

HISTORIC AND DESIGN REVIEW COMMISSION

August 16, 2023

HDRC CASE NO: 2023-304
ADDRESS: 1009 W ROSEWOOD AVE
LEGAL DESCRIPTION: NCB 3109 BLK 8 LOT 5 & 6
ZONING: R-6, H
CITY COUNCIL DIST.: 1
DISTRICT: Public Property
APPLICANT: Alma Nunez | City of San Antonio
OWNER: City of San Antonio
TYPE OF WORK: Dog park construction
APPLICATION RECEIVED: July 24, 2023
60-DAY REVIEW: September 22, 2023
CASE MANAGER: Bryan Morales

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to convert the existing park into a dog park.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

1. Topography

A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

2. Fences and Walls

A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

C. PRIVACY FENCES AND WALLS

- i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.
- ii. *Location* – Do not use privacy fences in front yards.

3. Landscape Design

A. PLANTINGS

- i. *Historic Gardens*— Maintain front yard gardens when appropriate within a specific historic district.
- ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

- i. *Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

C. MULCH

Organic mulch – Organic mulch should not be used as a wholesale replacement for plant material. Organic mulch with appropriate plantings should be incorporated in areas where appropriate such as beneath a tree canopy.

- i. *Inorganic mulch* – Inorganic mulch should not be used in highly-visible areas and should never be used as a wholesale replacement for plant material. Inorganic mulch with appropriate plantings should be incorporated in areas where appropriate such as along a foundation wall where moisture retention is discouraged.

D. TREES

- i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.
- iii. *Maintenance* – Proper pruning encourages healthy growth and can extend the lifespan of trees. Avoid unnecessary or harmful pruning. A certified, licensed arborist is recommended for the pruning of mature trees and heritage trees.

4. Residential Streetscapes

A. PLANTING STRIPS

- i. *Street trees*—Protect and encourage healthy street trees in planting strips. Replace damaged or dead trees with trees of a similar species, size, and growth habit as recommended by the City Arborist.
- ii. *Lawns*— Maintain the use of traditional lawn in planting strips or low plantings where a consistent pattern has been retained along the block frontage. If mulch or gravel beds are used, low-growing plantings should be incorporated into the design.

iii. *Alternative materials*—Do not introduce impervious hardscape, raised planting beds, or other materials into planting strips where they were not historically found.

B. PARKWAYS AND PLANTED MEDIANS

i. *Historic plantings*—Maintain the park-like character of historic parkways and planted medians by preserving mature vegetation and retaining historic design elements. Replace damaged or dead plant materials with species of a like size, growth habit, and ornamental characteristics.

ii. *Hardscape*—Do not introduce new pavers, concrete, or other hardscape materials into parkways and planted medians where they were not historically found.

C. STREET ELEMENTS

i. *Site elements*—Preserve historic street lights, street markers, roundabouts, and other unique site elements found within the public right-of-way as street improvements and other public works projects are completed over time.

ii. *Historic paving materials*—Retain historic paving materials, such as brick pavers or colored paving, within the public right-of-way and repair in place with like materials.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.

v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.

ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

6. Non-Residential and Mixed Use Streetscapes

A. STREET FURNITURE

i. *Historic street furniture*—Preserve historic site furnishings, including benches, lighting, tree grates, and other features.

ii. *New furniture*—Use street furniture such as benches, trash receptors, tree grates, and tables that are simple in design and are compatible with the style and scale of adjacent buildings and outdoor spaces when historic furnishings do not exist.

B. STREET TREES

i. *Street trees*—Protect and maintain existing street trees. Replace damaged or dead trees with trees of a similar species, size, and growth habit.

FINDINGS:

- a. The park located at 1009 Rosewood between Rosewood Ave and W Lynwood Ave is approximately .77 acres and features a decomposed granite walking trail, several trees, and a concrete storm water drain.
- b. TRAIL MODIFICATIONS – The applicant is requesting to remove the existing decomposed granite trail and relocate it to run alongside the eastern border of the park. The Historic Design Guidelines for Site Elements 5.A.iii. states to

follow the historic alignment, configuration, and width of sidewalks and walkways. Staff finds the request generally appropriate.

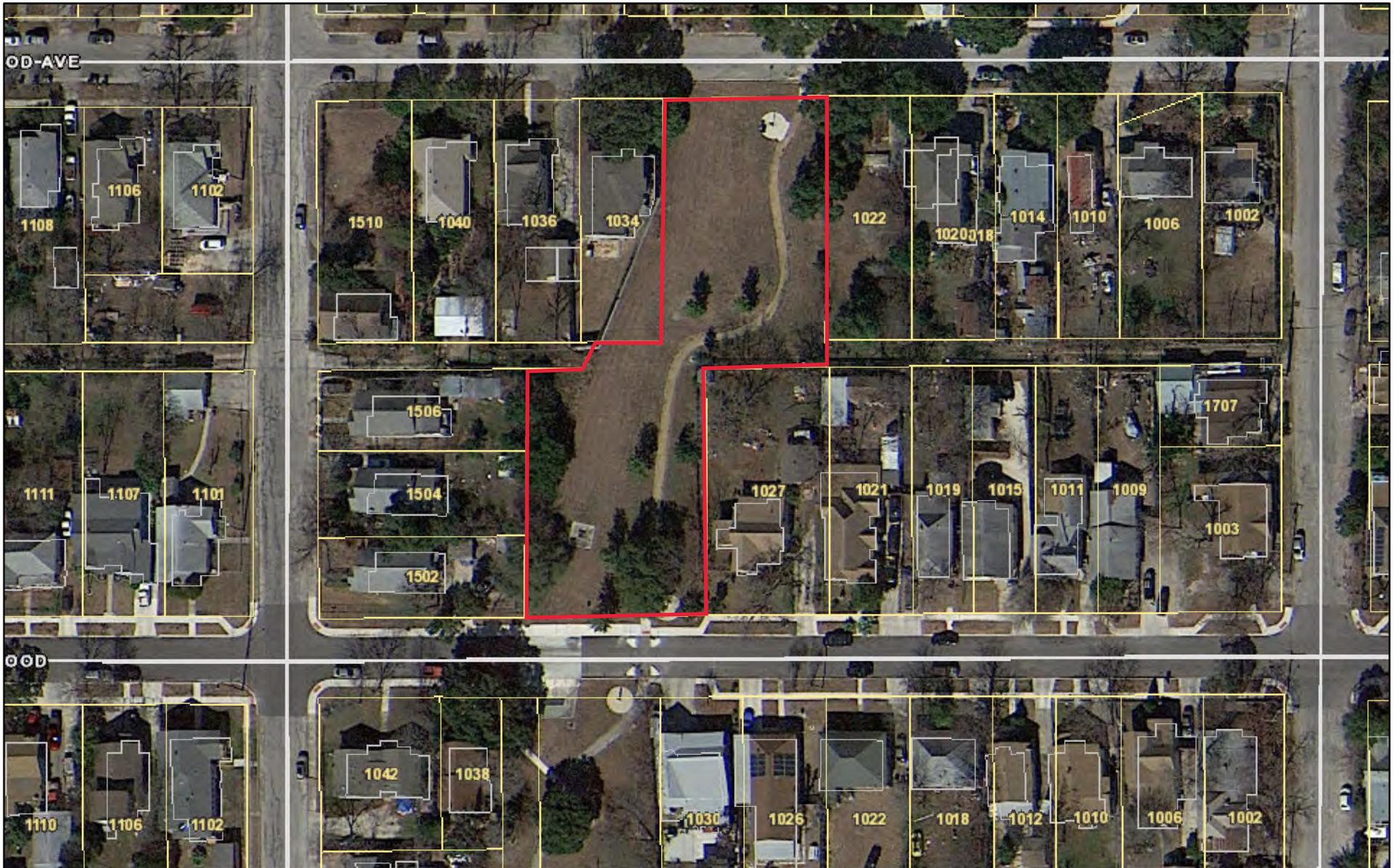
- c. **FENCE AND GATE INSTALLATION** – The applicant is requesting to install a six feet tall black metal architectural panel fence along the perimeter of the property and through the middle. Additionally, the applicant is requesting to install two gates of the same characteristics of the proposed fence for access to each fenced section. Guidelines for Site Elements 2.B.iii. states to limit the height of new fences and walls within the front of the property to four feet. Site Elements 2.B.v. states to select materials that are similar in scale, texture, color, and form as those historically used in the district and that the review of alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses. Staff finds the installation of the fence and two gates are generally appropriate.
- d. **HARDSCAPE INSTALLATION** – The applicant is requesting to install approximately 1,484 square feet of concrete on the section closest to W Lynwood Ave. Guidelines for Site Elements 3.B.i. states to not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located. Staff finds the installation of approximately 1,484 square feet of concrete is generally appropriate.

RECOMMENDATION:

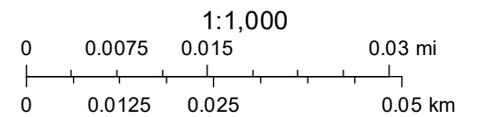
Staff recommends approval of the request, based on findings a through d, with the following stipulation:

- i. That the applicant meet all setback standards as required by city zoning requirements and obtain a variance from the Board of Adjustment if applicable.

City of San Antonio One Stop



August 11, 2023



BEACON HILL LINEAR PARK IMPROVEMENTS DOG PARK

SAN ANTONIO, TEXAS

JUNE 19, 2023

OWNER:

Public Works Department
The City of San Antonio
Municipal Plaza Building
114 W. Commerce, 6th Floor
San Antonio, TX 78283
(210) 207-8022



CITY COUNCIL:

RON NIRENBERG	MAYOR
MARIO BRAVO	DISTRICT 1
JALEN MCKEE-RODRIGUEZ	DISTRICT 2
PHYLLIS VIAGRAN	DISTRICT 3
DR. ADRIANA ROCHA GARCIA	DISTRICT 4
TERI CASTILLO	DISTRICT 5
MELISSA CABELLO HAVRDA	DISTRICT 6
ROSIE CASTRO	DISTRICT 7
MANNY PELAEZ	DISTRICT 8
JOHN COURAGE	DISTRICT 9
MARC WHYTE	DISTRICT 10

PUBLIC WORKS PROJECT TEAM

DESIREE SALMON	ASSISTANT CAPITAL PROGRAMS MANAGER
ALMA NUNEZ	PROJECT MANAGER

PARKS AND RECREATION PROJECT TEAM

SANDY JENKINS
TONY FORSHAGE

LANDSCAPE ARCHITECT:



816 Camaron st. · Suite 2.44
San Antonio, Texas 78212
Tel: 210.267.5246
(TX REG. F-1114)



LOCATION MAP



SHEET INDEX:

NO.	SHEET NAME
	COVER SHEET
GN.00	GENERAL NOTES
COSA	COSA GENERAL NOTES
EPIC	ENVIRONMENTAL PERMIT, ISSUES, AND COMMITMENTS
L0.00	SITE ORIENTAION PLAN
L0.01	EX. CONDITIONS & DEMO PLAN
L0.02	EX. CONDITIONS & DEMO PLAN
L0.03	TREE PRESERVATION DETAILS
L1.01	LAYOUT PLAN
L1.02	LAYOUT PLAN
L1.03	DIMENSION LAYOUT PLAN
L1.04	DIMENSION LAYOUT PLAN
L3.00	DETAILS INDEX
L3.01	SITE DETAILS
L3.02	SITE DETAILS
L4.01	PLANTING PLAN
L4.02	PLANTING PLAN
L4.03	PLANT LIST & DETAILS
C1	WATER PLAN
C2	DETAILS

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I. STORMWATER POLLUTION PREVENTION-CLEAN WATER ACT SECTION 402

Texas Pollutant Discharge Elimination System (TPDES) TXR 150000: Stormwater Discharge Permit or Construction General Permit (CGP) required for projects with 1 or more acres disturbed soil. Projects with any disturbed soil must protect for erosion and sedimentation in accordance with Item 540.

No Action Required Required Action

Action No.

1. Prevent stormwater pollution by controlling erosion and sedimentation in accordance with TPDES Permit TXR 150000.
2. Comply with the Storm Water Pollution Prevention Plan (SW3P) and revise when necessary to control pollution or required by the Engineer.
3. Post Construction Site Notice (CSN) with SW3P information on or near the site, accessible to the public and Texas Commission on Environmental Quality (TCEQ), Environmental Protection Agency (EPA) or other inspectors.
4. When Contractor project specific locations (PSL's) increase disturbed soil area to 5 acres or more, Contractor shall submit Notice of Intent (NOI) to TCEQ and the COSA Inspector.
5. NOI required: Yes No

Note: If amount of soil disturbance changes, permit requirements may change.

II. WORK IN OR NEAR STREAMS, WATERBODIES AND WETLANDS CLEAN WATER ACT SECTIONS 401 AND 404

US Army Corps of Engineers (USACE) Permit required for filling, dredging, excavating or other work in any potential USACE jurisdictional water, such as, rivers, creeks, streams, or wetlands.

The Contractor shall adhere to all of the terms and conditions associated with the following permit(s):

- No Permit Required
- Nationwide Permit (NWP) 14 - Pre-construction Notice (PCN) not Required
- Nationwide Permit 14 - PCN Required
- Individual 404 Permit Required
- Other Nationwide Permit Required: NWP# _____

Required Actions: List waters of the US permit applies to, location in project and check Best Management Practices (BMPs) planned to control erosion, sedimentation and post-project total suspended solids (TSS).

- 1.
- 2.
- 3.
- 4.

401 Best Management Practices: (Not applicable if no USACE permit)

Erosion	Sedimentation	Post-Construction TSS
<input type="checkbox"/> Temporary Vegetation	<input type="checkbox"/> Silt Fence	<input type="checkbox"/> Vegetative Filter Strips
<input type="checkbox"/> Blankets/Matting	<input type="checkbox"/> Rock Berm	<input type="checkbox"/> Retention/Irrigation Systems
<input type="checkbox"/> Mulch	<input type="checkbox"/> Triangular Filter Dike	<input type="checkbox"/> Extended Detention Basin
<input type="checkbox"/> Sodding	<input type="checkbox"/> Sand Bag Berm	<input type="checkbox"/> Constructed Wetlands
<input type="checkbox"/> Interceptor Swale	<input type="checkbox"/> Straw Bale Dike	<input type="checkbox"/> Wet Basin
<input type="checkbox"/> Diversion Dike	<input type="checkbox"/> Brush Berms	<input type="checkbox"/> Erosion Control Compost
<input type="checkbox"/> Erosion Control Compost	<input type="checkbox"/> Erosion Control Compost	<input type="checkbox"/> Mulch Filter Berm and Socks
<input type="checkbox"/> Mulch Filter Berm and Socks	<input type="checkbox"/> Mulch Filter Berm and Socks	<input type="checkbox"/> Compost Filter Berm and Socks
<input type="checkbox"/> Compost Filter Berm and Socks	<input type="checkbox"/> Compost Filter Berm and Socks	<input type="checkbox"/> Vegetation Lined Ditches
	<input type="checkbox"/> Stone Outlet Sediment Traps	<input type="checkbox"/> Sand Filter Systems
	<input type="checkbox"/> Sediment Basins	<input type="checkbox"/> Sedimentation Chambers
		<input type="checkbox"/> Grassy Swales

III. CULTURAL RESOURCES

Cultural resources fall under the Antiquities Code of Texas and/or the National Historic Preservation Act, as amended in 1966. If a previously unidentified archeological site is encountered during construction work, activities should be immediately stopped in the vicinity and the City Archeologist (210-207-5421 or 210-207-7306) notified and/or the SHPO.

No Action Required Required Action

Action No.

- 1.
- 2.
- 3.
- 4.

IV. VEGETATION RESOURCES

Preserve native vegetation to the extent practical. Contractor must adhere to Construction Specification Requirements Specs 162,164, 192, 193, 506, 730, 751, 752 in order to comply with requirements for invasive species, beneficial landscaping, and tree/brush removal commitments.

No Action Required Required Action

Action No.

1. Ensure that a tree permit is in place for this project, if required.
2. Follow the tree preservation/mitigation plan provided in the design plan set. If there are any questions or concerns, please contact the City Arborist at (210)-207-0278 before any work begins.

V. FEDERAL LISTED, PROPOSED THREATENED, ENDANGERED SPECIES, CRITICAL HABITAT, STATE LISTED SPECIES, CANDIDATE SPECIES AND MIGRATORY BIRDS.

No Action Required Required Action

Action No.

1. MIGRATORY BIRD NESTS: Schedule construction activities as needed to meet the following requirements:
 - A. Do not remove or destroy any active migratory bird nests (nests containing eggs and/or flightless birds) at any time of year. If there are any active nests, they shall not be removed until the nests become inactive.
 - B. On/in structures, if there are any active nests, they shall not be removed until all nests become inactive. After inactive nests are removed and/or before nest activity begins, deterrent materials may be applied to the structures to prevent future nest building.
2. Deterrent material should be placed (and maintained) after October 1 or before February 15.
3. The preferred nesting season for migrating birds is from February 15 through October 1. When practicable, schedule construction operations outside of the preferred nesting season.

If any of the listed species are observed, cease work in the immediate area, do not disturb species or habitat and contact the COSA Inspector immediately. The work may not remove active nests from bridges and other structures during nesting season of the birds associated with the nests. If caves or sinkholes are discovered, cease work in the immediated area, and contact the COSA Inspector immediately.

VI. HAZARDOUS MATERIALS OR CONTAMINATION ISSUES

General (applies to all projects):

Comply with the Hazard Communication Act (the Act) for personnel who will be working with hazardous materials by conducting safety meetings prior to beginning construction and making workers aware of potential hazards in the workplace. Ensure that all workers are provided with personal protective equipment appropriate for any hazardous materials used.

Obtain and keep on-site Safety Data Sheets (SDS) for all hazardous products used on the project, which may include, but are not limited to the following categories: Paints, acids, solvents, asphalt products, chemical additives, fuels and concrete curing compounds or additives. Provide protected storage, off bare ground and covered, for products which may be hazardous. Maintain product labeling as required by the Act.

Maintain an adequate supply of on-site spill response materials, as indicated in the SDS. In the event of a spill, take actions to mitigate the spill as indicated in the SDS, in accordance with safe work practices, and contact the COSA Inspector immediately. The Contractor shall be responsible for the proper containment and cleanup of all product spills.

Contact the COSA Inspector if any of the following are detected:

- * Dead or distressed vegetation (not identified as normal)
- * Trash piles, drums, canister, barrels, etc.
- * Undesirable smells or odors
- * Evidence of leaching or seepage of substances

Hazardous Materials or Contamination Issues Specific to this Project:

No Action Required Required Action

Action No.

- 1.
- 2.
- 3.

Does the project involve the demolition of a span bridge?

Yes No (No further action required)

If "Yes", a pre-demolition notification must be submitted to the Texas Department of State Health Services. The contractor shall contact the Project Engineer 25 calendar days prior to the demolition of the bridges(s) on the project to assist with the notification.

VII. OTHER ENVIRONMENTAL ISSUES

(includes regional issues such as Edwards Aquifer District, etc.)

No Action Required Required Action

Action No.

- 1.
- 2.
- 3.

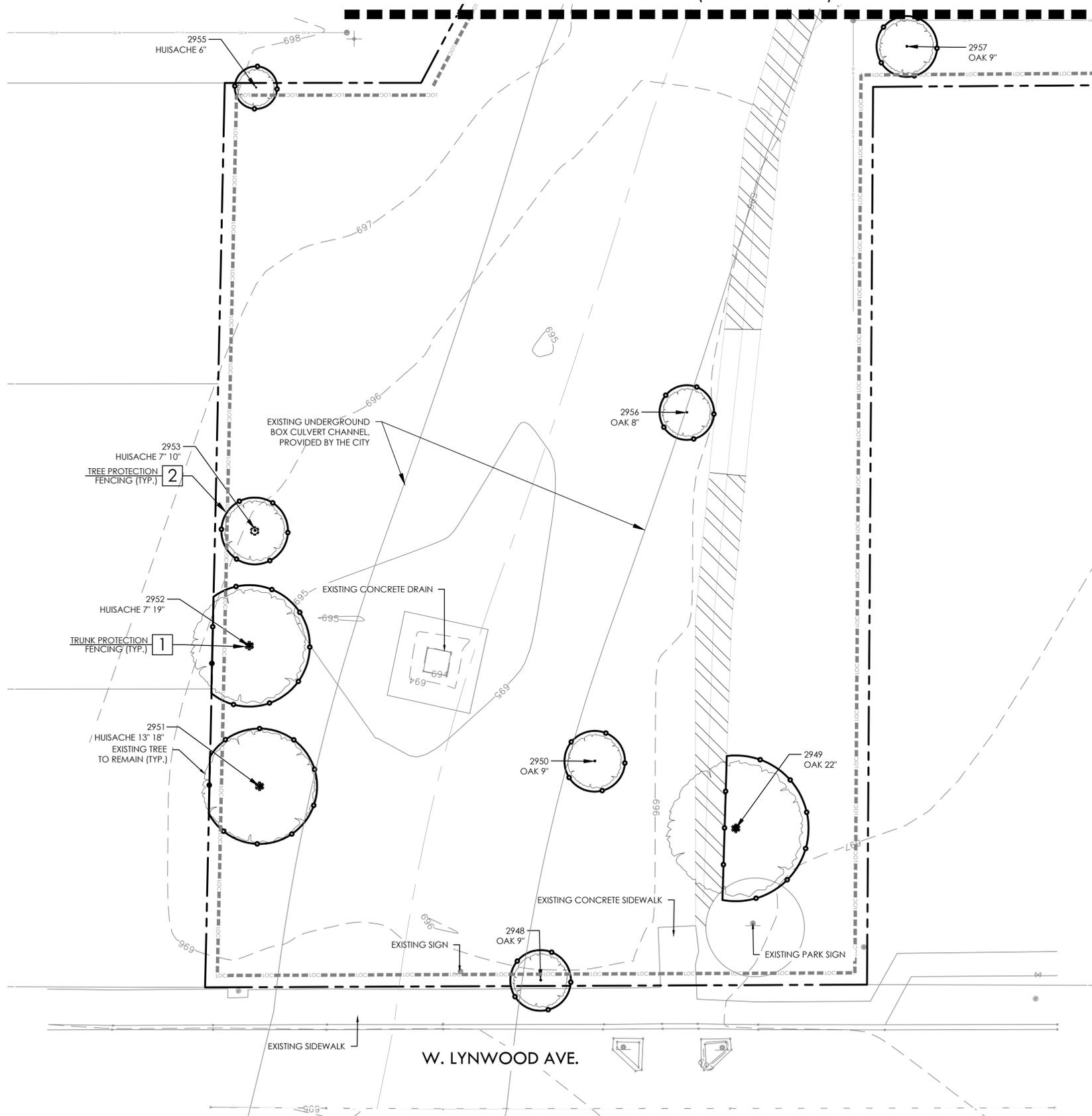
BEACON HILL LINEAR PARK
MAY 2023

ENVIRONMENTAL_PERMITS,
ISSUES_AND_COMMITMENTS

EPIC

FILE: epic_2015-10-09_SAT.dgn	DN: TxDOT	CK: TxDOT	DW: BW	CK: GAG
© TxDOT	OCTOBER 2015	CONT SECT	JOB	HIGHWAY
REVISIONS		---	---	---
	DIST	COUNTY	SHEET NO.	
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MATCHLINE (SEE SHEET L0.01)



LEGEND

PROPERTY LINE	
LIMIT OF WORK	
EXISTING CONTOUR	
AREA OF DECOMPOSED GRANITE TO BE REMOVED	
AREA OF CONCRETE TO BE REMOVED	
TRUNK PROTECTION FENCING	
TREE PROTECTION FENCING	
EXISTING TREE TO REMAIN	

OVERALL EX. CONDITIONS & DEMO PLAN



BEACON HILL LINEAR PARK IMPROVEMENTS
SAN ANTONIO, TEXAS

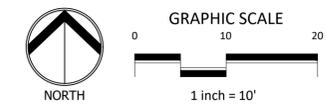
PRELIMINARY FOR REVIEW ONLY
These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:
Tara Lindberg
LA#3472
06/19/2023

JOB NO.	8582
DESIGNED BY:	DM
DRAWN BY:	DM
CHECKED BY:	TL
DATE:	06-19-2023

SHEET: **L0.02**

SURVEY NOTES

THE EXISTING INFORMATION DEPICTED HERIN, WAS PROVIDED BY POZNECKI-CAMARILLO, LLC, DATED FEBRUARY 09, 2023.
THE CONTRACTOR SHALL VERIFY ACCURACY OF INFORMATION SHOWN AS EXISTING PRIOR TO BEGINNING CONSTRUCTION.

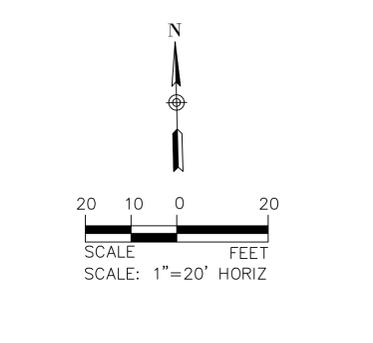
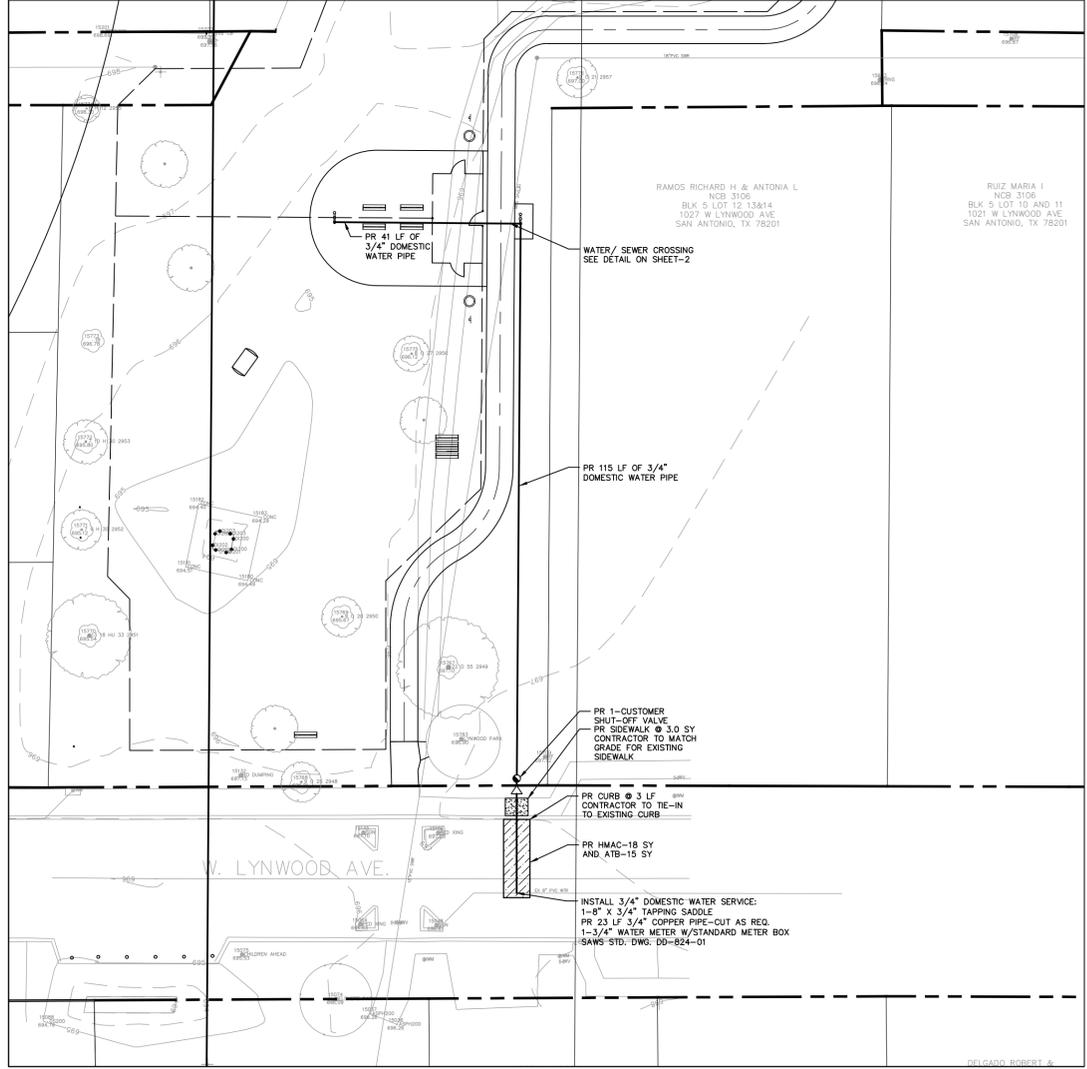


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 PLOTTED BY: Tara Lindberg
 PLOTTED AT: 2:35:05 PM
 PLOTTED WITH: 3864653

- SHEET NOTES:**
- TRENCH EXCAVATION SAFETY PROTECTION SHALL BE IN ACCORDANCE WITH GENERAL NOTES AND SPECIFICATION.
 - THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM AVAILABLE RECORDS AND ARE NOT GUARANTEED, BUT SHALL BE INVESTIGATED AND VERIFIED BY THE CONTRACTOR BEFORE STARTING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING THE INTEGRITY OF POWER POLES AND GUY WIRES DURING CONSTRUCTION (NSPI).
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WATER SERVICE TO EXISTING WATER MAINS AND SERVICES AT ALL TIMES.
 - CONTRACTOR SHALL PROTECT AND/OR REPAIR (IF DAMAGED) ANY EXISTING WATER SERVICE LATERALS AND IRRIGATION SHOWN OR NOT SHOWN ON THE PLANS (NSPI).
 - CONTRACTOR SHALL MAINTAIN VEHICULAR ACCESS THROUGH ALL DRIVEWAYS FOR EMERGENCY ACCESS.
 - SAWS SHALL MACHINE CHLORINATE NEW MAINS UNLESS OTHERWISE STATED.
 - PROPERTY LINES SHOWN ARE APPROXIMATE.
 - CONTRACTOR TO PROTECT EXIST SIGNS (NSPI). PROVIDE TEMPORARY SIGNS AND SALVAGE AND REPLACE SIGNS THAT INTERFERE WITH CONSTRUCTION OF WATER MAIN (NSPI).
 - PRIOR TO TIE-INS, ANY SHUTDOWNS OF EXISTING MAINS OF ANY SIZE MUST BE COORDINATED WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT (210) 233-3500 AND/OR SAWS PRODUCTION GROUPS AT LEAST TWO WEEKS IN ADVANCE OF THE SHUTDOWN. THE CONTRACTOR MUST ALSO PROVIDE A SEQUENCE OF WORK AS RELATED TO THE TIE-INS; THIS IS AT NO ADDITIONAL COST TO SAWS OR PROJECT AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE THE WORK ACCORDINGLY.
 - FOR ASBESTOS CEMENT PIPE REMOVAL SEE GENERAL NOTES ON SHEETS 2 AND 3.
 - ALL PROPOSED WATER PIPE SHALL HAVE 4 FEET OF COVER FROM FINISHED GRADE UNLESS OTHERWISE NOTED ON PLANS.
 - VALVE BOXES TO BE SET FLUSH WITH FINISHED COSA GRADE OF PARKWAY OR ROAD (NSPI).
 - FIRE HYDRANTS TO BE A MAX. OF 7 FT. FROM THE CURB.
- GENERAL NOTES**
- CONTRACTOR SHALL INCORPORATE THE USE OF A TRENCH BOX OR OTHER ACCEPTABLE SAFETY SYSTEM IN ANY TRENCH THAT EXCEEDS FIVE (5) FEET IN DEPTH. CONTRACTOR SHALL HAVE A TEXAS LICENSED PROFESSIONAL ENGINEER DESIGN THE TRENCH EXCAVATION PROTECTION SYSTEM (N.S.P.I.). CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
 - CONTRACTOR TO PROVIDE PROPERTY OWNER ACCESS TO PROPERTY AT ALL TIMES. ANY RESTRICTION IN ACCESS SHALL BE COMMUNICATED TO THE PROPERTY OWNER AND SAWS A MINIMUM OF 48 HOURS IN ADVANCE.
 - MAINTAIN EXISTING DRAINAGE WHEN WORKING IN R.O.W.
 - CONTRACTOR TO MAINTAIN WATER CONNECTIONS AT ALL TIMES DURING THE CUT/FILL AND/OR PREPARATION OF ROW. CONTRACTOR SHALL ALSO MAINTAIN ACCESS TO EXISTING AND PROPOSED WATER VALVES AT ALL TIMES (NSPI).
 - ALL EXISTING FIRE HYDRANTS THAT ARE SHOWN AS TO BE REMOVED SHALL BE SALVAGED AND RETURNED TO SAWS (NSPI).
 - THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY WATER VALVES THAT ARE IN THE PROJECT AREA. ALL WATER VALVES AND MANHOLES IN SERVICE, EXISTING OR NEW, SHALL REMAIN UNCOVERED FOR FULL ACCESS BY SAWS AT ALL TIMES.
 - SEE COSA TRAFFIC CONTROL PLAN FOR PHASING AND SEQUENCING OF WORK.
 - THE CONTRACTOR SHALL PROVIDE EROSION CONTROL TO PREVENT POLLUTION OF STORM WATER ORIGINATING UP GRADIENT, AND PREVENT DOWNSTREAM POLLUTION BY CONTAMINATED STORM WATER RUNOFF FROM THE SITE. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND NATIONAL REQUIREMENTS.
 - THE CONTRACTOR/FOREMAN SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR/FOREMAN SHALL CONTACT THE CITY ARBORIST AT 207-0278 FOR GUIDANCE.
- PROPERTY LINES SHOWN ARE APPROXIMATE.**
- CONTRACTOR SHALL PROTECT EXISTING SIGNS (NSPI) AND SHALL PROVIDE TEMPORARY SIGNS AND SALVAGE AND REPLACE SIGNS THAT INTERFERE WITH CONSTRUCTION OF WATER MAIN (NSPI).
 - CONTRACTOR SHALL RESTORE PAVEMENT IN ACCORDANCE WITH THE PAVEMENT REPLACEMENT DETAIL, UNLESS OTHERWISE CALLED OUT ON PLANS.
 - WHERE REMOVAL OF PERMANENT FENCING IS REQUIRED, CONTRACTOR TO PROVIDE TEMPORARY FENCING AND GATES ALONG LIMITS OF CONSTRUCTION TO SECURE PRIVATE PROPERTY DURING CONSTRUCTION ACTIVITY. (NSPI)
 - THE CONTRACTOR SHALL REGRADE AND RESTORE CREEK BEDS, DRAINAGEWAYS AND DITCH LINES TO PRECONSTRUCTION ELEVATIONS—NO MOUNDING OF DIRT. CONTRACTOR TO RESTORE CULTIVATED FIELDS TO EXISTING CONDITION OR TO THE SATISFACTION OF PROPERTY OWNER.
 - MAXIMUM JOINT DEFLECTION AND/OR MINIMUM RADIUS OF CURVES USED TO OFFSET WATER LINE IS PER MANUFACTURER'S RECOMMENDATIONS.
 - CONTRACTOR TO SUPPORT AND KEEP INTACT STORM DRAINS AND INLET STRUCTURES. ANY DAMAGES INCURRED WILL BE AT THE CONTRACTOR'S EXPENSE.
 - CONCRETE ENCASMENT, WHERE REQUIRED, SHALL BE PLACED FOR FULL WIDTH OF THE TRENCH TO A PLANE SIX (6) INCHES ABOVE THE TOP OF THE PIPE. NO DIRECT PAYMENT WILL BE MADE FOR CONCRETE ENCASMENT EXTENDING FURTHER THAN SIX (6) INCHES IN A HORIZONTAL PLANE OR VERTICAL PLANE FROM THE PIPE, REGARDLESS OF THE AMOUNT PLACED. (SEE SAWS STANDARD DETAIL (DD-858-01))
 - BEDDING AND INITIAL BACKFILL SHALL MEET OR EXCEED THE REQUIREMENTS OF THE SPECIAL SPECIFICATIONS APPROVED FOR THIS PROJECT. SECONDARY BACKFILL SHALL MEET OR EXCEED THE REQUIREMENTS OF THE SPECIAL SPECIFICATIONS APPROVED FOR THIS PROJECT OR COSA STANDARD SPECIFICATION, ITEM 400, WHICHEVER IS MORE STRINGENT.
 - ALL AREAS DISTURBED BY THE CONSTRUCTION SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION THAN THE START OF CONSTRUCTION. ALL REMOVED GATES, FENCES, IMPROVEMENTS, LANDSCAPING, ETC. SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, UNLESS OTHERWISE STIPULATED IN THE CONSTRUCTION DOCUMENTS.
- OWNER, UNLESS OTHERWISE STIPULATED IN THE CONSTRUCTION DOCUMENTS.**
- SAWS SHALL MACHINE CHLORINATE NEW WATER MAINS WHERE WATER MAIN LENGTHS ARE GREATER THAN 800 FT. CONTRACTOR TO NOTIFY SAWS ONE WEEK PRIOR TO COMMENCING CHLORINATION.
 - CONTRACTOR SHALL CHLORINATE NEW MAINS WITH HTH WHERE WATER MAIN LENGTHS ARE 800-FEET OR LESS (NSPI). CONTRACTOR TO NOTIFY SAWS ONE WEEK PRIOR TO COMMENCING CHLORINATION.
 - REMOVAL OF ABANDONED FACILITIES, WHETHER EXISTING OR ABANDONED AS PART OF THIS PROJECT, SHALL BE PAID FOR UNDER TxDOT ITEM 100, "PREPARING ROW." EXISTING TREES AND SIGNS IN ACQUIRED RIGHT-OF-WAY TO ALSO BE PAID FOR UNDER ITEM 100.
 - CONTRACTOR TO MAINTAIN WATER SERVICE AT ALL TIMES. ANY TEMPORARY SERVICES SHALL BE COORDINATED WITH SAWS.
 - REFER TO COSA ROADWAY PLANS FOR OVERALL TRAFFIC CONTROL PLAN. ALL WATER WORK TO BE PERFORMED DURING TYPICAL PHASE 1.
- TRENCH EXCAVATION PROTECTION NOTE**
- CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES.
 - THE CONTRACTOR'S IMPLEMENTATION OF THE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS.
 - SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
- FLOWABLE FILL NOTE:**
- INSTALL FLOWABLE FILL IN LIEU OF "SECONDARY BACKFILL" FOR WATER SUPPLY MAIN INSTALLED UNDER PROPOSED PAVEMENT.
- SAWS GENERAL CONSTRUCTION NOTES GENERAL SECTION**
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL BE APPROVED BY THE SAN ANTONIO WATER SYSTEM (SAWS) AND COMPLY WITH THE PLANS, SPECIFICATIONS, GENERAL CONDITIONS AND WITH THE FOLLOWING AS APPLICABLE:
 - CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) "DESIGN CRITERIA FOR DOMESTIC WASTEWATER SYSTEM", TEXAS ADMINISTRATIVE CODE (TAC) TITLE 30 PART 1 CHAPTER 217 AND "PUBLIC DRINKING WATER", TAC TITLE 30 PART 1 CHAPTER 290.
 - CURRENT TxDOT "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND DRAINAGE."
 - CURRENT "SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION."
 - CURRENT CITY OF SAN ANTONIO "STANDARD SPECIFICATIONS FOR CONSTRUCTION."
 - CURRENT CITY OF SAN ANTONIO "UTILITY EXCAVATION CRITERIA MANUAL (UECM)."
 - THE CONTRACTOR SHALL OBTAIN SAWS STANDARD DETAILS FROM SAWS WEBSITE: HTTP://WWW.SAWS.ORG/BUSINESS_CENTER/SPECS. UNLESS OTHERWISE NOTED WITHIN DESIGN PLANS.
 - THE CONTRACTOR IS TO NOTIFY AND MAKE ARRANGEMENTS WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT 210-233-3500, AND PROVIDE NOTIFICATION PROCEDURES. THE CONTRACTOR WILL USE TO NOTIFY AFFECTED HOME RESIDENTS AND/OR PROPERTY OWNERS 72 HOURS PRIOR TO EXCAVATION.
 - LOCATIONS AND DEPTHS OF EXISTING UTILITIES AND SERVICE LATERALS SHOWN ON THE PLANS ARE UNDERSTOOD TO BE APPROXIMATE. ACTUAL LOCATIONS AND DEPTHS MUST BE FIELD VERIFIED BY THE CONTRACTOR AT LEAST 1 WEEK PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND TO PROTECT THEM DURING CONSTRUCTION AT NO COST TO SAWS.
 - THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES AT LEAST 1-2 WEEKS PRIOR TO CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT. PLEASE ALLOW UP TO 7 BUSINESS DAYS FOR LOCATES REQUESTING PIPE LOCATION MARKERS ON SAWS FACILITIES. THE FOLLOWING CONTACT INFORMATION ARE SUPPLIED FOR VERIFICATION PURPOSES:

SAN ANTONIO WATER SYSTEM: SAWS UTILITY LOCATES: HTTP://WWW.SAWS.ORG/SERVICE/LOCATES

COSA DRAINAGE 210-207-8048 COSA TRAFFIC SIGNAL OPERATIONS 210-207-7720 TEXAS STATE WIDE ONE CALL LOCATOR 1-800-545-6005 OR 811
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, SIDEWALKS, LANDSCAPING AND STRUCTURES TO ITS ORIGINAL OR BETTER CONDITION AS A RESULT OF DAMAGES DONE BY THE PROJECT'S CONSTRUCTION.
- ALL WORK IN TEXAS HIGHWAY DEPARTMENT AND BEXAR COUNTY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH RESPECTIVE CONSTRUCTION SPECIFICATIONS AND PERMIT.**
- THE CONTRACTOR SHALL COMPLY WITH CITY OF SAN ANTONIO OR OTHER GOVERNING MUNICIPALITY'S TREE ORDINANCES WHEN EXCAVATING NEAR TREES.
 - THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN PERMIT.
 - ANY WORK COMPLETED WITHOUT PRIOR WRITTEN AUTHORIZATION WHICH IS NOT INCLUDED IN THESE PLANS AND SPECIFICATIONS WILL NOT BE COMPENSATED BY THE SAN ANTONIO WATER SYSTEM.
 - HOLIDAY WORK: CONTRACTORS WILL NOT BE ALLOWED TO PERFORM SAWS WORK ON SAWS RECOGNIZED HOLIDAYS. REQUEST SHOULD BE SENT TO CONSTWORKREQ@SAWS.ORG.
 - WEEKEND WORK: CONTRACTORS ARE REQUIRED TO NOTIFY THE SAWS INSPECTION CONSTRUCTION DEPARTMENT 48 HOURS IN ADVANCE TO REQUEST WEEKEND WORK. REQUEST SHOULD BE SENT TO CONSTWORKREQ@SAWS.ORG.
 - ANY AND ALL SAWS UTILITY WORK INSTALLED WITHOUT HOLIDAY/WEEKEND APPROVAL WILL BE SUBJECT TO BE UNCOVERED FOR PROPER INSPECTION.
 - PRE CON SITE VIDEO: BEFORE THE START OF ANY CONSTRUCTION, THE SITE MUST BE VIDEO RECORDED BY THE CONTRACTOR WITH ONE COPY SUBMITTED TO SAWS INSPECTIONS. A PRE-CON VIDEO WILL PROVIDE ACCURATE DOCUMENTATION OF THE EXISTING CONDITIONS (NSPI).
 - POWER POLE BRACING: CONTRACTORS SHOULD BE ADVISED THAT THERE ARE EXISTING OVERHEAD UTILITY POLES ALONG THE PROJECT CORRIDOR. CONTRACTORS SHOULD FURTHER BE ADVISED THAT IF THE DISTANCE FROM THE OUTSIDE FACE OF A UTILITY TRENCH TO THE FACE OF A UTILITY POLE IS LESS THAN 5 FEET, SAID UTILITY POLE IS SUBJECT TO BEING BASED ON A DETERMINATION MADE BY UTILITY POLE OWNER. COSTS INCURRED BY CONTRACTOR FOR BRACING OF THESE UTILITY POLES IS SUBSIDIARY TO THAT RESPECTIVE UTILITY COMPANY'S WORK. IT IS ADVISABLE FOR THE CONTRACTOR TO REVIEW THE CONSTRUCTION DOCUMENTS, AND VISIT THE CONSTRUCTION SITE TO DETERMINE POTENTIAL IMPACTS.
 - CONSTRUCTION SEQUENCING: IT IS THE CONTRACTOR SOLE RESPONSIBILITY TO SCHEDULE SEQUENCING FOR REMOVAL AND INSTALLATION OF EXISTING AND PROPOSED SAWS UTILITIES IN CONJUNCTION WITH GENERAL PROJECT CONSTRUCTION. SEQUENCE OF CONSTRUCTION ACTIVITIES SHALL BE CONSIDERED IN ORDER TO MINIMIZE THE EXTENT AND DURATION OF DISTURBANCES.
- WATER SERVICE:**
- PRIOR TO TIE-INS, ANY SHUTDOWNS OF EXISTING MAINS OF ANY SIZE MUST BE COORDINATED WITH THE SAWS INSPECTION AND/OR SAWS PRODUCTION GROUPS AT LEAST TWO WEEKS OR MORE IN ADVANCE OF THE SHUTDOWN. THE CONTRACTOR MUST ALSO PROVIDE A SEQUENCE OF WORK AS RELATED TO THE TIE-INS; THIS IS AT NO ADDITIONAL COST TO SAWS OR THE PROJECT AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE THE WORK ACCORDINGLY. SAWS PRODUCTION CONTROL CENTER 210-233-2016
 - ASBESTOS CEMENT (AC) PIPE, ALSO KNOWN AS TRANSITE PIPE WHICH IS KNOWN TO CONTAIN ASBESTOS-CONTAINING MATERIAL (ACM), IS LOCATED WITHIN THE PROJECT LIMITS. SPECIAL WASTE MANAGEMENT PROCEDURES AND HEALTH AND SAFETY REQUIREMENTS WILL BE APPLICABLE WHEN REMOVAL AND/OR DISTURBANCE OF THIS PIPE OCCURS. PAYMENT FOR SUCH WORK IS TO BE MADE UNDER ITEM NO. 3000, "HANDLING ASBESTOS CEMENT PIPE."
 - VALVE REMOVAL: WHERE THE CONTRACTOR IS TO ABANDON A WATER MAIN, THE CONTROL VALVE LOCATED ON THE ABANDONING BRANCH WILL BE REMOVED AND REPLACED WITH A CAP/PLUG. (NSPI)
- TREE PROTECTION AND PRESERVATION GENERAL NOTES**
- NO UTILITY OR STREET EXCAVATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED.
 - TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. DURING CONSTRUCTION ACTIVITY, AT LEAST A SIX-INCH LAYER OF COARSE MULCH SHALL BE PLACED AND MAINTAINED OVER THE ROOT PROTECTION ZONE (NO SEPARATE PAY ITEM).
 - THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR FOR GUIDANCE.
 - ROOTS WILL BE CUT WITH A ROCK SAW OR BY HAND, NOT BY AN EXCAVATOR OR OTHER ROAD CONSTRUCTION EQUIPMENT.
 - ALL CURB AND SIDEWALK WORK SHALL USE ALTERNATIVE CONSTRUCTION METHODS TO MINIMIZE EXTENSIVE ROOT DAMAGE TO TREES (REFER TO DETAILS).
 - EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH, OR WET BURLAP.
 - NO EQUIPMENT, VEHICLES OR MATERIALS SHALL OPERATE OR BE STORED WITHIN THE ROOT PROTECTION ZONE OF ANY TREE NEAR THE PROJECT. ROOT PROTECTION ZONE IS 1 FOOT OF RADIUS PER INCH OF TREE'S DIAMETER. A 10-INCH DIAMETER TREE WOULD HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT TO PROTECT THE TREE. PROPER PRUNING METHODS, OAK WOUNDS SHALL BE PAINTED OVER WITHIN 30 MINUTES TO PREVENT OAK WILT.
 - SAPLINGS, SHRUBS OR BUSHES TO BE CLEARED FROM THE PROTECTED ROOT ZONE AREA OF A LARGE TREE SHALL BE REMOVED BY HAND AS DESIGNATED BY THE INSPECTOR.
 - NO WIRES, NAILS OR OTHER MATERIAL MAY BE ATTACHED TO PROTECTED TREES.
 - TREES, TREE LIMBS, BUSHES AND SHRUBS LOCATED IN THE CITY STREET OR ALLEY 10 FEET OR MORE FROM LIMBS, BUSHES AND SHRUBS LOCATED IN THE CITY STREET OR ALLEY CONSTRUCTION ACTIVITIES SHALL BE PROPERLY PRUNED FOLLOWING THE ANSI A-300 STANDARDS FOR PRUNING. ALL TREE PRUNING SHALL BE COMPLETED BY A CITY OF SAN ANTONIO TREE MAINTENANCE LICENSED CONTRACTOR (ARTICLE 21-171, CITY CODE) ONLY AFTER APPROVAL FROM THE CAPITAL PROJECTS MANAGEMENT THROUGH THE INSPECTOR.
 - NO EXCESSIVE TREE TRIMMING WILL BE PERMITTED.
 - ALL DEBRIS GENERATED BY THE PRUNING AND TRIMMING OF THE TREES AND / OR BUSHES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY (NO SEPARATE PAY ITEM).
 - TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE, BUT NOT LIMITED TO: WATERING THE ROOT PROTECTION ZONE, WASHING FOLIAGE, FERTILIZATION, PRUNING, ADDITIONAL MULCH APPLICATIONS AND OTHER MAINTENANCE AS NEEDED ON THE PROJECT.
 - ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST. (207-0278)
 - TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE CITY'S SATISFACTION.
 - TREE PLANTING FOR MITIGATION OR ENHANCEMENT: ALL PLANTED TREES SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THIS INCLUDES IRRIGATION, FERTILIZING, PRUNING AND OTHER MAINTENANCE AS NEEDED ON THE PROJECT. TREES THAT DIE WITHIN TWELVE (12) MONTHS SHALL BE REPLACED WITH A TREE OF EQUAL SIZE AND SPECIES.



ESTIMATED WATER QUANTITIES

ITEM	DESCRIPTION	UNIT	QTY
SAWS 100	MOBILIZATION	LS	1
SAWS 101	PREPARATION OF RIGHT-OF-WAY	LS	1
SAWS 550	WTR TRENCH EXCAVATION PROTECTION	LF	179
SAWS 822	3/4" LONG YARD PIPING (OPEN CUT)	LF	156
SAWS 824	NEW 3/4" SHORT SERVICE	EA	1
SAWS 824.5	CUSTOMER SHUT-OFF VALVE	EA	1
SAWS 832	8" x 3/4" TAPPING SLEEVE AND VALVES	EA	1
SAWS 833	METER AND METER BOX INSTALLATION	EA	1
SAWS 840	TIE-IN (COMPLETE) (8")	EA	1
SAWS 841	HYDROSTATIC TEST	EA	1
COSA 103.1	REMOVE CONCRETE CURB (< 700 LF)	LF	3
COSA 103.3	REMOVE CONCRETE SIDEWALK (< 1000 SF)	SF	20
COSA 413.1	FLOWABLE FILL	CY	2
COSA 500.4	CONCRETE CURB (< 1000 LF)	LF	3
COSA 502.1	CONCRETE SIDEWALKS (< 150 SY)	SY	3
COSA 511.3	HMA C-TYPE D (2" COMPACTED DEPTH)	SY	18
COSA 511.3	ATB (8" COMPACTED DEPTH)	SY	15
COSA 515.1	TOPSOIL (< 500 CY)	CY	6
COSA 520.1	HYDROMULCHING	SY	30
COSA 540.1	TEMPORARY EROSION & SWGP	LS	1



100% SUBMITTAL

Professional Engineer seals for Leonard Dale Young, P.E. (61852) and Jaime Noriega, P.E. (93788). Signatures and dates: 06/16/2023.

LEGEND

(Symbol)	EXIST CONCRETE
(Symbol)	EXIST SANITARY SEWER MAIN
(Symbol)	WASTE WATER MANHOLE
(Symbol)	ROW
(Symbol)	EXIST WATER MAIN
(Symbol)	PR STEEL CASING
(Symbol)	EXIST GAS LINE
(Symbol)	EXIST COMMUNICATION UTILITY
(Symbol)	EXIST OVERHEAD UTILITY
(Symbol)	EXIST STORM DRAIN LINE
(Symbol)	EXIST FENCE
(Symbol)	PR SILT FENCE

WATER PLAN

DUNAWAY
816 Compton St., Suite 244, San Antonio, Texas 78212
Tel: 210.267.5246
FAX: 210.267.5246

BEACON HILL LINEAR PARK IMPROVEMENTS
SAN ANTONIO, TEXAS

YOUNG PROFESSIONAL RESOURCES
8840 Farmington Drive, Suite 209
San Antonio, TX 78217
Tel: (210) 590-9215 Fax: (210) 590-9346
Registration No. F-8635

REVISIONS

NO.	DATE	DESCRIPTION

JOB NO. 8582

DESIGNED BY: AS

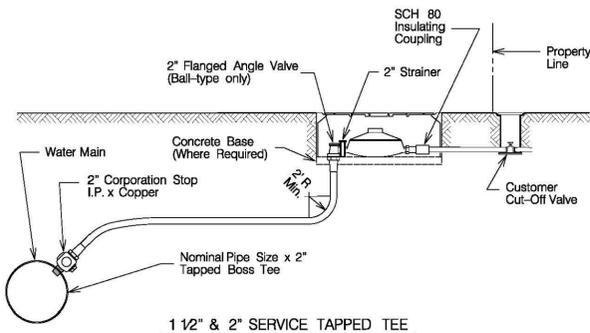
DRAWN BY: AS

CHECKED BY: JN

DATE: 06-16-2023

SHEET: 1 OF 2

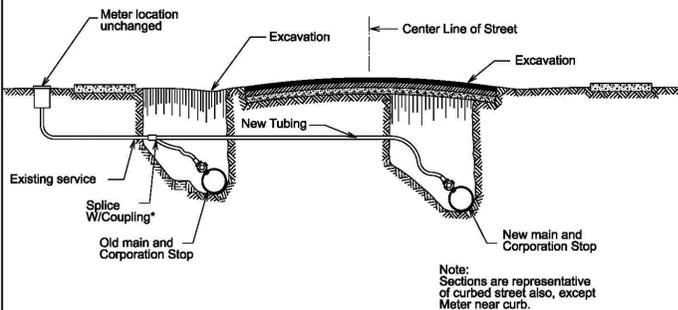
PIPE DIAMETER	SERVICE SIZE			
	3/4"	1"	1 1/2"	2"
6" A.C.	Tap With Service Saddle			
6" C.I. or D.I.	Tap	Tap	Tap With Service Saddle	Tap With Service Saddle
8" A.C.	Tap With Service Saddle			
8" C.I. or D.I.	Tap	Tap	Tap With Service Saddle	Tap With Service Saddle
8" PVC	Tap With Service Saddle			
10" A.C.	Tap With Service Saddle			
10" C.I. or D.I.	Tap	Tap	Tap With Service Saddle	Tap With Service Saddle
10" PVC	Tap With Service Saddle			
12" A.C.	Tap With Service Saddle			
12" C.I. or D.I.	Tap	Tap	Tap With Service Saddle	Tap With Service Saddle
12" PVC	Tap With Service Saddle			
16" A.C.	Tap With Service Saddle			
16" C.I. or D.I.	Tap	Tap	Tap With Service Saddle	Tap With Service Saddle



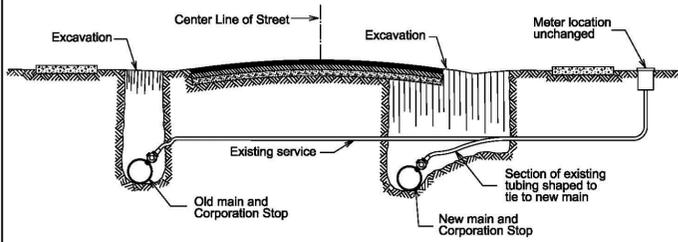
Note:
For direct tap to main, see Tapping Schedule

PROPERTY OF SAN ANTONIO WATER SYSTEM SAN ANTONIO, TEXAS	COPPER SERVICE INSTALLATION TAPPING SCHEDULE	APPROVED March 2008	REVISED
DD-824-01		SHEET 3 OF 3	

* No splicing shall be accepted where the service line occurs under any pavement or impervious cover.

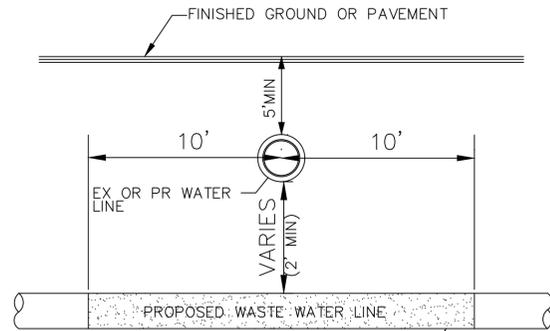


LONG RECONNECTION BETWEEN
OLD MAIN AND METER ON OPPOSITE SIDE
OF STREET FROM NEW MAIN



SHORT RECONNECTION BETWEEN
NEW MAIN AND METER ON OPPOSITE
SIDE OF STREET FROM OLD MAIN

PROPERTY OF SAN ANTONIO WATER SYSTEM SAN ANTONIO, TEXAS	SERVICE RECONNECTION 3/4" THRU 2"	APPROVED MARCH 2008	REVISED APRIL 2014
DD-824-03		SHEET 2 OF 2	

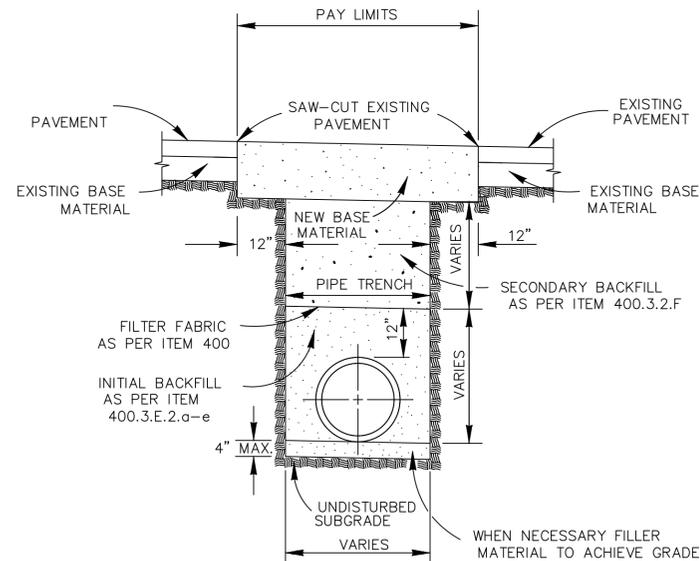


NOTE: SEWER PIPE WHERE WATER LINE CROSSES SHALL BE 160 PSI AND MEET THE REQUIREMENTS OF ASTM D2241 WITH ONE 20' LONG SECTION CENTERED AT THE WATER LINE

WASTE WATER PASSES UNDER WATER LINE

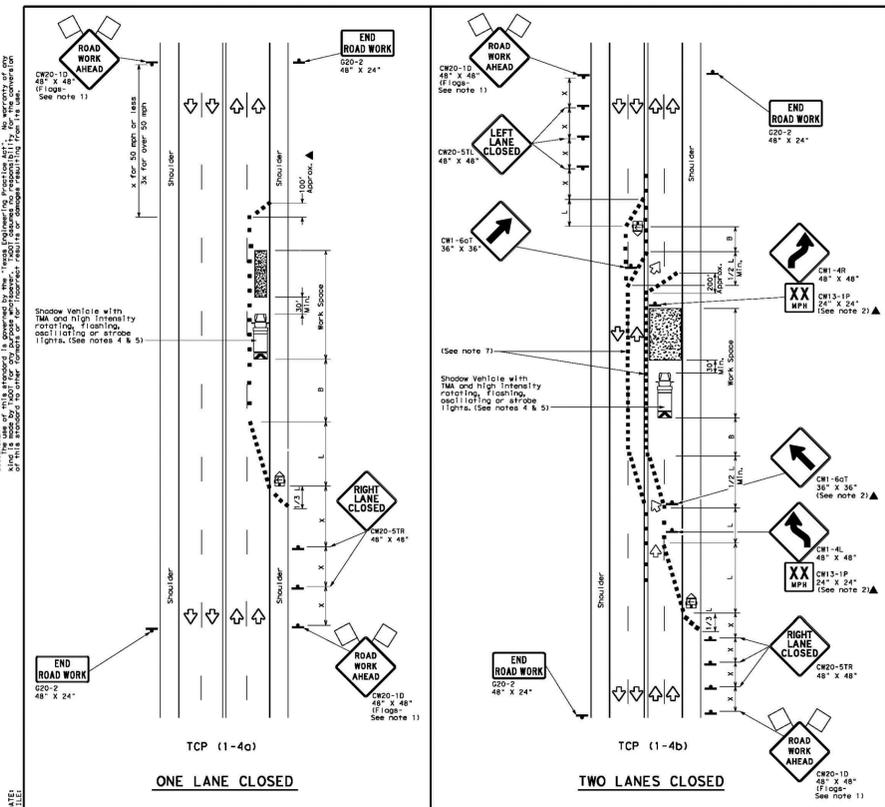
NOTE:
SEPARATION DISTANCE AND PROTECTION REQUIREMENTS OF 30 TAC 217.53(d) AND 290.44(e) ARE TO BE IMPLEMENTED.

TYPICAL WASTE WATER/
WATER CROSSING DETAILS
SCALE: NTS



NOTES:
1. FOR LOCAL TYPE "A" & "B" STREETS (RESIDENTIAL) USE 8" ASPHALT CONCRETE BASE TYPE "B" WITH 2" TYPE "D" HOT MIX ASPHALTIC CONCRETE PAVEMENT.
2. FOR ARTERIAL & SECONDARY STREETS (COMMERCIAL) USE 12.5" TYPE "B" HOT MIX ASPHALTIC CONCRETE PAVEMENT LEVELING-UP COURSE & 2" TYPE "D" HOT MIX ASPHALTIC CONCRETE PAVEMENT SURFACE COURSE.

TYPICAL PAVEMENT REPLACEMENT
SCALE: NTS



LEGEND		Channelizing Devices	
Type 3 Barricade	Truck Mounted Attenuator (TMA)	Channelizing Device	Channelizing Device
Heavy Work Vehicle	Truck Mounted Attenuator (TMA)	Channelizing Device	Channelizing Device
Friction Mounted Floating Arrow Board	Friction Mounted Floating Arrow Board	Channelizing Device	Channelizing Device
Sign	Sign	Channelizing Device	Channelizing Device
Flag	Flag	Channelizing Device	Channelizing Device

Posted Speed	Formula	Minimum Spacing	Suggested Spacing	Minimum Spacing	Suggested Spacing
30	150' + 10'	150'	180'	30'	40'
35	205' + 10'	205'	245'	35'	45'
40	265' + 10'	265'	320'	40'	50'
45	325' + 10'	325'	380'	45'	55'
50	385' + 10'	385'	440'	50'	60'
55	445' + 10'	445'	500'	55'	65'
60	505' + 10'	505'	560'	60'	70'
65	565' + 10'	565'	620'	65'	75'
70	625' + 10'	625'	680'	70'	80'
75	685' + 10'	685'	740'	75'	85'

TYPICAL USAGE			
MOBILE	SHORT DURATION	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY
✓	✓	✓	✓

GENERAL NOTES

- Flags attached to signs where shown are REQUIRED.
- All traffic control devices illustrated are REQUIRED, except those denoted with the triangle symbol may be omitted when stated elsewhere in the plan, or for routine maintenance work, when approved by the Engineer.
- The CPO-10 ROAD WORK AHEAD sign may be replaced if the visibility of the work zone is less than 1500 feet.
- A shadow vehicle with a TMA should be used on the rear of the work zone. If a shadow vehicle is not present but road or work conditions require the traffic control to remain in place, Type 3 barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
- Additional Shadow Vehicles with TMA may be positioned off the paved surface, next to those shown in order to protect wider work spaces.

TCP (1-4a)
If this (1P) is used for a left lane closure, CPO-10 LEFT LANE CLOSED sign should be used and channelizing devices shall be placed on the centerline where needed to protect the work space from opposing traffic with the arrow point placed in the closed lane near the end of the merging lane.

TCP (1-4b)
If traffic is directed over a low centerline, channelizing devices which separate two-way traffic should be spaced on topes at 20' or 15' if posted speeds are 35 mph or slower, and for tangent sections, at 1/25 where S is the speed in mph. This tighter device spacing is intended for the areas of conflicting markings, not the entire work zone.

NO.	DATE	DESCRIPTION	
			REVISIONS

DUNAWAY

816 Compton St. • Suite 2.44 • San Antonio, Texas 78212
Tel: 210.267.5246
Fax: 210.267.5246

BEACON HILL LINEAR
PARK IMPROVEMENTS

SAN ANTONIO, TEXAS

100% SUBMITTAL

LEONARD DALE YOUNG, P.E.
JAIME NORIEGA, P.E.

06/16/2023
06/16/2023

DATE

JOB NO. 8582
DESIGNED BY: AS
DRAWN BY: AS
CHECKED BY: JN
DATE: 06-16-2023
SHEET: 2 OF 2

Beacon Hill Linear Park

Council District 1 | Budget \$500,000.00



PROJECT BACKGROUND

The Beacon Hill Linear Park is a linear urban park that jogs throughout the Beacon Hill Neighborhood. The Park is 3.5 acres in size and sits atop a storm water drainage right of way defined by a pair of subgrade 9"x9' stormwater culverts that empty into Martinez Creek at the southern end of the park. This project focuses on the development of one block parcel, address at 1032 W. Rosewood Ave, into two designed dog park areas. The project honors the location of the existing stormwater inlets.

PROJECT SCOPE

Funding language: Construct general park improvements within available funding which may include lighting at the basketball court and a dog park.

This project develops one block section (.72 Acres) of Beacon Hill Linear Park into a two fenced in off leash dog areas flanked by an existing decomposed granite trail and connected by an entrance vestibule. The entire dog park is surrounded by a six foot height fence and includes a large dog area and a small dog area. The development will incorporate two drainage inlets that make up the subgrade stormwater culvert system and it will protect the inlet with a rock and boulder filtration feature. A common shade structure will be split between each park. Both enclosures will have common amenities (trash receptacles, benches and picnic tables) and dog agility play equipment. A drinking fountain will be split between each enclosure and an additional standard drinking fountain will be located just outside of the park. An accessible concrete path will lead patrons into each of the enclosures and the existing dog park trail will provide the path out. Parts of the dog trail will be relocated. Temporary irrigation will establish grasses and a SAWS water meter of 3/4 inch will provide the service to both drinking fountains.



PROJECT DELIVERY	
Project Status	Schematic Design
Design Firm	Dunaway
Construction Firm	TBD
PROJECT SCHEDULE	
Design Start	September 2022
Design Finish	September 2024
Advertisement Date	October 2024
Construction Start	February 2025
Construction Completion	August 2025
PROJECT BUDGET	
Construction Budget	328,665.00
Total Budget	\$328,665.00
FUNDING SOURCES	
2022 General Obligation Bond Program	\$500,000.00
Total Funding	\$500,000.00

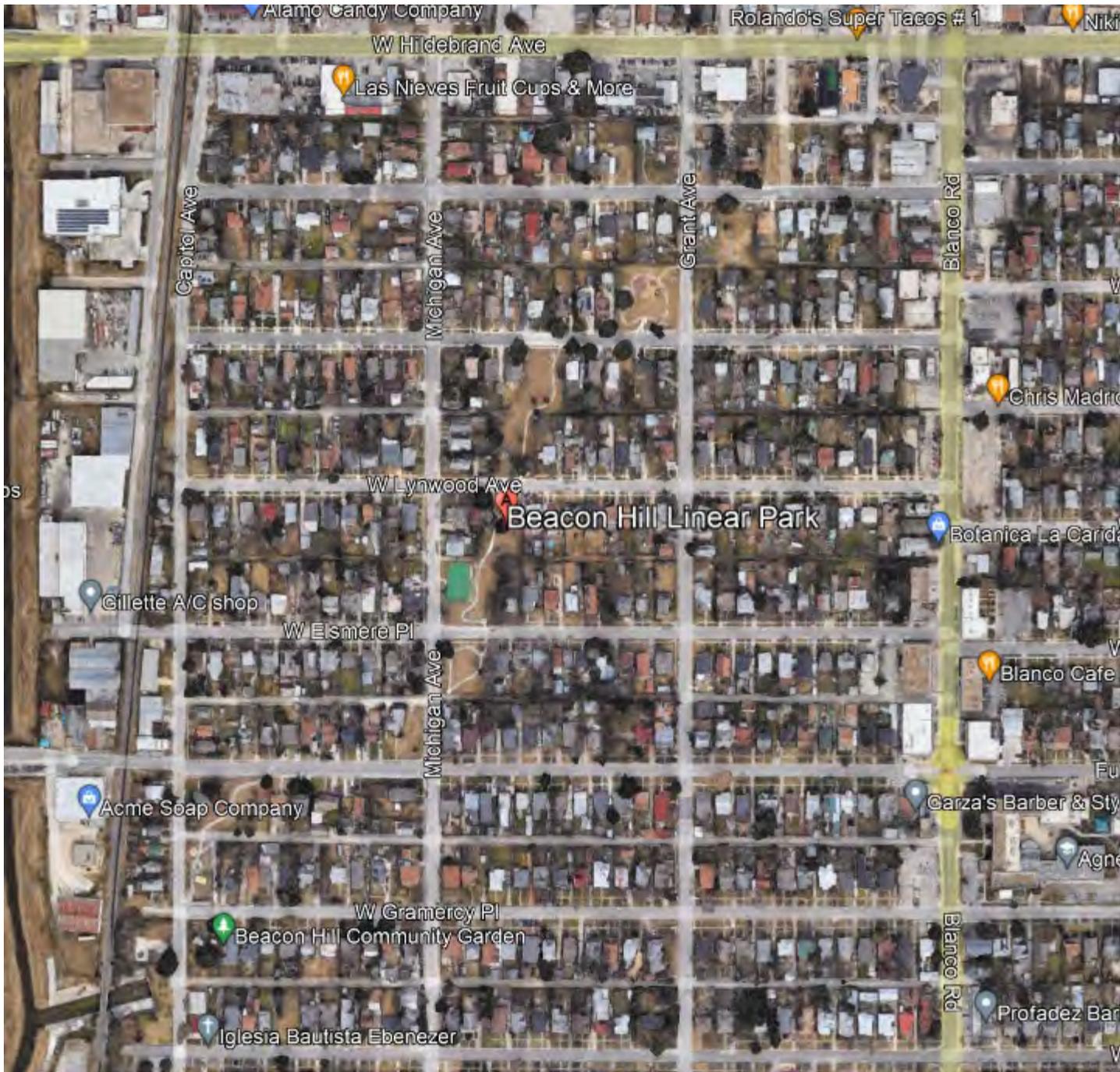


Figure 1. Beacon Hill Linear Park spans from Hildebrand Ave to W. Gramercy Place. Retrieved 12 June 23 from Google Earth.

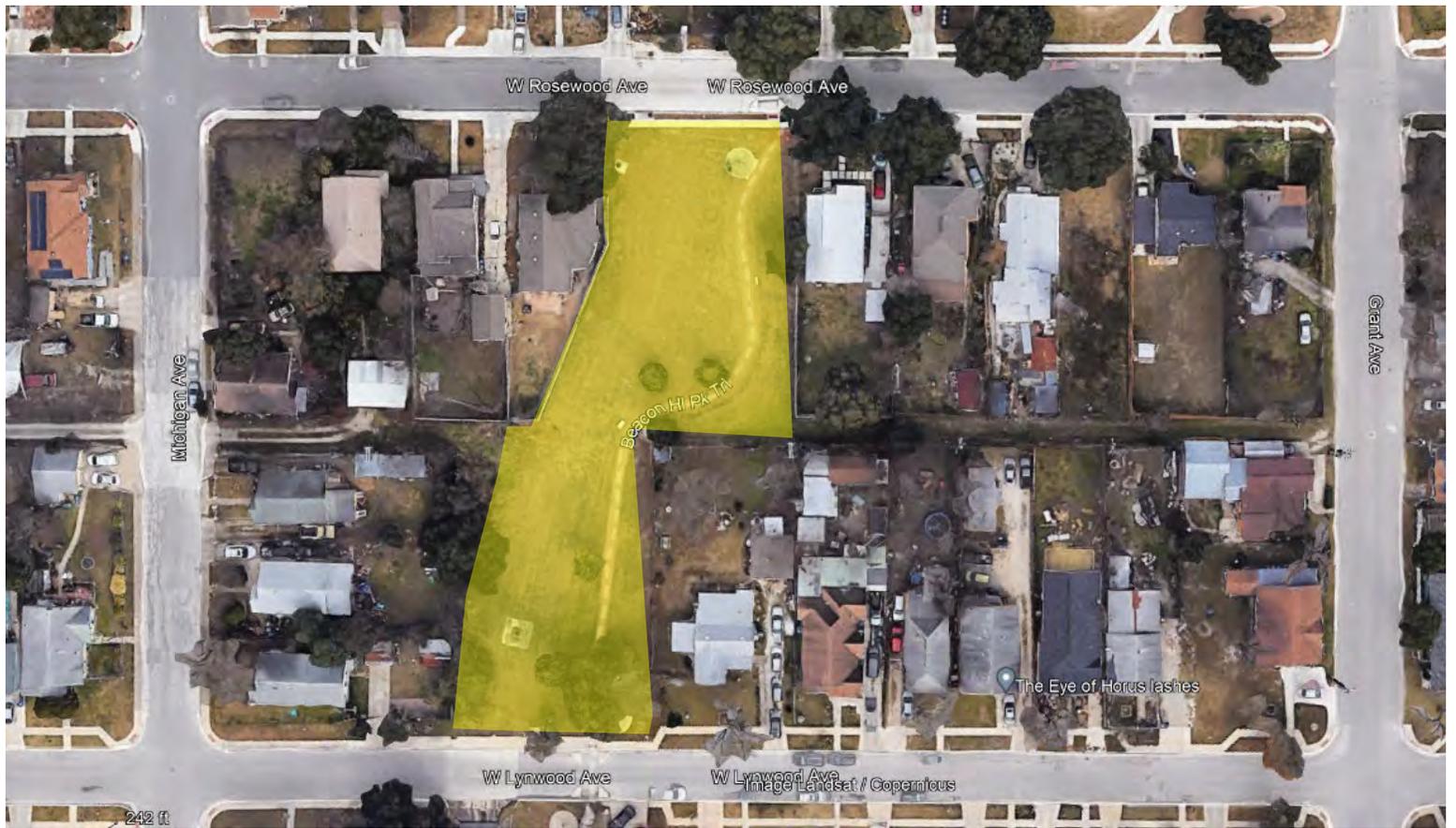


Figure 2. Shaded area indicates project limits between Rosewood Ave. and W. Lynwood Ave. Google Earth Photo Retrieved 12 Jun 23.



Figure 3. Schematic Design of the North Half of the Parcel.



Figure 4. Schematic Design of the South Half of the Parcel.