

HISTORIC AND DESIGN REVIEW COMMISSION

August 16, 2023

HDRC CASE NO: 2023-307
ADDRESS: 215 QUENTIN DR
LEGAL DESCRIPTION: NCB 8411 BLK 6 LOT 66
ZONING: R-6, H
CITY COUNCIL DIST.: 7
DISTRICT: Monticello Park Historic District
APPLICANT: Jennifer Tanner | Rhino Roofers
OWNER: Adolfo Alaniz
TYPE OF WORK: Roofing replacement
APPLICATION RECEIVED: July 31, 2023
60-DAY REVIEW: September 29, 2023
CASE MANAGER: Bryan Morales

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to replace the existing composition shingle roof with a standing seam metal roof in a galvalume finish and to replace the existing bitumen roof in-kind in the color white.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

3. Materials: Roofs

A. MAINTENANCE (PRESERVATION)

i. *Regular maintenance and cleaning*—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.

ii. *Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.

iii. *Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.

iv. *Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.

v. *Materials: flat roofs*—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.

vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.

vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

FINDINGS:

- a. The primary structure located at 215 Quentin Drive is a one-story, single-family Ranch style home and first appears on the 1951 Sanborn map. The structure features a composition shingle gabled roof with a slight cross-hip overhang over the garage opening, painted brick exterior, and a wood picket fence. This property contributes to the Monticello Park Historic District.
- b. **ROOF REPLACEMENT** – The applicant is requesting to change the existing composition shingle roof to a standing seam metal roof on the primary and secondary structures. The Historic Design Guidelines for Exterior Maintenance

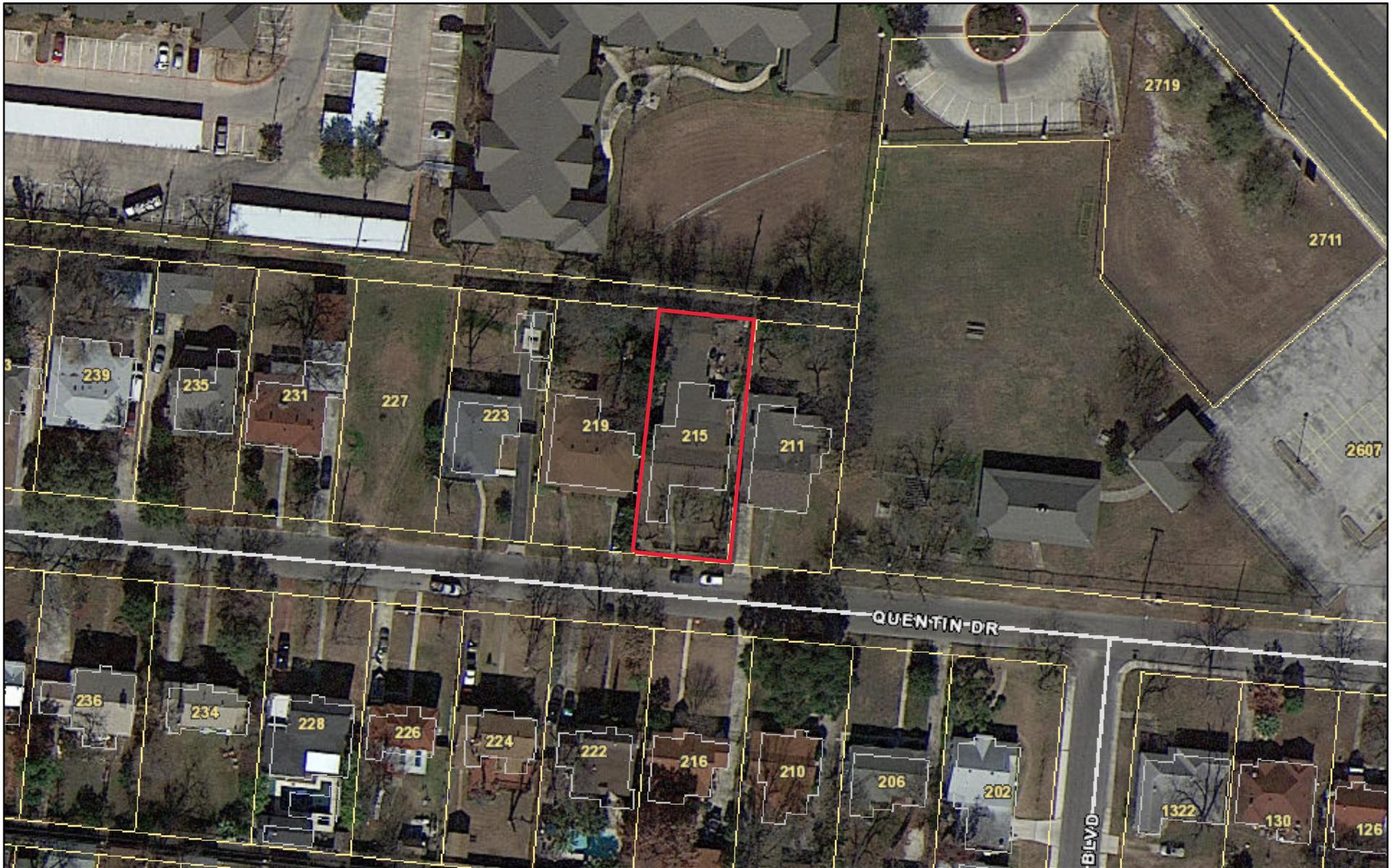
and Alterations 3.B.vi. states to use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. The 1951 Sanborn map indicates that the structure originally has had a composition shingle roof and continues to have one currently. Staff finds the roofing replacement of the bitumen roofing system on the shade structure and carport in-kind conforms to guidelines. Staff finds that the change of material from composition shingle to standing seam metal is generally appropriate.

RECOMMENDATION:

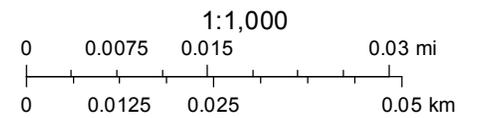
Staff recommends approval of the request, based on findings a and b, with the following stipulations:

- i. That the applicant install a standing seam metal roof featuring panels that are 18 to 21 inches wide, seams that are 1 to 2 inches high, a crimped ridge seam, and match the current finish or a standard galvalume finish. Panels should be smooth without striation or corrugation. Ridges are to feature a double-munch or crimped ridge configuration; no vented ridge caps or end caps are allowed. All chimney, flue, and related existing roof details must be preserved. An inspection must be scheduled with OHP staff prior to the start of work to verify that the roofing material matches the approved specifications. No modifications to the roof pitch or roof form are requested or approved at this time.

City of San Antonio One Stop



August 11, 2023













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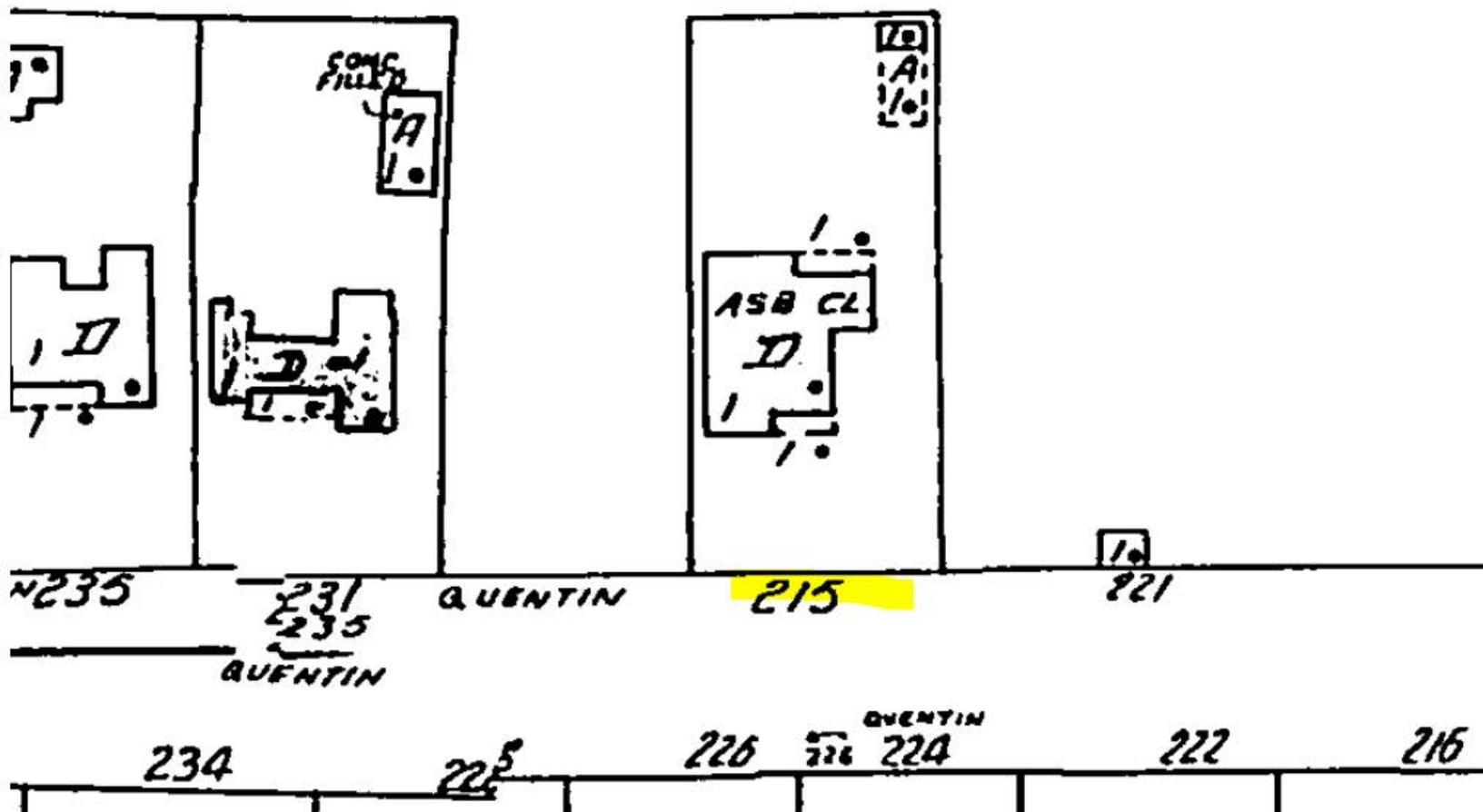
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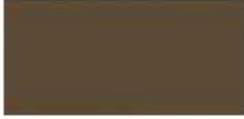
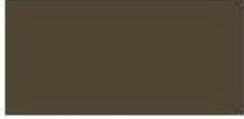
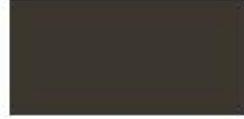
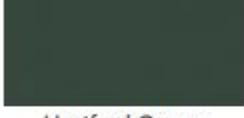
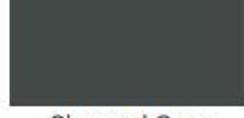
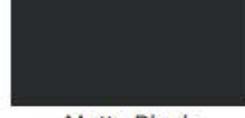
Volume:



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Standard Colors

				
Shasta White	Parchment	Almond	Sierra Tan	Buckskin
				
Medium Bronze	Aged Bronze	Copper Brown	Dark Bronze	Terra-Cotta
				
Deep Red	Colonial Red	Burgundy	Bristol Blue	Royal Blue
				
Patina Green	Hemlock Green	Teal Green	Forest Green	Evergreen
				
Hartford Green	Cityscape	Zinc Grey	Charcoal Grey	Matte Black

Premium Colors

Premium colors require a nominal surcharge.

	
Natural White	Award Blue

Metallic Colors

Metallic colors are premium finishes which require a nominal surcharge.

		
Champagne	Copper-Cote™	Antique Copper-Cote

Natural Metal Finish

Acrylic-Coated Galvalume® is a coated sheet product that combines the corrosion resistance of Galvalume® steel sheet with a clear, organic resin applied to the top side and bottom side of Galvalume® substrate.



Acrylic-Coated Galvalume®

		
Zinc-Cote™	Lead-Cote™	Preweathered Galvalume®

Print Pattern Finishes

Consult BMC on print pattern pricing and availability.

				
COR-TEN AZP® Raw	Walnut	Honey Walnut	Rosewood	Boston Cherry