

## HISTORIC AND DESIGN REVIEW COMMISSION

August 16, 2023

**HDRC CASE NO:** 2023-314  
**ADDRESS:** 1519 NOGALITOS ST  
**LEGAL DESCRIPTION:** NCB 6275 BLK 32 LOT 14 (LEFT OFF ROLL)  
**ZONING:** IDZ, H  
**CITY COUNCIL DIST.:** 5  
**DISTRICT:** Individual Landmark  
**APPLICANT:** Eric J Merlo | BATL Group  
**OWNER:** Jody Ausley  
**TYPE OF WORK:** Property rehabilitation and modifications  
**APPLICATION RECEIVED:** July 24, 2023  
**60-DAY REVIEW:** September 23, 2023  
**CASE MANAGER:** Bryan Morales

### REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Install a wrought iron fence, pedestrian gate, and vehicle gate on the property.
2. Modify the fenestration patterns on each side of the structure.
3. Install floor glass blocks on the western portion of the property.
4. Modify roof features.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations*

#### 3. Materials: Roofs

##### A. MAINTENANCE (PRESERVATION)

i. *Regular maintenance and cleaning*—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

##### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.

ii. *Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.

iii. *Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.

iv. *Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.

v. *Materials: flat roofs*—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.

vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.

vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

#### 6. Architectural Features: Doors, Windows, and Screens

##### A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. *Security bars*—Install security bars only on the interior of windows and doors.
- ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

### 7. Architectural Features: Porches, Balconies, and Porte-Cocheres

#### A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

## *Historic Design Guidelines, Chapter 3, Guidelines for Additions*

### 3. Materials and Textures

#### A. COMPLEMENTARY MATERIALS

- i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure
- ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

#### B. INAPPROPRIATE MATERIALS

- i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

#### C. REUSE OF HISTORIC MATERIALS

- i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

### 4. Architectural Details

#### A. GENERAL

- i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

### 5. Mechanical Equipment and Roof Appurtenances

#### A. LOCATION AND SITING

- i. *Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, cable lines, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.
- ii. *Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way. Where service areas cannot be located at the rear of the property, compatible screens or buffers will be required.

#### B. SCREENING

- i. *Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
- ii. *Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
- iii. *Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

## *Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

### 2. Fences and Walls

#### A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.

iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

#### B. NEW FENCES AND WALLS

i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.

iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

#### C. PRIVACY FENCES AND WALLS

i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.

ii. *Location* – Do not use privacy fences in front yards.

#### *Standard Specifications for Windows in New Construction*

- GENERAL: New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below. Whole window systems should match the size of historic windows on property unless otherwise approved.

- SIZE: Windows should feature traditional dimensions and proportions as found within the district.

- SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.

- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.

- TRIM: Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.

- GLAZING: Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.

- COLOR: Wood windows should feature a painted finish. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.

#### **FINDINGS:**

- a. The primary structure located at 1519 Nogalitos St is a two-story, former fire station in the Prairie style and is first found on the 1931 Sanborn map. The structure features large, bay door openings, marble and brick construction, historic four-over-over wood windows, a clay tile roof, and two additions constructed after 1980.
- b. FENCE AND GATES INSTALLATION – The applicant is requesting to install a five feet tall, wrought iron fence along the fence perimeter, a five feet and six inches wrought iron pedestrian gate, and a five feet tall, wrought iron sliding vehicle gate over the existing concrete driveway. In addition, the applicant is requesting to construct a decorative brick arch structure measuring eight feet and three-and one-half inches tall around the proposed pedestrian gate. The Historic Design Guidelines for Site Elements 2.B.i-v. states that the design of new fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character and

should respond to the design and materials of the main structure; the location of the fence should be located where one existed historically; the height of the fence in the front should not exceed four feet in height; and fences should be constructed using materials that are similar in scale, texture, color, and form as those historically used in the district, and are compatible with the main structure. Staff finds the installation of the fence, pedestrian gate, vehicle gate, and decorative brick arch generally conform to guidelines.

- c. **FENESTRATION MODIFICATIONS (EAST)** – The applicant is requesting to install four clerestory windows, infill one window opening on the non-original addition's east elevation, and install a rolling overhead door. The proposed window infill will incorporate tile that matches the surrounding tile within that area. Guidelines for Exterior Maintenance and Alterations 6.A.i. states to preserve existing window and door openings and to avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way. Guidelines for Additions 3.A.i. states to use materials that match in type, color, and texture and any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure. Staff finds the proposed fenestration modifications and door installation on the east elevation are generally appropriate.
- d. **FENESTRATION MODIFICATIONS (SOUTH – FIRST FLOOR)** – The applicant is requesting to remove two windows, one door, and a thru wall fan. The windows and door are located on the non-original addition within the infilled garage door openings. Additionally, the applicant is requesting to remove the infill material at the garage door openings and replace with brick that matches the historic brick on the structure and on the right infilled garage section, install a door. Guidelines for Additions 4.A.iii. states to consider integrating contemporary interpretations of traditional designs and details for additions, to use contemporary window moldings and door surroundings that provide visual interest while helping to convey that the addition is new. Guidelines for Additions 3.A.i. states to use materials that match in type, color, and texture and any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure. Staff finds the removal of the two windows, one door, thru wall fan, and the infill material generally is appropriate and the installation of matching brick and a door on the south façade generally conforms to guidelines.
- e. **FENESTRATION MODIFICATIONS (SOUTH – SECOND FLOOR)** – The applicant is requesting to modify the historic second-story façade on the south elevation. The submitted elevation drawings and floor plan provide conflicting information as to the specific modifications requested. Staff recommends that the applicant submit accurate construction documents to staff for final review.
- f. **FENESTRATION MODIFICATIONS (WEST)** – The applicant is requesting to infill one original window opening, replace one lite with frosted glass, and install one exhaust vent opening, three clerestory windows, and replace an existing infill material with brick that matches the existing brick on the structure. Guidelines for Maintenance and Alterations 6.A.i. states to preserve existing window openings and to avoid filling in historic door and window openings. Maintenance and Alterations 6.A.iii. states to preserve historic windows and replacement glass should match the original historic glass. Staff finds the proposed infill of a historic window opening on the second floor does not conform to guidelines. Staff finds the replacement of a clear lite with a frosted lite is generally appropriate. Guidelines for Additions 4.A.i. states to design additions to reflect their time while respecting the historic context; these architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings. Staff finds the installation of the three clerestory windows and exhaust vent on the non-original addition are generally appropriate.
- g. **GLASS BLOCK BASEMENT SKYLIGHT INSTALLATION** – The applicant is requesting to install a four feet by six feet and three-inch glass block basement skylight on the west side of the structure. Guidelines for Additions 5.A.i. states to not locate skylights on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way. Staff finds the installation of the glass block basement skylight generally conforms to guidelines.
- h. **ROOF PATIO MODIFICATIONS** – The applicant is requesting to remove the existing roof system and HVAC system on the addition and to install roof top patio pavers. Guidelines for Additions 5.A.i. states to not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, cable lines, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way. Staff finds the request generally conforms to guidelines.
- i. **ROOF VENT REMOVAL** – The applicant is requesting to remove roof vents on the historic portion of the structure. Guidelines for Exterior Maintenance and Alterations 3.B.vii. states to maintain existing historic roof vents, and when deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible. Staff finds the removal of the roof vents on the historic portion of the property does not conform to guidelines.

## **RECOMMENDATION:**

Staff recommends approval of items 1 through 4, based on findings a through i, with the following stipulations:

- i. That the applicant present to staff an in-kind window replacement for windows that are found to be beyond repair for final review by staff if needed.
- ii. That the applicant install a wood door that is sympathetic to the architectural style of the structure on the first floor of the south façade and submit to staff for final approval.
- iii. That the applicant retain the historic window opening on the second floor.
- iv. That the applicant install wood or aluminum-clad wood windows for the proposed clerestory windows on the structure and submit manufacturer cutsheets for the windows prior to approval. The windows should feature an inset of two (2) inches within facades and should feature profiles that are found historically within the immediate vicinity. Meeting rails must be no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- v. That the applicant submit accurate construction documents for the south elevation to staff for review prior to the issuance of a Certificate of Appropriateness.
- vi. That the applicant retain the historic roof vents.
- vii. That the applicant meet all setback standards as required by city zoning requirements and obtain a variance from the Board of Adjustment if applicable.



City of San Antonio One Stop



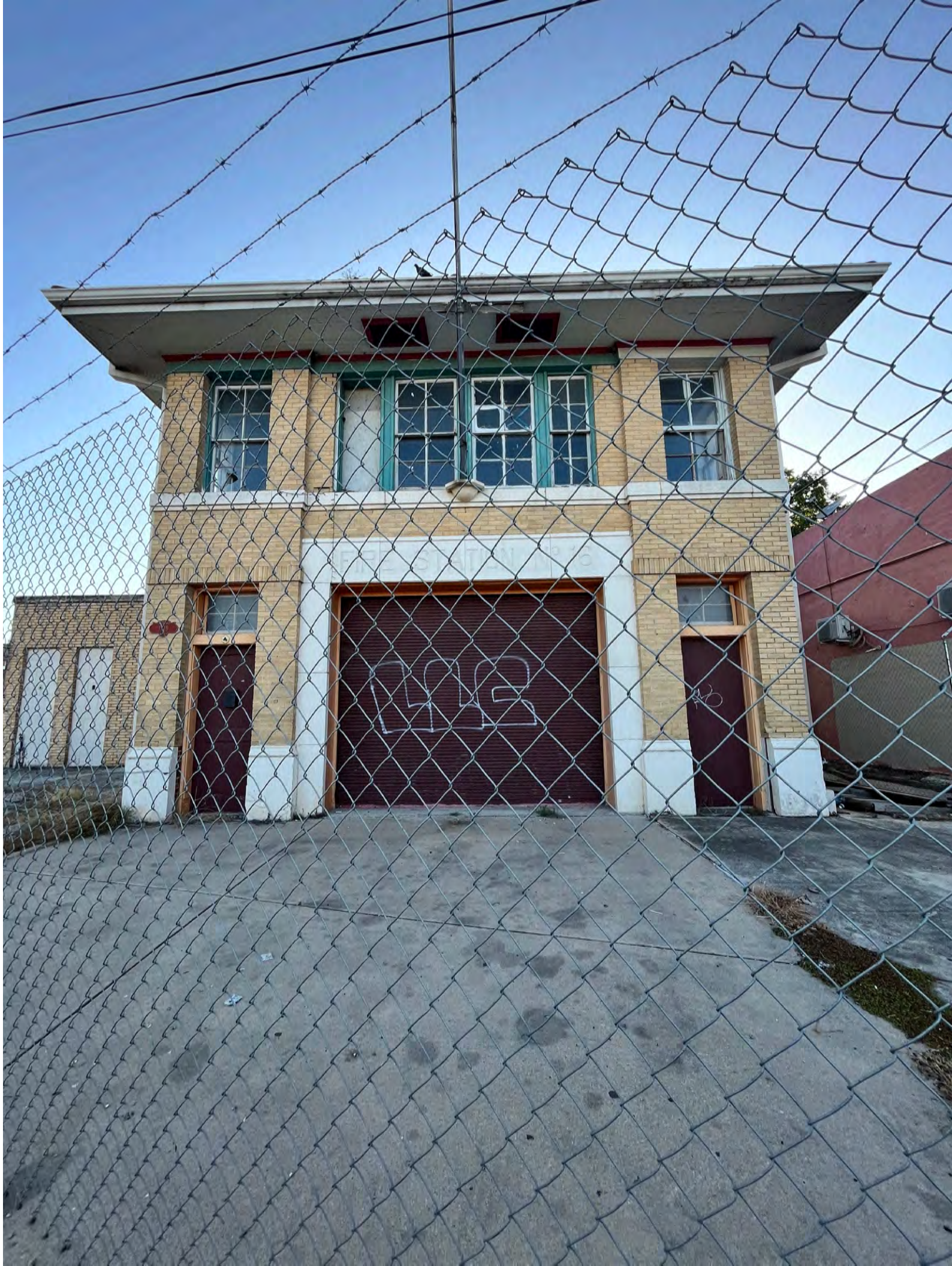
August 11, 2023







































NO  
TRESPASSING





TEXAS  
#1783





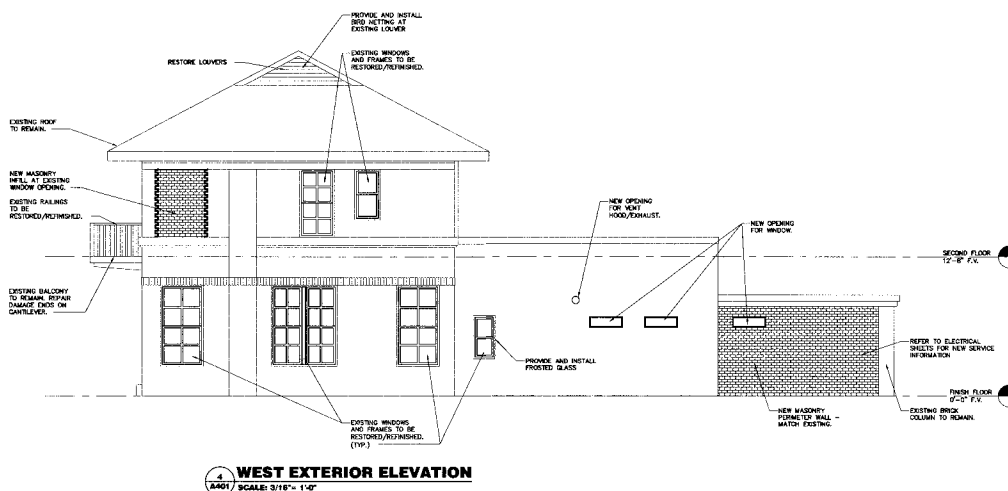
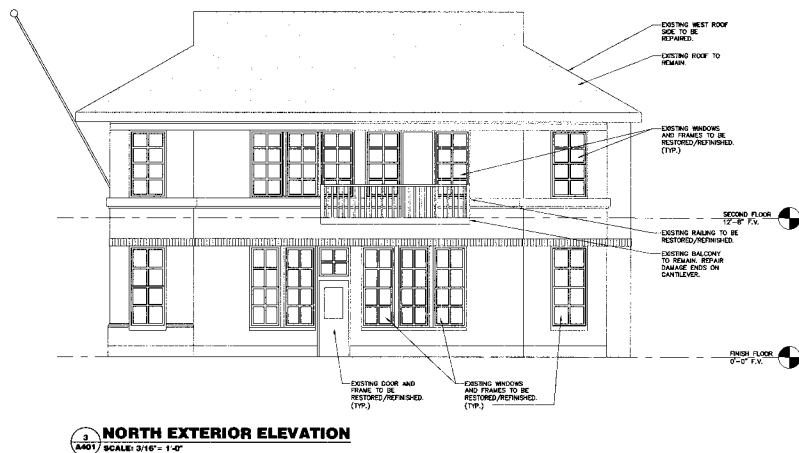
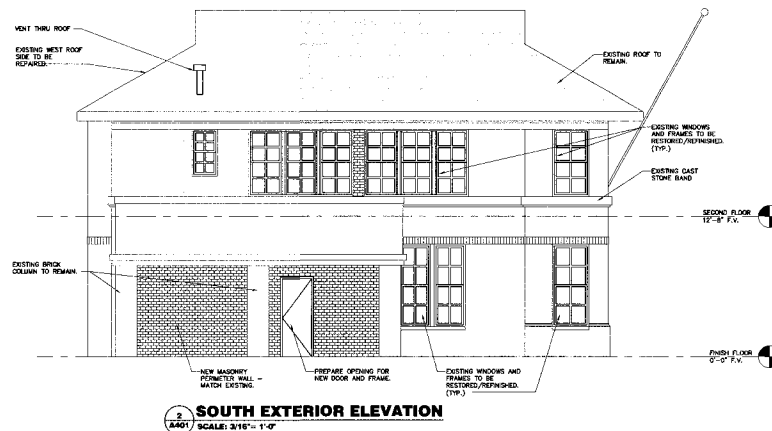
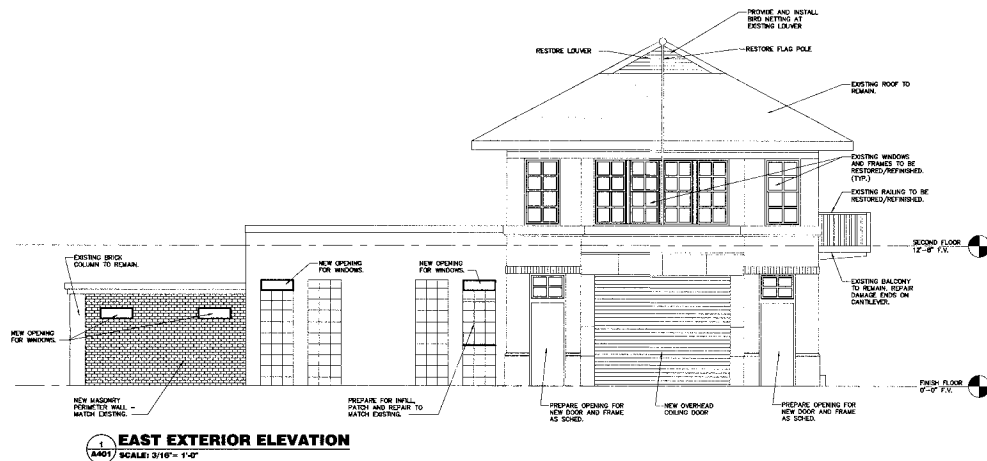














Fire Station 16

1519 Nogalitos Street

San Antonio, TX 78204

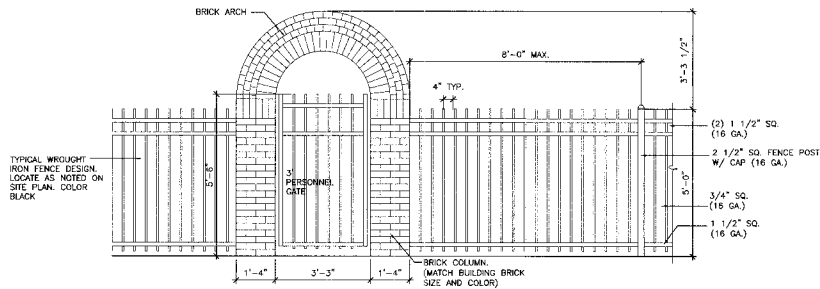
### Scope of Work Summary

The old Fire Station 16, located at 1519 Nogalitoes Street, will undergo a conversion into a single-family residential unit. The interior renovation aims to create suitable spaces for modern living while preserving and showcasing the historic elements of the fire station. The exterior façade will remain unchanged, maintaining its original look.

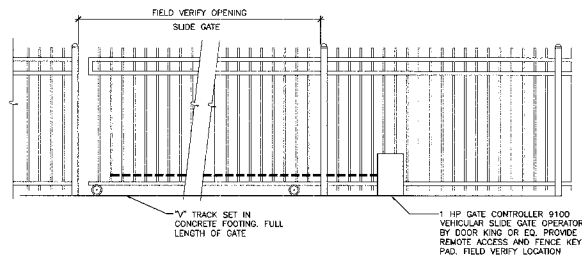
All damaged brick, windows, doors, Flag pool, louvers, and roof shingles will either be salvaged and reused or replaced to match the existing ones.

For safety and privacy reasons, 60" tall wrought iron fencing will surround the perimeter on the Nogalitos side of the property. This fencing will allow for a clear view of the historic building while also ensuring security. Landscaping will be added around the street edge of the property for curb appeal and quality of life while also ensuring not to obstruct the view of the historic portion of the building.

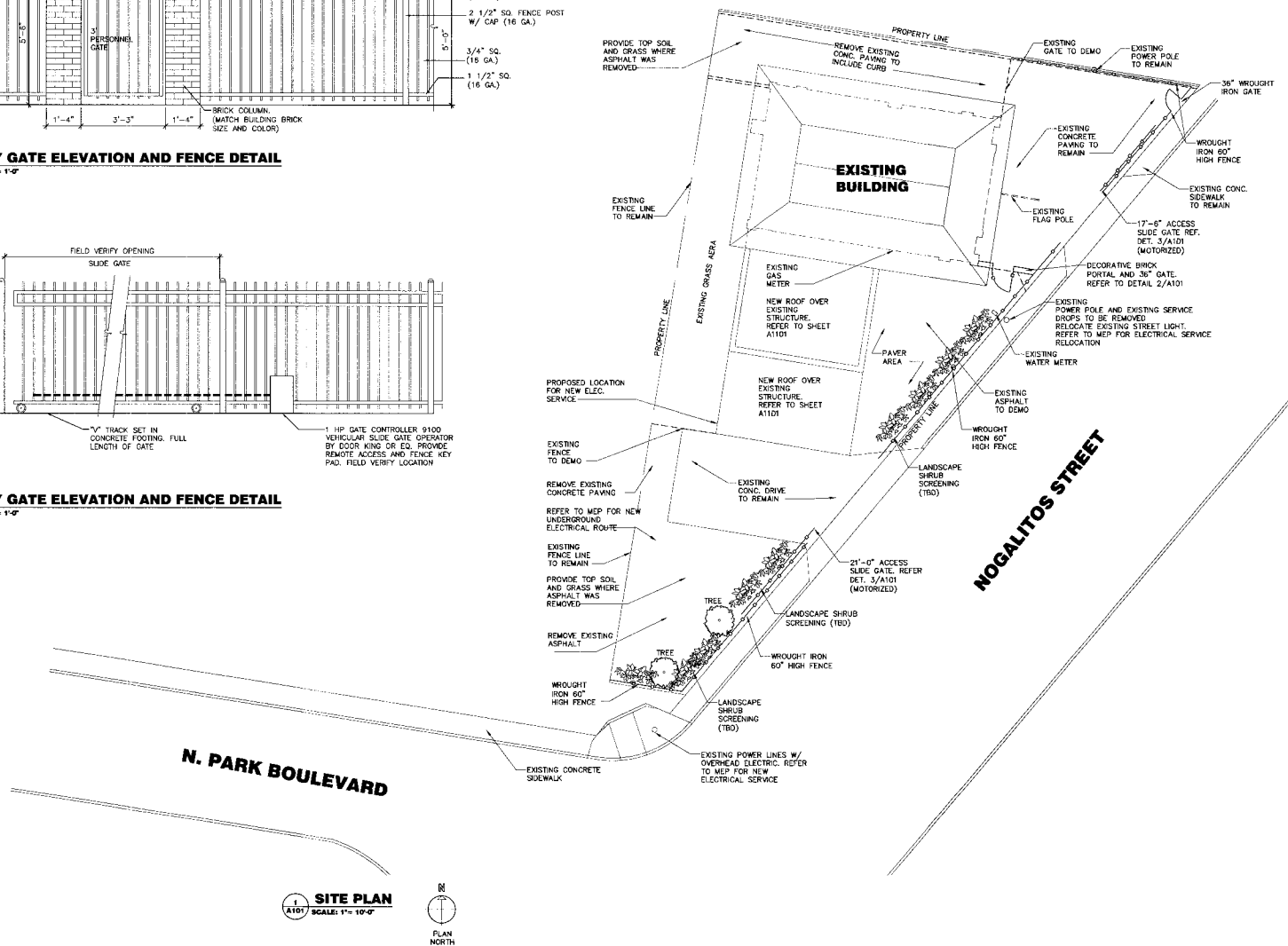




**2 ENTRY GATE ELEVATION AND FENCE DETAIL**  
A101 SCALE: 1/2" = 1'-0"



**3 ENTRY GATE ELEVATION AND FENCE DETAIL**  
A101 SCALE: 1/2" = 1'-0"



**1 SITE PLAN**  
A101 SCALE: 1" = 10'-0"

## GENERAL CONSTRUCTION NOTES

1. REFER TO MEP SHEET MEP001 FOR UTILITY SCOPE
2. ALL ITEMS ARE NEW UNLESS NOTES AS EXISTING

INTERIM REVIEW DOCUMENTS  
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RESIDENTIAL RENOVATION OF  
FIRE STATION 16  
1518 Nogalitos St  
San Antonio, Texas 78204

KAARLEN  
RODMAN  
RICHMAN  
GARCIA  
ARCH

KNRG ARCH

Project No: 2011039

Drawn By: CTR

Chief By: FG

Date Issued: 07/10/2023

Revisions:

SITE PLAN

A101



# RESIDENTIAL RENOVATION OF FIRE STATION #16

1519 NOGALITOS STREET  
SAN ANTONIO, TX. 78204

Arcitectural Set 07/10/2023

## ARCHITECT

Fernando Garcia  
KNRG Architects  
13438 Bandera Rd. Ste. 202  
San Antonio, Texas 78023  
Phone: 210-695-5716

## GENERAL CONSTRUCTION NOTES

1. PRIOR TO BEGINNING ANY WORK, CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS, EXISTING AND NEW, AFFECTING WORK TO BE DONE, INCLUDING BUT NOT LIMITED TO EXISTING LOCATION OF ALL CONSTRUCTION, ALL SETBACKS, EASEMENTS, UTILITIES & EXISTING TREES, EXISTING AND NEW FINISH GRADES & APPROACHES AND ANY MISCELLANEOUS CONDITIONS RELEVANT TO THE WORK TO BE DONE. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN TEAM OF ANY PROBLEMS, ANY INCONSISTENCIES BETWEEN EXISTING CONDITIONS AND WORK TO BE DONE, ANY INCONSISTENCIES BETWEEN VARIOUS PARTS OF THESE DRAWINGS, OR FOR CLARIFICATION REQUIRED TO PROCEED WITH WORK AS INDICATED.
2. THE CONTRACTOR SHALL VERIFY CONDITIONS AFFECTING HIS WORK INCLUDING DIMENSIONS, CLEARANCES, LOCATIONS, MATERIALS, ETC., AND SHALL VERIFY AND PROVIDE COORDINATION AS NECESSARY BETWEEN HIS WORK AND ALL OTHER WORK, TRADES, OR SPECIALTIES AS REQUIRED.
3. SUPPLEMENTARY ITEMS SUCH AS TRIMS, GROUNDS, CAULKING, FRAMING, SETTING, CONNECTORS, BLOCKING, FORMING, ETC., NECESSARY TO PROPERLY EXECUTE ALL WORK TO BE DONE OR REASONABLY IMPLIED IN THESE PLANS, INCLUDING MISCELLANEOUS ITEMS COMMON TO TRADE PRACTICES AND NORMALLY USED TO PRODUCE A COMPLETE AND FINISHED PRODUCT, SHALL BE PROVIDED AS PART OF BASE BID AT NO ADDITIONAL COST TO THE OWNER.
4. COORDINATE AND CLARIFY WITH THE OWNER ALL ALLOWANCES, CONTINGENCIES, POTENTIAL EXTRAS, AND OPTIONAL ITEMS IN BID SUBMITTAL. PROVIDE A LIST OF EQUIPMENT, FIXTURES, MATERIALS, ETC., THAT MAY NOT BE CLEARLY SPELLED OUT IN THE PLANS OR SPECIFICATIONS FOR REVIEW AND DISCUSSION WITH THE OWNER AND DESIGN TEAM, IF ANY ITEM OF THESE ITEMS MAY RESULT IN ADDITIONAL OR HIDDEN COSTS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY BUILDING CODES, ZONING ORDINANCES, MECHANICAL, ELECTRICAL, AND PLUMBING CODES, FIRE CODES AND CITY, STATE, OR FEDERAL ACCESSIBILITY CODES.
6. ALL WORK ON THE JOB SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY CODES, REGULATIONS, OR ORDINANCES AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE CONFORMANCE TO ALL SAFETY RULES, REGULATIONS, AND TO IMMEDIATELY CORRECT ANY UNSAFE OR NON-COMFORMING CONDITION AND SHALL DOCUMENT THAT SUCH CONDITION HAS BEEN CORRECTED.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING OR ALREADY IMPLEMENTED WORK WHICH ARE NOT PART OF THE SCOPE OF WORK TO BE DONE UNDER THIS CONTRACT AND SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTIONS, ACTS, OR OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS OR EMPLOYEES PERFORMING WORK UNDER THE GENERAL CONTRACTOR.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED INSPECTIONS AND SHALL NOT COVER ANY WORK REQUIRING INSPECTIONS UNTIL ALL REQUIRED INSPECTIONS ARE MADE AND WORK IS ACCEPTED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR MECHANICAL AND ELECTRICAL WORK INCLUDING ALL DOCUMENTATION, DIAGRAMS, OR CALCULATIONS REQUIRED TO OBTAIN THOSE PERMITS, IF NOT PROVIDED IN M.E.P. PACKAGE.
11. CONTRACTOR SHALL LABEL ALL CIRCUITS ON ELECTRICAL PANELS AND PROVIDE TO THE OWNER A DIAGRAM WITH ROOM NAMES AND NUMBERS WITH A COMPLETE DESCRIPTION OF ALL CIRCUITS.
12. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN ALL ADJACENT SURFACES.

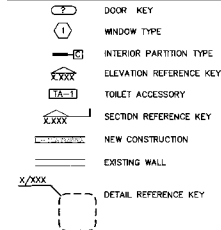
## PROJECT DESCRIPTION

RENOVATING EXISTING FIRE STATION.

### CODE INFORMATION

2021 INTERNATIONAL BUILDING CODE #/LOCAL AMENDMENTS  
2021 INTERNATIONAL RESIDENTIAL CODE #/LOCAL AMENDMENTS  
2021 INTERNATIONAL MECHANICAL CODE #/LOCAL AMENDMENTS  
2020 NATIONAL ELECTRICAL CODE #/LOCAL AMENDMENTS  
2021 INTERNATIONAL PLUMBING CODE #/LOCAL AMENDMENTS  
2021 INTERNATIONAL FIRE CODE #/LOCAL AMENDMENTS  
2021 INTERNATIONAL ENERGY CONSERVATION CODE #/LOCAL AMENDMENTS  
TEXAS ACCESSIBILITY STANDARDS (TAS)

## GENERAL SYMBOLS LEGEND



## SHEET INDEX

### General

G01 GENERAL PROJECT INFORMATION SHEET

### Architectural

A101 SITE PLAN  
A201 LEVEL 1 DEMOLITION PLAN  
A202 LEVEL 2 DEMOLITION PLAN  
A203 DEMOLITION EXTERIOR ELEVATIONS  
A204 LEVEL 1 FLOOR PLAN  
A205 LEVEL 2 FLOOR PLAN  
A206 LEVEL 1 FINISH FLOOR PLAN  
A301 SCHEDULES  
A302 WINDOW DETAILS  
A401 EXTERIOR ELEVATIONS  
A701 INTERIOR ELEVATIONS  
A1101 LEVEL 1&2 REFLECTED CEILING PLAN

THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS HAS JURISDICTION OVER COMPLAINTS REGARDING THE PROFESSIONAL PRACTICES OF PERSONS REGISTERED AS ARCHITECTS IN TEXAS.  
TEXAS BOARD OF ARCHITECTURAL EXAMINERS  
P.O. BOX 12337  
AUSTIN, TEXAS 78711  
PHONE: 512-305-9000

INTERIM REVIEW  
DOCUMENTS  
THIS DOCUMENT IS FOR REVIEW ONLY  
IT IS NOT TO BE USED FOR CONSTRUCTION  
NO. 14105

RESIDENTIAL RENOVATION OF  
FIRE STATION #16  
1519 Nogalitos St  
San Antonio, Texas 78204

## SPECIAL INSPECTIONS

2015 IRC SECTION	SPECIAL INSPECTIONS	APPLICABLE	NOT APPLICABLE	CONT. OR PERIODIC
1704.2.5	SPECIAL INSP. OF FABRICATED ITEMS	*		
1705.1	SPECIAL CASES	*		
1705.2	STEEL CONSTRUCTION	*		
1705.3	CONCRETE CONSTRUCTION	*		
1705.4	MASSIVELY CONSTRUCTION	*		
1705.5	WOOD CONSTRUCTION	*		
1705.6	SOILS	*		
1705.7	DRIVEN DEEP FOUNDATIONS	*		
1705.8	CAST-IN-PLACE FOUNDATIONS	*		
1705.9	HELICAL PILE FOUNDATIONS	*		
1705.10	FABRICATED ITEMS	*		
1705.11	FOR WIND RESISTANCE	*		
1705.12	FOR SEISMIC RESISTANCE	*		
1705.13	TESTING SEISMIC RESISTANCE	*		
1705.14	SPRAYED FIRE-RESISTANT MATERIALS	*		
1705.15	MASTIC & INTUMESCENT FIRE-RESISTANT	*		
1705.16	EXTERIOR INSULATION & FINISH SYSTEMS	*		
1705.17	FIRE-RESISTANT PENETRATIONS & JOINTS	*		
1705.18	TESTING FOR SMOKE CONTROL	*		

## VICINITY MAP



## LOCATION MAP



KAARLEN  
NOONAN  
RITHMANN  
GARCIA  
ARCH

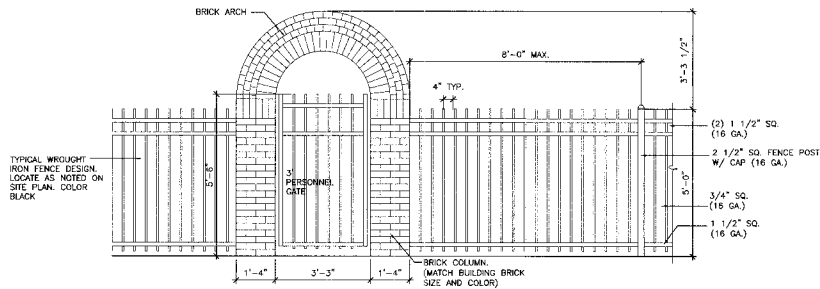
Project No.: 2011039  
Drawn By: KNRG  
Check By: KNRG  
Date issued: 07/10/2023

Revisions:

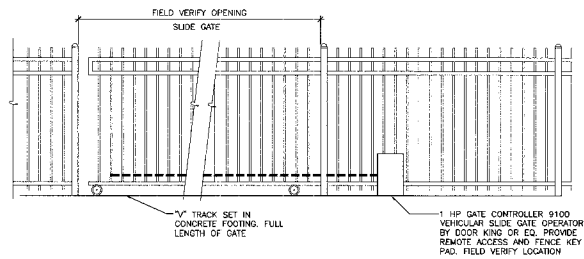
GENERAL NOTES /  
CODE ANALYSIS,  
INDEX OF  
DRAWINGS

G001

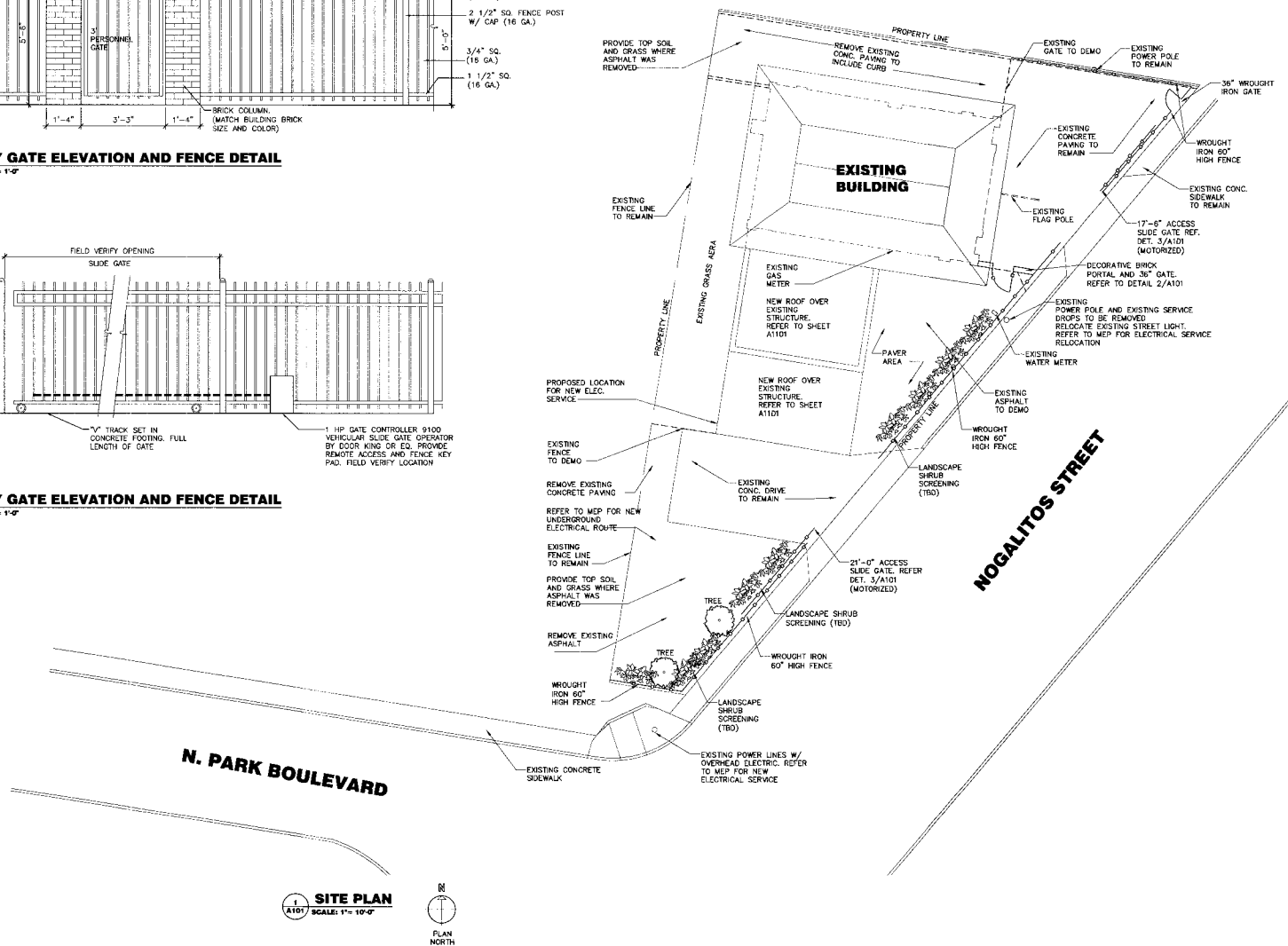




**2 ENTRY GATE ELEVATION AND FENCE DETAIL**  
A101 SCALE: 1/2" = 1'-0"



**3 ENTRY GATE ELEVATION AND FENCE DETAIL**  
A101 SCALE: 1/2" = 1'-0"



**1 SITE PLAN**  
A101 SCALE: 1" = 10'-0"

## GENERAL CONSTRUCTION NOTES

1. REFER TO MEP SHEET MEP001 FOR UTILITY SCOPE
2. ALL ITEMS ARE NEW UNLESS NOTES AS EXISTING

INTERIM REVIEW  
DOCUMENTS  
THIS IS A PRELIMINARY  
DRAWING. IT IS NOT TO BE  
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OR AS A BASIS FOR  
ANY OTHER DOCUMENTS.  
NO. 21405

RESIDENTIAL RENOVATION OF  
FIRE STATION 16  
1519 Nogalitos St  
San Antonio, Texas 78204

KAARLEN  
RODMAN  
RICHMAN  
GARCIA  
ARCH

15405 SAN ANTONIO ROAD  
SAN ANTONIO, TEXAS 78233  
P: 210.688.5116  
KRGARCH.COM

Project No.: 2011039

Drawn By: CTR

Chief By: FG

Date Issued: 07/10/2023

Revisions:

SITE PLAN

A101

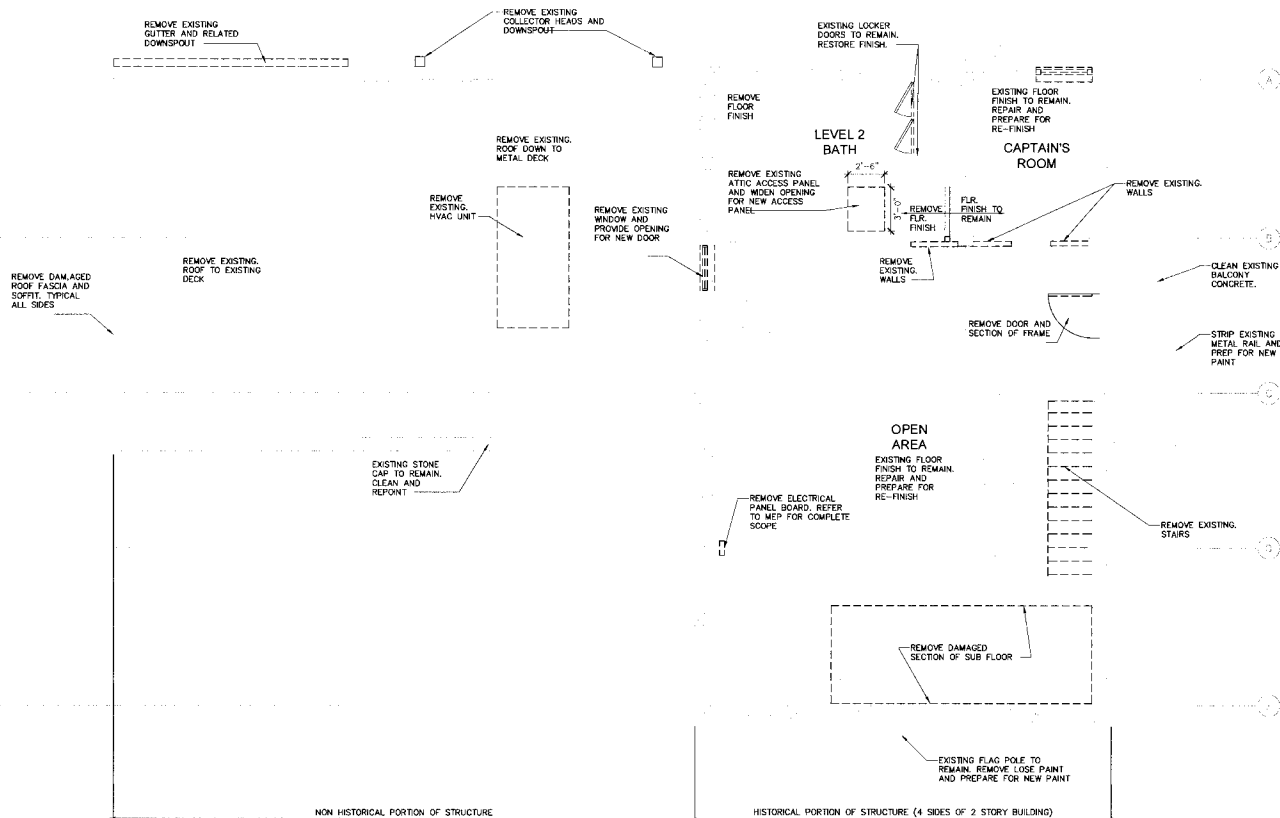






## GENERAL DEMOLITION NOTES

1. PRIOR TO BEGINNING ANY WORK, CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS, EXISTING AND NEW, AFFECTING WORK TO BE DONE, INCLUDING BUT NOT LIMITED TO EXACT LOCATION OF ALL CONSTRUCTION, ALL SETBACKS, EASEMENTS, UTILITIES & EXISTING TREES, EXISTING AND NEW FINISH GRADES & APPROACHES AND ANY MISCELLANEOUS CONDITIONS RELEVANT TO THE WORK TO BE DONE. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN TEAM OF ANY PROBLEMS, ANY INCONSISTENCIES BETWEEN EXISTING CONDITIONS AND WORK TO BE DONE, OR FOR CLARIFICATION REQUIRED TO PROCEED WITH WORK AS INDICATED.
2. THE CONTRACTOR SHALL VERIFY CONDITIONS AFFECTING HIS WORK INCLUDING DIMENSIONS, CLEARANCES, LOCATIONS, MATERIALS, ETC., AND SHALL VERIFY AND PROVIDE COORDINATION AS NECESSARY BETWEEN HIS WORK AND ALL OTHER WORK, TRADES, OR SPECIALTIES AS REQUIRED.
3. SUPPLEMENTARY ITEMS SUCH AS TRIMS, GROUNDS, CAULKING, FRAMING, SETTING, CONNECTORS, BLOCKING, FORMING, ETC., NECESSARY TO PROPERLY EXECUTE ALL WORK TO BE DONE OR REASONABLY IMPLIED IN THESE PLANS, INCLUDING MISCELLANEOUS ITEMS COMMON TO TRADE PRACTICES AND NORMALLY USED TO PRODUCE A COMPLETE AND FINISHED PRODUCT, SHALL BE PROVIDED AS PART OF BASE BID AT NO ADDITIONAL COST TO THE OWNER.
4. COORDINATE AND CLARIFY WITH THE OWNER ALL ALLOWANCES, CONTINGENCIES, POTENTIAL EXTRAS, AND OPTIONAL ITEMS IN BID SUBMITTAL. PROVIDE A LIST OF EQUIPMENT, FIXTURES, MATERIALS, ETC., THAT MAY NOT BE CLEARLY SPELLED OUT IN THE PLANS OR SPECIFICATIONS FOR REVIEW AND DISCUSSION WITH THE OWNER AND DESIGN TEAM, IF ANY ITEM OF THESE ITEMS MAY RESULT IN ADDITIONAL OR HIDDEN COSTS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY BUILDING CODES, ZONING ORDINANCES, MECHANICAL, ELECTRICAL, AND PLUMBING CODES, FIRE CODES AND CITY, STATE, OR FEDERAL ACCESSIBILITY CODES.
6. ALL WORK ON THE JOB SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY CODES, REGULATIONS, OR ORDINANCES AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE CONFORMANCE TO ALL SAFETY RULES, REGULATIONS, AND TO IMMEDIATELY CORRECT ANY UNSAFE OR NON-COMPLYING CONDITION AND SHALL DOCUMENT THAT SUCH CONDITION HAS BEEN CORRECTED.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING OR ALREADY IMPLEMENTED WORK WHICH ARE NOT PART OF THE SCOPE OF WORK TO BE DONE UNDER THIS CONTRACT AND SHALL BE REQUIRED TO MATCH EXISTING CONDITIONS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTIONS, ACTS, OR OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS OR EMPLOYEES PERFORMING WORK UNDER THE GENERAL CONTRACTOR.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED INSPECTIONS AND SHALL NOT COVER ANY WORK REQUIRING INSPECTIONS UNTIL ALL REQUIRED INSPECTIONS ARE MADE AND WORK IS ACCEPTED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR MECHANICAL AND ELECTRICAL WORK INCLUDING ALL DOCUMENTATION, DIAGRAMS, OR CALCULATIONS REQUIRED TO OBTAIN THOSE PERMITS, IF NOT PROVIDED IN M.E.P. PACKAGE.
11. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN ALL ADJACENT SURFACES.
12. REFER TO MEP SHEETS FOR COMPLETE DEMOLITION SCOPE OF UTILITIES.



## DEMOLITION PLAN - SECOND FLOOR

SCALE: 1/4" = 1'-0"



INTERIM REVIEW  
DOCUMENTS  
DATE: 07/10/2023  
BY: KAARLEN KOONMAN  
PROJECT: RESIDENTIAL RENOVATION OF  
FIRE STATION 16  
1519 Nogales St  
San Antonio, Texas 78204

RESIDENTIAL RENOVATION OF  
FIRE STATION 16  
1519 Nogales St  
San Antonio, Texas 78204

KAARLEN  
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K@knaa.com



Project No.: 2011039

Drawn By: CTR

Check By: FG

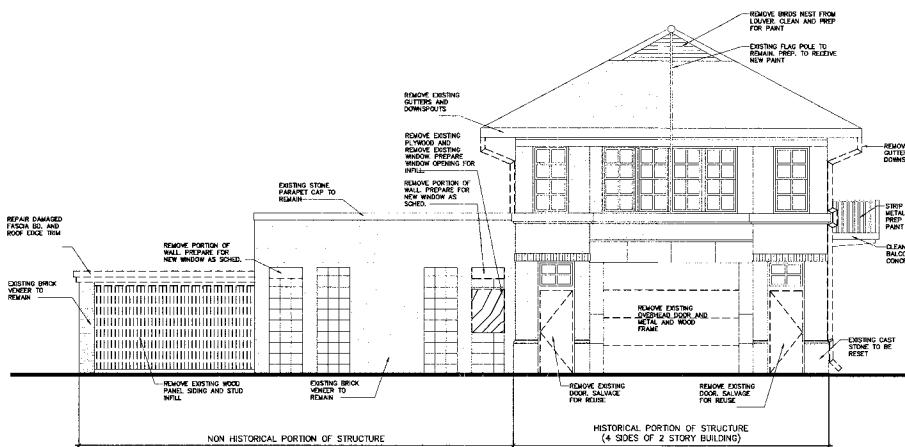
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Revisions:

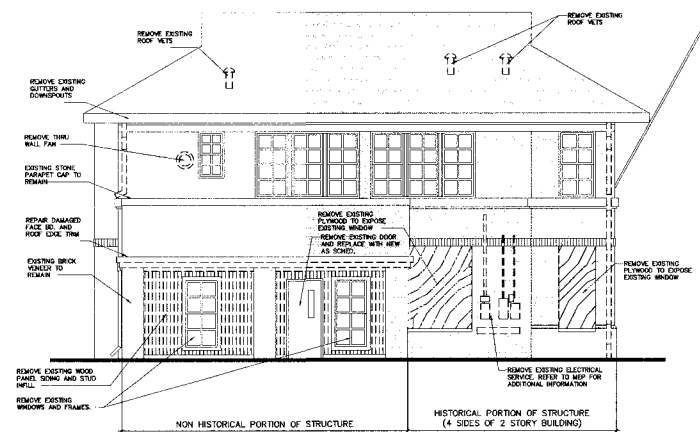

LEVEL 2  
DEMO PLAN

AD202





**EXISTING EAST EXTERIOR ELEVATION**



**EXISTING SOUTH EXTERIOR ELEVATION**

### HISTORICAL PRESERVATION NOTES

**MASONRY**

CLEAN MASONRY WITH LOW- OR MEDIUM-PRESSURE WATER WASH WITH NON-IONIC DETERGENTS TO REMOVING OILY SOIL. USE NON-IONIC DETERGENT AND SCRUBBING WITH A NATURAL BRISTLE OR SYNTHETIC BRISTLE BRUSH TO FACILITATE CLEANING. TEXTURED OR INTRICATELY CARVED MASONRY, FOLLOWED WITH A FINAL WATER RINSE.

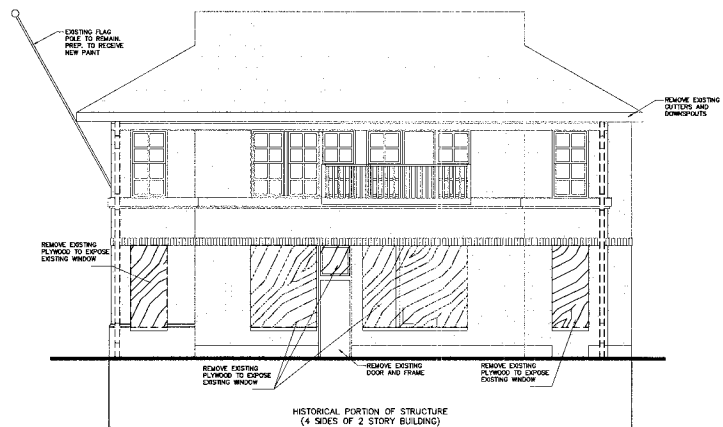
REPOINTING MORTAR JOINTS ONLY AS NEEDED

WINDOWS

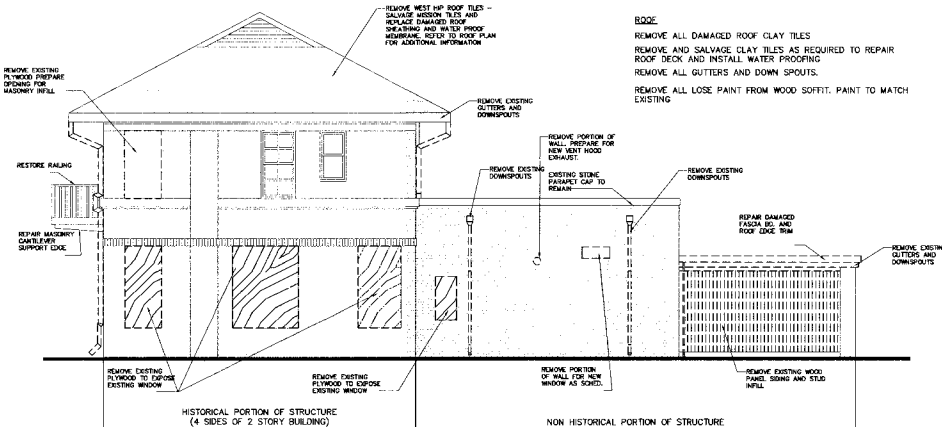
REMOVE ALL DAMAGED OR STAINED GLAZING  
REMOVE ALL LOOSE PAINT FROM WINDOW FRAME  
REPAIR DAMAGED SECTIONS OF WOOD FRAME.  
PAINT ALL WINDOW FRAMED. COLOR TO MATCH EXISTING.

ROOF

REMOVE ALL DAMAGED ROOF CLAY TILES  
REMOVE AND SALVAGE CLAY TILES AS REQUIRED TO REPAIR  
ROOF DECK AND INSTALL WATER PROOFING  
REMOVE ALL GUTTERS AND DOWN SPOUTS.  
REMOVE ALL LOSE PAINT FROM WOOD SOFFIT. PAINT TO MATCH  
EXISTING

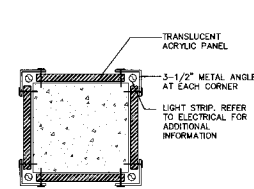


**3 EXISTING NORTH EXTERIOR ELEVATION**  
DA401 SCALE: 3/16" = 1'-0"

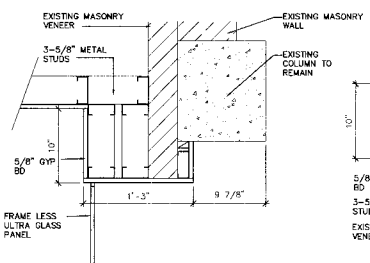


**4 EXISTING WEST EXTERIOR ELEVATION**  
DA401 SCALE: 3/16" = 1'-0"

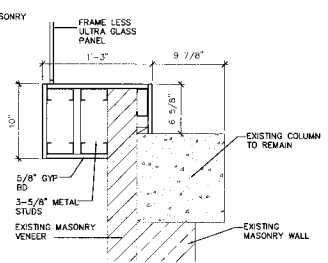




2 COLUMN WRAP DETAIL  
SCALE: 1-1/2" = 1'-0"



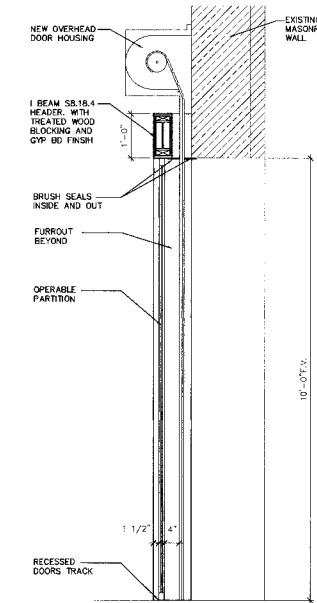
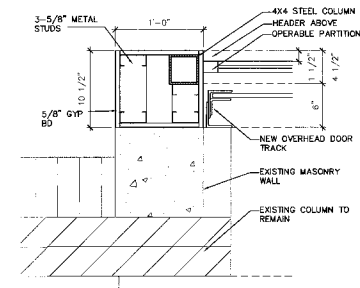
3 COLUMN WRAP DETAIL  
SCALE: 1-1/2" = 1'-0"



4 COLUMN WRAP DETAIL  
SCALE: 1-1/2" = 1'-0"

5 FLOOR PLAN - BASEMENT  
SCALE: 1/4" = 1'-0"

6 DOOR JAMB DETAIL  
SCALE: 1-1/2" = 1'-0"



7 DOOR SECTION DETAIL  
SCALE: 3/4" = 1'-0"

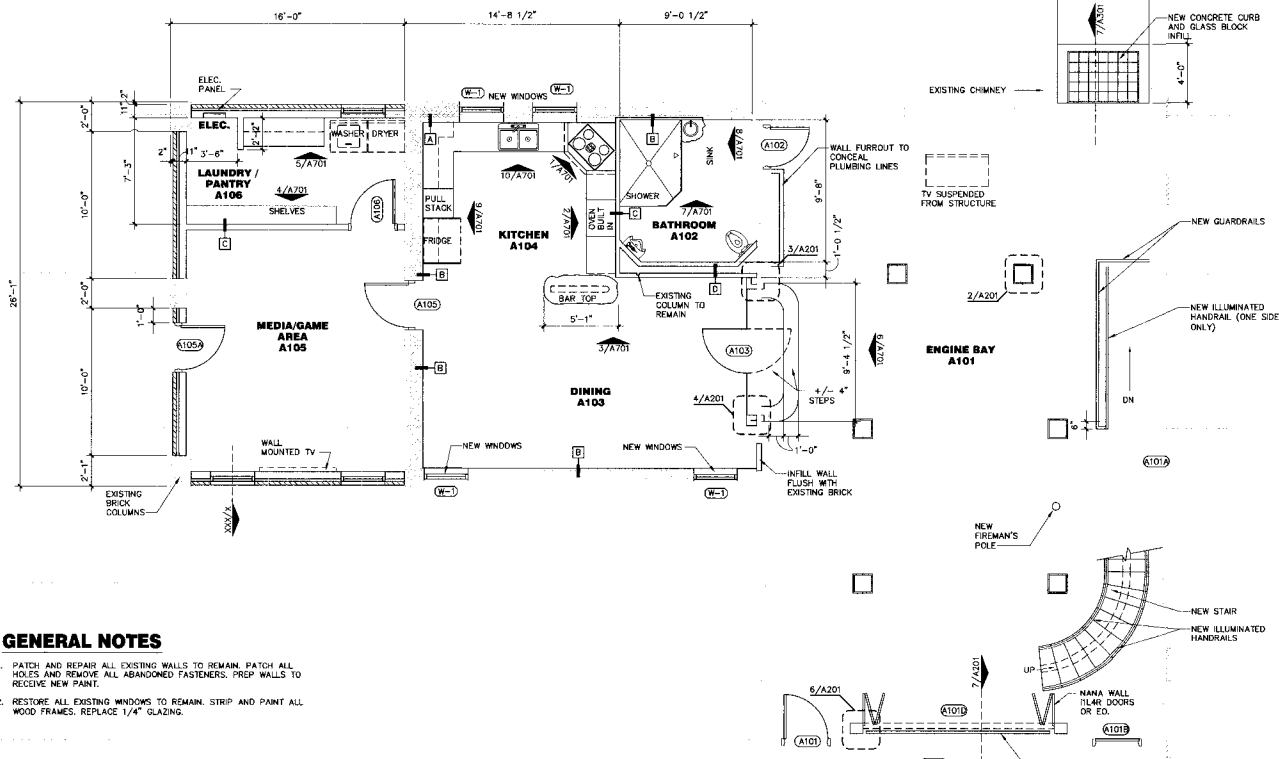
LEGEND

- EXISTING WALL TO REMAIN
- INFILL EXISTING MASONRY WALL TO MATCH EXISTING: 8" CMU WITH NEW VAPOR BARRIER WITH NEW 4" BRICK TO MATCH EXISTING
- (2) ROWS 3-5/8" METAL STUD WITH 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE, CHASE WALL DIM PER PLAN
- 3-5/8" METAL STUD WITH 5/8" TYPE "X" GYPSUM BOARD ON BOTH SIDES
- 1-1/2" METAL STUD WITH 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE WITH EXISTING 2" PLASTER WALL
- 3-5/8" METAL STUD WITH 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE WITH EXISTING 2" PLASTER WALL
- WALL TYPE
- WINDOW TYPE
- DOOR TYPE
- ELEVATION TAG

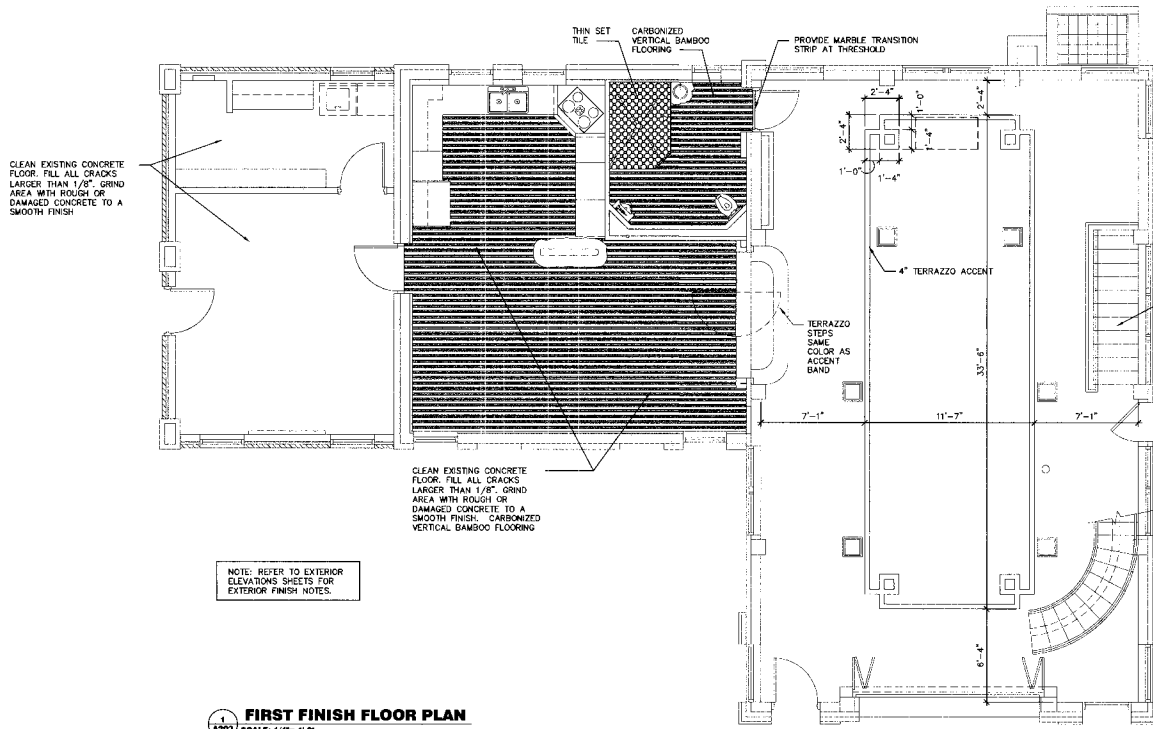
GENERAL NOTES

- PATCH AND REPAIR ALL EXISTING WALLS TO REMAIN. PATCH ALL HOLES AND REMOVE ALL ABANDONED FASTENERS. PREP WALLS TO RECEIVE NEW PAINT.
- RESTORE ALL EXISTING WINDOWS TO REMAIN. STRIP AND PAINT ALL WOOD FRAMES. REPLACE 1/4" GLAZING.

1 FLOOR PLAN - FIRST FLOOR  
SCALE: 1/4" = 1'-0"

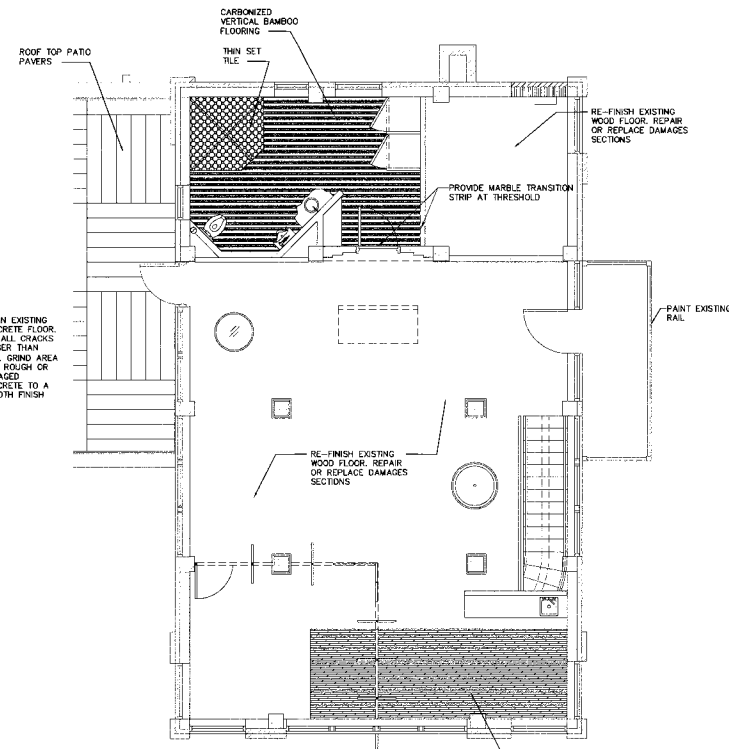




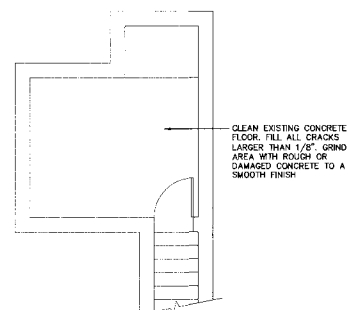


ROOM FINISH SCHEDULE

MARK	ROOM NAME	FLOOR	BASE	WALLS	CEILING		REMARKS
					MATERIAL	HGT	
		TERRAZZO FLOOR (TR-1) UNGLAZED CERAMIC TILE (CT-1) SEALED CONCRETE (SC-1) EXISTING HARDWOOD FLOORS CARBONIZED VERT. BAMBOO (WB-1)	WOOD BASE (WB-1) CERAMIC TILE EXISTING BASE NONE	PAINTED CERAMIC TILE VARIANCE - ALTO FINO SMOOTH RIVERSTONE 3/4"-1"5" DARK TONES	SUSPENDED SYS. BY ARMSTRONG OPEN TO STRUCTURE	8'-0" 9'-0" 10'-0" 11'-0" 12'-0" VARIES	VARIANCE - ALTO FINO SMOOTH COLOR TO BE SELECTED FROM MANUFACTURERS STANDARD COLORS  SUSPENDED GYP PANES TO BE ARMSTRONG ACoustIBUILT SEAMLESS ACoustICAL CEILING SYSTEM  NOTE: WHERE MORE THAN ONE FINISH IS NOTED, REFER TO THE 1/4" FLOOR PLANS AND SECTIONS FOR LOCATIONS OF EACH MATERIAL  COORDINATE SHELVING FINISH REQ'D. W/ MILLWORK  REFER TO ROOF SHEET FOR CEILING PAINT COLORS
<b>BASEMENT</b>							
A001	BASEMENT						
<b>LEVEL 1</b>							
A101	ENGINE BAY						
A102	BATHROOM						
A103	DINING						
A104	KITCHEN						
A105	EMS						
A106	PANTRY/LAUNDRY						
A107	ELECTRICAL						
<b>LEVEL 2</b>							
A201	OPEN SPACE						
A202	BATHROOM						
A203	CAPTAIN'S ROOM						



**SECOND FINISH FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**BASEMENT FINISH FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

FLOORING FINISH

- TERRAZZO: 100% WHITE FIELD & REFERENCE # 012121.01  
TR-1 BLACK BORDER OVAL EMBLEM:  
BRIGHT RED EPOXY, BRASS LETTERS NO. 16 IN OLD  
STYLE LETTERING FONT  
VEHICLE ART TERRAZZO COMPANY SAN ANTONIO
- WOOD FLOOR: CARBONIZED VERTICAL BAMBOO FLOORING  
WB-1
- EPOXY FLOOR: BRIGHT RED EPOXY (TBD)  
EPX-1
- SEALED CONCRETE: LIGHT POLISH AND CLEAR SEAL CONCRETE  
SC-1
- CERAMIC TILE FLOOR & BASE - MOSAIC PORCELAIN TILE COLOR TBD  
CT-1
- WOOD BASE: 1X6 PAINTED WOOD BASE  
WB-1

WALL PAINT COLORS.

- ENGINE BAY / KITCHEN  
WPT-1 PPG 1005-2  
WPT-2 PPG 1178-4  
WPT-3 PPG 1020-6
- LEVEL 2 OPEN AREA  
WPT-10 PPG 1144-4  
WPT-11 PPG 1040-4
- EMs  
WPT-4 PPG D989-5  
WPT-5 PPG 1008-2
- LAUNDRY  
WPT-6 PPG 1001-1
- BASEMENT  
WPT-7 PPG 1038-6
- LEVEL 1 TR  
WPT-8 PPG 1021-1  
WPT-9 PPG 1022-3
- CAPTAIN'S ROOM  
WPT-12 PPG 1038-5





**A**

SOLID CORE WOOD DOOR (MATCH EXISTING - PTD)

AS SHOWN

**B**

SOLID CORE WOOD DOOR (MATCH EXISTING - PTD)

AS SHOWN

**C**

DOUBLE ACTING WOOD DOOR (PTD)

AS SHOWN

**D**

FRAMELESS GLASS DOOR (ULTRAGLASS)

CONCEALED TOP TRACK

RECESSED FLOOR TRACK

AS SHOWN

**E**

OPERABLE PARTITION BY NANA WALL (GLASS DOORS OR EO.)

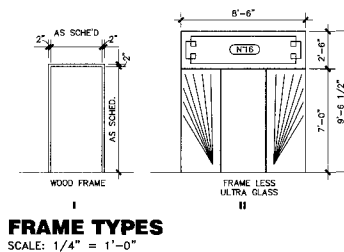
AS SHOWN

**F**

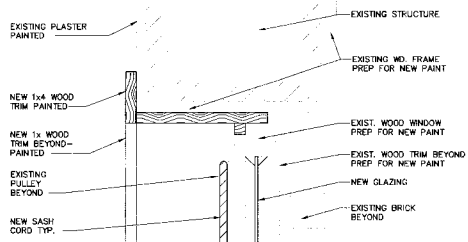
OVERHEAD COILING DOOR INSULATED BY CHI MODEL 6202 OR EO.

COL HOUSING

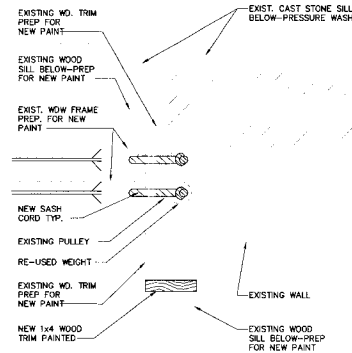
AS SHOWN



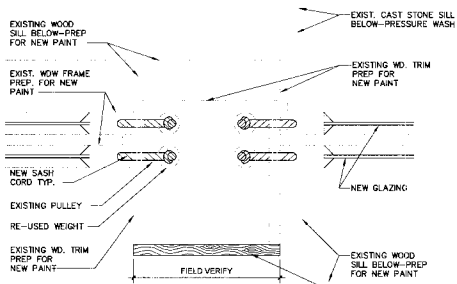




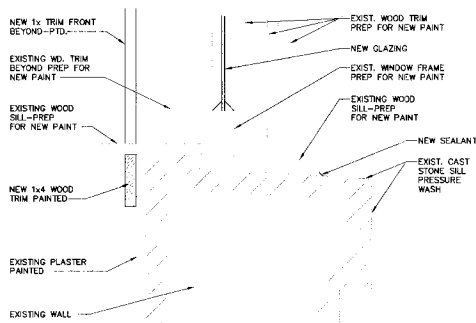
**1 EXIST. WDW HEAD DETAIL**  
A302 SCALE: 3" = 1'-0"



**2 EXIST. WDW JAMB DETAIL**  
A302 SCALE: 3" = 1'-0"



**3 EXIST. WDW JAMB DETAIL**  
A302 SCALE: 3" = 1'-0"



**4 EXIST. WDW SILL DETAIL**  
A302 SCALE: 3" = 1'-0"

INTERIM REVIEW  
DOCUMENTS  
KARLSEN  
COONAN  
RUBIN  
GARCIA  
ARCH  
15408 BANDERA RD #202  
SAN ANTONIO, TEXAS 78202  
P: 210.696.5716  
F: 210.696.5718  
kargarcia.com

RESIDENTIAL RENOVATION OF  
FIRE STATION 16  
1519 Negillas St  
San Antonio, Texas 78204

KARLSEN  
COONAN  
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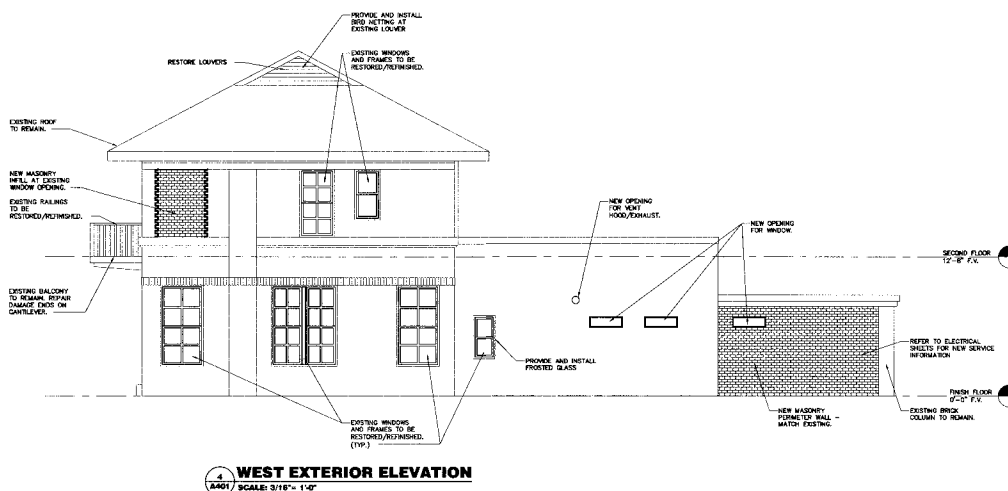
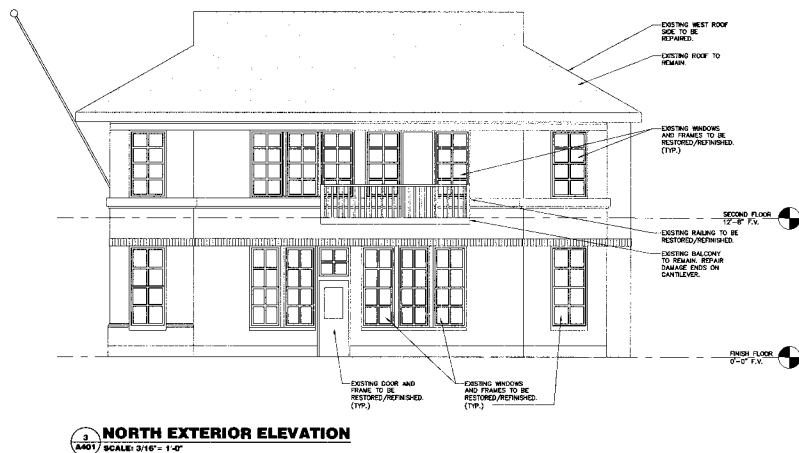
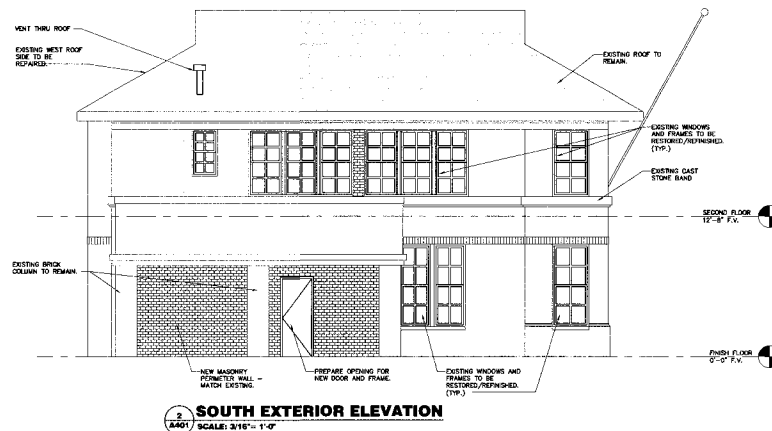
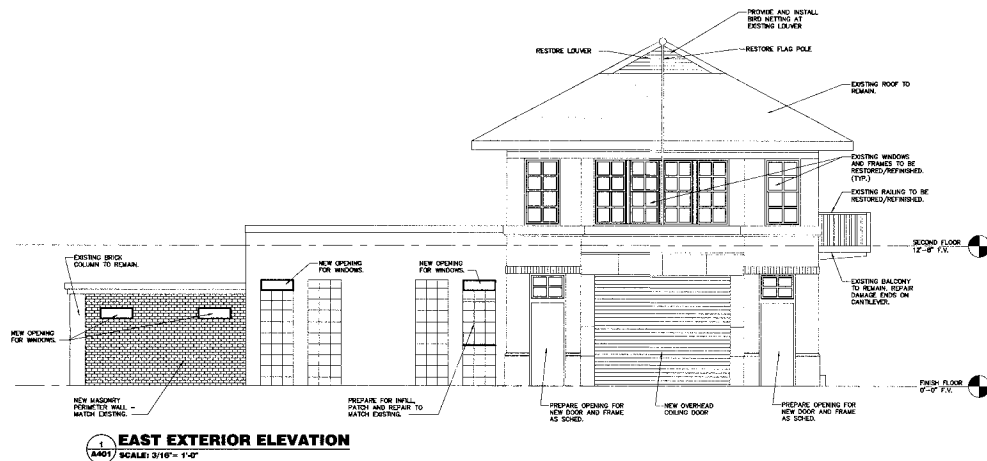
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Drawn By: CR/CTR  
Chid By: FG  
Date Issued: 07/10/2023

Revisions:

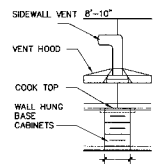
WINDOW  
DETAILS

A302

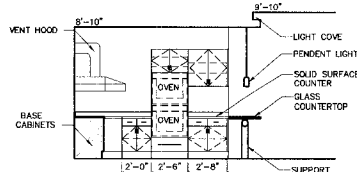




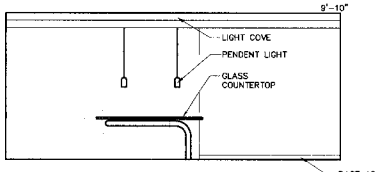




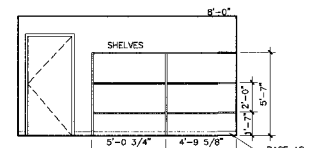
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A701 SCALE: 1/4" = 1'-0"



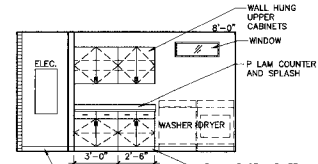
2 INT. ELEV. - KIT. A104  
A701 SCALE: 1/4" = 1'-0"



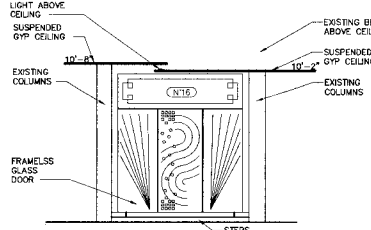
3 INT. ELEV. - DINING A103  
A701 SCALE: 1/4" = 1'-0"



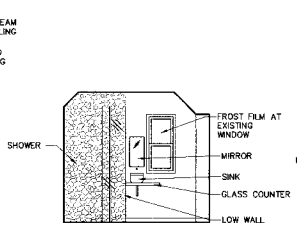
4 PANTRY/LAUNDRY A106  
A701 SCALE: 1/4" = 1'-0"



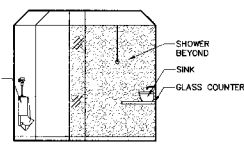
5 PANTRY/LAUNDRY A106  
A701 SCALE: 1/4" = 1'-0"



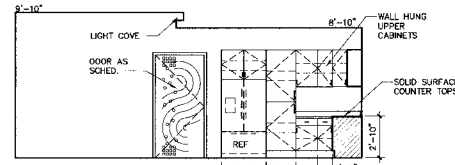
6 INT. ELEV. - ENGINE BAY A101  
A701 SCALE: 1/4" = 1'-0"



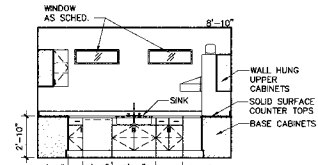
7 INT. ELEV. - BATH A102  
A701 SCALE: 1/4" = 1'-0"



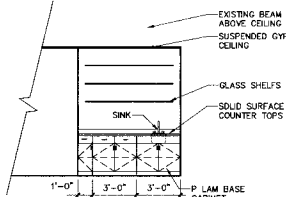
8 INT. ELEV. - BATH A102  
A701 SCALE: 1/4" = 1'-0"



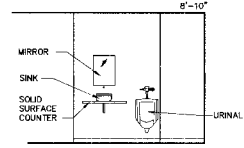
9 INT. ELEV. - KIT. A104  
A701 SCALE: 1/4" = 1'-0"



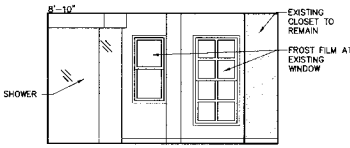
10 INT. ELEV. - KIT. A104  
A701 SCALE: 1/4" = 1'-0"



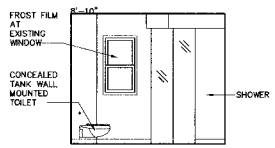
11 INT. ELEV. - BAR A201  
A701 SCALE: 1/4" = 1'-0"



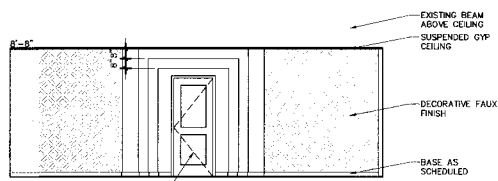
12 INT. ELEV. - BATH A203  
A701 SCALE: 1/4" = 1'-0"



13 INT. ELEV. - BATH A203  
A701 SCALE: 1/4" = 1'-0"



14 INT. ELEV. - BATH A203  
A701 SCALE: 1/4" = 1'-0"



15 INT. ELEV. - BAR A201  
A701 SCALE: 1/4" = 1'-0"

INTERIM REVIEW  
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RESIDENTIAL RENOVATION OF  
FIRE STATION 16  
1519 Nogales St  
San Antonio, Texas 78204

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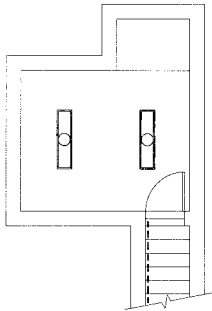
Project No.: 2011039  
Drawn By: CTR/CR  
Chd By: FG/JR  
Date Issued: 07/10/2023

Revisions:  
1  
2  
3

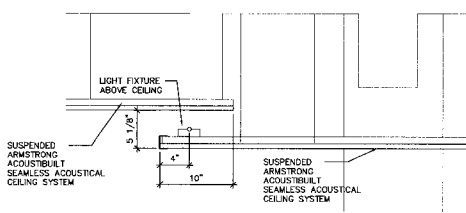
INTERIOR  
ELEVATIONS

A701

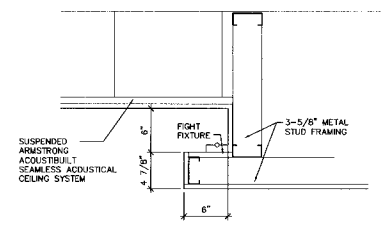




**3 REFLECTED CEILING PLAN - BASEMENT**  
 (A1001) SCALE: 1/4" = 1'-0"



**4 SUSP. GYP CEILING OFFSET DETAIL**  
 (A1001) SCALE: 1-1/2" = 1'-0"



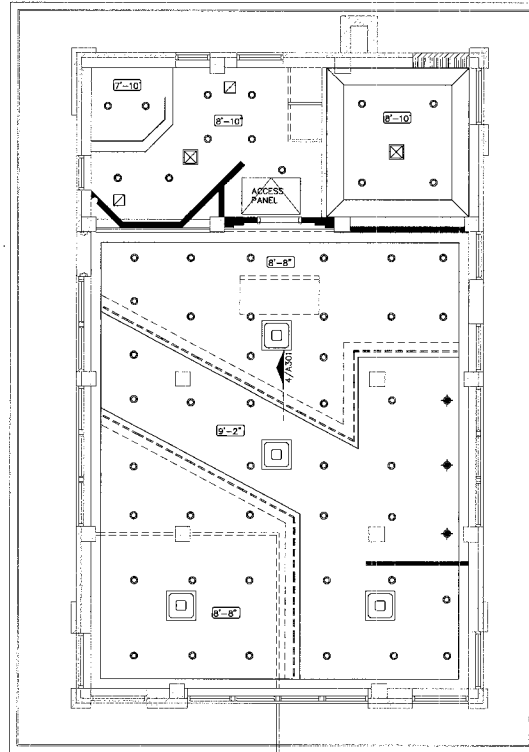
**5 LIGHT COVE DETAIL**  
 (A1001) SCALE: 1-1/2" = 1'-0"

**CLG PAINT FINISH**

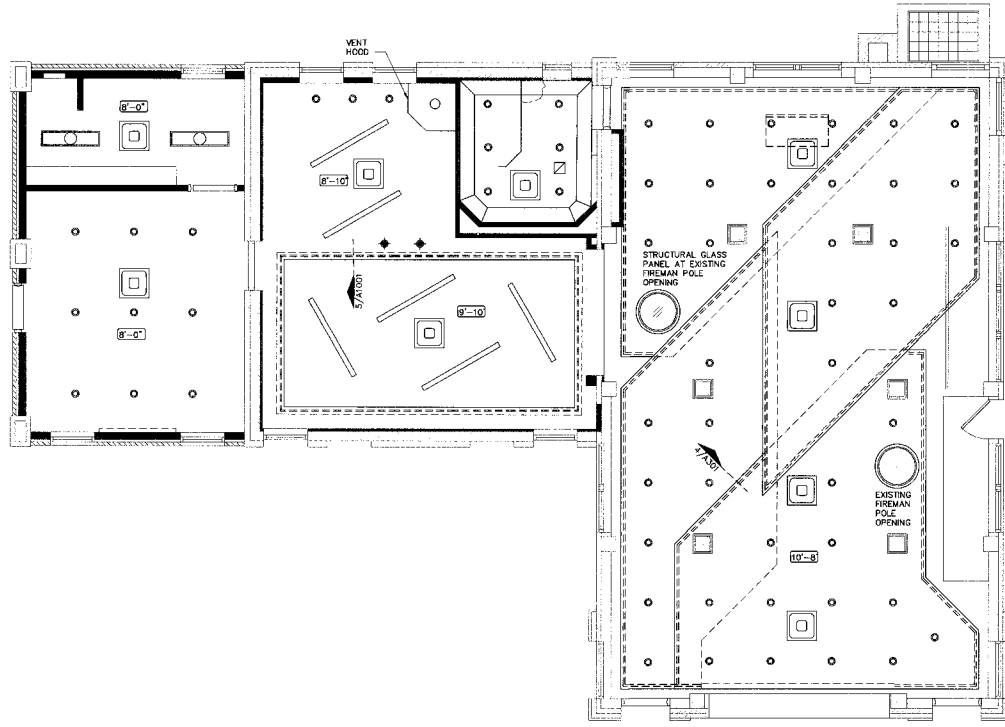
ENGIN BAY CLG PANEL COLOR (AREA TBD)	
PT-1	PPG 0984-3
PT-2	PPG 0986-3
PT-3	PPG 0987-4
KITCHEN	
PT-4	PPG 1172-5
PT-5	PPG 1172-1
EMS	
PT-6	PPG 1008-1
BASEMENT	
PT-7	PPG 1038-1
LEVEL 1 TR	
PT-8	PPG 1021-4
LEVEL 2 OPEN AREA (AREA TBD)	
PT-9	PPG 1018-3
PT-10	PPG 1030-3
PT-11	PPG 1033-5
CAPTAIN'S ROOM	
PT-12	PPG 1043-1
LEVEL 2 TR	
TBD	

**LEGEND**

- 0'-0" INDICATES CEILING HEIGHT ABOVE FINISH FLOOR
- A/C UNIT
- A/C SUPPLY AIR DIFFUSER
- A/C RETURN AIR GRILLE OR EXHAUST
- 1'x4' LED LIGHT FIXTURE
- STRIP LED LIGHT FIXTURE - RECESSED
- DOWN LIGHT FIXTURE
- PENDANT LIGHT

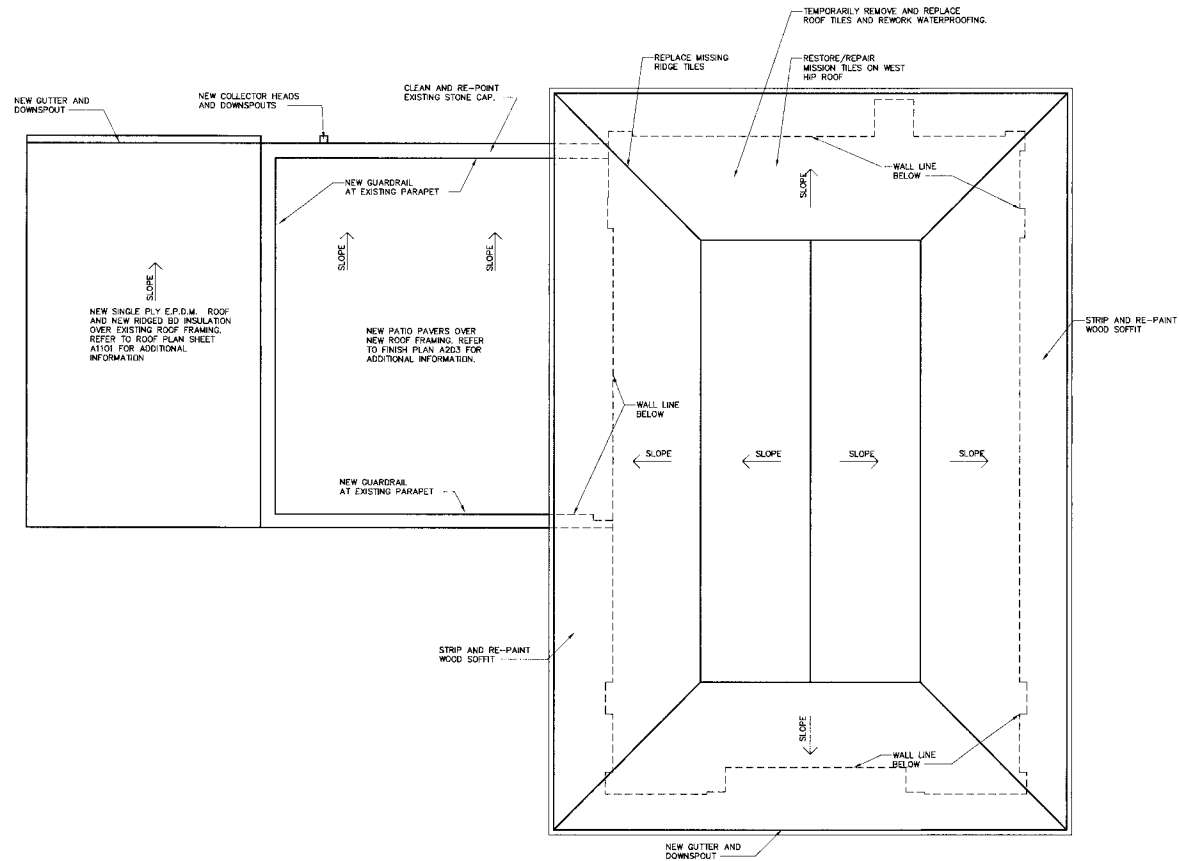


**1 REFLECTED CEILING PLAN - SECOND FLOOR**  
 (A1001) SCALE: 1/4" = 1'-0"



**2 REFLECTED CEILING PLAN - FIRST FLOOR**  
 (A1001) SCALE: 1/4" = 1'-0"





**1 ROOF PLAN**  
A1101 SCALE: 1/4" = 1'-0"



**INTERIM REVIEW**  
**COMMENTS**  
NO COMMENTS  
DATE: 07/10/2023  
BY: [Signature]  
FOR: [Signature]  
TO: [Signature]

**RESIDENTIAL RENOVATION OF  
FIRE STATION 16**  
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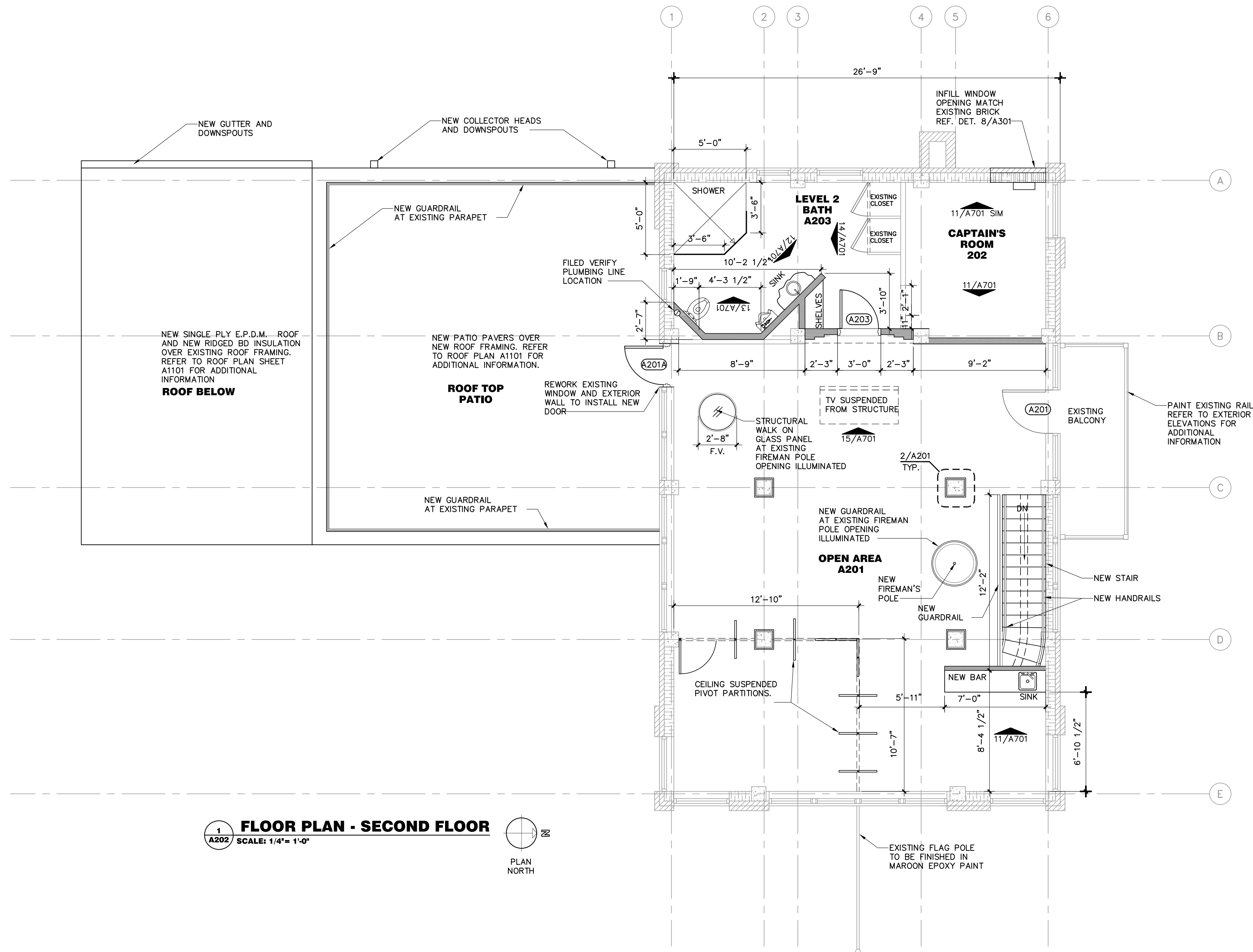
Project No: 2011039  
Drawn By: **CTR**  
Check By: **FG/JR**  
Date Issued: 07/10/2023

Revisions:  
1  
2  
3

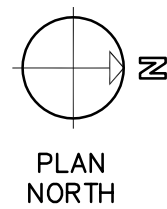
**ROOF PLAN**

**A1101**





1  
A202  
FLOOR PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"



## GENERAL DEMOLITION NOTES

- PATCH AND REPAIR ALL EXISTING WALLS TO REMAIN. PATCH ALL HOLES AND REMOVE ALL ABANDONED FASTENERS. PREP WALLS TO RECEIVE NEW PAINT.
- RESTORE ALL EXISTING WINDOWS TO REMAIN. STRIP AND PAINT ALL WOOD FRAMES. REPLACE 1/4" GLAZING.

## LEGEND

- EXISTING WALL TO REMAIN
- INFILL EXISTING MASONRY WALL TO MATCH EXISTING: 8" CMU WITH NEW VAPOR BARRIER WITH NEW 4" BRICK TO MATCH EXISTING.
- (2) ROWS 3 5/8" METAL STUD WITH 5/8" TYPE "X" GYPSUM BOARD ON OUTER SIDE. CHASE WALL DIM PER PLAN
- 3 5/8" METAL STUD WITH 5/8" TYPE "X" GYPSUM BOARD ON BOTH SIDES.
- 1-1/2" METAL STUD WITH 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE WITH EXISTING 2" PLASTER WALL.
- 3 5/8" METAL STUD WITH 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE WITH EXISTING 2" PLASTER WALL.
- WALL TYPE
- WINDOW TYPE
- DOOR TYPE
- ELEVATION TAG

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