

HISTORIC AND DESIGN REVIEW COMMISSION

August 16, 2023

HDRC CASE NO: 2023-311
ADDRESS: 521 RIVERWALK
LEGAL DESCRIPTION: NCB 914 BLK LOT 11 (RIVER RESTAURANTS SUBD)
ZONING: D, H, RIO-3
CITY COUNCIL DIST.: 1
DISTRICT: Alamo Plaza Historic District
APPLICANT: Tania Gunn/Beaty Palmer Architects
OWNER: Chris Moser/LOSOYA STREET PROPERTIES LLC
TYPE OF WORK: Construction of outdoor decking for seating, patio modifications
APPLICATION RECEIVED: July 28, 2023
60-DAY REVIEW: September 26, 2023
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to expand the existing outdoor seating at the River Level. The proposed expanded seating will be located over existing planting beds and will include the modification of existing river level elements, including non-original steps. The applicant has also proposed to install a bar element at the existing patio seating level. While the proposed expansion of seating will impact existing elements at the river level, neither historic Hugman elements nor the public River Walk path will be impacted.

APPLICABLE CITATIONS:

Unified Development Code Section 35-676. - Alteration, Restoration and Rehabilitation.

In considering whether to recommend approval or disapproval of an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure, the historic and design review commission shall be guided by the National Park Service Guidelines in addition to any specific design guidelines included in this subdivision.

- (a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- (c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance are prohibited.
- (d) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure, object, or site, shall be kept where possible.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building's materials shall not be permitted.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

Unified Development Code Section 35-673 – Site Design Standards

(g) Paving Materials. An important San Antonio landscape tradition is the use of decorative surfaces for paving and other landscape structures. Paving materials and patterns should be carefully chosen to preserve and enhance the pedestrian experience.

(1) Vary Walkway, Patio and Courtyard Paving to Add Visual Interest on the Riverside of Properties Abutting the River. Pervious paving is encouraged where feasible and appropriate to the site.

A. A maximum of six hundred (600) square feet is allowed for a single paving material before the paving material must be divided or separated with a paving material that is different in texture, pattern, color or material. A separation using a different material must be a minimum of twenty-four (24) inches wide, the full width of the pathway.

B. A maximum of one hundred (100) lineal feet is allowed in a walkway before the pattern must change in districts "RIO-2," "RIO-3," and "RIO-4." A maximum of five hundred twenty-eight (528) lineal feet is allowed before the pattern must change in districts "RIO-1," "RIO-5" and "RIO-6." The change of material at five hundred twenty-eight (528) lineal feet will define and delineate one-tenth-mile markers.

C. In "RIO-3," the Riverwalk pathway shall be delineated by using a separate material that is clearly distinguished from the adjacent patio paving materials. If the historic Hugman drawings indicate a sidewalk width and pattern on the site, that paving pattern and material shall be replicated.

(h) Site Walls and Fences. Site walls and fences are used to help divide spaces, screen unsightly objects and provide privacy. However, the character of the San Antonio River is such that walls shall not be erected in such a way as to block views of the river from public spaces.

(1) Use of Site Walls to Define Outdoor Spaces.

A. Use of low scale walls (twenty-four (24) inches to forty-eight (48) inches) to divide space, create a variety in landscaping and define edges is permitted.

B. Solid walls (up to seventy-two (72) inches) are permitted to: screen mechanical equipment, garbage receptacles and other unsightly areas; and provide privacy at the back of lots up to the front building face.

(2) Site Wall and Fence Materials.

A. On properties abutting the river, site walls and fence materials may be constructed of: stone, block, tile, stucco, wrought iron, tubular steel, welded wire or a combination of masonry and metal, cedar posts and welded wire or garden loop or other materials having similar characteristics. All other properties, not abutting the river may use the above listed materials plus wood fencing.

B. All chain link fences are prohibited for properties abutting the river. For properties that do not abut the river chain link is only allowed in the rear yard if not readily visible from the right-of-way. Barbed wire, razor wire, and concertina are prohibited in all RIO districts.

(i) Street Furnishings. Street furnishings are exterior amenities, including but not limited to, tables, chairs, umbrellas, landscape pots, wait stations, valet stations, bicycle racks, planters, benches, bus shelters, kiosks, waste receptacles and similar items that help to define pedestrian use areas. Handcrafted street furnishings are particularly important in San Antonio, and therefore this tradition of craftsmanship and of providing street furniture is encouraged.

(1) Prohibited Street Furnishings in Riverwalk Area. The following street furnishings are prohibited within the publicly owned portion of the Riverwalk area, whether or not the property is leased, and on the exterior of the riverside of buildings directly adjacent to the publicly owned portion of the river:

A. Vending machines.

B. Automatic teller machines.

C. Pay phones.

D. Photo booths.

E. Automated machines such as, but not limited to, penny crunching machines, blood pressure machines, fortune-telling machines, video games, animated characters and other machines that are internally illuminated, or have moving parts, or make noise, or have flashing lights.

F. Inanimate figures such as horses, kangaroos, bears, gorillas, mannequins or any such animal, cartoon or human figure. This section does not affect public art as defined in Appendix "A" of this chapter.

G. Monitors (i.e., television screens, computer screens).

H. Speakers.

(2) Street Furnishing Materials.

A. Street furnishings shall be made of wood, metal, stone, terra cotta, cast stone, hand-sculpted concrete, or solid surfacing material, such as Corian or Surell.

B. Inexpensive plastic resin furnishings are prohibited.

(3) Advertising on Street Furnishings.

- A. No commercial logos, trademarks, decals, product names whether specific or generic, or names of businesses and organizations shall be allowed on street furnishings.
- B. Product or business advertising is prohibited on all street furnishings.
- C. Notwithstanding the restrictions above, applications may be approved for purposes of donor or non-profit recognition.

(4) Street furnishings, such as tables and chairs may not be stored (other than overnight storage) in such a way as to be visible from the river pathway.

(j) Lighting. Site lighting should be considered an integral element of the landscape design of a property. It should help define activity areas and provide interest at night. At the same time, lighting should facilitate safe and convenient circulation for pedestrians, bicyclists and motorists. Overspill of light and light pollution should be avoided.

(1) Site Lighting. Site lighting shall be shielded by permanent attachments to light fixtures so that the light sources are not visible from a public way and any offsite glare is prevented.

A. Site lighting shall include illumination of parking areas, buildings, pedestrian routes, dining areas, design features and public ways.

B. Outdoor spaces adjoining and visible from the river right-of-way shall have average ambient light levels of between one (1) and three (3) foot-candles with a minimum of 0.5-foot candles and a maximum of six (6) foot-candles at any point measured on the ground plane. Interior spaces visible from the river right-of-way on the river level and ground floor level shall use light sources with no more than the equivalent lumens of a one hundred-watt incandescent bulb. Exterior balconies, porches and canopies adjoining and visible from the river right-of-way shall use light sources with the equivalent lumens of a sixty-watt incandescent bulb with average ambient light levels no greater than the lumen output of a one hundred-watt incandescent light bulb as long as average foot candle standards are not exceeded. Accent lighting of landscape or building features including specimen plants, gates, entries, water features, art work, stairs, and ramps may exceed these standards by a multiple of 2.5. Recreational fields and activity areas that require higher light levels shall be screened from the river hike and bike pathways with a landscape buffer.

C. Exterior light fixtures that use the equivalent of more than one hundred-watt incandescent bulbs shall not emit a significant amount of the fixture's total output above a vertical cut-off angle of ninety (90) degrees. Any structural part of the fixture providing this cut-off angle must be permanently affixed.

D. Lighting spillover to the publicly owned areas of the river or across property lines shall not exceed one-half (½) of one (1) foot-candle measured at any point ten (10) feet beyond the property line.

(2) Provide Lighting for Pedestrian Ways That is Low Scaled for Walking. The position of a lamp in a pedestrian-way light shall not exceed fifteen (15) feet in height above the ground.

(3) Light Temperature and Color.

A. Light temperature and color shall be between 2500° K and 3500° K with a color rendition index (CRI) of eighty (80) or higher, respectively. This restriction is limited to all outdoor spaces adjoining and visible from the river right-of-way and from the interior spaces adjoining the river right-of-way on the river level and ground floor level. Levels shall be determined by product specifications.

(4) Minimize the Visual Impacts of Exterior Building Lighting.

A. All security lighting shall be shielded so that the light sources are not visible from a public way.

B. Lighting (uplighting and downlighting) that is positioned to highlight a building or outdoor artwork shall be aimed at the object to be illuminated, not pointed into the sky.

C. Fixtures shall not distract from, or obscure important architectural features of the building. Lighting fixtures shall be a subordinate feature on the building unless they are incorporated into the over-all design scheme of the building.

(5) Prohibited Lighting on the Riverside of Properties Abutting the River.

A. Flashing lights.

B. Rotating lights.

C. Chaser lights.

D. Exposed neon.

E. Seasonal decorating lights such as festoon, string or rope lights, except between November 20 and January 10.

F. Flood lamps.

(6) Minimize the visual impacts of lighting in parking areas in order to enhance the perception of the nighttime sky and to prevent glare onto adjacent properties. Parking lot light poles are limited to thirty (30) feet in height, shall have a 90° cutoff angle so as to not emit light above the horizontal plane.

(k) Curbs and Gutters.

(1) Construct Curb and Gutter Along the Street Edge of a Property.

A. Install curbs and gutter along the street edge at the time of improving a parcel.

B. In order to preserve the rural character of RIO-5 and RIO-6, the HPO in coordination with public works and

the development services department may waive the requirement of curbs and gutters.

(l) Access to Public Pathway Along the River. These requirements are specifically for those properties adjacent to the river to provide a connection to the publicly owned pathway along the river. The connections are to stimulate and enhance urban activity, provide path connections in an urban context, enliven street activity, and protect the ambiance and character of the river area.

(1) A stair, ramp or elevator connecting the publicly owned pathway at the river to private property along the river is allowed by right at the following locations:

- A. At all street and vehicular bridge crossings over the river.
- B. Where publicly owned streets dead end into the river.
- C. Where the pedestrian pathway in the Riverwalk area is located at the top of bank and there is a two-foot or less grade change between the private property and the pathway.

(2) If there is a grade change greater than two (2) feet between the private property and the publicly owned pathway at the river then the following conditions apply:

- A. Access to the publicly owned pathway is limited to one (1) connection per property, with the exception that connections are always allowed at street and vehicular bridge crossings. For example if one (1) property extends the entire block face from street crossing to street crossing the owner would be allowed three (3) access points if the distance requirements were met.
- B. The minimum distance between access points shall be ninety-five (95) feet. Only street and vehicular bridge connections are exempted. Mid-block access points must meet this requirement.
- C. Reciprocal access agreements between property owners are permitted.

(3) Clearly define a key pedestrian gateway into the site from the publicly owned pathway at the river with distinctive architectural or landscape elements.

- A. The primary gateway from a development to the publicly owned pathway at the river shall be defined by an architectural or landscape element made of stone, brick, tile, metal, rough hewn cedar or hand-formed concrete or through the use of distinctive plantings or planting beds.

Unified Development Code Section 35-674 – Building Design Standards

(d) Materials and Finishes. Masonry materials are well established as primary features along the river corridor and their use should be continued. Stucco that is detailed to provide a texture and pattern, which conveys a human scale, is also part of the tradition. In general, materials and finishes that provide a sense of human scale, reduce the perceived mass of a building and appear to blend with the natural setting of the river shall be used, especially on major structures.

(1) Use indigenous materials and traditional building materials for primary wall surfaces. A minimum of seventy-five

(75) percent of walls (excluding window fenestrations) shall be composed of the following:

- A. Modular masonry materials including brick, stone, and rusticated masonry block, tile, terra-cotta, structural clay tile and cast stone. Concrete masonry units (CMU) are not allowed.
- B. Other new materials that convey the texture, scale, and finish similar to traditional building materials.
- C. Stucco and painted concrete when detailed to express visual interest and convey a sense of scale.
- D. Painted or stained wood in a lap or shingle pattern.

(2) The following materials are not permitted as primary building materials and may be used as a secondary material only:

- A. Large expanses of high gloss or shiny metal panels.
- B. Mirror glass panels. Glass curtain wall buildings are allowed in RIO-3 as long as the river and street levels comply with 35-674(d)(1) above.

(3) Paint or Finish Colors.

- A. Use natural colors of indigenous building materials for properties that abut the Riverwalk area.
- B. Use matte finishes instead of high glossy finishes on wall surfaces. Wood trim and metal trim may be painted with gloss enamel.
- C. Bright colors may highlight entrances or architectural features.

When an HDRC application is submitted for commercial development projects within a river improvement overlay district the city archeologist shall review the project application to determine if there is potential of containing intact archaeological deposits utilizing the following documents/methods:

- (1)The Texas Sites Atlas for known/recorded sites, site data in the files of the Texas Archeological Research Laboratory and the Texas Historical Commission;
- (2)USGS maps;
- (3)Soil Survey maps;
- (4)Distance to water;
- (5)Topographical data;
- (6)Predictive settlement patterns;
- (7)Archival research and historic maps;
- (8)Data on file at the office of historic preservation.

If after review the city archeologist determines there is potential of containing intact archaeological deposits, an archaeological survey report shall be prepared and submitted. If, after review by the city archeologist, a determination is made that the site has little to no potential of containing intact archaeological deposits, the requirement for an archaeological survey report may be waived.

Upon completion of a survey, owners of property containing inventoried archaeological sites are encouraged to educate the public regarding archaeological components of the site and shall coordinate any efforts with the office of historic preservation.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to expand the existing outdoor seating at the River Level. The proposed expanded seating will be located over existing planting beds and will include the modification of existing river level elements, , including non-original steps. The applicant has also proposed to install a bar element at the existing patio seating level. While the proposed expansion of seating will impact existing elements at the river level, neither historic Hugman elements nor the public River Walk path will be impacted.
- b. CONCEPTUAL APPROVAL – This request received conceptual approval at the August 16, 2023, Historic and Design Review Commission hearing with the following stipulations:
 - i. That the applicant submits complete construction documents that include materials specifications for review and final approval by the Commission.
 - ii. That the proposed decking feature a smooth finish with no faux wood grain, that all new railings and guard rails feature finishes to match the existing on site, and that the introduced limestone be complementary of the existing and Hugman era limestone found on site. Product specifications and an example of the final installation of the proposed decking materials are to be provided to OHP staff for review.
 - iii. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.
- c. PATIO EXPANSION – The applicant has proposed to expand the existing outdoor seating at the river level in two primary locations. The proposed expansion of patio seating will be located in the locations currently occupied by planting beds. To accommodate for the installation of the proposed seating locations, modifications will be made to existing, non-original river level elements, including non-original walls and stairs. Staff finds the location of the proposed patio expansion to be appropriate.
- d. PATIO EXPANSION (Materials) – The applicant has proposed materials that include Garapa wood decking and metal guard rails and handrails. In the location of expanded patio 1, adjacent to the River Walk path, the applicant has proposed to raise an existing, non-original limestone wall. The applicant has noted that this limestone will match the existing. Staff finds the proposed materials to be appropriate.
- e. OUTDOOR BAR – The applicant has proposed to construct an outdoor bar element at the existing patio seating level. Staff finds a bar at this location to be appropriate.

- f. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

RECOMMENDATION:

Staff recommends approval based on findings a through f with the following stipulations:

- i. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.
- ii. That the applicant coordinate with the Center City Development & Operations Department regarding all required lease agreements and the transplanting of existing landscaping elements.
- iii. That the applicant incorporate planters in the patio area to maintain plant life at the river level.

1:1,000

0 0.0075 0.015 0.03 mi

0 0.0125 0.025 0.05 km

(Narrative for River Restaurants HDRC Submittal)

This project consists of expansion of existing outdoor dining decking, and the addition of an outdoor bar in an existing covered deck at the existing Café Ole Restaurant on the San Antonio River Walk. More specifically, the project includes:

Expansion of Patios 1 & 5

- The expanded patios consist of new 5/4 x 6 Garapa (Brazilian Ash) wood over treated 2X8 wood framing supported by wood beams on 6X6 treated wood posts on spot concrete footings. Decking is gapped to allow rainwater to flow directly into the soil surrounding existing trees.
- New decking elevations will match the elevation of the existing Patio 5, approximately 1'-2" above River Walk level. Existing plastic decking on existing Patio 1 will also be replaced with Garapa wood decking. Existing steps from the River Walk to Patio 1 will be relocated but do not encroach on the River Walk path.
- New metal guard rails/handrails to match existing on existing adjacent patios will be added where appropriate.
- No part of the expanded Patios encroaches on the River Walk. Restaurant service to the expanded Patios will not require restaurant staff to cross into the River Walk.

New Outdoor Bar

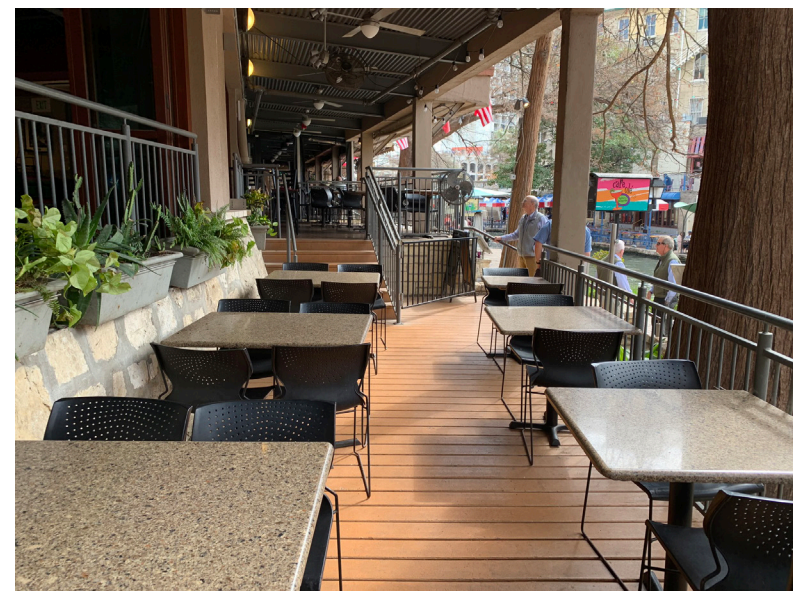
- A new outdoor bar will be constructed on the existing covered Patio 1.



Representative image of Garapa wood







PATIO 1 AREA - PATIO LEVEL

BEATY PALMER **ARCHITECTS**



CONSTRUCTION DRAWINGS ORGANIZATION

A. **ARCHITECTURAL DRAWINGS SHEET NUMBERING:** Architectural drawings are numbered in the lower right hand corner of each sheet by Section:

A2
(Indicates Section A2).

B. **ARCHITECTURAL DRAWING NUMBERING:** Architectural drawings are numbered sequentially (1,2,3, etc.)on each sheet within the Section:

26 View Name
1/8" = 1'-0" 1 ADDITIONAL INFO
(Indicates the 26th drawing on this sheet).

C. **ARCHITECTURAL DRAWING KEYS:** Architectural drawings are keyed by Number and Sheet, as follows: 2/A3.4 (Indicates the 2nd drawing on sheet A3.4.)

The following keying symbols may be used:

This symbol is a key to an Elevation drawing. The arrow points in the direction of the view for the elevation.

This symbol is a key to a Section taken along the straight line of the symbol. The arrow points in the direction of the view for the symbol.

This symbol is a key to a Detail of the area within the callout

D. **ARCHITECTURAL "NORTH ARROW" SYMBOLS:** Two North Arrow symbols may be utilized on Architectural drawings.

This symbol denotes "true" (magnetic) north

This symbol denotes "project" north. The arrow points in the direction closest to true north that is parallel/perpendicular to the building/project.

E. **ARCHITECTURAL NOTES:** Three types of notation may be utilized on architectural drawings:

GENERAL NOTES describe general information regarding the project work related to the drawings of a particular sheet. General notes are labeled alphabetically (A, B, C, etc.) on each sheet.

KEYNOTES describe specific items on the drawings of a particular sheet. Keynotes are listed numerically (1, 2, 3, etc.) in a column and correspond to keyed symbols on the appropriate drawing of a particular sheet, as in the example below. Keynote numbering is specific to each sheet; a given keynote number may or may not reference the same item on different sheets.

4

PLASTIC LAMINATE

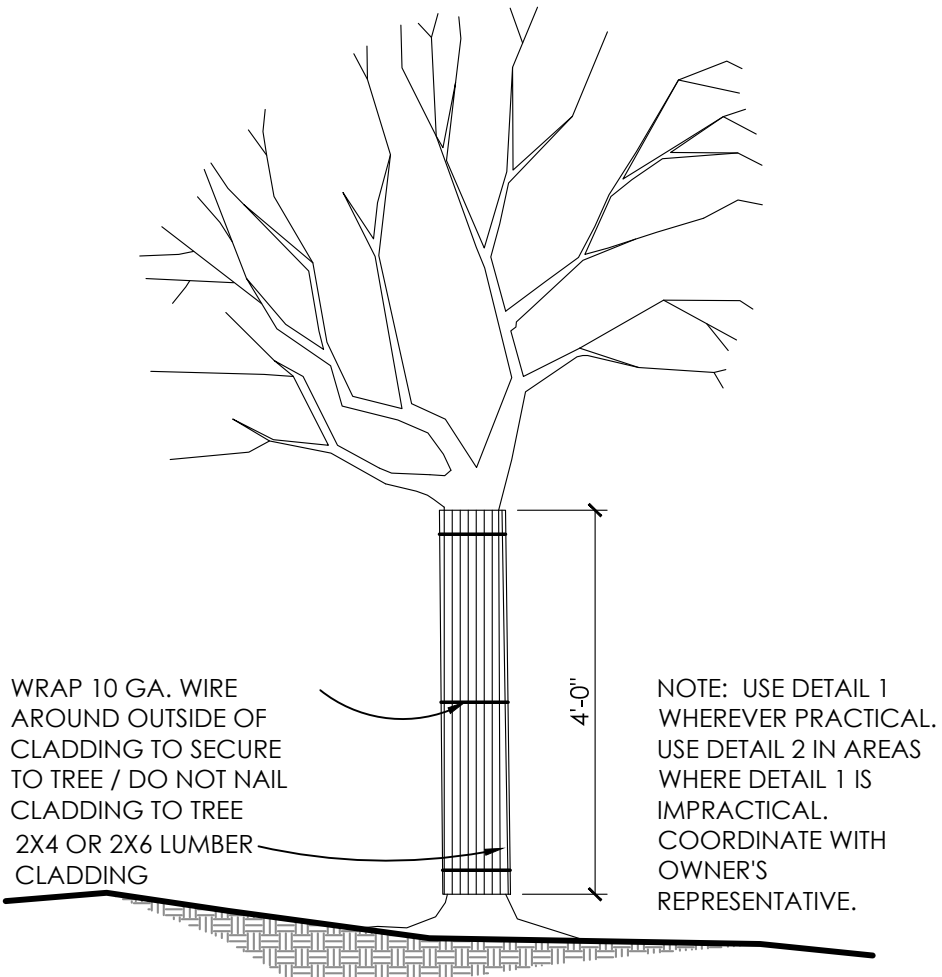
DRAWING NOTES describe specific items on a specific drawing, as in the example below, and may be utilized in combination with or in lieu of Keynotes.

F. **DIMENSIONS:**

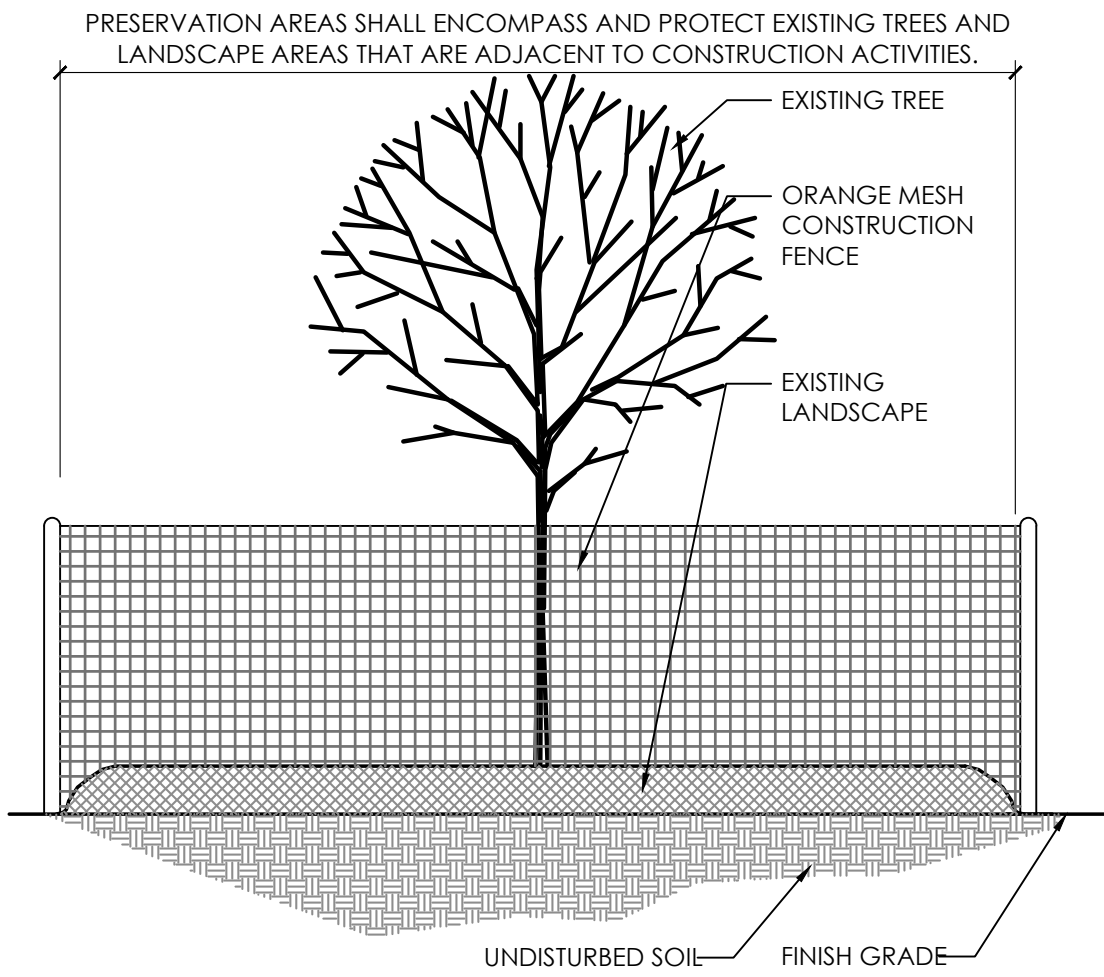
1. PLAN DIMENSIONS are to face of wall finish or face of masonry, unless specifically noted otherwise.
2. SECTION/DETAIL/CABINETWORK DIMENSIONS are actual finish dimensions, unless specifically noted otherwise.
3. INTERIOR ELEVATION DIMENSIONS are nominal and assume a level floor condition. Run all horizontal reveals and trim level and all vertical reveals plumb.

LANDSCAPE & TREE PRESERVATION NOTES

1. ALL EXISTING TREES SHALL BE PRESERVED AND PROTECTED AT THE ROOT PROTECTION ZONE (RPZ). THE RPZ SHALL BE DETERMINED BY THE TREE SIZE (ONE FT. RADIUS FROM TRUNK FOR EVERY 1" DIAMETER OF TRUNK). THE RPZ ON ANY SIDE OF THE TREE SHALL NOT BE LESS THAN FIVE FEET. IF THE SIZE FOR THE TREE REQUIRES AN RPZ GREATER THAN FIVE FEET, THE TOTAL SQUARE FOOT AREA OF THE RPZ SHALL BE EXTENDED IN A DIRECTION THAT EQUALS THE REQUIRED SQUARE FOOT AREA OF THE RPZ.
2. ORANGE MESH CONSTRUCTION FENCE BARRIER SHALL BE ERECTED AROUND THE PRESERVED AREA AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED.
3. THE PRESERVED AREA SHALL BE FREE FROM PEDESTRIAN, VEHICULAR OR MECHANICAL TRAFFIC. NO FILL, EQUIPMENT, LIQUIDS OR CONSTRUCTION DEBRIS SHALL BE PLACED INSIDE THE PRESERVED AREA.
4. ANY DAMAGE DONE TO THE EXISTING TREE BRANCHES OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY. ALL WOUNDS SHALL BE PAINTED WITH PRUNING PAINT WITHIN 30 MINUTES AFTER DAMAGE TO PREVENT THE SPREAD OF OAK WILT DISEASE. ROOTS SEVERED DURING CONSTRUCTION OPERATIONS SHALL BE CUT CLEANLY.
5. THE FINAL FINISHED GRADE AND ELEVATION FOR LAND WITHIN THE RPZ SHALL NOT BE RAISED OR LOWERED MORE THAN THREE INCHES. WELLING AND RETAINING METHODS ARE ALLOWED OUTSIDE THE RPZ. SEE LANDSCAPE PLANS FOR ANY RETAINING WALL LOCATIONS AND/OR FINAL CONTOUR ADJUSTMENTS.
6. ANY CONSTRUCTION ACTIVITIES THAT ARE PERFORMED WITHIN THE PRESERVED AREA, SUCH AS TRENCHING OR SIDEWALK INSTALLATION SHALL BE DONE BY HAND.
7. IF CONSTRUCTION ACTIVITIES ARE IMMEDIATELY ADJACENT TO TREE(S) AND FENCING IS NOT PRACTICAL, INSTALL 2"X4" LUMBER CLADDING AROUND TRUNK OF TREE.



2 LANDSCAPE AND TREE PRESERVATION DETAIL
1/2" = 1'-0" LUMBER CLADDING

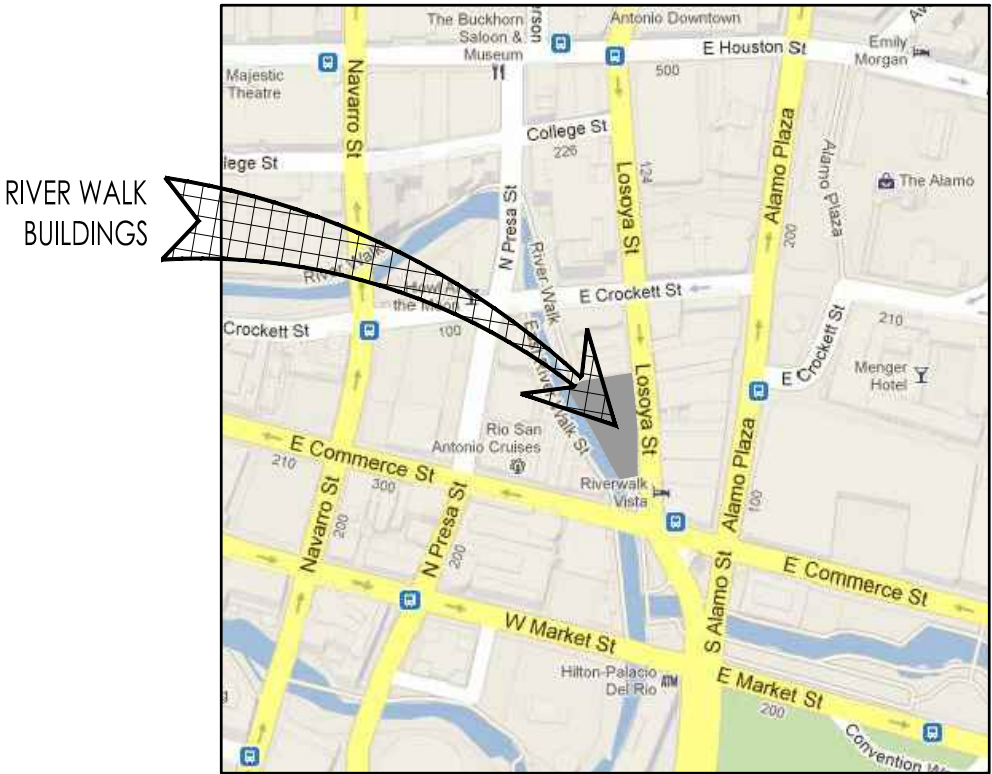


1 LANDSCAPE AND TREE PRESERVATION DETAIL
1/2" = 1'-0" FENCING

INDEX OF DRAWINGS

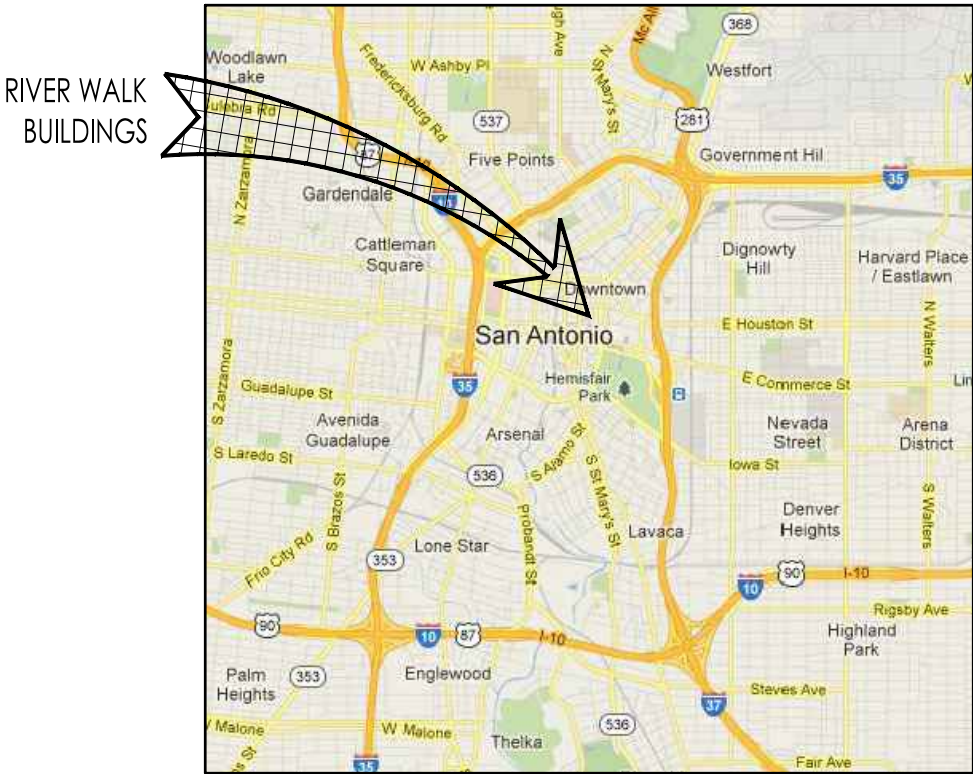
ARCHITECTURAL

A0	INDEX OF DRAWINGS
A1	RIVER LEVEL FLOOR PLAN - EXISTING CONDITIONS / SELECTIVE DEMOLITION
A2	RIVER LEVEL FLOOR PLAN - NEW CONSTRUCTION KEY PLAN
A3	ENLARGED PLANS - NEW CONSTRUCTION
A4	SECTIONS / ELEVATIONS



north

LOCATION MAP
N.T.S.



north

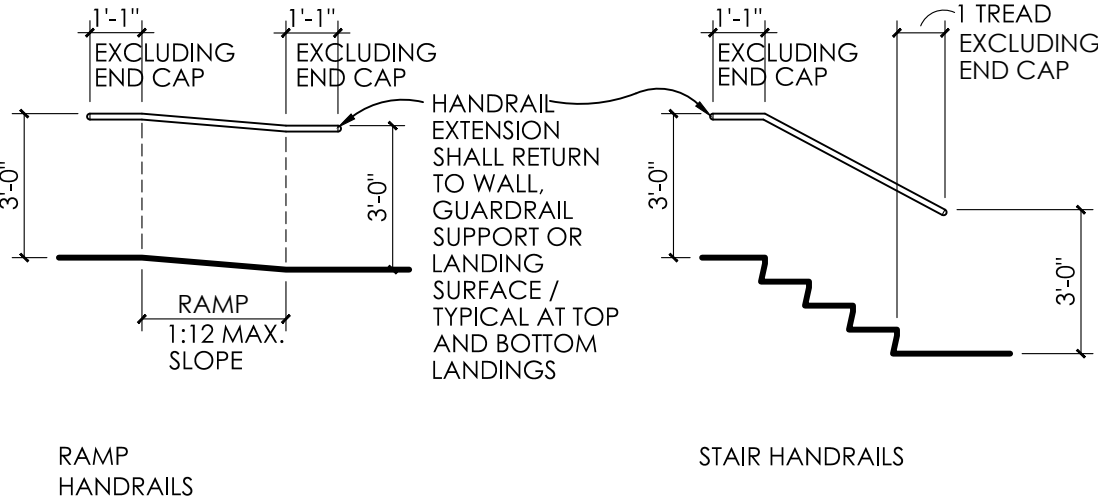
VICINITY MAP
N.T.S.

ACCESSIBILITY STANDARDS

All aspects of this project shall comply with the 2012 TEXAS ACCESSIBILITY STANDARDS of the Elimination of Architectural Barriers Texas Government Code, Chapter 469. Administered by the Texas Department of Licensing and Regulation Effective March 15, 2012, including but not limited to the following:

ACCESSIBILITY STANDARDS GENERAL NOTES

1. ALL HANDRAILS MUST HOLD 250 LBS
2. WALK CROSS SLOPES SHALL NOT EXCEED 2%
3. RAMPS SHALL NOT EXCEED 1/12 SLOPE
4. RAMP LANDING SHALL NOT EXCEED 2% SLOPE IN EITHER DIRECTION
5. WALKS IN DIRECTION OF TRAVEL SHALL BE LESS THAN 5% SLOPE



RAMP HANDRAILS STAIR HANDRAILS

architect revisions

CAFE OLÉ
REMODELING

SAN ANTONIO RIVER WALK

RIVER RESTAURANTS LTD.

project number
23-05

date
07.28.23

project number
23-05

date
07.28.23

drawn by
JR

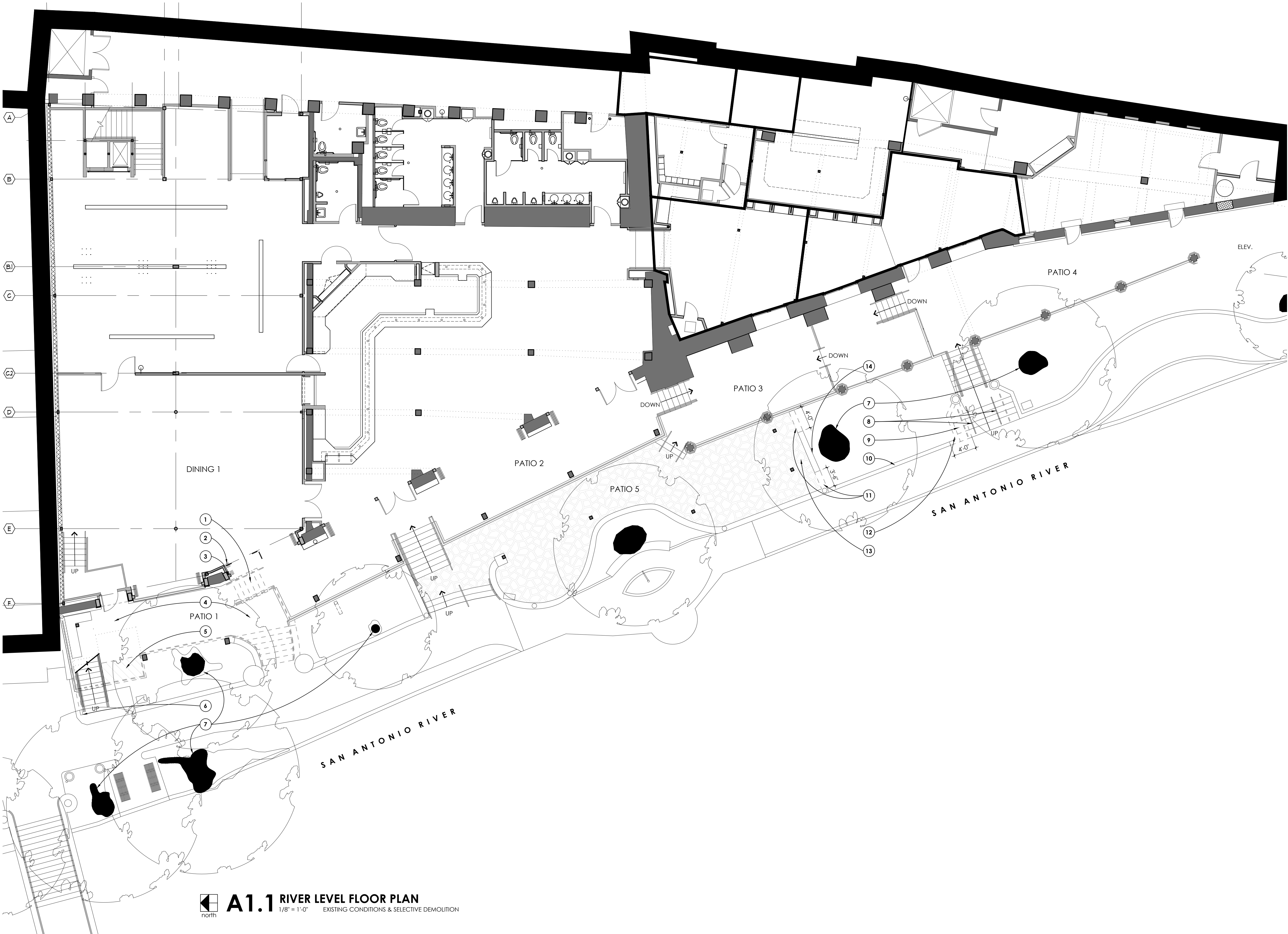
checked by
MB

sheet number
A0

Beaty Palmer Architects, Inc.
110 Broadway, Suite 600
San Antonio, Texas 78205
voice 210.212.8022
fax 210.212.8018
www.beatypalmer.com

© 2023 Beaty Palmer Architects, Inc. all rights reserved.
no part of this document may be reproduced or utilized in any form without prior written authorization of beaty palmer architects, inc.

BEATY PALMER ARCHITECTS



GENERAL NOTES

- THE OWNER'S BUSINESSES WILL REMAIN OPEN DURING THE WORK OF THIS PROJECT. COORDINATE SEQUENCE OF DEMOLITION AND NEW CONSTRUCTION WORK AND SITE ACCESS POINTS WITH OWNER'S REPRESENTATIVE. SEQUENCE ALL DEMOLITION AND CONSTRUCTION ACTIVITIES TO MINIMIZE INCONVENIENCE TO THE OWNER, OWNER'S CUSTOMERS, AND THE GENERAL PUBLIC.
- DOCUMENTATION OF EXISTING CONDITIONS IS DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND BRING TO THE ARCHITECT'S ATTENTION ANY SIGNIFICANT VARIANCE IN EXISTING CONDITIONS ILLUSTRATED BEFORE PROCEEDING WITH DEMOLITION OR CONSTRUCTION ACTIVITIES.
- SELECTIVE DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND ILLUSTRATE ONLY THE GENERAL SCOPE OF WORK TO BE DEMOLISHED. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND EXTENT OF WORK REQUIRED.
- CAREFULLY PROTECT EXISTING ADJACENT CONSTRUCTION AND NATURAL FEATURES DURING DEMOLITION AND NEW CONSTRUCTION ACTIVITIES.
- PATCH AND REPAIR EXISTING ADJACENT CONSTRUCTION AND NATURAL FEATURES TO REMAIN ADJOINING DEMOLISHED OR NEW CONSTRUCTION WORK.

KEYNOTES

- REMOVE EXISTING WOOD FRAME STEPS, METAL HANDRAILS, AND METAL GUARDRAIL
- REMOVE EXISTING FOLDING WOOD AND GLASS WALL / STORE AS DIRECTED BY OWNER'S REPRESENTATIVE FOR OWNER'S FUTURE USE
- REMOVE DOOR JAMB
- REMOVE EXISTING PLASTIC FLOOR DECKING / WOOD SUB-STRUCTURE TO REMAIN
- REMOVE THIS PORTION OF DECK AND SUB-STRUCTURE IN ITS ENTIRETY / MODIFY EXISTING SUB-STRUCTURE IF AND AS REQUIRED
- REMOVE PORTION OF EXISTING DRAINPIPE AND RE-ROUTE PER NEW CONSTRUCTION PLAN / COORDINATE WITH ARCHITECT
- EXISTING MATURE TREE TO REMAIN / PROTECT
- REMOVE AND RE-INSTALL EXISTING METAL HANDRAILS IN LINE WITH RAILS ABOVE / REPAIR OR REPLACE FLOOR TILES WHERE RAILS ARE REMOVED
- SAW-CUT AND REMOVE PORTION OF EXISTING CONCRETE STAIR STRUCTURE
- EXISTING LOW STONE CURB TO REMAIN
- REMOVE PORTION OF EXISTING LOW STONE WALL
- REMOVE PORTION OF EXISTING LOW STONE CURB
- MODIFY EXISTING FLAGSTONE IF AND AS REQUIRED FOR LEVEL SURFACE AT 1'-2" ABOVE THE ADJACENT RIVER WALK
- EXISTING LOW STONE WALL TO REMAIN

architect

revisions

CAFE OLÉ REMODELING

SAN ANTONIO RIVER WALK

RIVER RESTAURANTS LTD.

project number
23-05
date
07.28.23

drawn by
JR
checked by
MB

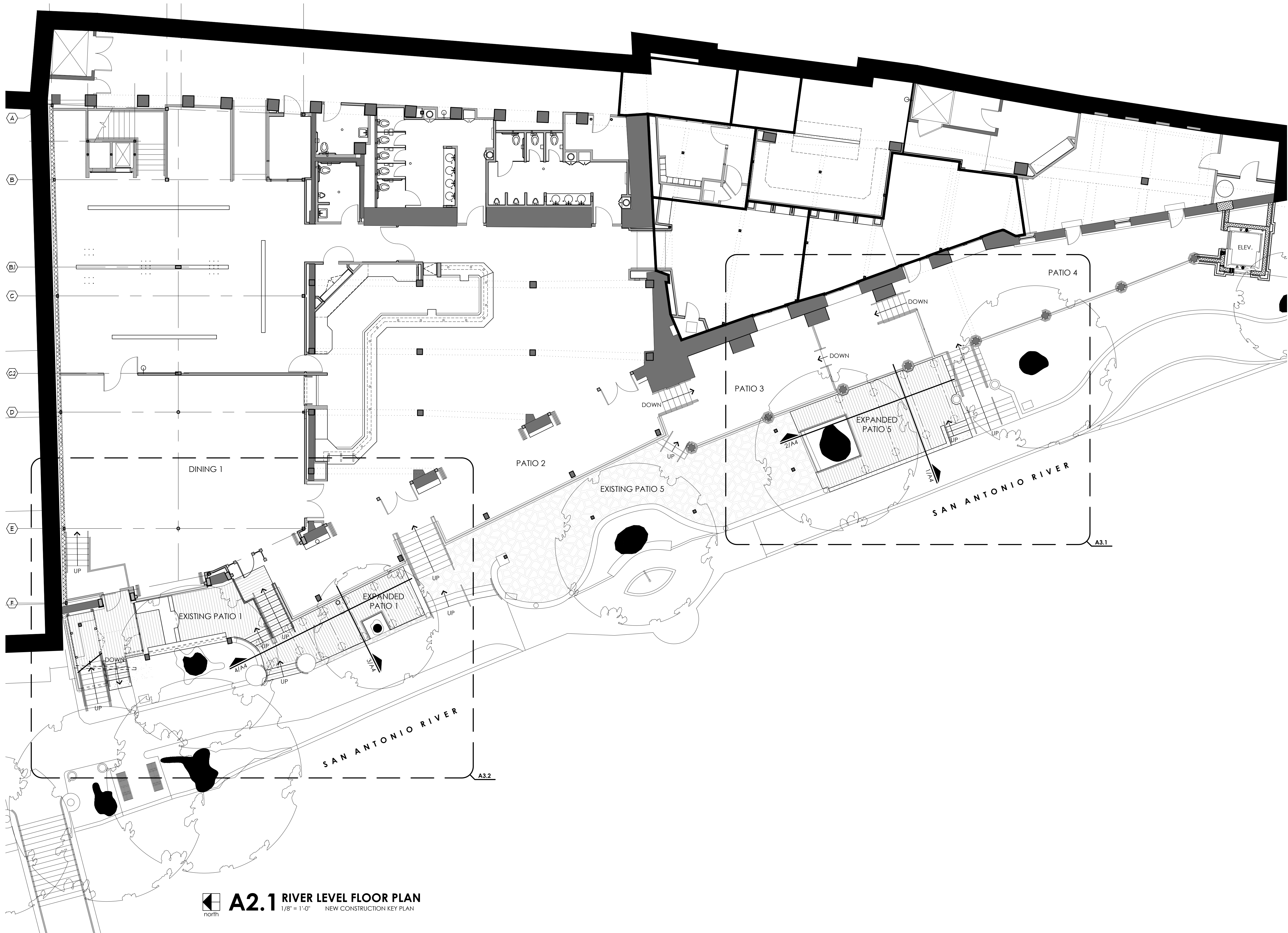
Beatty Palmer Architects, Inc.
110 Broadway, Suite 600
San Antonio, Texas 78205
voice 210.212.8022
fax 210.212.8018
www.beatypalmer.com

sheet number

A1

© 2023 Beatty Palmer Architects, Inc. all rights reserved.
no part of this document may be reproduced or utilized in any form without prior written authorization of beatty palmer architects, inc.

BEATY PALMER ARCHITECTS



A2.1 RIVER LEVEL FLOOR PLAN

1/8" = 1'-0" NEW CONSTRUCTION KEY PLAN

GENERAL NOTES

- THE OWNER'S BUSINESSES WILL REMAIN OPEN DURING THE WORK OF THIS PROJECT. COORDINATE SEQUENCE OF DEMOLITION AND NEW CONSTRUCTION WORK AND SITE ACCESS POINTS WITH OWNER'S REPRESENTATIVE. SEQUENCE ALL DEMOLITION AND CONSTRUCTION ACTIVITIES TO MINIMIZE INCONVENIENCE TO THE OWNER, OWNER'S CUSTOMERS, AND THE GENERAL PUBLIC.
- DOCUMENTATION OF EXISTING CONDITIONS IS DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND BRING TO THE ARCHITECT'S ATTENTION ANY SIGNIFICANT VARIANCE IN EXISTING CONDITIONS ILLUSTRATED BEFORE PROCEEDING WITH DEMOLITION OR CONSTRUCTION ACTIVITIES.
- SELECTIVE DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND ILLUSTRATE ONLY THE GENERAL SCOPE OF WORK TO BE DEMOLISHED. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND EXTENT OF WORK REQUIRED.
- CAREFULLY PROTECT EXISTING ADJACENT CONSTRUCTION AND NATURAL FEATURES DURING DEMOLITION AND NEW CONSTRUCTION ACTIVITIES.
- PATCH AND REPAIR EXISTING ADJACENT CONSTRUCTION AND NATURAL FEATURES TO REMAIN ADJOINING DEMOLISHED OR NEW CONSTRUCTION WORK.

architect

revisions

CAFE OLÉ REMODELING

SAN ANTONIO RIVER WALK

RIVER RESTAURANTS LTD.

project number
23-05
date
07.28.23

drawn by
JR
checked by
MB

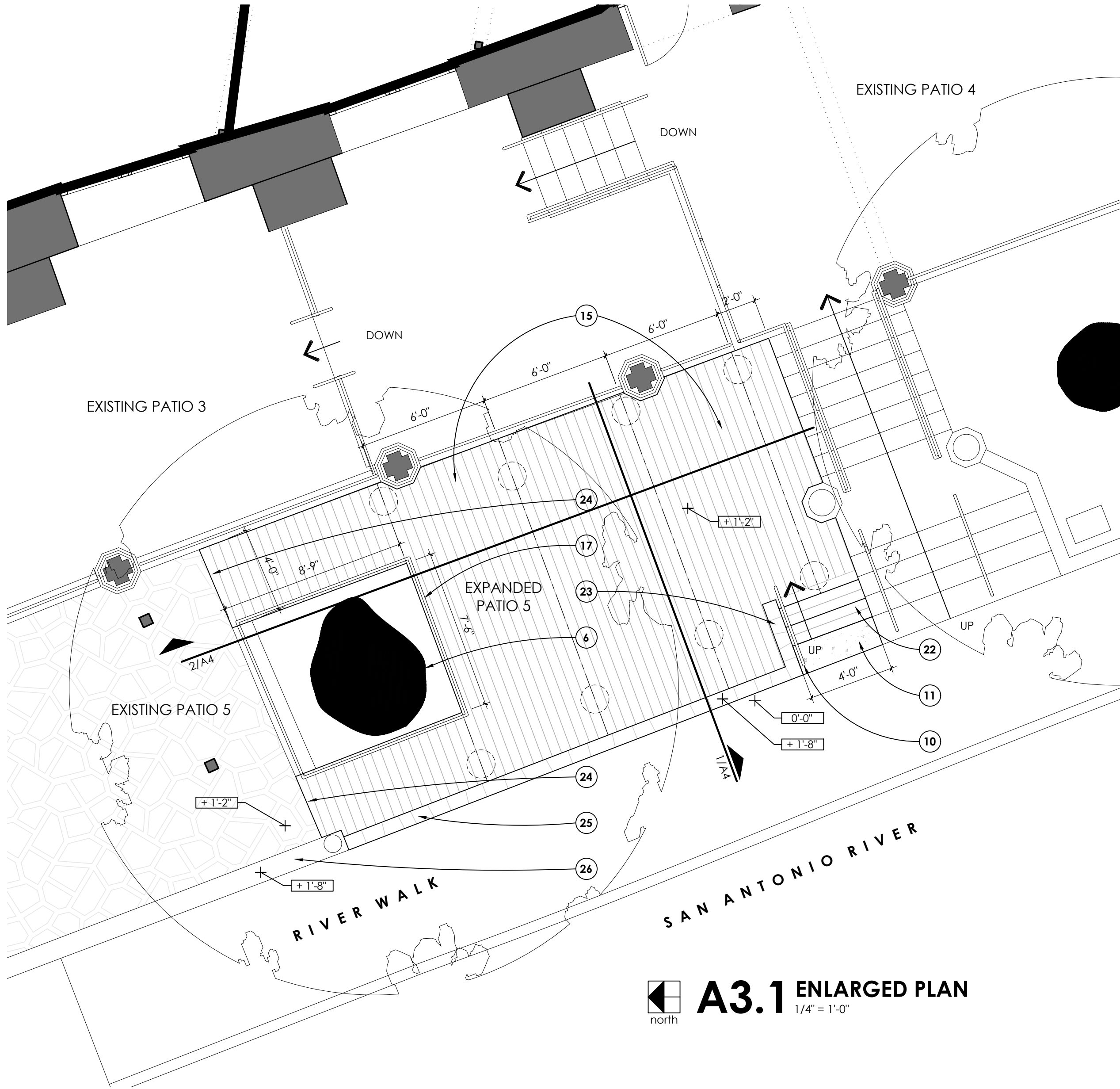
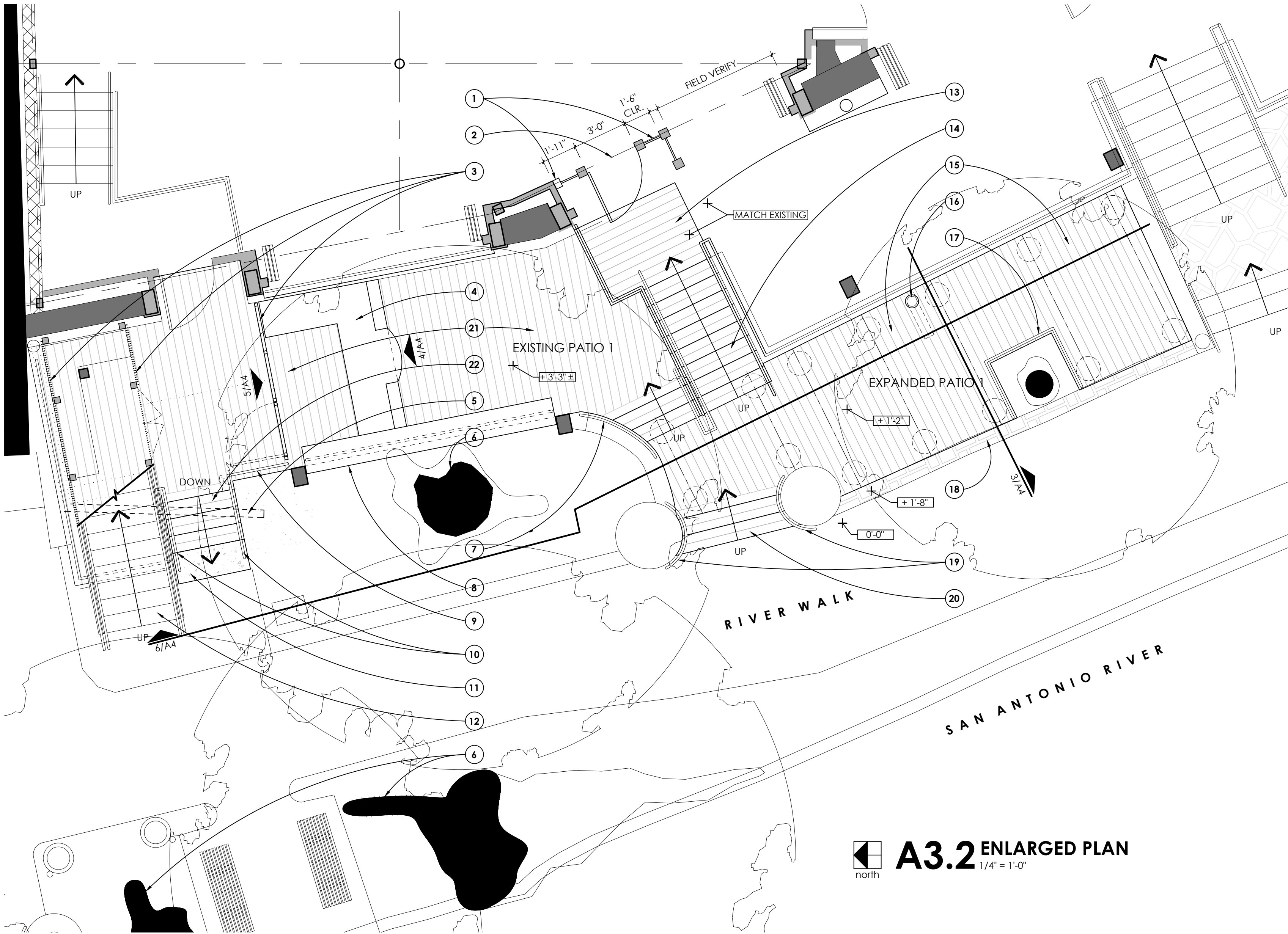
Beaty Palmer Architects, Inc.
110 Broadway, Suite 600
San Antonio, Texas 78205
voice 210.212.8022
fax 210.212.8018
www.beatypalmer.com

sheet number

A2

© 2023 Beaty Palmer Architects, Inc. all rights reserved.
no part of this document may be reproduced or utilized in any form without prior
written authorization of beaty palmer architects, inc.

BEATY PALMER ARCHITECTS



GENERAL NOTES

- THE OWNER'S BUSINESSES WILL REMAIN OPEN DURING THE WORK OF THIS PROJECT. COORDINATE SEQUENCE OF DEMOLITION AND NEW CONSTRUCTION WORK AND SITE ACCESS POINTS WITH OWNER'S REPRESENTATIVE. SEQUENCE ALL DEMOLITION AND CONSTRUCTION ACTIVITIES TO MINIMIZE INCONVENIENCE TO THE OWNER, OWNER'S CUSTOMERS, AND THE GENERAL PUBLIC.
- DOCUMENTATION OF EXISTING CONDITIONS IS DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND BRING TO THE ARCHITECT'S ATTENTION ANY SIGNIFICANT VARIANCE IN EXISTING CONDITIONS ILLUSTRATED BEFORE PROCEEDING WITH DEMOLITION OR CONSTRUCTION ACTIVITIES.
- SELECTIVE DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND ILLUSTRATE ONLY THE GENERAL SCOPE OF WORK TO BE DEMOLISHED. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND EXTENT OF WORK REQUIRED.
- CAREFULLY PROTECT EXISTING ADJACENT CONSTRUCTION AND NATURAL FEATURES DURING DEMOLITION AND NEW CONSTRUCTION ACTIVITIES.
- PATCH AND REPAIR EXISTING ADJACENT CONSTRUCTION AND NATURAL FEATURES TO REMAIN ADJOINING DEMOLISHED OR NEW CONSTRUCTION WORK.

KEYNOTES

- NEW STAINED WOOD AND FIXED GLASS SIDELITES/ MATCH EXISTING ADJACENT CONSTRUCTION
- NEW STAINED WOOD AND GLASS DOOR / MATCH EXISTING ADJACENT
- NEW PERFORATED METAL PANELS IN METAL FRAMES SUPPORTED BY 4X4 STEEL TUBE COLUMNS ATTACHED TO STEEL STAIR STRUCTURE AT THE TOP AND BOLTED TO FLOOR DECK AT THE BOTTOM / PAINT ALL METAL ALL SIDES
- STAINLESS STEEL FACED OUTDOOR BAR FABRICATED AND INSTALLED BY OWNER
- RE-ROUTE EXISTING PVC DRAIN PIPE UNDER STAIRS AND DISCHARGE INTO BULL ROCK PLACED IN EXISTING PLANTER
- EXISTING TREE TO REMAIN / PROTECT
- NEW STEEL HANDRAIL MOUNTED TO TOP OF EXISTING LOW STONE WALL / PAINT
- NEW STAINLESS STEEL FACED COUNTER MOUNTED TO EXISTING GUARDRAIL SYSTEM
- NEW STEEL GUARDRAIL TO MATCH EXISTING ADJACENT / PAINT
- NEW STEEL HANDRAILS / PAINT
- NEW 5" REINFORCED CONCRETE WALK TO CONNECT EXISTING WALKWAY TO STEPS
- EXISTING STEEL STAIR TO REMAIN
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) LANDING WITH CONCEALED CLIP MOUNTING SYSTEM OVER TREATED WOOD FRAMING / SET FLUSH WITH ADJOINING CONCRETE PATIO
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) TREADS AND RISERS WITH CONCEALED CLIP MOUNTING SYSTEM OVER 4 TREATED 2X WOOD STRINGERS / 8 EQUAL TREADS AT 11 1/4"± AND 9 EQUAL RISERS
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) DECK WITH CONCEALED CLIP MOUNTING SYSTEM OVER TREATED WOOD FRAMING / DECK BOARDS TO BE FULL LENGTH

- WITH NO JOINTS
- EXISTING ROOF DRAIN TO REMAIN / COORDINATE DECK FRAMING TO CLEAR DRAIN DISCHARGE
- STEEL CHAIR RAIL / PAINT
- TOOTH IN LIMESTONE TO MATCH EXISTING TO RAISE HEIGHT OF EXISTING LOW STONE WALL TO 1'-8" ABOVE THE RIVER WALK ADJACENT
- NEW STEEL HANDRAILS CURVED AROUND EXISTING CIRCULAR LOW STONE COLUMNS / PAINT RAILS
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) TREADS AND RISERS WITH CONCEALED CLIP MOUNTING SYSTEM OVER 4 TREATED 2X WOOD STRINGERS / 2 EQUAL TREADS AT 11 1/4"± AND 3 EQUAL RISERS / PROVIDE 4/6 X 6 UNFINISHED GARAPA WOOD EDGER AT EDGE OF DECK
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) DECK WITH CONCEALED CLIP MOUNTING SYSTEM OVER EXISTING TREATED WOOD FRAMING / DECK BOARDS TO BE FULL LENGTH WITH NO JOINTS
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) TREADS AND RISERS WITH CONCEALED CLIP MOUNTING SYSTEM OVER 3 TREATED 2X WOOD STRINGERS / 3 EQUAL TREADS AT 11 1/4"± AND 4 EQUAL RISERS / PROVIDE 4/6 X 6 UNFINISHED GARAPA WOOD EDGER AT EDGE OF DECK
- RETURN LOW STONE WALL AT STEPS
- DECK STRUCTURE TO BEAR ON EXISTING LOW STONE WALL SUB-STRUCTURE / COORDINATE WITH ARCHITECT
- ADD 2 COURSES OF ROUGHLY SQUARED LIMESTONE BLOCKS IN RANDOM RUNNING BOND TO MATCH EXISTING TO RAISE TOP OF WALL FROM 8" ABOVE RIVER WALK TO 1'-8" ABOVE RIVER WALK
- EXISTING LOW STONE WALL TO REMAIN

architect

revisions

CAFE OLÉ REMODELING

SAN ANTONIO RIVER WALK

RIVER RESTAURANTS LTD.

project number
23-05
date
07.28.23

drawn by
JR
checked by
MB

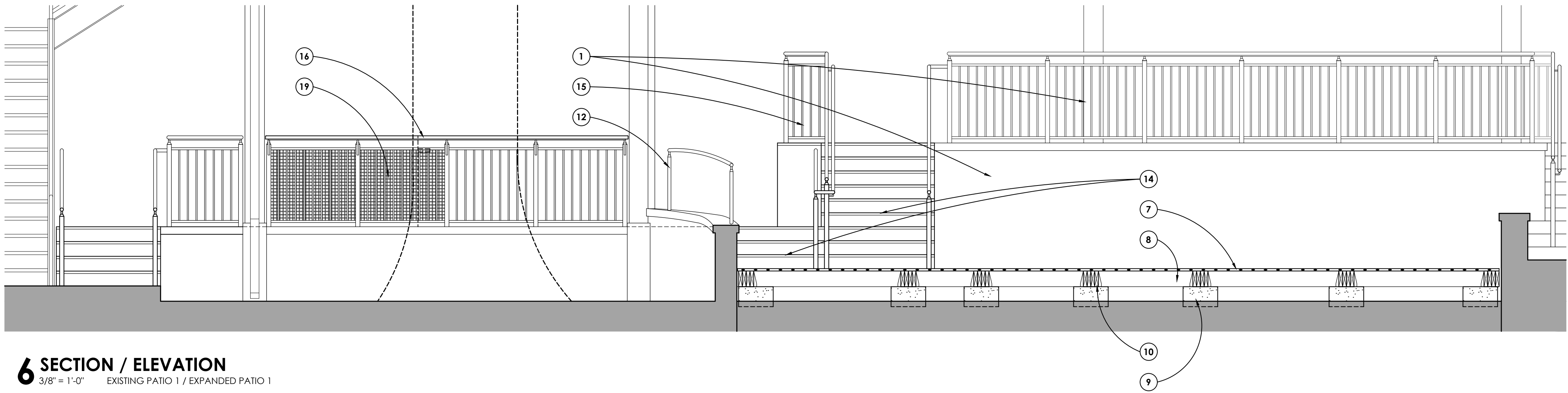
sheet number

A3

Beatty Palmer Architects, Inc.
110 Broadway, Suite 600
San Antonio, Texas 78205
voice 210.212.8022
fax 210.212.8018
www.beatypalmer.com

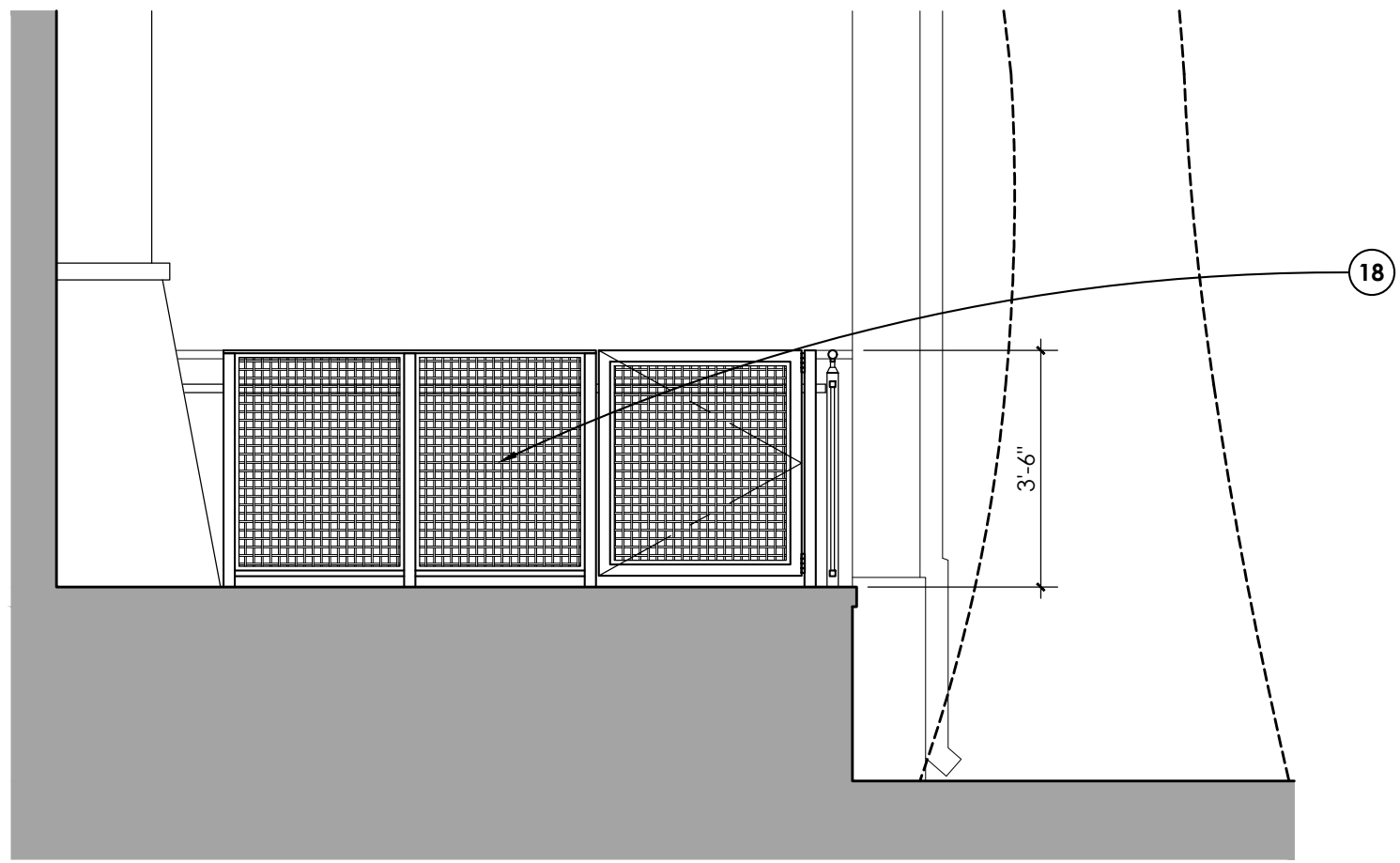
© 2023 Beatty Palmer Architects, Inc. all rights reserved.
no part of this document may be reproduced or utilized in any form without prior written authorization of beatty palmer architects, inc.

BEATY PALMER ARCHITECTS

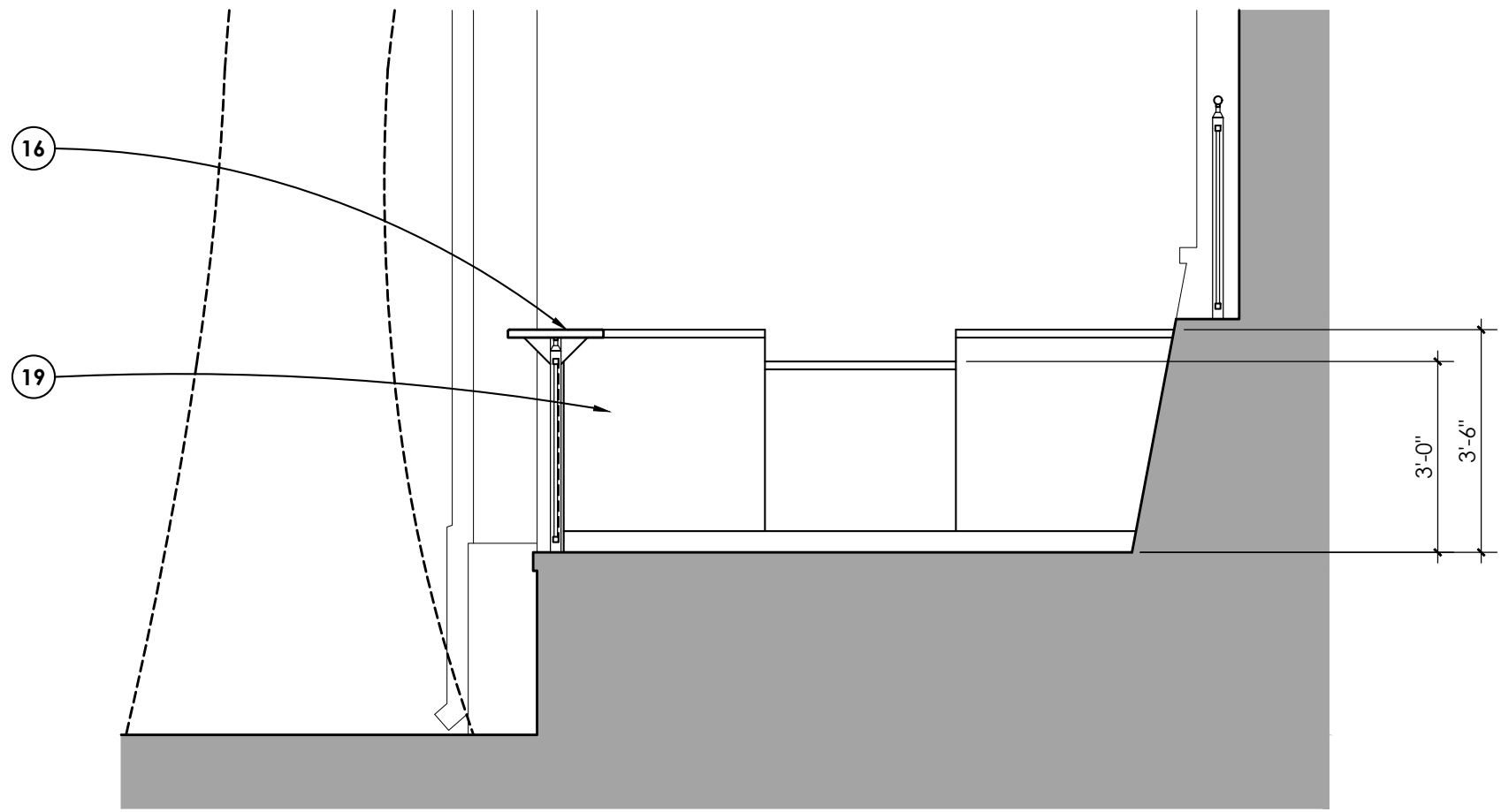


6 SECTION / ELEVATION
3/8" = 1'-0" EXISTING PATIO 1 / EXPANDED PATIO 1

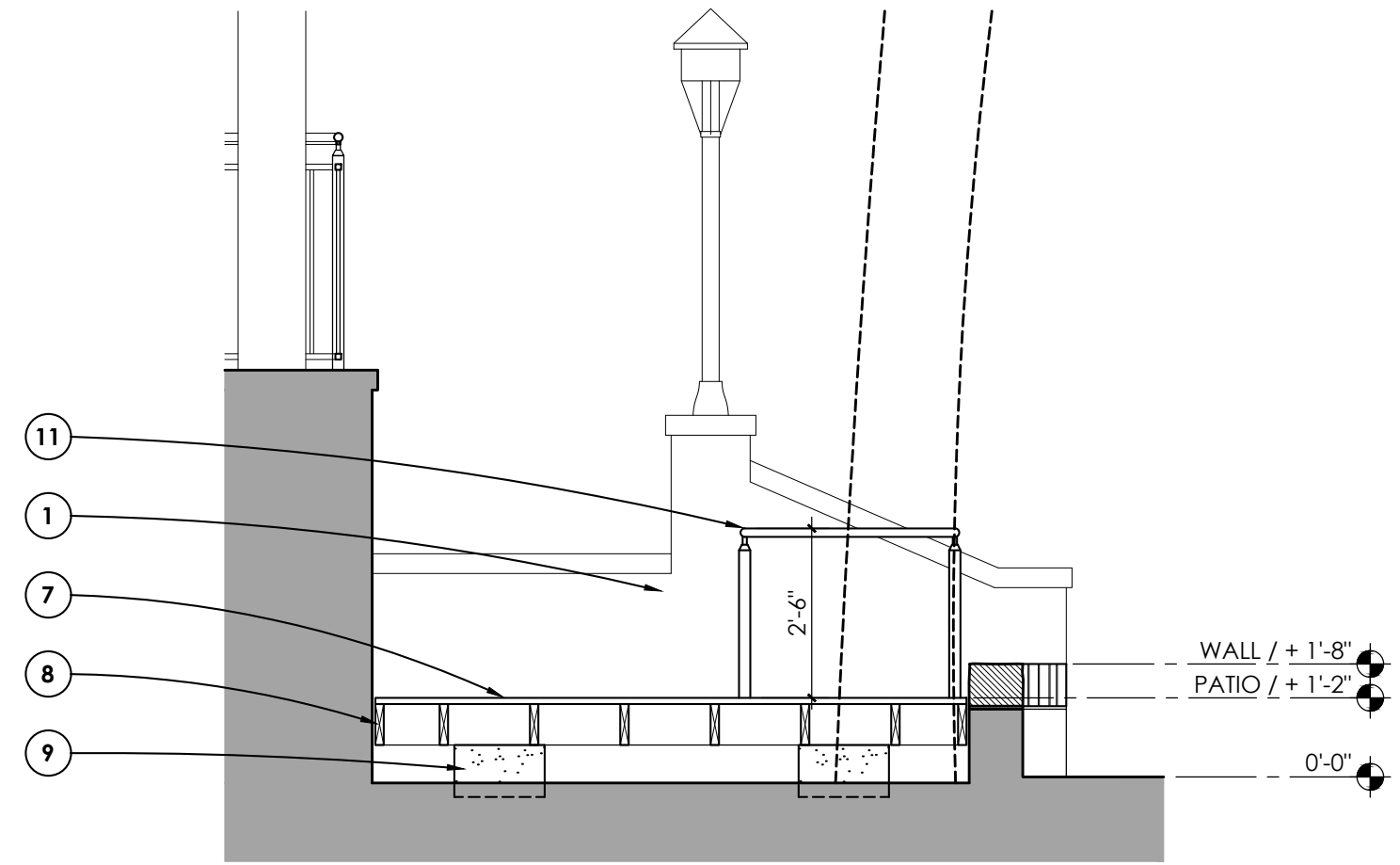
- KEYNOTES**
1. EXISTING CONSTRUCTION TO REMAIN/ PROTECT
 2. EXISTING HANDRAIL RELOCATED/ RE-PAINT
 3. NEW METAL HANDRAIL/ PAINT
 4. ADD 2 COURSES OF ROUGHLY SQUARED LIMESTONE BLOCKS IN RANDOM RUNNING BOND TO MATCH EXISTING TO RAISE TOP OF WALL FROM 8" ABOVE RIVER WALK TO 1'-8" ABOVE RIVER WALK
 5. EXISTING LIMESTONE CURB TO REMAIN
 6. PERFORMING METAL PANEL IN METAL EDGE FRAMING TO COVER OPENING BETWEEN NEW DECK AND OPEN SPACE UNDER EXISTING STAIR/ PAINT BOTH SIDES
 7. 5/4 X 6 (1" X 5 1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) DECK WITH CONCEALED CLIP MOUNTING SYSTEM/ DECK BOARDS TO BE FULL LENGTH WITH NO END JOINTS
 8. 2 X 8 TREATED WOOD JOISTS AT 16" O.C.
 9. REINFORCED CONCRETE SPOT FOOTING
 10. FOUR 1 3/4" X 7 1/2" MICROLAM BEAMS/ TYPICAL
 11. METAL CHAIR RAIL/ PAINT
 12. NEW METAL HANDRAIL MOUNTED ON EXISTING LOW STONE WALL/ PAINT
 13. NEW METAL GUARDRAIL ASSEMBLY TO MATCH EXISTING/ PAINT
 14. NEW GARAPA WOOD TREADS AND RISERS ON TREATED WOOD STRINGERS
 15. NEW STEEL GUARDRAIL SYSTEM TO MATCH EXISTING / PAINT
 16. NEW STAINLESS STEEL FACED COUNTER MOUNTED TO EXISTING GUARD RAIL SYSTEM
 17. PERFORATED METAL PANELS IN METAL EDGE FRAMES MOUNTED TO BACK SIDE OF EXISTING GUARDRAIL SYSTEM / PAINT
 18. PERFORATED METAL PANEL LOW WALL AND GATE IN METAL EDGE FRAMES MOUNTED TO METAL TUBE POSTS / PAINT
 19. STAINLESS STEEL FACED BAR FABRICATED AND INSTALLED BY OWNER



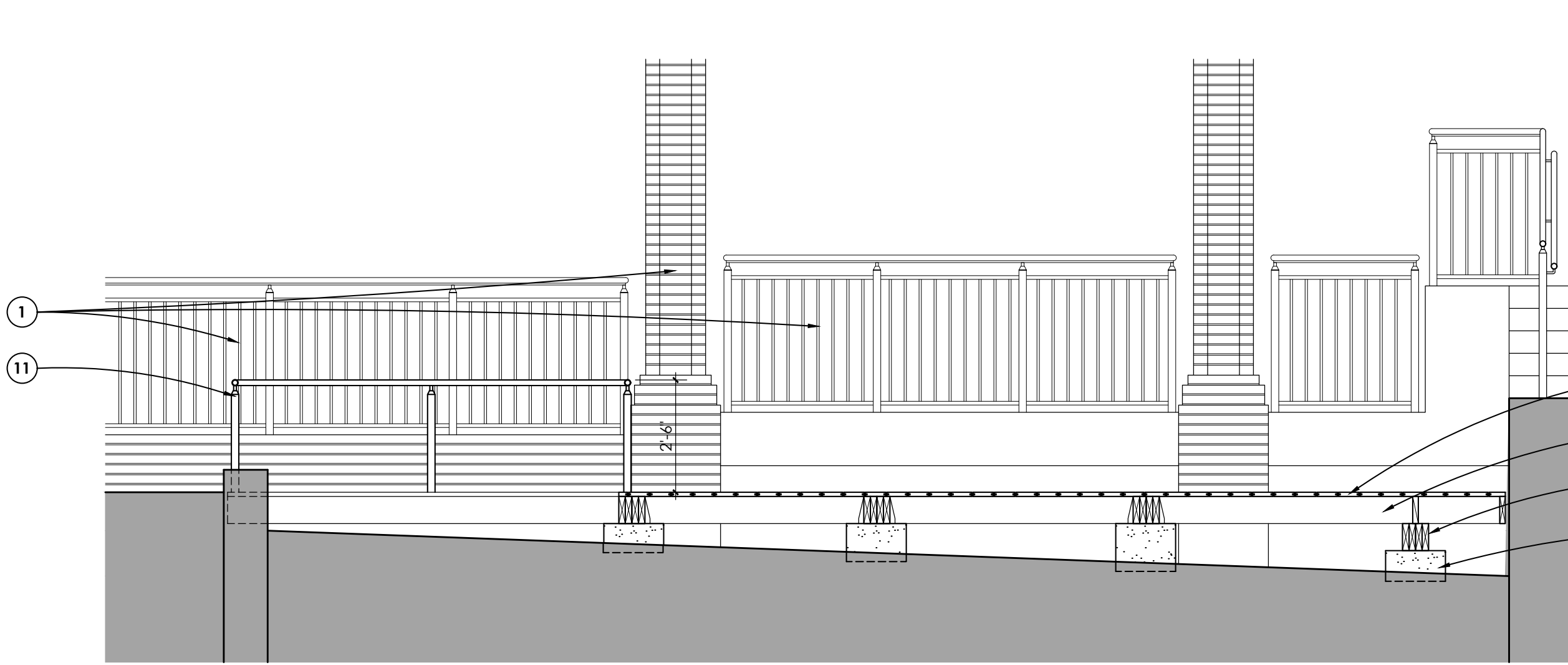
5 SECTION / ELEVATION
3/8" = 1'-0" EXISTING PATIO 1



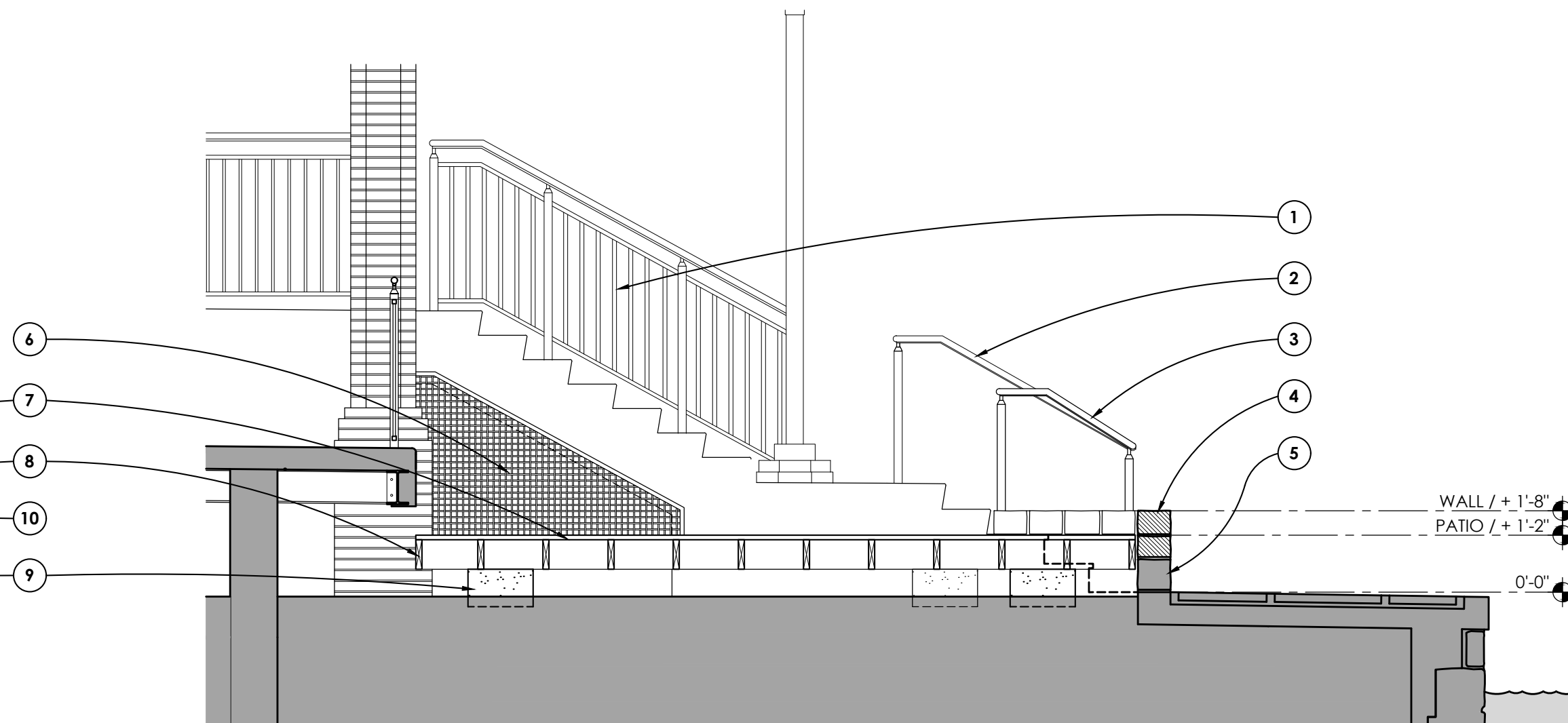
4 SECTION / ELEVATION
3/8" = 1'-0" EXISTING PATIO 1



3 SECTION / ELEVATION
3/8" = 1'-0" EXPANDED PATIO 1



2 SECTION / ELEVATION
3/8" = 1'-0" EXPANDED PATIO 5



1 SECTION / ELEVATION
3/8" = 1'-0" EXPANDED PATIO 5

architect revisions

CAFE OLÉ REMODELING

SAN ANTONIO RIVER WALK

RIVER RESTAURANTS LTD.

project number 23-05
date 07.28.23
drawn by AG
checked by MB

Beaty Palmer Architects, Inc.
110 Broadway, Suite 600
San Antonio, Texas 78205
voice 210.212.8022
fax 210.212.8018
www.beatypalmer.com

© 2023 Beaty Palmer Architects, Inc. all rights reserved.
no part of this document may be reproduced or utilized in any form without prior written authorization of beaty palmer architects, inc.

BEATY PALMER ARCHITECTS

A4