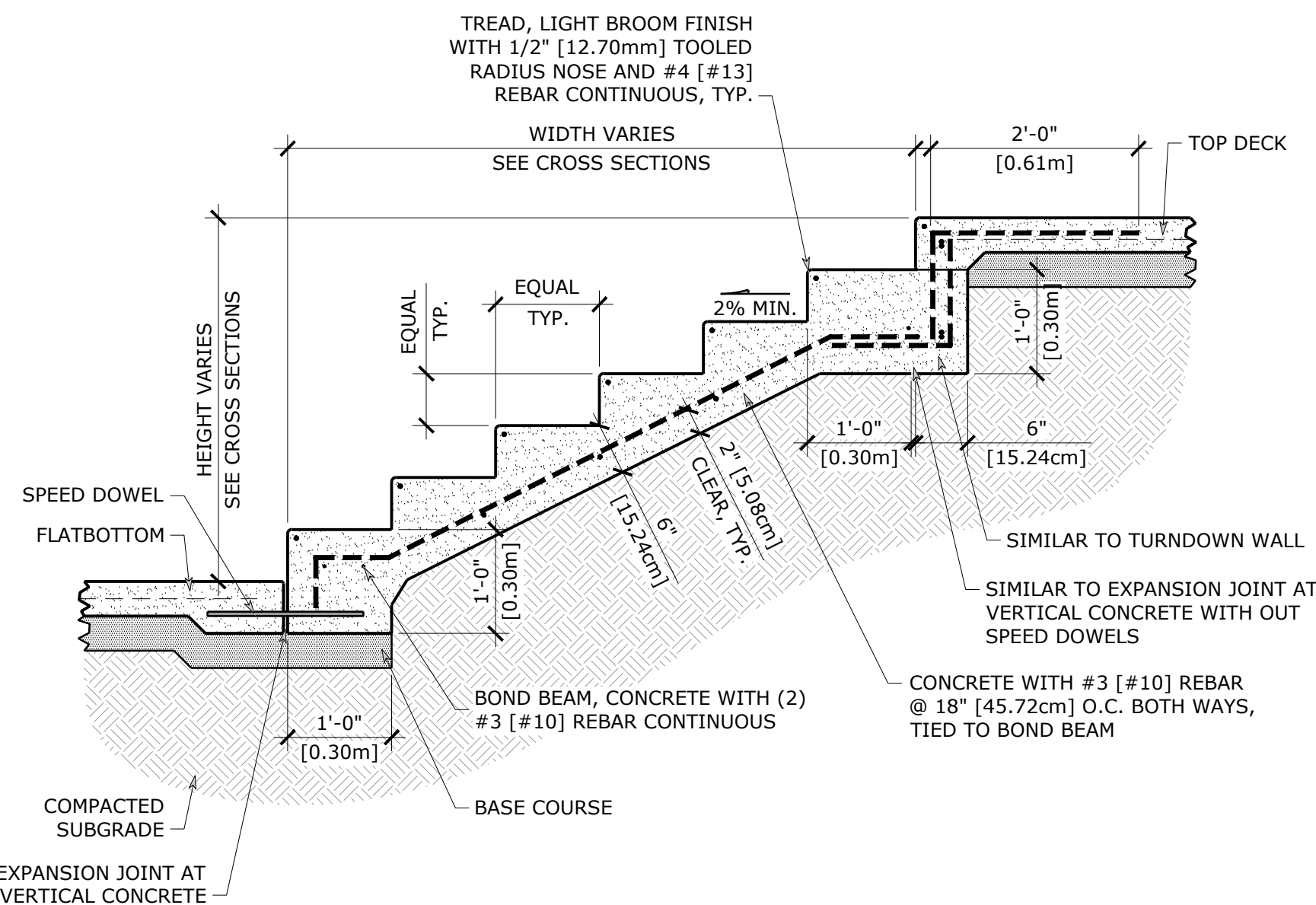
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DESIGNED: PILLAR TEAM
DRAWN: PILLAR TEAM
PROJECT #: 23-0035
DATE: 07/10/23

PROJECT: ROSEDALE SKATEPARK - PHASE II
SAN ANTONIO, TEXAS
SHEET TITLE: CONSTRUCTION DETAILS

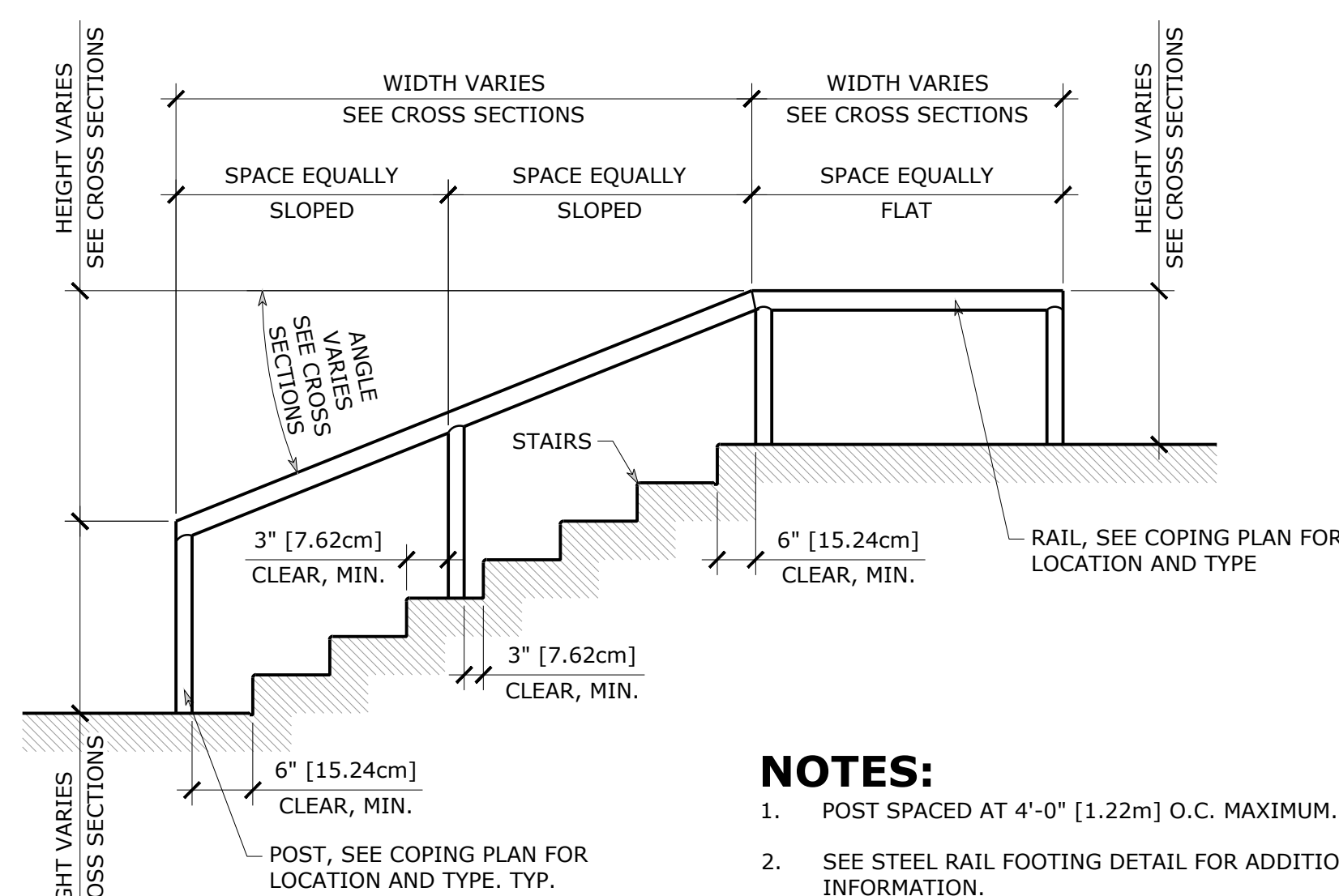
SHEET: 11 OF 11
AS-11
SKATE PARK



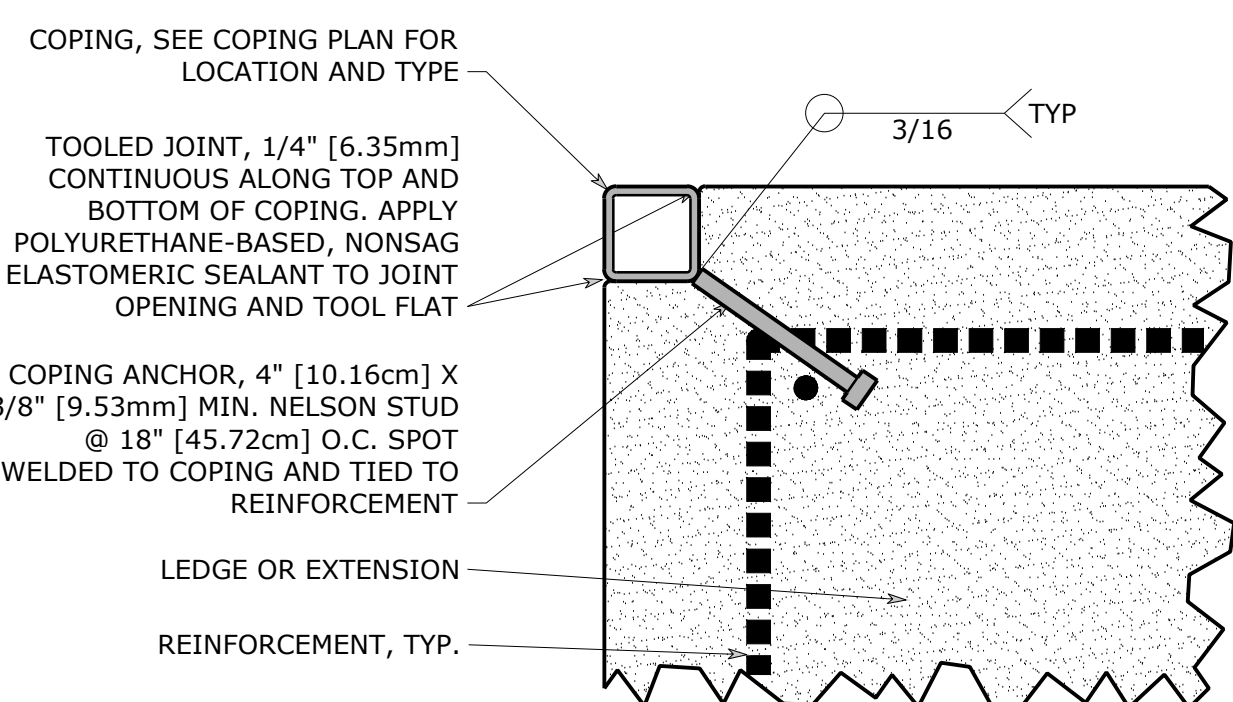
1 CONCRETE TOP DECK SECTION
SCALE: 1-1/2" = 1'-0"



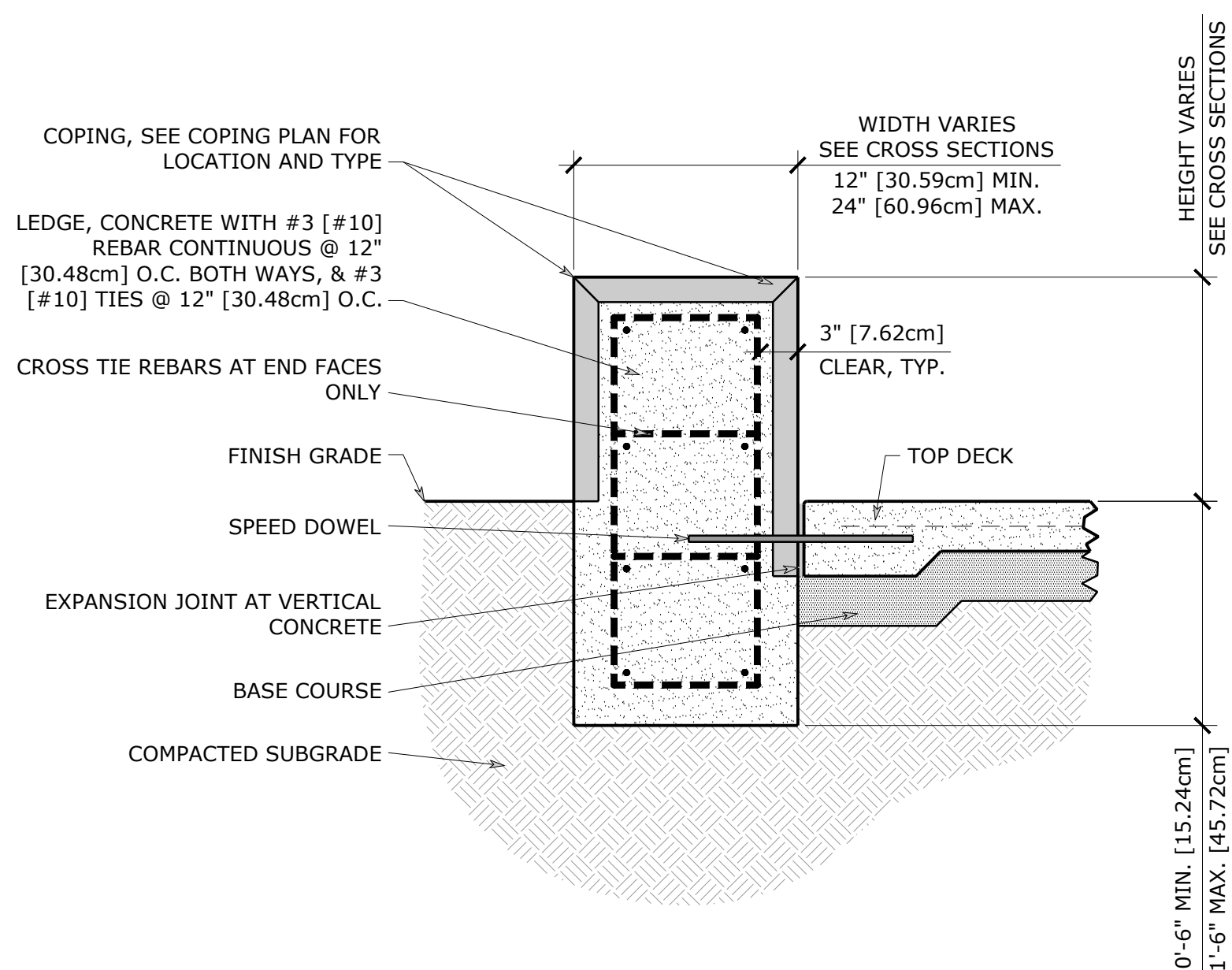
2 CONCRETE STAIRS
SCALE: 1" = 1'-0"



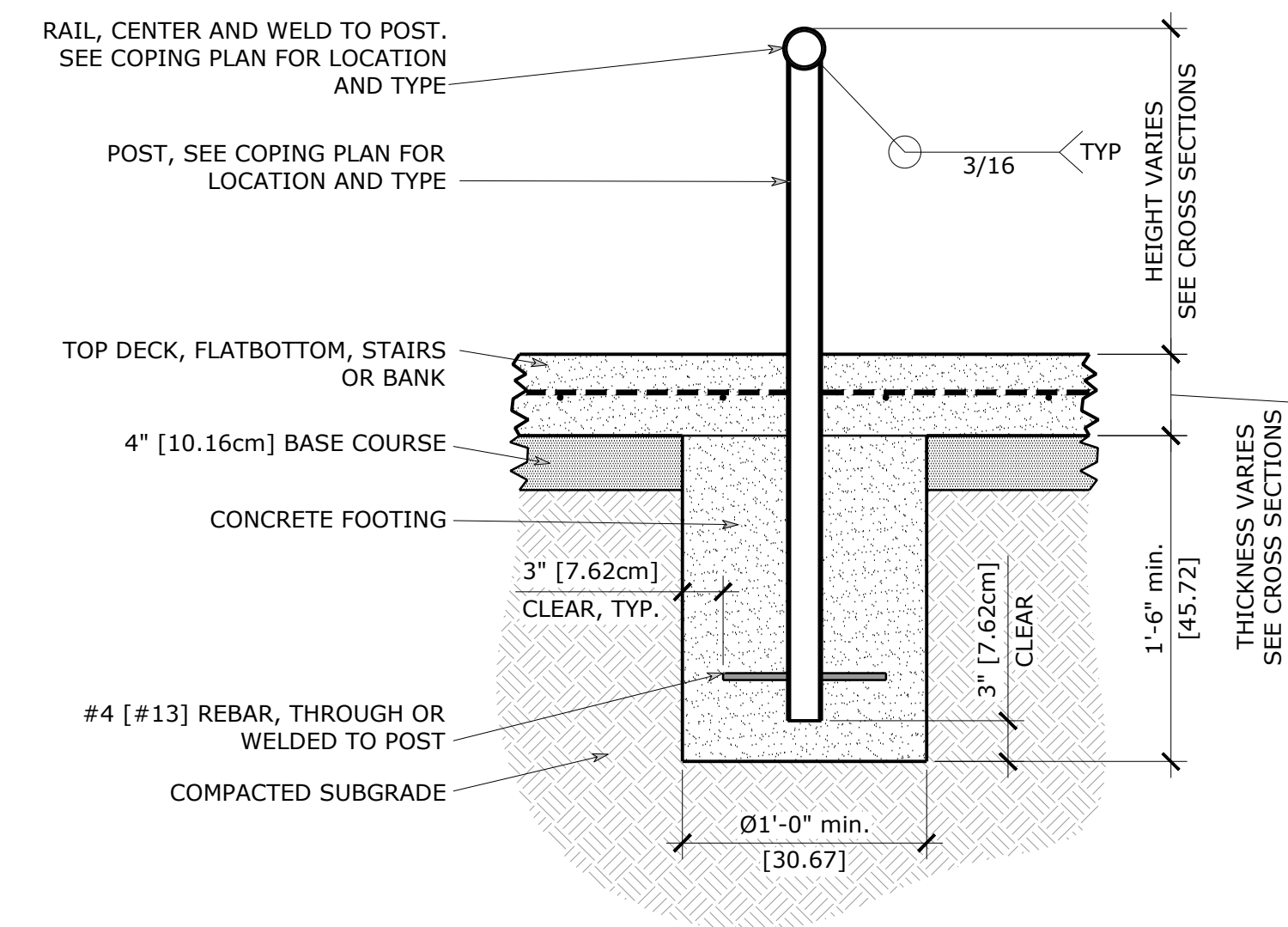
3 STEEL RAIL IN STAIRS
SCALE: 1/2" = 1'-0"



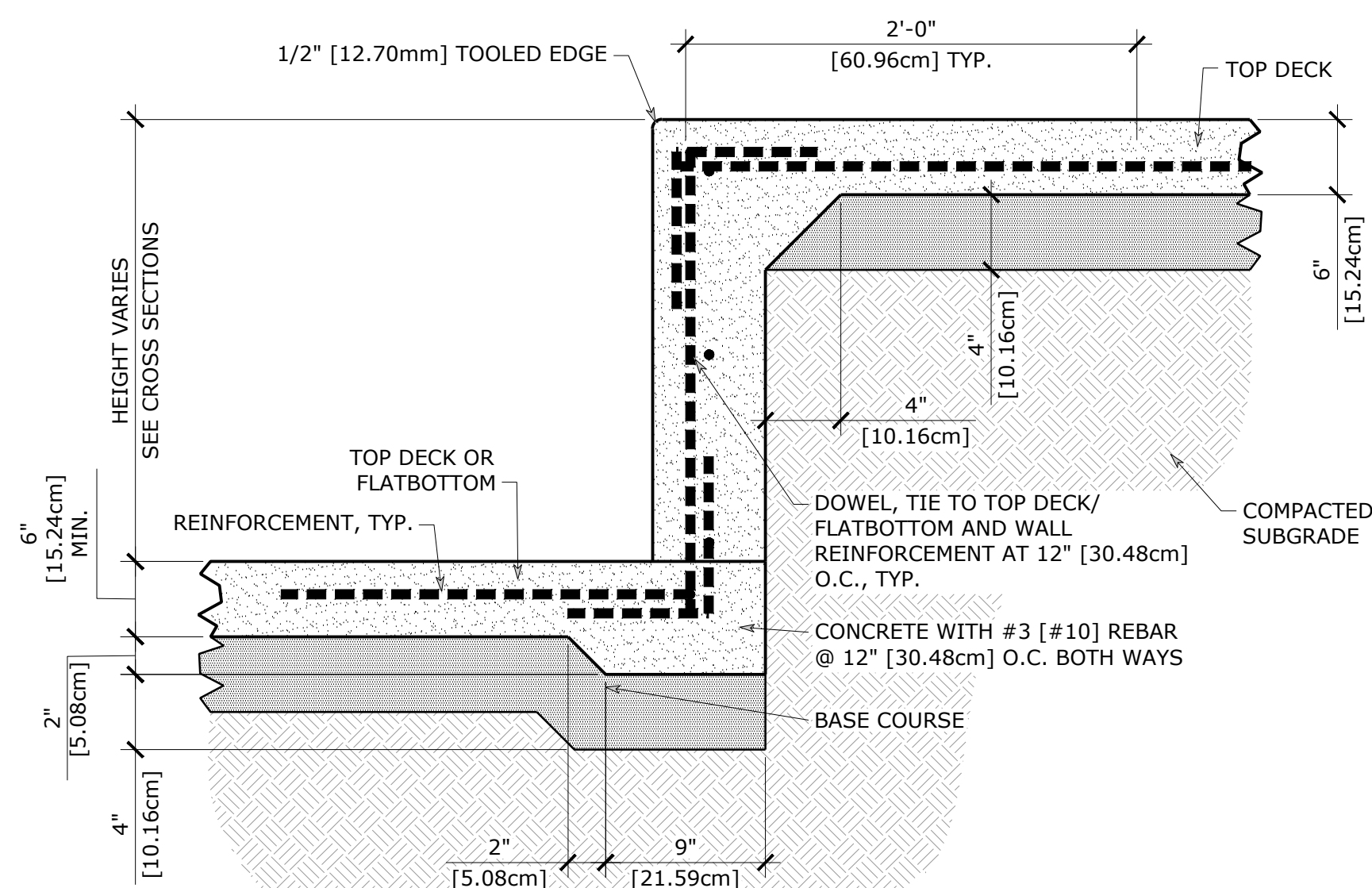
4 STEEL COPING - SQUARE
SCALE: 3" = 1'-0"



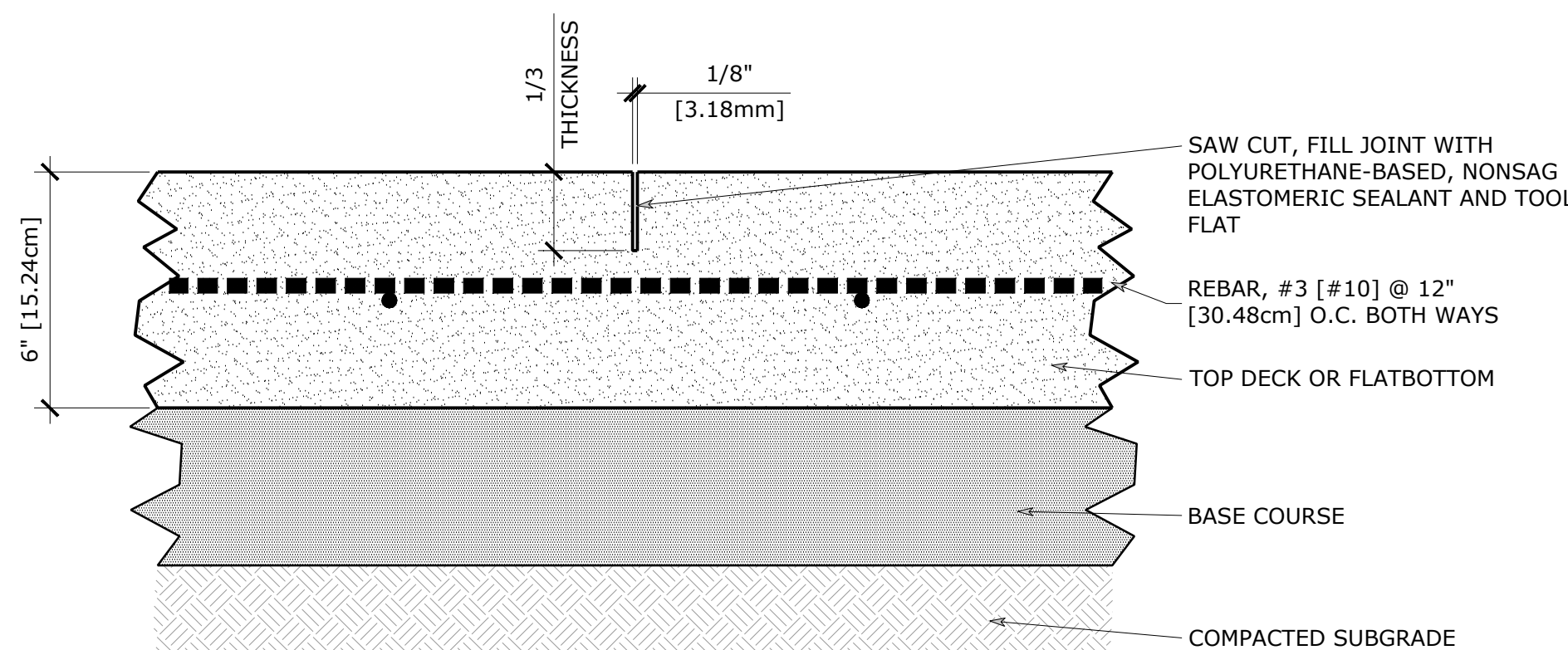
5 CONCRETE GRIND LEDGE - MEDIUM
SCALE: 1" = 1'-0"



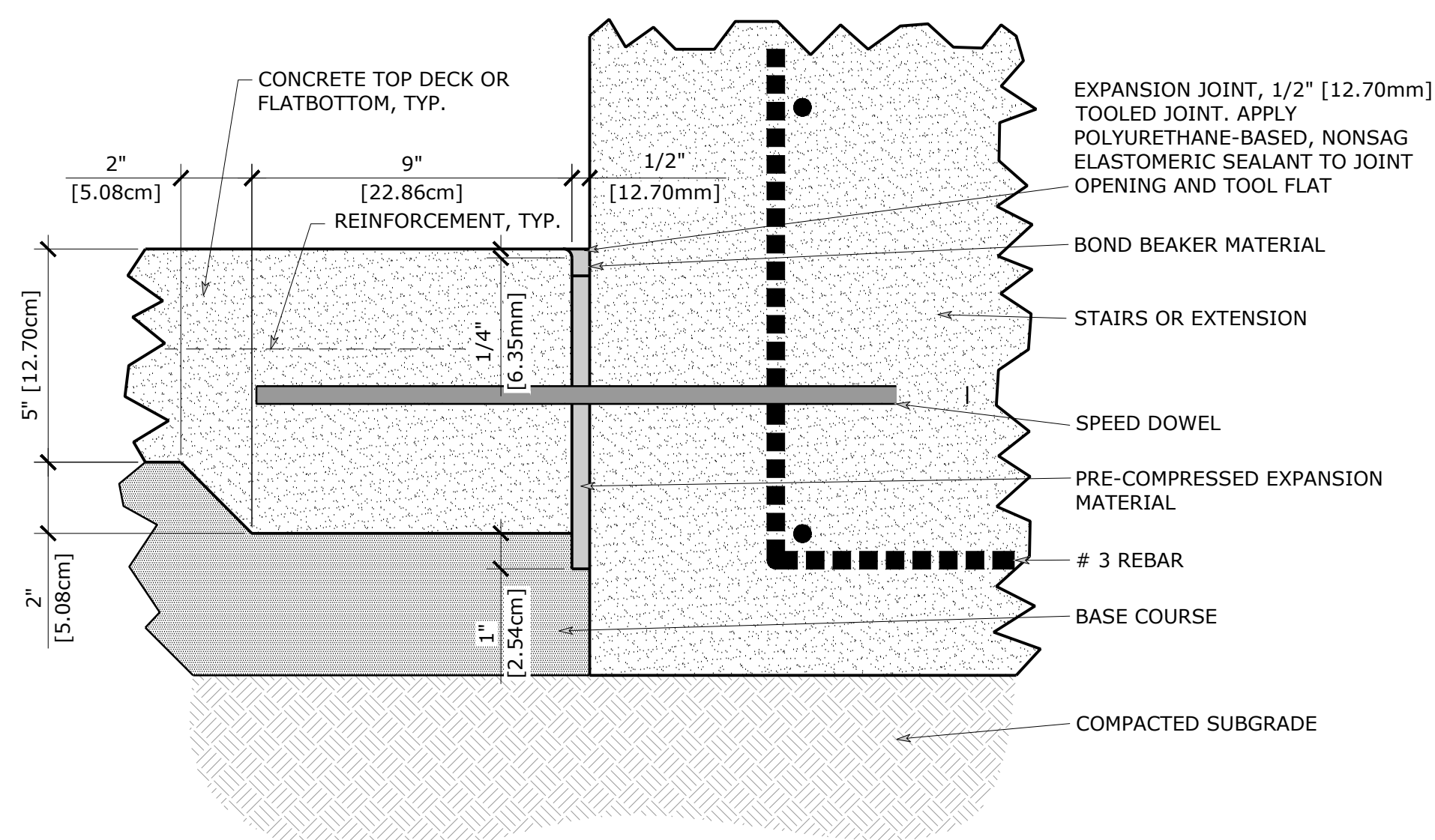
6 STEEL RAIL FOOTING
SCALE: 1" = 1'-0"



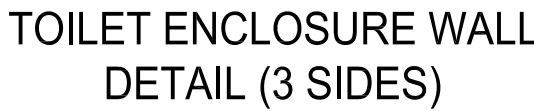
7 CONCRETE TURNDOWN WALL
SCALE: 1-1/2" = 1'-0"



8 SAWCUT JOINT AT MID CONCRETE
SCALE: 3" = 1'-0"



9 EXPANSION JOINT AT VERTICAL CONCRETE
SCALE: 3" = 1'-0"



1

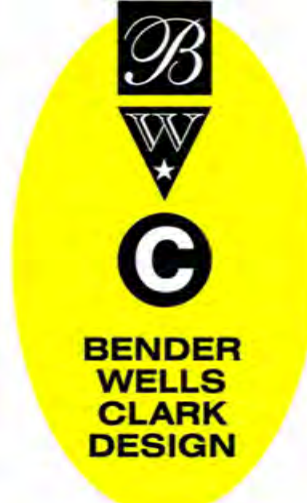
Scale 3/8" = 1'-0"



Date	Description

No.	Date	Description

LANDSCAPE ARCHITECT
BENDER WELLS CLARK DESIGN
830 N. ALAMO ST.
SAN ANTONIO, TEXAS 78215



**Urban Design
Planning**

830 North Alamo Street
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Rosedale Park

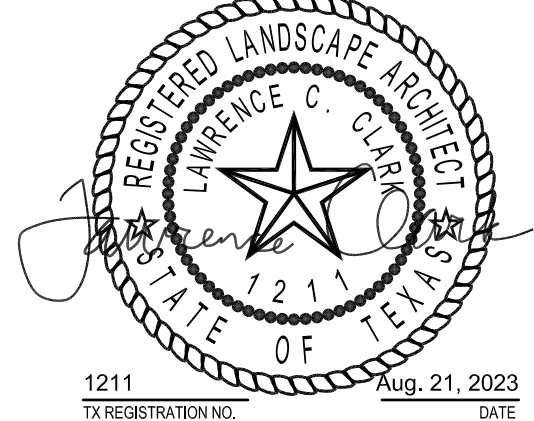
2022 - 2027 Bond-Funded Site Improvements

03 Dartmouth S
San Antonio Tx 78237

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LANDSCAPE ARCHITECT'S LICENSURE

LAWRENCE C. CLARK
LANDSCAPE ARCHITECT

**BWCD Proj. No. :**

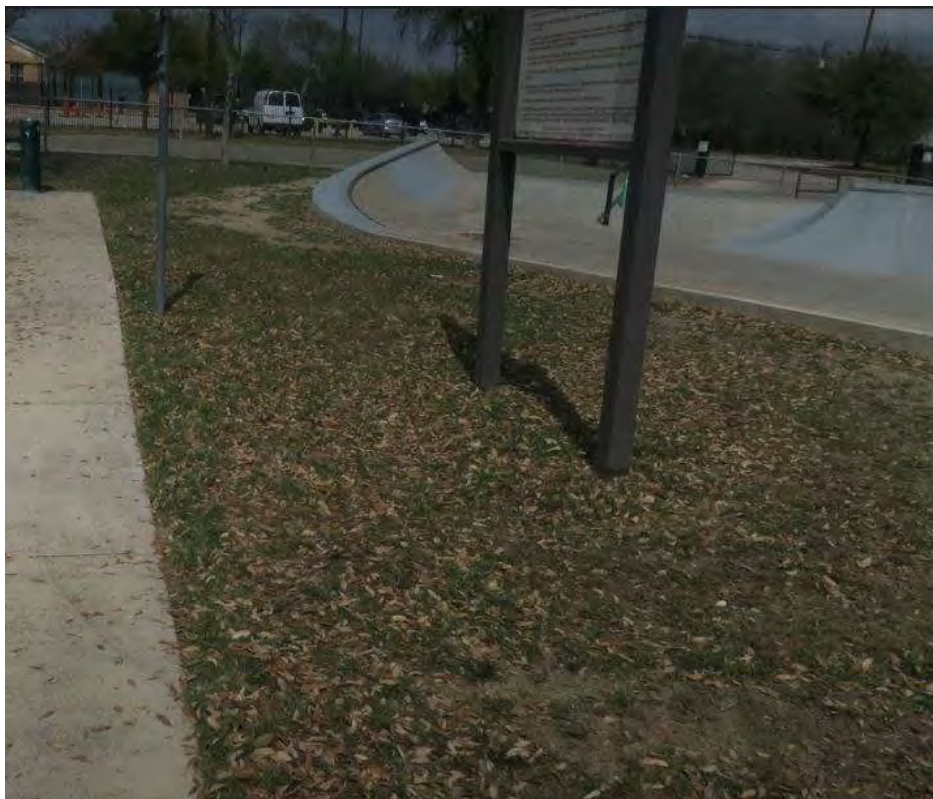
Drawn By :

SHEET TITLE & NUMBER:

Site Details

SD-2.2

Rosedale Park Improvements -2022 Bond



Skatepark Rules sign to be relocated for skatepark expansion



Rosedale Park Pavilions sign to be relocated for chemical toilet enclosure addition