

HISTORIC AND DESIGN REVIEW COMMISSION

July 19, 2023

HDRC CASE NO:	2023-249
ADDRESS:	1020 BURNET ST
LEGAL DESCRIPTION:	NCB 1660 BLK H LOT N 50 FT OF 6
ZONING:	R-6, H
CITY COUNCIL DIST.:	2
DISTRICT:	Dignowity Hill Historic District
APPLICANT:	Yolanda Guajardo/BRIDGE GROUP LLC
OWNER:	Yolanda Guajardo/BRIDGE GROUP LLC
TYPE OF WORK:	New construction of a one-story accessory structure
APPLICATION RECEIVED:	June 06, 2023
60-DAY REVIEW:	August 5, 2023
CASE MANAGER:	Jessica Anderson

REQUEST:

The applicant requests a Certificate of Appropriateness for approval to construct a 392-square-foot detached accessory structure.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

2. Building Massing and Roof Form

A. SCALE AND MASS

- i. *Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
- ii. *Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
- iii. *Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

- i. *Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on non-residential building types are more typically flat and screened by an ornamental parapet wall.

C. RELATIONSHIP OF SOLIDS TO VOIDS

- i. *Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.
- ii. *Façade configuration*— The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE

- i. *Building to lot ratio*— New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

- i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
- ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
- iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION

- i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.
- ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

Standard Specifications for Windows in Additions and New Construction

- **GENERAL:** New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below. Whole window systems should match the size of historic windows on property unless otherwise approved.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash.
 - This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- **COLOR:** Wood windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- **INSTALLATION:** Wood windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- **FINAL APPROVAL:** If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

FINDINGS:

- a. The property at 1020 Burnet is a single-story Craftsman-style residence built in 1916. The house is clad in cementitious shingle with a brick skirt on the primary elevation and board on the battered skirt of the secondary elevations. The front-gabled roof is clad in composition shingle and features exposed rafter tails and knee braces under the front eaves. Windows are rectangular one-over-one wood windows that appear in ganged pairs, ganged threes, or individually. The property contributes to the Dignowity Hill Historic District.

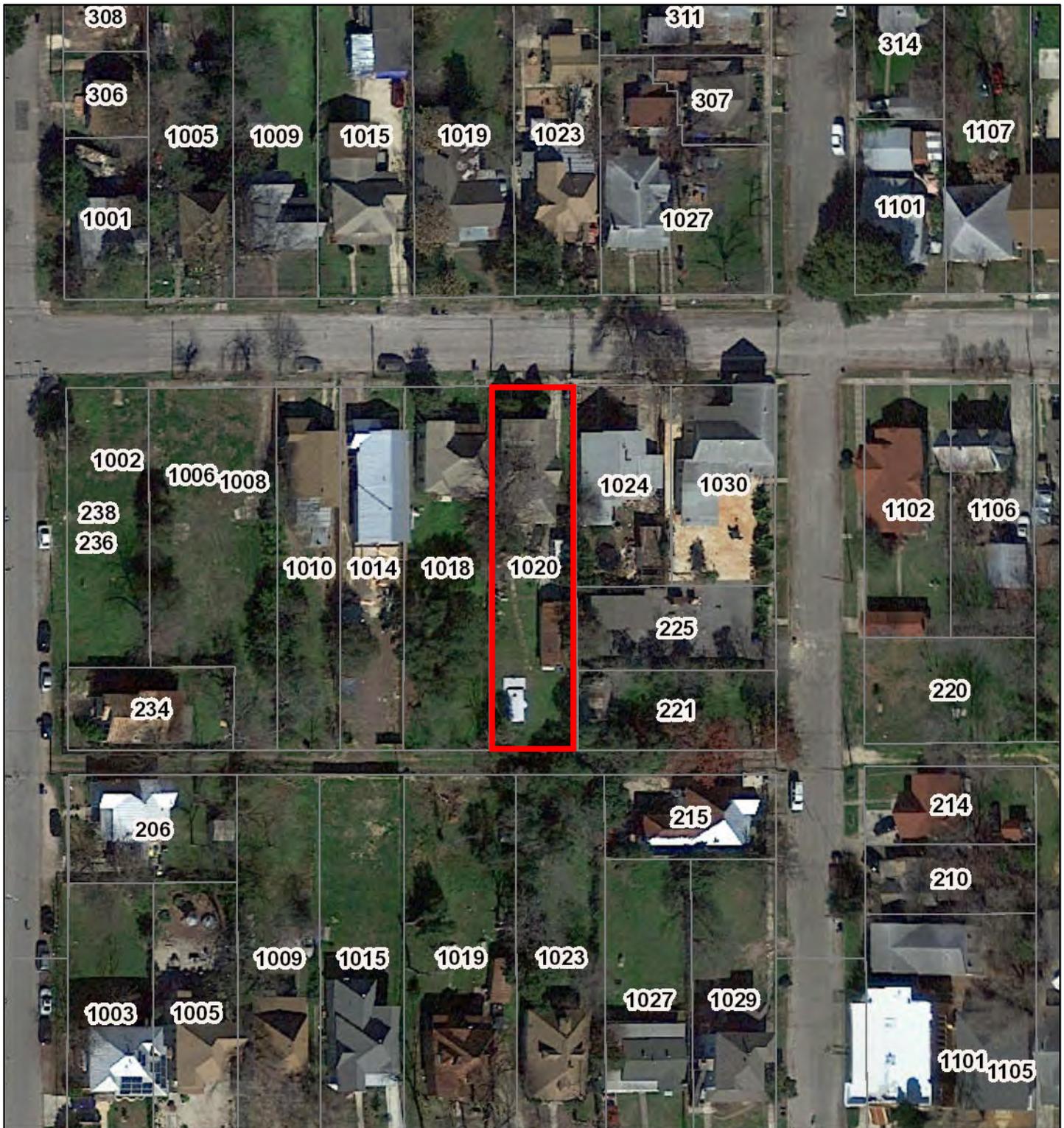
- b. **NEW CONSTRUCTION OF ACCESSORY STRUCTURE:** The applicant requests to construct a one-story, 392-square-foot detached accessory structure at the rear of the property. The Guidelines for New Construction 5.A. notes that new garages and outbuildings should be visually subordinate to the primary historic structure in terms of their height, massing, and form, and should be no larger in plan than forty percent of the primary historic structure's footprint. The existing one-story primary structure on the lot features a footprint of 1,501 square feet; staff administratively approved a 452-square-foot rear addition, bringing the total footprint of the primary structure to 1,953 square feet. The proposed one-story accessory structures feature a total footprint of 392 square feet, or approximately 20% of the primary structure's footprint. Accessory structures nearby are predominately single story. Staff finds the proposed height and general massing conform to historic design guidelines.
- c. **ORIENTATION & SETBACKS:** The applicant has proposed both an orientation and setback for the new accessory structure that are consistent with the Guidelines for New Construction 5.B.
- d. **ARCHITECTURAL DETAILS (MATERIALS):** The Guidelines for New Construction 5.A.iii and iv note that new accessory structures should relate to the period of construction of the primary historic structure on the lot through the use of complementary materials and simplified architectural details. The applicant proposes to clad the accessory structure in wood 117 siding and a composition shingle roof, with a half-lite wood door on the north elevation. Staff finds the request generally conforms to guidelines.
- e. **WINDOWS (MATERIAL):** The applicant proposes two one-over-one vinyl windows on the north elevation, flanking the front door. Windows on the primary historic structure are rectangular one-over-one wood windows that appear in ganged pairs, ganged threes, or individually. Per Standard Specifications for Windows in Additions and New Construction, new windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines. Staff finds the proposed window material is not consistent with these specifications.
- f. **WINDOWS (RELATIONSHIP OF SOLIDS TO VOIDS):** The applicant proposes two one-over-one windows on the north elevations, but does not include any windows on the other three elevations of the proposed accessory structure. Historic Design Guidelines for New Construction 2.C.1 says to incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Staff finds the proposed accessory structure does not conform to guidelines.

RECOMMENDATION:

Staff recommends approval of the request to construct a 392-square-foot detached accessory structure, based on findings a through f, with the following stipulations:

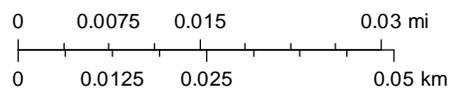
- i. That the applicant proposes a window product that conforms to Standard Specifications for Windows in Additions and New Construction, specifically a wood or aluminum-clad wood window product, as stated in finding e.
- ii. That the applicant introduces windows on the south, east, and west elevations, as stated in finding f.

City of San Antonio One Stop



July 13, 2023

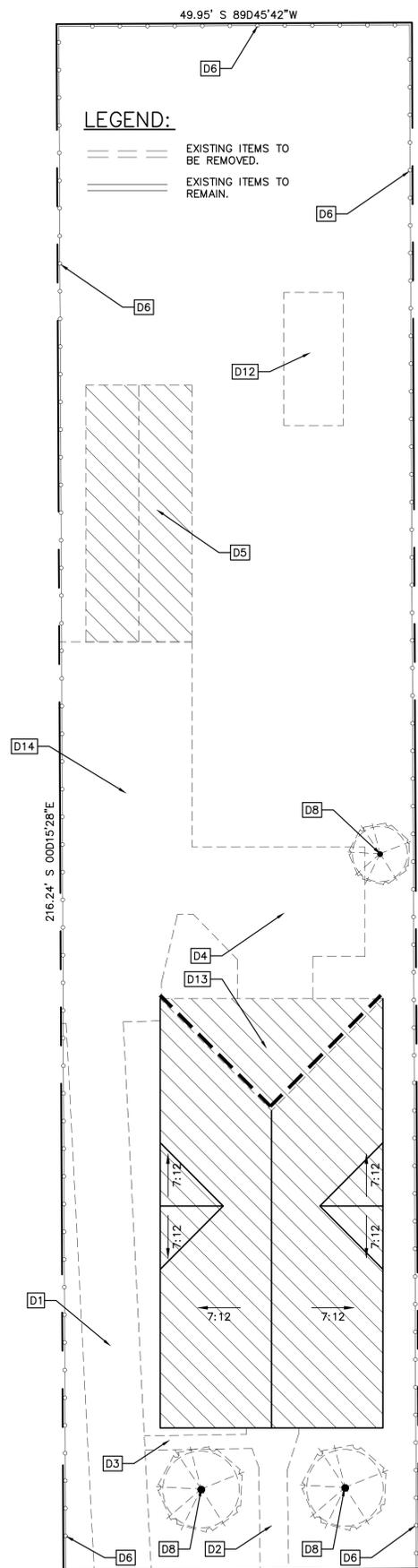
1:1,000



CoSA Addresses

CoSA Parcels

BCAD Parcels



LEGEND:

- EXISTING ITEMS TO BE REMOVED.
- EXISTING ITEMS TO REMAIN.

DEMOLITION KEYNOTE LEGEND

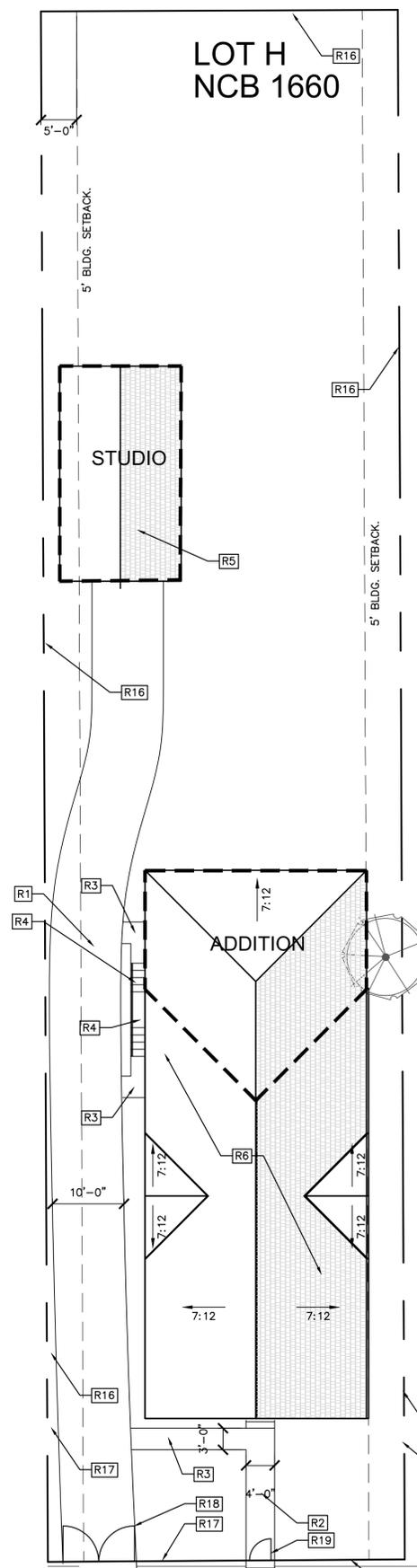
- D1 EXISTING 8' WIDE CONCRETE DRIVEWAYS TO BE REMOVED.
- D2 EXISTING 4' WIDE CONCRETE SIDEWALK TO BE REMOVED.
- D3 EXISTING 3' WIDE CONCRETE SIDEWALK TO BE REMOVED.
- D4 EXISTING CONCRETE PATIO TO BE REMOVED TO ACCOMMODATE FOR NEW ADDITION.
- D5 EXISTING ACCESSORY STRUCTURE AND CONCRETE FLATWORK TO BE REMOVED FOR NEW STUDIO AND CARPORT.
- D6 EXISTING METAL CHAIN AND LINK FENCE TO BE REMOVED.
- D7 EXISTING PLYWOOD AND DECORATIVE FAUX BRICK SKIRT TO BE REMOVED.
- D8 EXISTING TREES TO BE REMOVED.
- D8 EXISTING TREE TO BE TRIMMED.
- D9 REMOVE EXISTING FLOATING CONCRETE STEPS.
- D10 REMOVE EXISTING BRICK PLANTER.
- D11 REMOVE EXISTING METAL DECORATIVE BEAM SUPPORTS.
- D12 REMOVE EXISTING CONCRETE SLAB.
- D13 REMOVE PORTION OF EXISTING HIP ROOF FOR RENOVATION.
- D14 EXISTING CONCRETE FLATWORK TO BE REMOVED

RENOVATION KEYNOTE LEGEND

- R1 NEW 10' WIDE CONCRETE DRIVEWAY.
- R2 NEW 4' WIDE CONCRETE SIDEWALK.
- R3 NEW 3' WIDE CONCRETE SIDEWALK.
- R4 NEW CONCRETE LANDING AND 4' STEPS.
- R5 NEW STUDIO.
- R6. NEW COMPOSITION SHINGLE ROOF. COLOR ??
- R7. ALL EXISTING WINDOWS TO BE RESTORED.
- R8. NEW 6X6 WOOD POSTS WITH DECORATIVE SQUARE CAPITAL TOP AND BASE.
- R9. NEW WOOD SKIRT TO MATCH EXISTING WALL SIDING.
- R10. 2 FRONT DOORS TO MATCH EXISTING. SEE PHOTO ??.
- R11. NEW 3"x7/8" WOODEN DECK PORCH AND STEPS WITH "BACK TO FRONT" AND SLIGHT SLOPE ORIENTATED TO STREET.
- R12. PATCH AND PAINT 117 DROP SIDING DOUBLE TEARDROP.
- R13. PAINT EXISTING FASCIA RAKE BOARD.
- R14. REPAIR, PATCH AND PAINT EXISTING WINDOW AND DOOR TRIM.
- R15. PATCH AND PAINT EXISTING WOOD RAKE BRACKETS.
- R16. NEW PRIVACY CEDAR WOOD FENCE.
- R17. NEW DECORATIVE CEDAR WOOD FENCE.
- R18. NEW 10' VEHICULAR CEDAR WOOD GATE.
- R19. NEW 3' PEDESTRIAN CEDAR WOOD GATE.



1 DEMOLITION SITE PLAN
SCALE: 3/32"=1'-0"



LOT H
NCB 1660

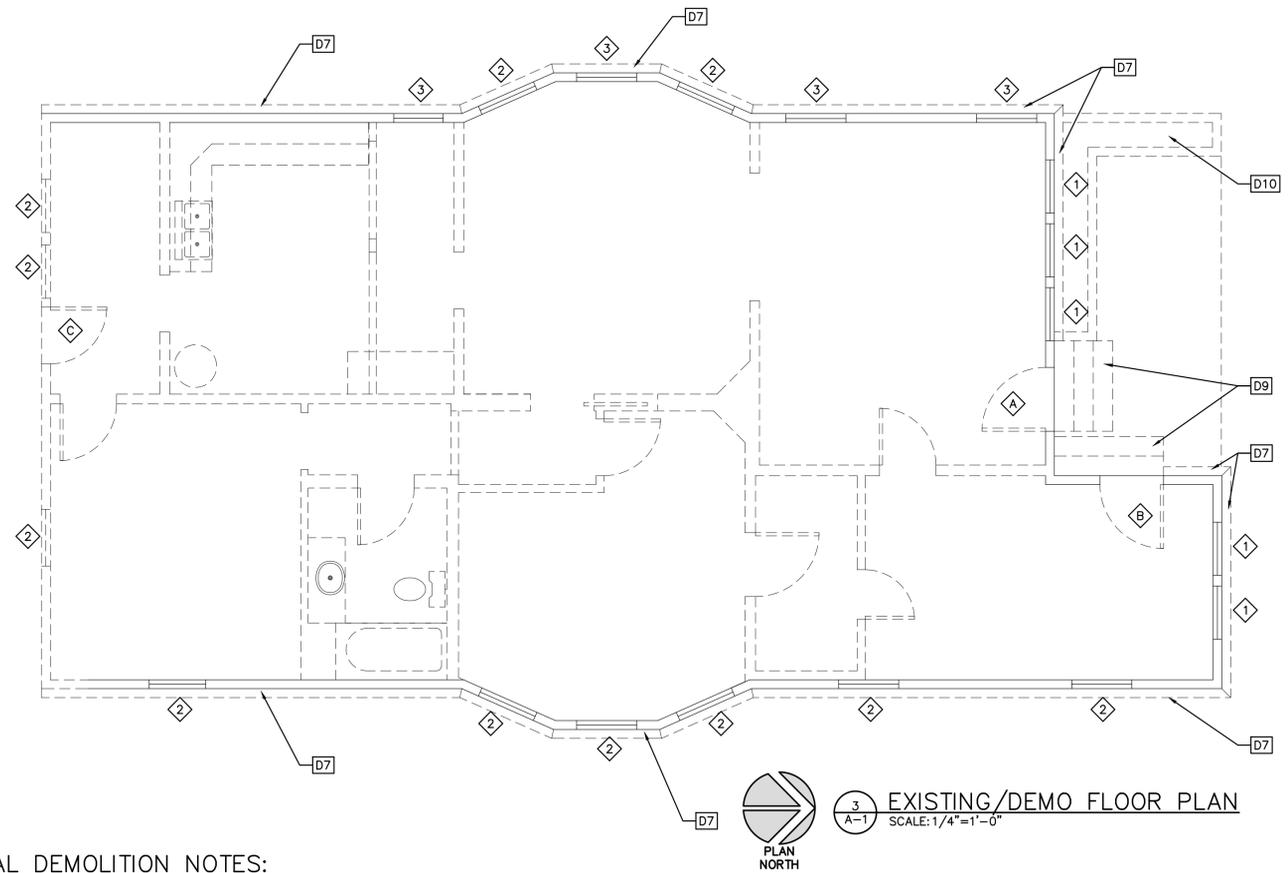
STUDIO

ADDITION

SQUARE FOOTAGES:	
EXISTING HOUSE	1,405 SF.
FRONT PORCH	135 SF.
ADDITION	452 SF.
STUDIO	392 SF.



2 RENOVATION SITE PLAN
SCALE: 3/32"=1'-0"



3 EXISTING/DEMO FLOOR PLAN
SCALE: 1/4"=1'-0"

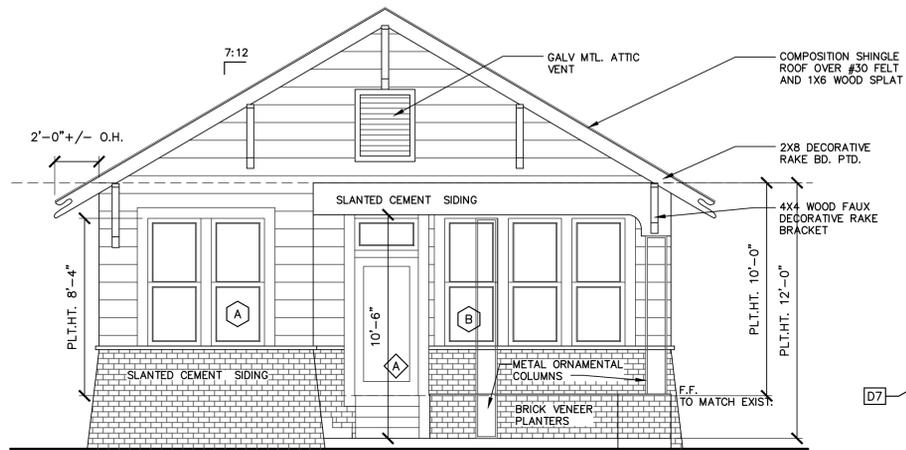
GENERAL DEMOLITION NOTES:

1. ALL DEMOLITION WORK TO BE DONE IN COMPLETE ACCORDANCE WITH: -LOCAL CODES AND ORDINANCES -FEDERAL SAFETY AND ENVIRONMENTAL REGULATIONS -INDUSTRY STANDARDS.
2. DEMOLITION DRAWINGS INDICATE GENERAL EXTENT OF DEMOLITION OF EXISTING ITEMS OF CONSTRUCTION AS REQUIRED FOR NEW CONSTRUCTION, INSTALLATION OF NEW FINISHES, ITEMS OF EQUIPMENT, ETC. AS INDICATED ELSEWHERE ON THESE DRAWINGS AND ARE NOT INTENDED TO INDICATE EVERY ITEM OF DEMOLITION REQUIRED TO COMPLETE THE WORK.
3. CONTRACTOR SHALL SCHEDULE DEMOLITION OF EXTERIOR RELATED ITEMS (I.E. ROOFS, WALLS, DOORS AND WINDOWS) TO COORDINATE WITH INSTALLATION OF NEW CONSTRUCTION. PROVIDE POSITIVE, WATER TIGHT PROTECTION OF OPENINGS IN BUILDING ENVELOPE DURING COMPLETION OF REPLACEMENT ITEMS OF CONSTRUCTION.
4. CONTRACTOR TO VERIFY LOAD-BEARING REQUIREMENTS OF ALL WALLS INDICATED FOR REMOVAL WITH THE STRUCTURAL ENGINEER PRIOR TO REMOVAL OF WALL.
5. REFER TO BALANCE OF DRAWINGS FOR ADDITIONAL INFORMATION.
6. REMOVE ALL EXISTING FLOOR FINISH, APPLIANCES, MILLWORK, LIGHTING FIXTURES, ELECTRICAL OUTLETS AND DAMAGED GYPSUM WALLBOARD, IN PREPARATION FOR NEW INSTALLATION OF NEW SCHEDULED CONSTRUCTION.
7. CONTRACTOR TO CAP OFF OR TERMINATE ALL ELECTRIC, WATER AND GAS LINES REMAINING FOLLOWING REMOVAL OF EXISTING CONSTRUCTION. PROVIDE PERMANENT TERMINATION AS REQUIRED BY CODE. REMOVE ALL ABANDONED WIRING, PIPING AND DUCTWORK.
8. ALL DEBRIS AND DEMOLISHED MATERIALS ARE TO BE REMOVED FROM THE JOBSITE ON A REGULAR BASIS. DO NOT ALLOW DEBRIS TO ACCUMULATE ON THE INTERIOR OF THE PROJECT OR ON THE EXTERIOR OF THE SITE. PROTECT ALL TREES DURING DEMOLITION AND CONSTRUCTION.
9. CONTRACTOR SHALL VERIFY ACCURACY OF DEMOLITION INFORMATION PROVIDED AND REPORT ANY DISCREPANCIES TO THE OWNER. THE COST OF ALL REQUIRED DEMOLITION, INDICATED OR NOT, AS DEEMED NECESSARY FOR COMPLETION OF THE WORK NOTED ELSEWHERE ON THESE DRAWINGS, SHALL BE INCLUDED IN THE CONSTRUCTION BID FOR THIS PROJECT.
10. GENERAL CONTRACTOR TO PROTECT ALL HARDSCAPE, SOFTSCAPE AND ALL OTHER BUILT-IN ELEMENTS TO REMAIN DURING DEMOLITION AND CONSTRUCTION
11. IF CONTRACTOR ENCOUNTERS OR SUSPECTS THE PRESENCE OF ASBESTOS DURING DEMOLITION OR DURING THE CONSTRUCTION PROCESS, HE WILL NOTIFY THE OWNER PRIOR TO REMOVAL OF ANY MATERIAL IN ORDER THAT PROPER ABATEMENT CAN BE DONE IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.
12. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO DEMOLITION.
13. LIMITS OF EXCAVATION FOR NEW ADDITION TO BE RESTRICTED TO THE LEAST AMOUNT OF AREA, AS NOT TO DISTURB THE HOUSE AND OTHER SITE FEATURES NOT INCLUDED IN THIS PROJECTS SCOPE OF WORK.
14. SALVAGE ALL MATERIAL AS REQUESTED BY OWNER.
15. PROVIDE PROPER DEBRIS AND DUST BARRIERS DURING CONSTRUCTION TO MINIMIZE AREAS NOT INCLUDED IN EXPANSION FROM CONSTRUCTION DEBRIS.
16. NOTIFY OWNER IN ADVANCE OF ANY DISCONNECTION OF UTILITY SERVICES PRIOR TO PROCEEDING.
17. NOTIFY OWNER PRIOR TO REMOVAL OF ANY TREES, LIMBS, OR LANDSCAPING FEATURES.
18. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE HOUSE DURING THE DURATION OF CONSTRUCTION.
19. CONTRACTOR TO SECURE MATERIALS REQUIRED TO BE STORED ON THE JOB SITE.
20. CONTRACTOR TO MAINTAIN THE SECURITY OF THE EXISTING RESIDENCE DURING THE ENTIRETY OF THIS CONSTRUCTION PROJECT.

INDEX OF DRAWINGS

- A1 SITE PLAN, DEMOLITION AND RENOVATION EXISTING AND DEMOLITION FLOOR PLAN & SHEET INDEX
- A2 HOUSE AND STUDIO RENOVATION PLAN
- A3 EXISTING NORTH, SOUTH, EAST, WEST ELEVATIONS & EXISTING DOOR AND WINDOW TYPES.
- A4 NEW NORTH, SOUTH, EAST, WEST ELEVATIONS, BUILDING SECTION, TYP. WALL SECTION & DECORATIVE FENCE ELEVATION
- A5 HOUSE AND STUDIO ELECTRICAL PLANS & TYP. WALL SECTION
- A6. INTERIOR ELEVATIONS AND NORTH, SOUTH STUDIO ELEVATIONS AND BUILDING SECTION.

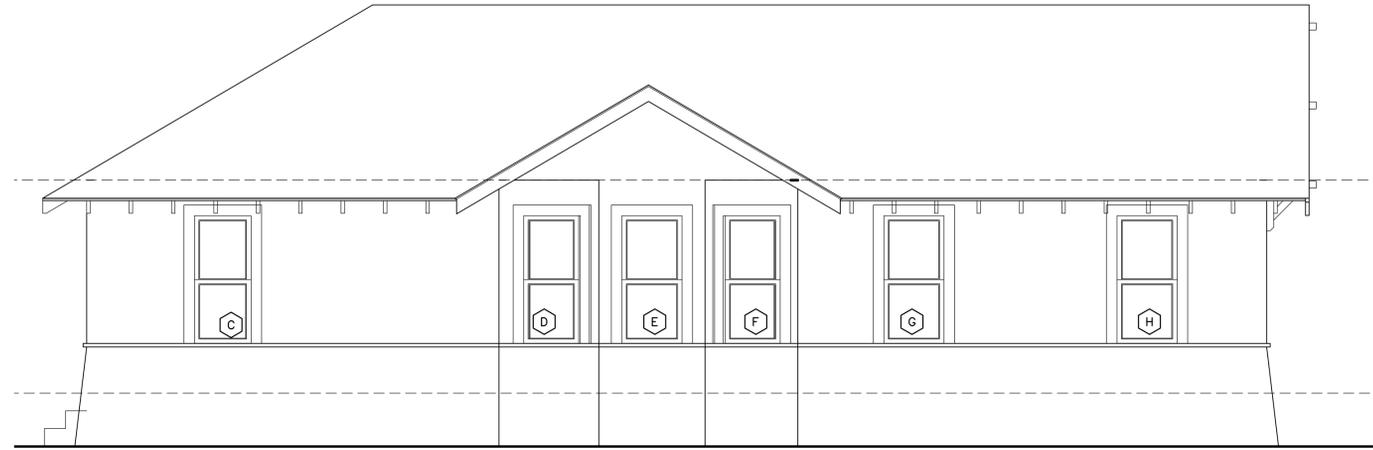
HOUSE RENOVATION



1 EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



5 EXISTING NORTH ELEVATION
SCALE: N.T.S.



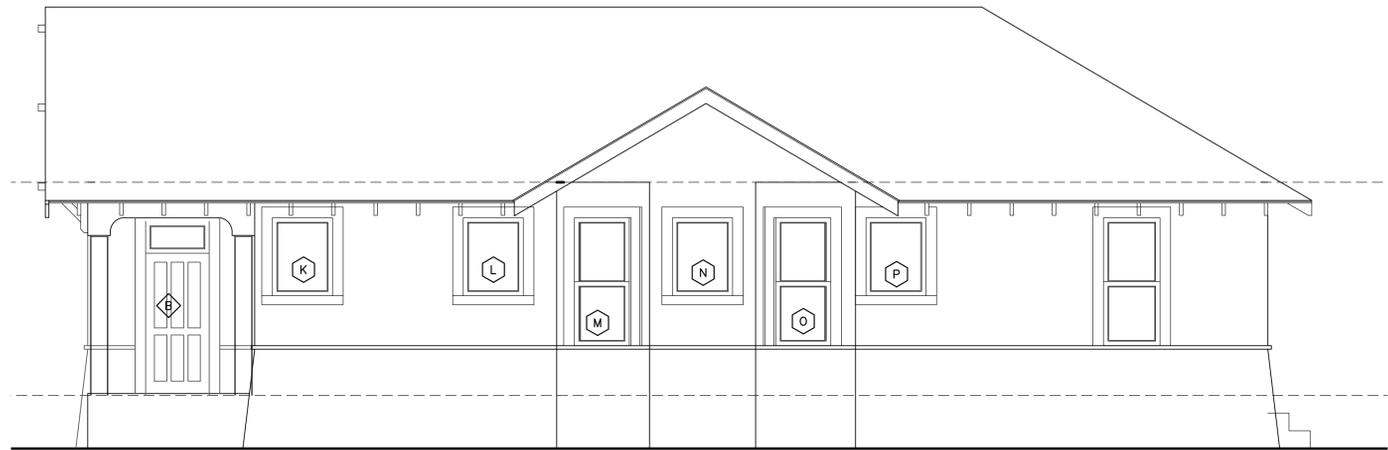
3 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



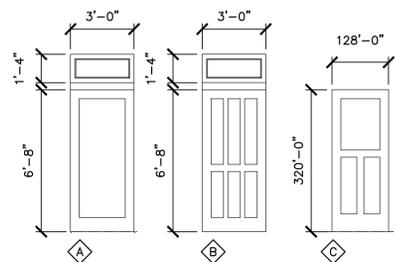
2 EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"

DEMOLITION KEYNOTE LEGEND

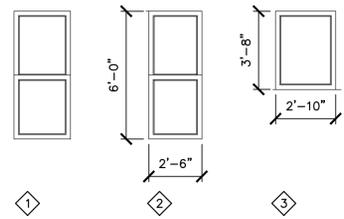
- D1 NOT USED.
- D2 EXISTING 4' WIDE CONCRETE SIDEWALK TO BE REMOVED.
- D3 NOT USED.
- D4 NOT USED.
- D5 NOT USED.
- D6 NOT USED.
- D7 EXISTING PLYWOOD AND DECORATIVE FAUX BRICK SKIRT TO BE REMOVED.
- D8 EXISTING TREES TO BE REMOVED.
- D9 EXISTING TREE TO BE TRIMMED.
- D9 REMOVE EXISTING FLOATING CONCRETE STEPS.
- D10 REMOVE EXISTING BRICK PLANTER.
- D11 REMOVE EXISTING METAL DECORATIVE BEAM SUPPORTS.
- D12 NOT USED.
- D13 NOT USED.
- D14 NOT USED.



4 EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"



EXISTING DOOR TYPES
SCALE: 1/4"=1'-0"



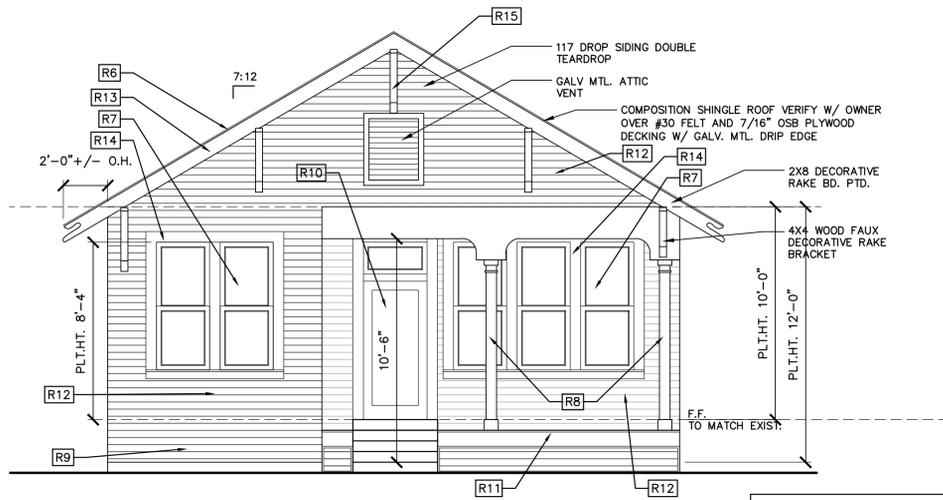
EXISTING WINDOW TYPES
SCALE: 1/4"=1'-0"



EXISTING DOOR & WINDOW TYPES
SCALE: 1/4"=1'-0"

Drwn. By: RP
Plan No:
Sheet No:
Date: 5/25/23

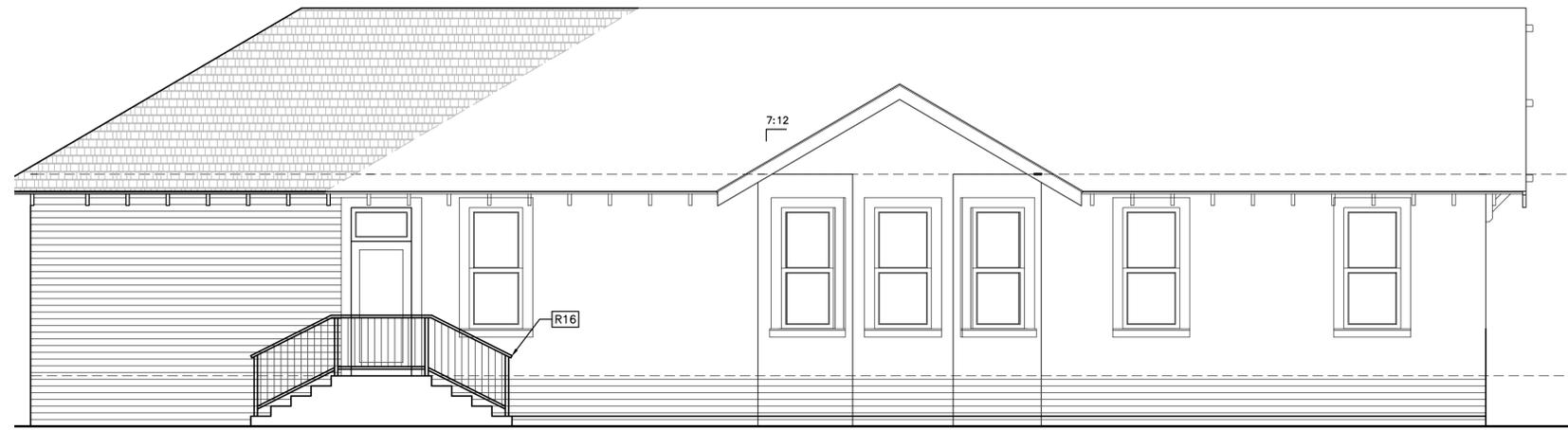
A3



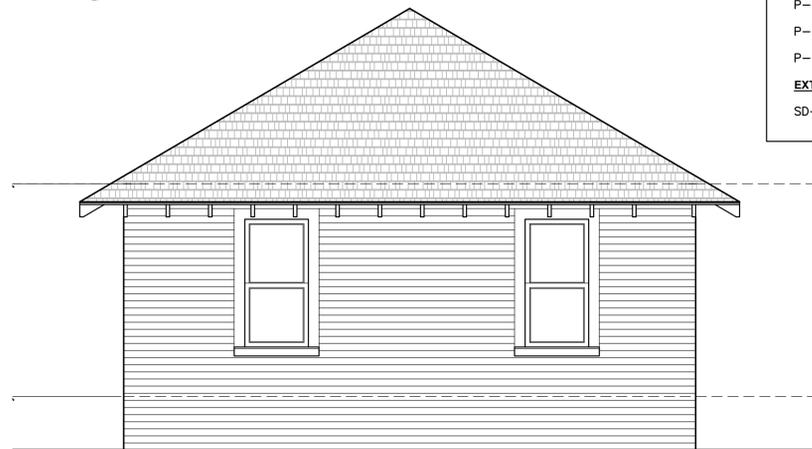
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PAINT SELECTION:
 P-1: SHERWIN WILLIAMS HGTV HGSW2061 FIREWEED
 P-2: SHERWIN WILLIAMS HGTV HGSW6990 CAVIAR
 P-3: SHERWIN WILLIAMS HGTV HGSW63283 RETREAT
 P-4: SHERWIN WILLIAMS HGTV HGSW4030 GREEK VILLA

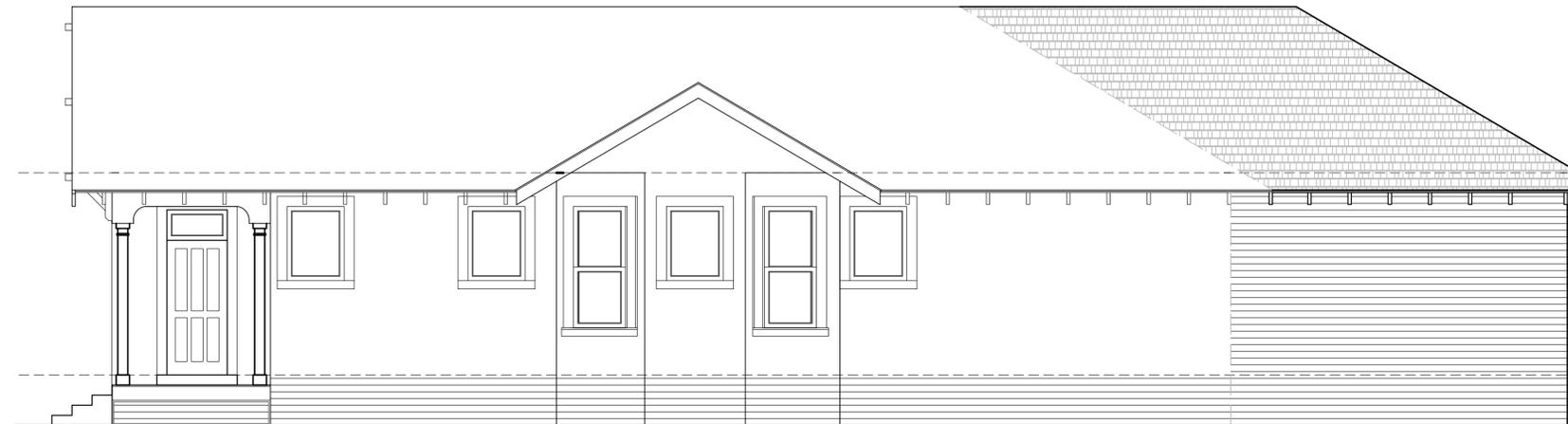
EXTERIOR SIDING:
 SD-1: 117 DROP SIDING DOUBLE TEARDROP



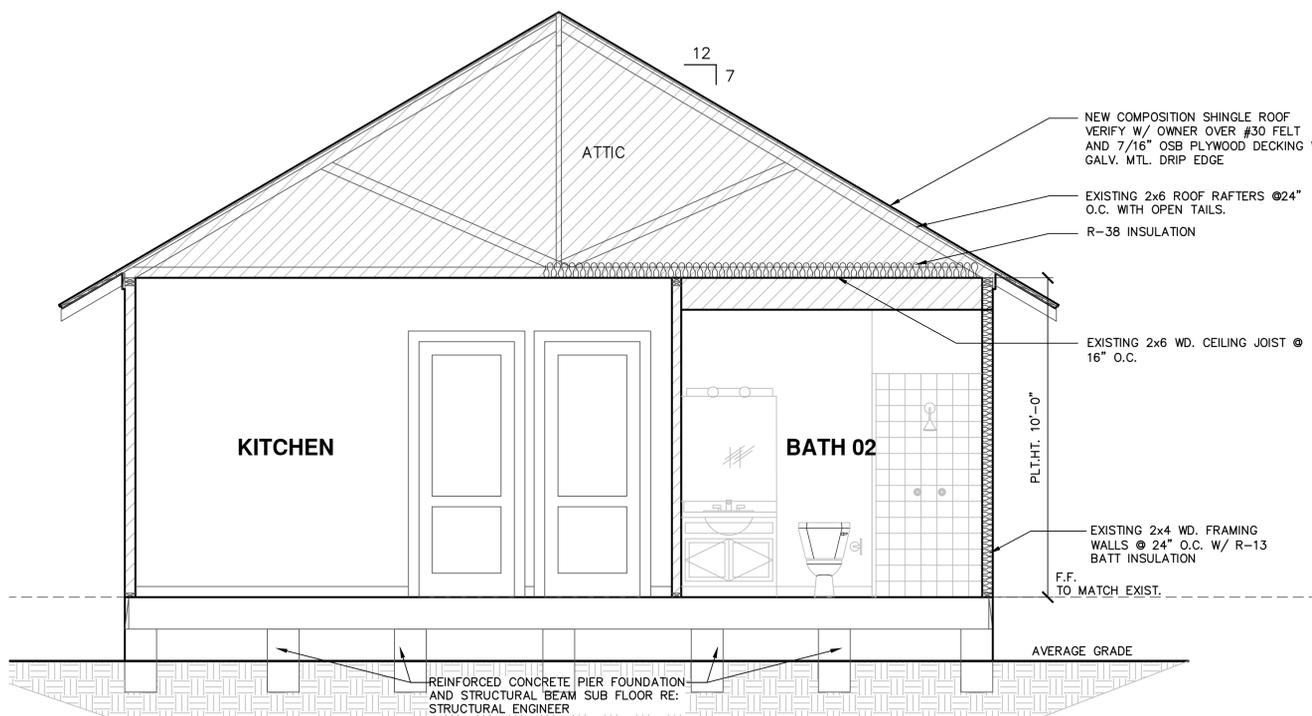
3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



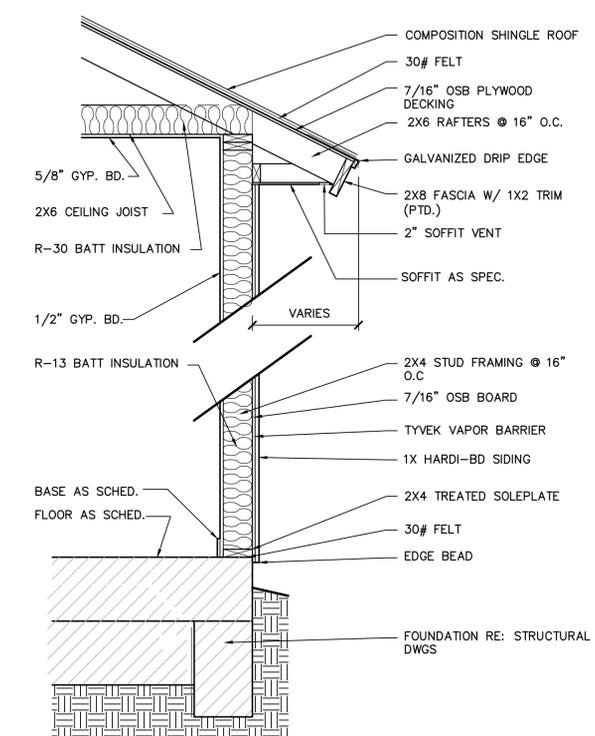
4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



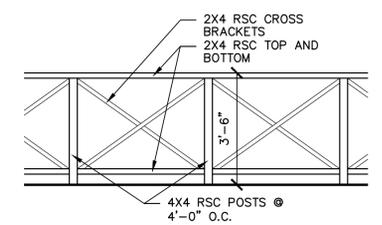
5 BUILDING SECTION
SCALE: 3/8" = 1'-0"

RENOVATION KEYNOTE LEGEND

- R1 NOT USED.
- R2 NOT USED.
- R3 NOT USED.
- R4 NOT USED.
- R5 NOT USED.
- R6. NEW COMPOSITION SHINGLE ROOF.
- R7. ALL EXISTING WINDOWS TO BE RESTORED.
- R8. NEW 6X6 WOOD POSTS WITH DECORATIVE SQUARE CAPITAL TOP AND BASE.
- R9. NEW WOOD SKIRT TO MATCH EXISTING WALL SIDING.
- R10. 2 FRONT DOORS TO MATCH EXISTING. SEE PHOTO ??.
- R11. NEW 3"x7/8" WOODEN DECK PORCH AND STEPS WITH "BACK TO FRONT" AND SLIGHT SLOPE ORIENTATED TO STREET.
- R12. PATCH AND PAINT 117 DROP SIDING DOUBLE TEARDROP.
- R13. PAINT EXISTING FASCIA RAKE BOARD.
- R14. REPAIR, PATCH AND PAINT EXISTING WINDOW AND DOOR TRIM.
- R15. PATCH AND PAINT EXISTING WOOD RAKE BRACKETS.
- R16. NEW 36" HT. METAL HANDRAIL.
- R17. NEW DECORATIVE CEDAR WOOD FENCE.
- R18. NOT USED.
- R19. NOT USED.



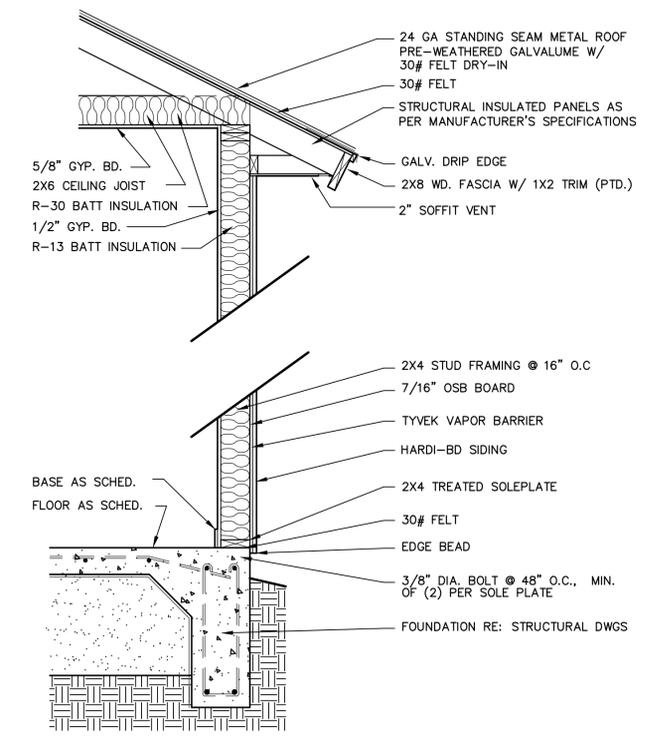
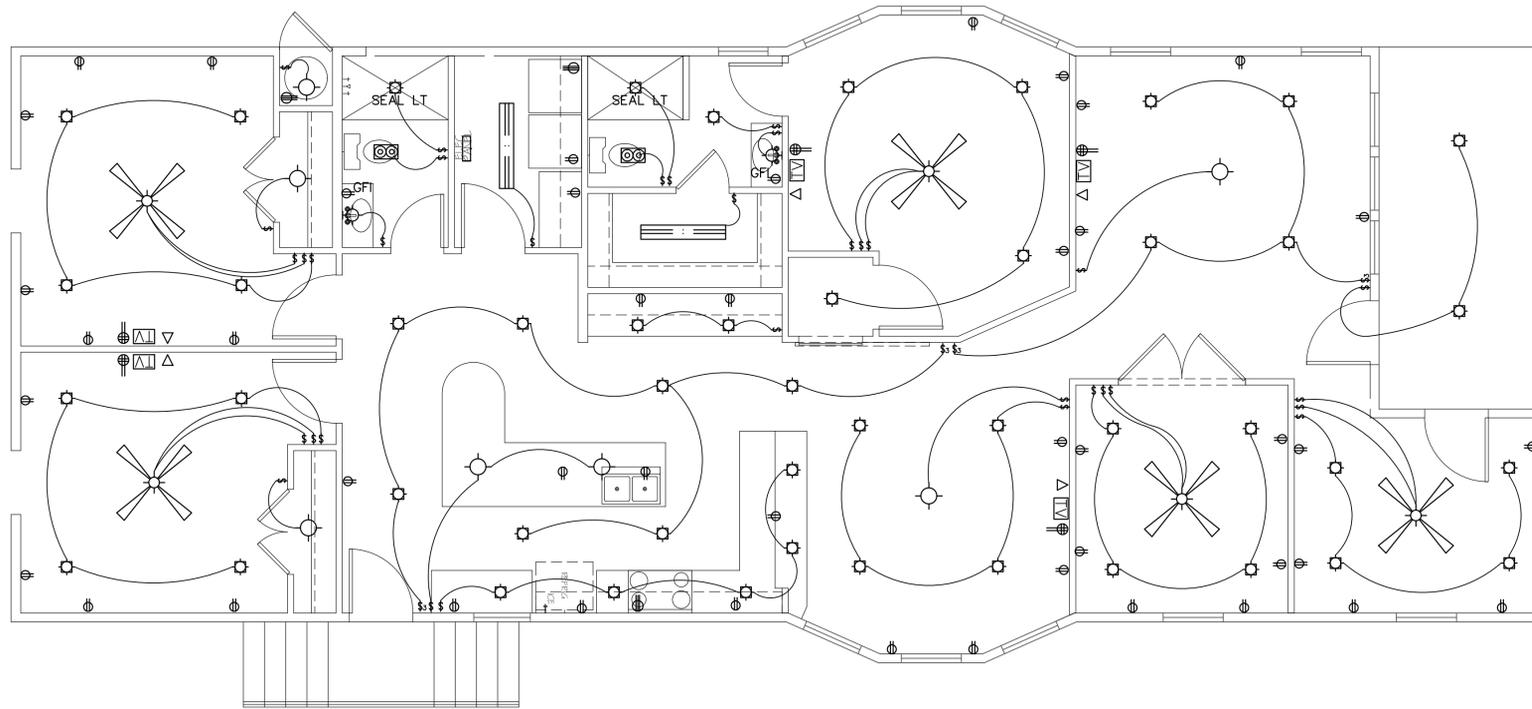
6 TYP. WALL SECTION - HARDI-BD SIDING
SCALE: 3/4" = 1'-0"



7 DECORATIVE FENCE ELEVATION
SCALE: 3/8" = 1'-0"

Drwn. By: RP
 Plan No:
 Sheet No:
 Date: 5/25/23

A4



3 TYP. WALL SECTION - SIDING
SCALE: 3/4" = 1'-0"

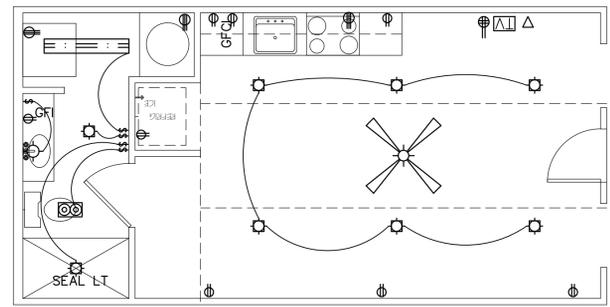


1 RENOVATION ELECTRICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

- DO NOT SCALE ELECTRICAL DRAWINGS. REFER TO FLOOR PLANS FOR LOCATIONS OF ALL EQUIPMENT. CONFIRM LOCATIONS WITH OWNER OR OWNERS REPRESENTATIVE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT INTERNATIONAL ELECTRIC CODES AND ORDINANCES.
- ALL WORK SHALL CO-ORDINATED WITH OTHER TRADES, TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- ELECTRICAL SYSTEMS SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE INTERNATIONAL ELECTRIC CODES.
- ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS LABELS WHERE APPLICABLE.
- ALL WORKSHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER.
- VERIFY HEIGHT OF DATA AND OUTLETS AND LIGHTS W/OWNER.
- ALL RECESSED DOWNLIGHTS TO BE "1C" RATED FOR CONTACT WITH THERMAL INSULATION

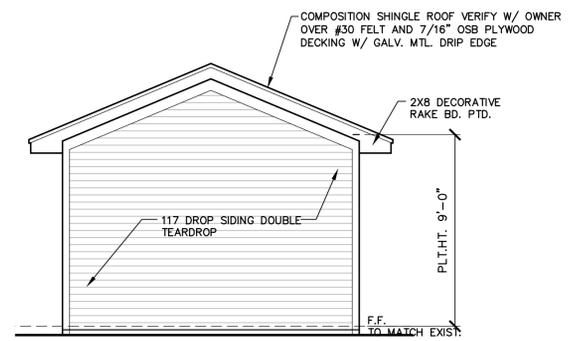
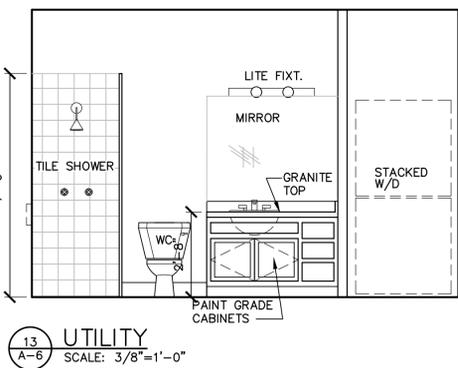
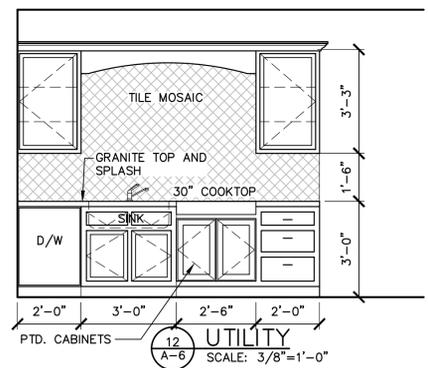
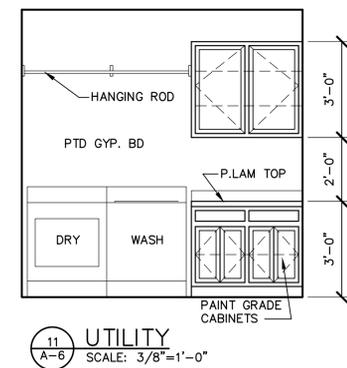
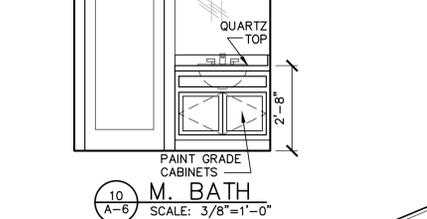
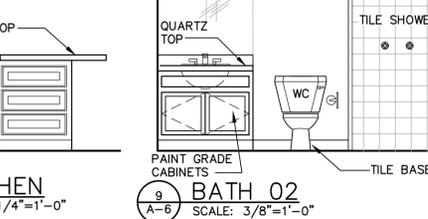
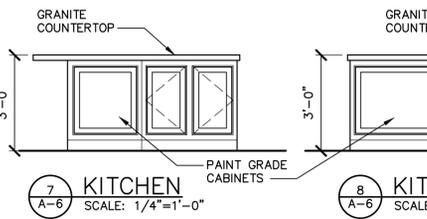
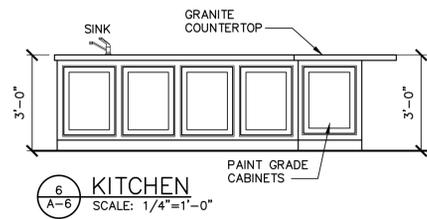
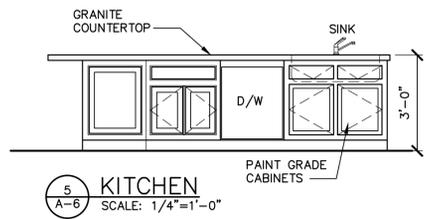
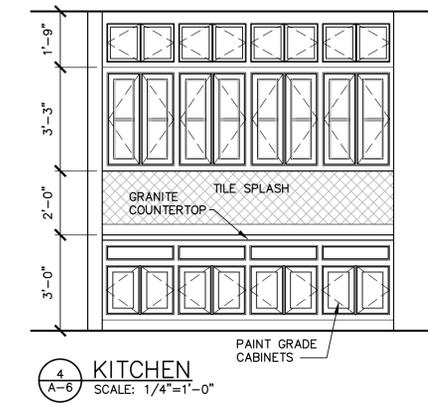
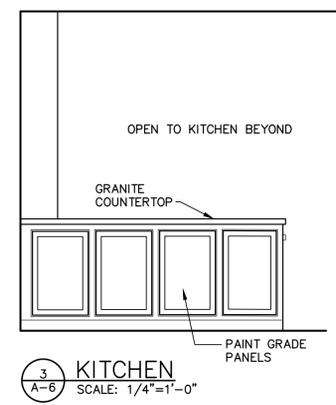
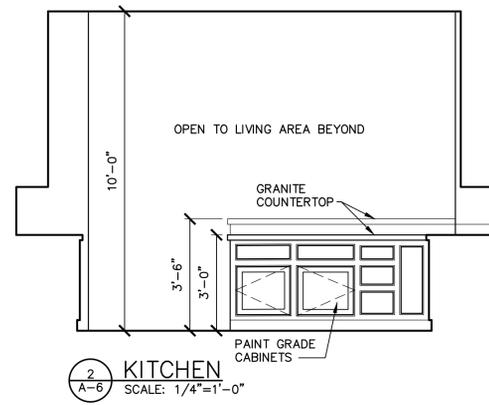
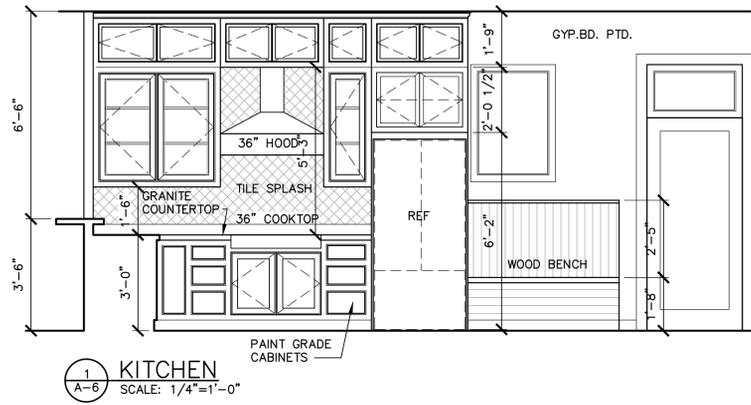
⊕	FOUR PLEX OUTLET	⊕	WALL BRACKET LIGHT
⊕ UC	110 DUPLEX OUTLET	⊕	FLOOD LIGHT
⊕ 220	110 DUPLEX OUTLET UNDER COUNTER	⊕	FLUORESCENT LIGHT
⊕ 220	220 OUTLET	⊕	HEAT-VENT-LIGHT
⊕ AF1	SPLIT-WIRED OUTLET	⊕	VENT-LIGHT
⊕ WP	GROUND FAULT INTERRUPT	⊕	SURFACE HEATER
⊕	WATER PROOF	⊕ 220	WALL HEATER
⊕	JUNCTION BOX	⊕	SMOKE DETECTOR
⊕	PHOTO CELL	⊕	TELEPHONE
⊕	SWITCH AND RECEPTACLE	⊕	INTERCOM
⊕	SINGLE POLE SWITCH	⊕	SPEAKER
⊕	THREE-WAY SWITCH	⊕	TELEVISION
⊕	DIMMER SWITCH	⊕	FLOOR PLUG
⊕	SURFACE MOUNT INCANDESCENT	⊕	WEATHERPROOF
⊕	PULL CHAIN LIGHT	⊕	VACUUM
⊕	RECESSED DOWN-LIGHT	⊕	2' X 4' FLUORESCENT FIXTURE
⊕	RECESSED VENT-LIGHT	⊕	ATTIC STAIR W/ PULL CHAIN LITE
⊕	CEILING FAN	⊕	TRACT LIGHTING



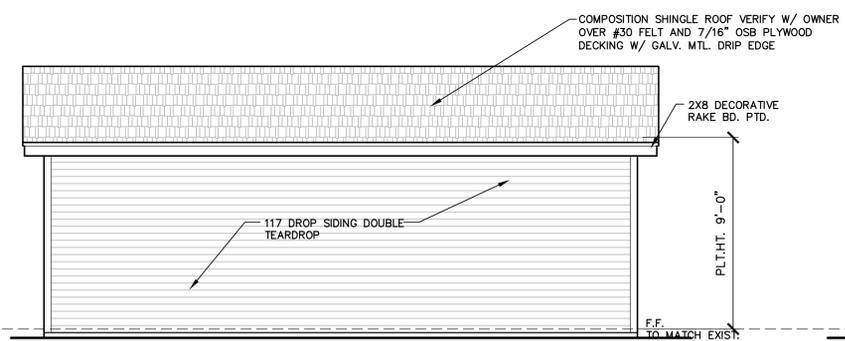
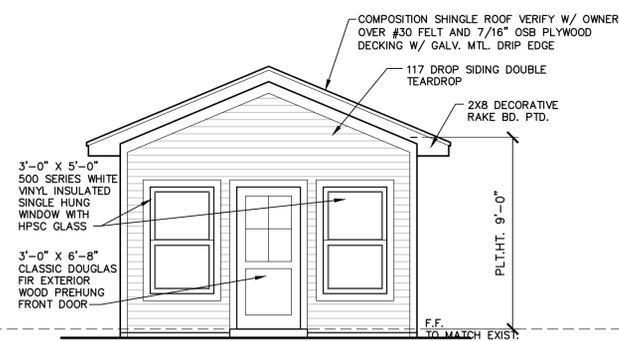
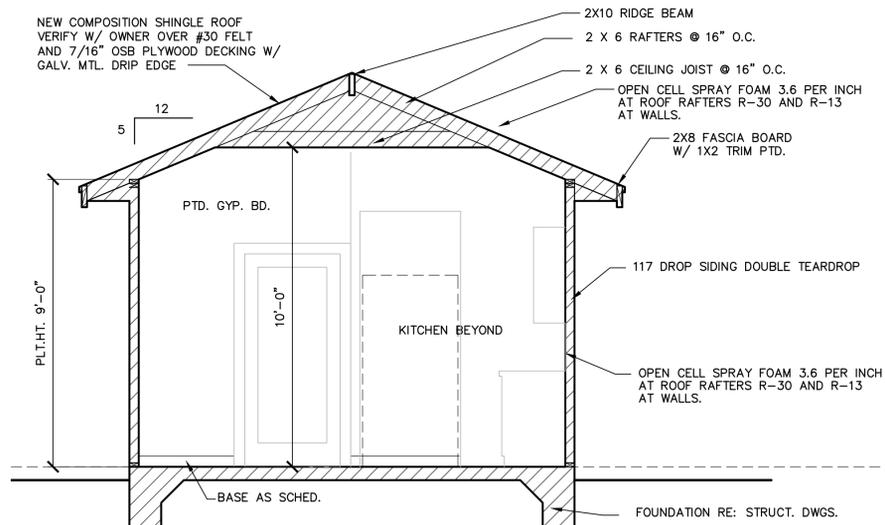
2 RENOVATION ELECTRICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Drwn. By: RP
Plan No:
Sheet No:
Date: 5/25/23

A5



NOTE:
ALL WINDOW AND DOOR HEADERS SHALL BE COMPOSED OF 2X6 MATERIAL.
ALL LUMBER TO BE #2 SOUTHERN YELLOW PINE U.N.O.



Drwn. By: RP
Plan No:
Sheet No:
Date: 5/25/23

A6

NOTES

1.- Current color photos of each side of the house



Front



Back



Left Side



Left Side



Right Side



Right Side

2.- Site plan indicating where concrete will be removed.

Reference can be found on Architect Plan
Page A1: Keynote Legend D1,D2, D3, D4,D5, D12 and D14

3.- Site plan indicating dimensions for replacement driveway and other concrete replacement

Reference can be found on Architect Plan
Page A1: Keynote Legend R1 (10 Ft Wide Concrete Driveway), R2, and R3.

4.- Front Porch Columns: Chamfered

Use Photo as a reference



5.- Front Doors Specifications: Wood and Craftsman Style

 Crosswood Doors 36 in. x 80 in. Craftsman 2-Panel 6-Lite Clear Low-E Knotty Alder Unfinished Wood Front Door Slab	
Overview	Specifications
Bore Type	No Bore
Color Family	Alder
Color/Finish	Unfinished
Door Configuration	Single Door
Door Glass Insulation	Low-E
Door Handing	Universal/Reversible
Door Height (in.)	80 in
Door Style	Craftsman
Door Thickness (in.)	1.75 in
Door Type	Exterior Slab
Door Width (in.)	36 in
Features	Glass Panel, No Additional Features
Finish Type	Unfinished
Fits Opening Height (in.)	80 to 80 7/8
Fits Opening Width (in.)	36 to 36 3/8
Glass Caming Finish	No caming
Glass Layout	1/4 Lite

Glass Shape	Square Lite
Glass Style	Clear Glass
Included	Instructions, No Additional Items Included
Material	Wood
Nominal Door Height (in.)	80 in
Nominal Door Thickness (in.)	2 in
Nominal Door Width (in.)	36 in
Number of Lites	6 Lite
Panel Type	2 Panel
Product Highlight 1	Slab size 36 in. x 80 in.
Product Highlight 2	Must be finished on all six sides
Product Highlight 3	Must have adequate overhang, see warranty for details
Product Weight (lb.)	102.8 lb
Returnable	90-Day
Suggested Application	Front

6.-Windows used on the rear of the addition:

Existing rear windows are going to be restored and reused on the new addition.