

# HISTORIC AND DESIGN REVIEW COMMISSION

June 21, 2023

**HDRC CASE NO:** 2023-233  
**ADDRESS:** 120 KING WILLIAM  
**LEGAL DESCRIPTION:** NCB 737 BLK 2 LOT 4  
**ZONING:** RM-4, H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** King William Historic District  
**LANDMARK:** Individual Landmark  
**APPLICANT:** Ronald P and Madeline N Guyer  
**OWNER:** Ronald P and Madeline Guyer  
**TYPE OF WORK:** Historic Tax Certification  
**APPLICATION RECEIVED:** May 24, 2023  
**60-DAY REVIEW:** July 23, 2023  
**CASE MANAGER:** Rachel Rettaliata

## REQUEST:

The applicant is requesting Historic Tax Certification for the property at 120 King William.

## APPLICABLE CITATIONS:

*UDC Section 35-618. Tax Exemption Qualification.*

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

## FINDINGS:

- a. The structure located at 120 King William is a 1-story, single-family structure constructed circa 1890. It first appears on the 1896 Sanborn Map. The structure features a standing seam metal saltbox roof that extends to cover the full width front porch with wood post supports, stucco cladding, divided lite wood windows, and a rear addition clad in board and batten. The property is contributing to the King William Historic District. The applicant is requesting Historic Tax Certification.
- b. The scope of work includes a comprehensive interior remodel, foundation repair, roof replacement, mechanical, electrical, and plumbing upgrades, door repair, window repair, rear addition modifications, fenestration modifications, siding restoration, painting, fence installation, and site work.
- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer. To qualify for the Substantial Rehabilitation Tax Incentive the owner must pursue Historic Tax Verification once the rehabilitation work is complete. Any violations on the property may disqualify the property from participation in the program.

## RECOMMENDATION:

Staff recommends approval based on findings a through c.

ESTIMATED ASSOCIATED COSTS

HISTORIC REHABILITAION

THE JOHN BALL HOUSE

120 KING WILLIAM STREET\_\_\_\_\_



HISTORIC REHABILITATION  
PROJECTED TIME SCHEDULE  
THE JOHN BALL HOUSE  
120 KING WILLIAM STREET

PROJECTED TIME SCHEDULE  
HISTORIC REHABILITATION

JOHN BALL HOUSE  
120 KING WILLIAM STREET

We began rehabilitation plans for the house at 120 King William Street in 2016 with David Hannan and Lewis Fisher of Fisher Heck Architects. Due to no failure on the part of Fisher Heck Architects we were unable to find the right contractor until June 2020. The house may date from the 1850's and likely held expensive surprises.

We met Ramon Torres of Creedco Pros through Fisher Heck. We all had a meeting together and we decided it was a good fit for all of us. Fortunately, that has turned out to be the case!

The work has continued through the pandemic and we are nearing completion of the project with the excellent attention to detail by Fisher Heck and Ramon Torres and his team. We are awaiting final inspections by City of San Antonio. We hope to have a Certificate of Occupancy by June 1, 2023.

Work began with the removal of all unnecessary material: plumbing, wiring, rotten wood on the porch and in the kitchen, a slab foundation in the bathroom, beadboard on the walls and wood on the ceiling of the bathroom, along with bookshelves creating a wall for a closet.

Doors and windows needed repairs, floors needed refinishing, walls needed plaster repair and painting. Ceilings needed painting. All wood needed refurbishing.

A new kitchen and a new bathroom were planned for the original back porch. A new stairway was planned to enter the basement. Some limestone would be added to complete some stone missing from the basement and a salvaged brick floor would be added.

With the Covid Pandemic and supply shortages the projected time schedule has been longer than we had hoped. We are looking forward to being in the house.

Madeline N. and Ronald P. Guyer

ITEMIZED LIST  
OF  
PROPOSED WORK  
BOTH INTERIOR AND EXTERIOR  
THE JOHN BALL HOUSE  
120 KING WILLIAM STREET

# Itemized list of proposed work both interior and exterior

120 KING WILLIAM	BUDGET	DOWN PAYMENT	DRAW #1	DRAW #2	DRAW 3	DRAW 4	DRAW 5	% OF LINE ITEM	BALANCE	VARIANCE COMMENTS
DEMO/LOT PREP										
PERMITS										
FOUNDATION										
DRIVEWAY										
PLUMBING										
FRAMING										
HVAC										
ELECTRICAL										
ROOFING AND DECKING										
INSULATION										
WOOD RESTORATION										
APPLIANCES FIXTURES										
KITCHEN REMODEL										
BATHROOM REMODEL										
BASEMENT										
GUTTERS										
PLASTER										
INTERIOR PAINT										
EXTERIOR PAINT										
WINDOWS										
FENCE										
MISC FINAL PAYMENT										
CHANGE ORDER										
CHANGE ORDER										
CHANGE ORDER										
CHANGE ORDER										
TOTALS			\$0.00	\$0.00	\$0.00					

120 King William Street

DETAILED WRITTEN NARRATIVE  
EXPLAINING  
THE PROPOSED WORK  
THE JOHN BALL HOUSE  
120 KING WILLIAM STREET

DETAILED WRITTEN NARRATIVE  
EXPLAINING THE PROPOSED WORK

1. Roof Replacement with Insulation

Sanborn Maps, at the San Antonio Public Library, show that the house at 120 King William had a shingle roof in 1896 and that it had been replaced by a "slate or tin" roof by 1904. We assume that the metal roof on the house today is the same one on the house in 1904. It is beginning to leak a little. The architect for the project has recommended replacing the roof during this restoration.

2. Demolition and Preparation

The Basement: There has been some water flow taking earthen material into the basement. This earthen material needs to be removed to clean the basement and to prepare the earthen floor for a used brick floor to be installed.

The Concrete Slab Floor in the Bathroom: This was the only concrete foundation in the house. It was placed there for the bathroom and a water pipe runs through this concrete slab. The concrete has cracked because of a water leak.

Closet Wall with Bookshelves: A closet was created on the back porch with bookshelves facing the room. Within the closet is the door in the floor to enter the basement. This back porch will become the kitchen in the proposed restoration. The closet wall and bookshelves will be removed to open the space for the kitchen and a new replacement stairway to the basement.

Closet Containing Water Heater: This closet is on the exterior wall of the bathroom. The closet will be removed. The new water heater will be placed outside the house adjacent to the east wall.

3. The Kitchen: There is rotten wood flooring under vinyl tile (1972) in the current kitchen, under and in front of the existing sink. The rotten wood must be removed in order to be replaced with salvaged wood from Alamo Hardwood.
4. Insulation Under the Floor: This insulation will provide a moisture barrier as the limestone walls tend to trap moisture.
5. Necessary Reframing: The original back porch currently has the bathroom at the west end of the space. The porch slopes downward toward the outside to repel water. The reframing will provide a new wall to facilitate a larger bathroom. The floor will be leveled for a new kitchen as well as for a new bathroom.
6. Painting Exterior of the House: The exterior walls and window trim of the house will be painted.
7. Painting Interior of the House: The interior walls, window trim, baseboards, and ceilings of the house will be painted.
8. Restoration of Wood Doors, Door Hardware, and Wood Floors: All interior and exterior wood doors, door hardware and wood floors will be kept and restored.





9. HVAC: New HVAC will be installed.

10.WIRING: New wiring will be installed.

11.PLUMBING: New plumbing will be installed. The new bathroom will remain in the same area of the house as the current bathroom and will be slightly enlarged.

ONE SET OF COMPLETE PLANS  
FOR  
RESTORATION AND REHABILITATION  
BOTH  
EXTERIOR AND INTERIOR  
THE JOHN BALL HOUSE  
120 KING WILLIAM ST.

HISTORIC REHABILITATION APPLICATION: PART 1 OF 2

PART 1 OF 2

One set of complete plans for restoration and rehabilitation,  
both interior and exterior  
with KEY NOTES

EXTERIOR AND INTERIOR RENOVATION  
THE GUYER RESIDENCE

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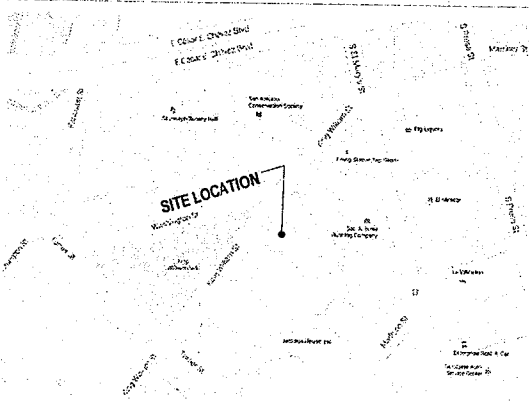
G 100 TITLE SHEET  
D 100 DEMO SITE PLAN  
D 101 DEMO FLOOR PLAN  
A 001 GEN NOTES, ABBREVIATIONS, SYMBOLS  
A 002 DOOR AND WINDOWS  
A 100 SITE AND ROOF PLAN 1  
A 100 SITE AND ROOF PLAN 2

A 101 FLOOR PLAN  
A 102 REFLECTED CEILING PLAN  
A 103 FIRST FLOOR ELECTRICAL  
A 200 1<sup>ST</sup> FLOOR ELEVATIONS  
A 300 BUILDING AND WALL SECTS  
A 400 INTERIOR ELEVATION

# EXTERIOR AND INTERIOR RENOVATION FOR THE GUYER RESIDENCE

## CONSTRUCTION DOCUMENTS (PRICING SET)

### LOCATION MAP



### CODE ANALYSIS

#### APPLICABLE CODES AND STANDARDS:

- THIS PROJECT IS IN THE CITY OF SAN ANTONIO, TEXAS. THE CITY OF SAN ANTONIO CURRENTLY HAS ADOPTED THE FOLLOWING CODES:
- 2015 INTERNATIONAL EXISTING BUILDING CODE
  - 2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS
  - 2015 INTERNATIONAL BUILDING CODE
  - 2015 INTERNATIONAL FIRE CODE
  - 2015 INTERNATIONAL MECHANICAL CODE
  - 2015 INTERNATIONAL PLUMBING CODE
  - 2014 NATIONAL ELECTRICAL CODE
  - 2015 INTERNATIONAL ENERGY CONSERVATION
  - 2015 INTERNATIONAL FUEL GAS CODE

#### OCCUPANCY CLASSIFICATION:

- GROUP R-3

#### CLASSIFICATION OF WORK:

- ALTERATION - LEVEL 2

#### CONSTRUCTION CLASSIFICATION:

- TYPE - V

#### FIRE RESISTANCE RATINGS REQUIRED:

BUILDING ELEMENT	HOURS
• STRUCTURAL FRAME	0
• BEARING WALLS	0
• EXTERIOR	0
• INTERIOR	0
• NONRATED WALLS & PARTITIONS	0
• FLOOR CONSTRUCTION	0
• ROOF CONSTRUCTION	0

#### FIRE PROTECTION SYSTEMS:

- SMOKE AND CARBON MONOXIDE DETECTORS

#### AREAS:

- EXISTING DWELLING AREA - 1,215 SF

#### ZONING:

- RM-4 HH

### GENERAL NOTES

#### GENERAL

- G-100 TITLE SHEET

#### DEMOLITION

- D-100 DEMO SITE PLAN
- D-101 DEMO FLOOR PLAN

#### ARCHITECTURAL

- A-001 GENERAL NOTES, ABBREVIATIONS & SYMBOLS, CODE ANALYSIS, LOCATION MAP, SPECIAL INSPECTIONS
- A-002 DOOR & WINDOW SCHEDULES AND DETAILS
- A-100 SITE & ROOF PLAN
- A-101 FLOOR PLAN
- A-102 REFLECTED CEILING PLAN
- A-103 FIRST FLOOR ELECTRICAL PLAN
- A-200 EXTERIOR ELEVATIONS
- A-300 BUILDING & WALL SECTIONS
- A-400 INTERIOR ELEVATIONS

### SPECIAL INSPECTIONS

AC SECTION	DESCRIPTION	APPLICABLE	NOT APPLICABLE
100.1	STRUCTURAL		
100.2	FOUNDATION		
100.3	FOUNDATION		
100.4	FOUNDATION		
100.5	FOUNDATION		
100.6	FOUNDATION		
100.7	FOUNDATION		
100.8	FOUNDATION		
100.9	FOUNDATION		
100.10	FOUNDATION		
100.11	FOUNDATION		
100.12	FOUNDATION		
100.13	FOUNDATION		
100.14	FOUNDATION		
100.15	FOUNDATION		
100.16	FOUNDATION		
100.17	FOUNDATION		
100.18	FOUNDATION		
100.19	FOUNDATION		
100.20	FOUNDATION		
100.21	FOUNDATION		
100.22	FOUNDATION		
100.23	FOUNDATION		
100.24	FOUNDATION		
100.25	FOUNDATION		
100.26	FOUNDATION		
100.27	FOUNDATION		
100.28	FOUNDATION		
100.29	FOUNDATION		
100.30	FOUNDATION		

#### ARCHITECT

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Fisher Heck  
ARCHITECTS



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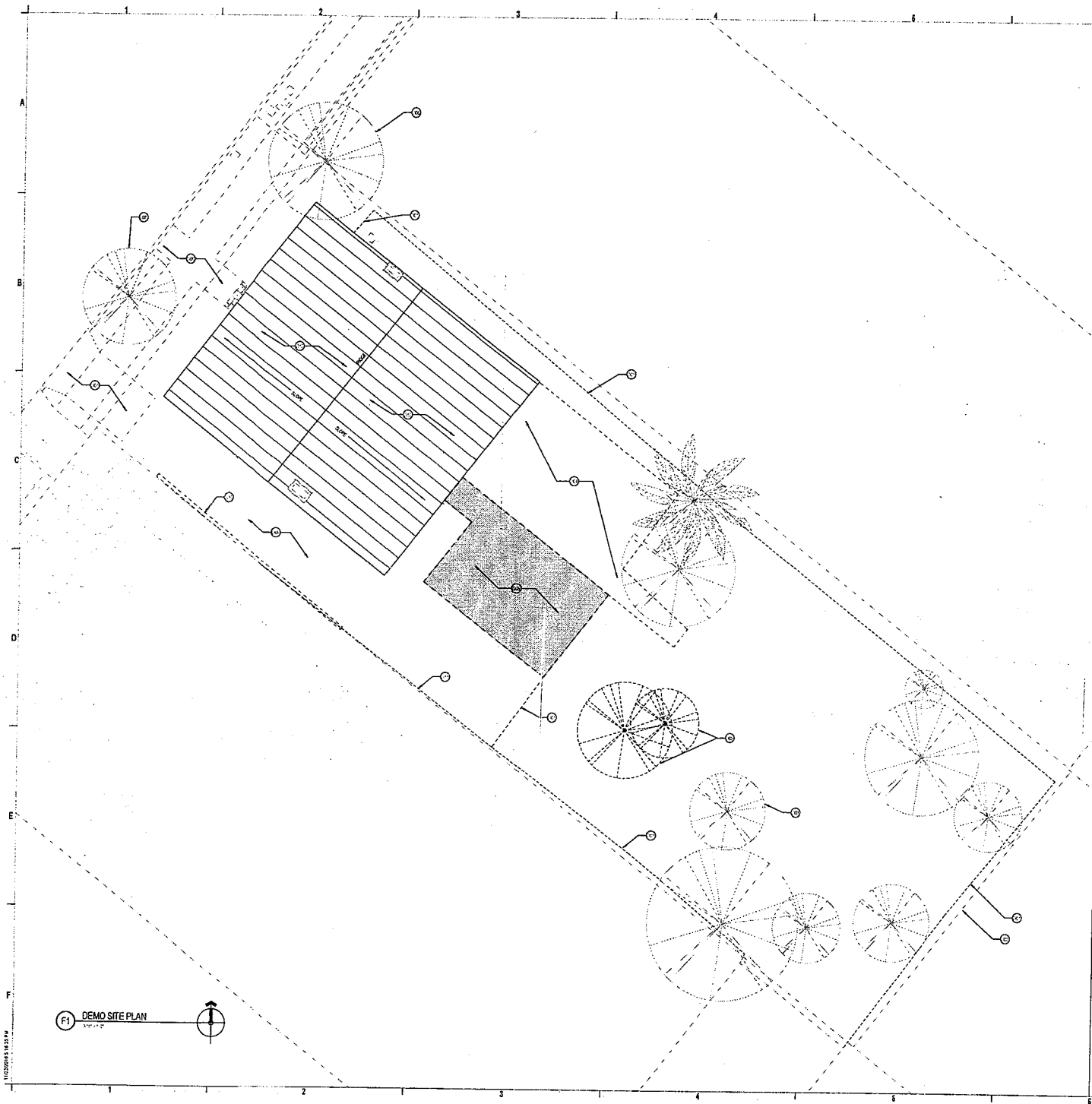
PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
THE GUYER RESIDENCE  
100 WILKENS STREET, SAN ANTONIO, TX 78205

PROJECT NO. 1514 A2

REVISION

DATE

SHEET NO.  
G-100



## KEY NOTES

- 001 DEMO EXISTING WOOD FENCE AND GATES. VERIFY WITH OWNER AND NEIGHBORS ON SPECIFIC DATE DEMOLITION IS TO OCCUR.
- 002 LINE INDICATES PROPERTY LINE.
- 003 DEMO EXISTING TREE AND GRIND STUMP INTO THE GROUND.
- 004 TAKE UP AND STORE EXISTING CHAIN LINK FENCE FOR REUSE.
- 005 DEMO EXISTING FOUNDATION, INCLUDING ALL UTILITY LINES - CAP AND RETURN TO POINT OF ORIGIN.
- 006 EXISTING TREE TO REMAIN.
- 007 EXISTING CONCRETE APRON TO REMAIN.
- 008 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 009 REMOVE EXISTING GRAVEL DRIVEWAY DOWN TO NEIGHBOR'S GRADE LEVEL.
- 010 DEMO EXISTING RAILROAD TIES.
- 011 DEMO EXISTING CHAIN LINK FENCE AND VEGETATION GROWING ON IT.
- 012 EXISTING METAL ROOFING TO REMAIN AND BE PREPARED FOR REFINISHING. CAREFULLY REMOVE ANY DAMAGED PANEL SECTIONS AND FIELD VERIFY CONDITION OF ROOF SUBSTRATE. REPAIR AND/OR REPLACE ANY DAMAGED SECTIONS OF SUBSTRATE BEFORE INSTALLING NEW ROOF SECTIONS.

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PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
**THE QUINCY RESIDENCE**  
10000 WALLAM STREET, SAN ANTONIO, TX 78295  
DEMO SITE PLAN

PROJECT NO. 1514 A2  
REVISION DATE

## KEY NOTES

- D01 STRIP AND SAND EXISTING WOOD PORCH FLOOR BOARDS AND PERIMETER FASCIA. REPLACE ANY DAMAGED BOARDS WITH NEW BOARDS THAT MATCH EXISTING THICKNESS, SIZE AND WOOD SPECIES (TYP).
- D02 EXISTING WOOD COLUMNS TO REMAIN. STRIP AND SAND IN PREPARATION FOR REFINISHING. FILL ALL MAJOR CRACKS WITH WOOD FILLER PRIOR TO SANDING. ANY DAMAGED COLUMN BEYOND REPAIR ARE TO BE REPLACED WITH A NEW COLUMN OF THE SAME SIZE, PROFILE AND WOOD SPECIES.
- D03 EXISTING LIMESTONE STEP TO REMAIN AND BE CLEANED.
- D04 LINE OF EXISTING SIDEWALK REFER TO DEMO SITE PLAN.
- D05 CAREFULLY REMOVE AND SALVAGE EXISTING WOOD DOOR FOR RE-USE. STRIP AND SAND EXISTING DOOR IN PREPARATION FOR REFINISHING.
- D06 DEMO EXISTING DOOR, FRAME AND TRIM.
- D07 DEMO EXISTING WINDOW, FRAME AND TRIM.
- D08 CAREFULLY REMOVE AND SALVAGE EXISTING DOOR THRESHOLD. STRIP AND SAND IN PREPARATION FOR REFINISHING AND REINSTALLATION.
- D09 DEMO EXISTING COUNTERTOP, BASE CABINETS, APPLIANCES AND WALL MOUNTED SHELVING.
- D10 CAREFULLY REMOVE EXISTING MASONITE FLOOR MATERIAL TO EXPOSED HARDWOOD FLOORING BELOW.
- D11 CLEAN OUT ALL DEBRIS, TRASH AND EXCESS FILL IN PREPARATION FOR NEW FLOOR FRAMING AND UTILITY WORK. LEVEL OUT SOIL SURFACE WITH SAND.
- D12 EXISTING FIRE PLACE TO REMAIN.
- D13 REMOVE EXISTING FURNISE AND PREP FOR INSTALLATION OF NEW FURNISE.
- D14 CAREFULLY DEMOLISH EXISTING FLOOR FINISH MATERIAL AND SUBFLOOR MATERIAL TO EXPOSE EXISTING FLOOR RAFTERS IN PREPARATION FOR NEW LEVEL SUBFLOOR INSTALLATION.
- D15 DEMO NEW OPENING IN WALL IN PREPARATION OF NEW WOOD FRAMED WINDOW. REFER TO WINDOW SCHEDULE.
- D16 CAREFULLY REMOVE EXISTING DOOR AND HARDWARE AND PREPARE FRAME TO RECEIVE EXISTING SALVAGED DOOR FROM OTHER ROOM.
- D17 DEMO EXISTING DOOR, FRAME AND WALL.
- D18 CAREFULLY REMOVE EXISTING WINDOW AND PREP FOR REFINISHING AND REINSTALLATION.
- D19 DEMO EXISTING BUILT-IN SHELVING.
- D20 DEMO EXISTING GAS LINE BACK TO MAIN LINE AND PREP FOR NEW GAS LINE TO KITCHEN.
- D21 DEMO EXISTING WINDOW/MECHANICAL UNIT.
- D22 CAREFULLY REMOVE EXISTING INTERIOR PANELING BACK TO EXISTING STUDS. REMOVE ALL EXISTING INSULATION AND VERIFY CONDITION OF EXISTING FRAMING. REPLACE ALL DAMAGED AND/OR DETEIORATED FRAMING AS REQUIRED. PREP WALLS FOR NEW ELECTRICAL, PLUMBING ETC.
- D23 REMOVE EXISTING ELECTRICAL OUTLET, WIRE, BOX, ETC. BACK TO POINT OF ORIGIN. REPAIR WALL, BASEBOARDS, ETC. AS REQUIRED.
- D24 REMOVE EXISTING DATA OUTLET, WIRE, BOX, ETC. BACK TO POINT OF ORIGIN IN PREPARATION FOR RELOCATION. REPAIR WALL, BASEBOARDS, ETC. AS REQUIRED.
- D25 DEMO EXISTING LIGHT FIXTURE AND PREP FOR INSTALLATION OF NEW FIXTURE. FIELD VERIFY IF EXISTING J-BOX AND WIRE NEED TO BE REPLACED AT EACH LOCATION.
- D26 DEMO EXISTING WOOD LATTICE AND ASSOCIATED VEGETATION GROWING ON IT.
- D27 REMOVE ALL EXISTING VEGETATION GROWING UP THE SIDES OF THE HOUSE.
- D28 EXISTING ELECTRICAL OUTLET.
- D29 CAREFULLY REMOVE EXISTING CEILING WOOD BOARDS, STRIP AND PREP FOR REFINISHING. INSPECT EXISTING ROOF RAFTERS AND SHEATHING AND REPAIR/REPLACE ANY DAMAGED PIECES AS REQUIRED.
- D30 EXISTING STEP DOWN INTO BASEMENT.
- D31 EXISTING STONE BENCH TO REMAIN.
- D32 EXISTING STONE RETAINING WALL TO REMAIN.
- D33 CLEAN OUT ALL DEBRIS, TRASH AND DIRT TO REVEAL A CLEAN LEVEL FLOOR SURFACE. REMOVE ALL NON-ESSENTIAL WIRING AND PIPING AS REQUIRED. STRIP AND REFINISH EXISTING FLOOR RAFTERS AND UNDERSIDES OF FLOOR BOARDS - STAIR.
- D34 CLEAN OUT EXISTING FOUNDATION VENT OPENING AND REPLACE WITH NEW FOUNDATION VENT. PAINT TO MATCH EXTERIOR WALL COLOR.
- D35 CAREFULLY REMOVE AND SALVAGE EXISTING LIGHT FIXTURE AND PREP FOR INSTALLATION OF NEW FIXTURE. FIELD VERIFY IF EXISTING J-BOX AND WIRE NEED TO BE REPLACED AT EACH LOCATION.
- D36 CAREFULLY REMOVE EXISTING DOOR AND HARDWARE. DOOR AND FRAME ARE TO BE REFINISHED AND NEW HARDWARE INSTALLED.

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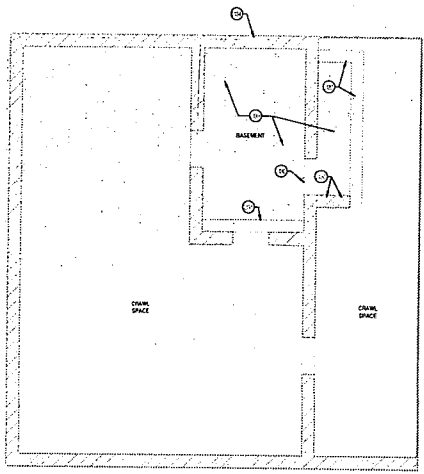
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PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
**THE OUYER RESIDENCE**  
120 KING WILLIAM STREET, SAN ANTONIO, TX 78205  
800 PLOT PLAN

PROJECT NO. 1514 A2  
REVISION DATE

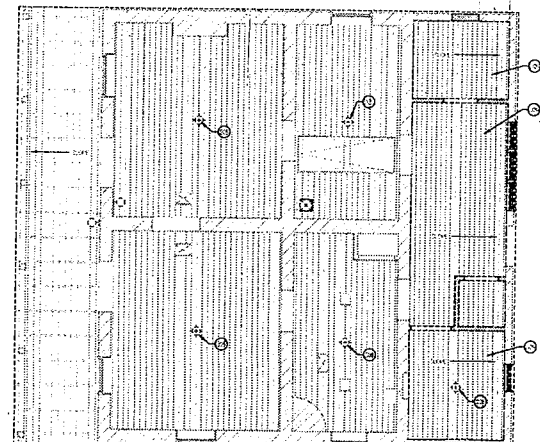
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**D-101**

**C1 DEMO FLOOR PLAN**  
10'-0" X 10'-0"



**F1 BASEMENT FLOOR DEMO PLAN**  
10'-0" X 10'-0"

**F4 REFLECTED CEILING DEMO PLAN**  
10'-0" X 10'-0"



[illegible][illegible]

TYPE	STD SIZE	SAB	ETC	WALL THK	MAX SP
A3	24	K		1.75	15
M	20	K		1.75	15

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**THE GUYER RESIDENCE**  
 120 KING WILHAM STREET, SAN ANTONIO, TX 78205  
 GENERAL NOTES, ABBREVIATIONS & SYMBOLS, CODES AND

PROJECT NO. 1514 A2

SHEET NO.  
A-001

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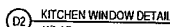
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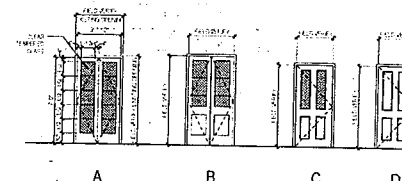
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NUMBER	FANEL		FENAL		DETAIL				COMMENTS
	FACE	FLYSE	MATERIAL	TYPE	HEAD	JOINT	THREADED	NUT/BOLT	
001A	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001B	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001C	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001D	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001E	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001F	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001G	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001H	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001I	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001J	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001K	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001L	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001M	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001N	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001O	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001P	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001Q	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001R	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001S	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001T	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001U	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001V	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001W	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001X	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001Y	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"
001Z	FACE	B	A321	0021	001	001	1/2"	1/2"	1/2"

[illegible]

DOOR PANEL ELEVATIONS

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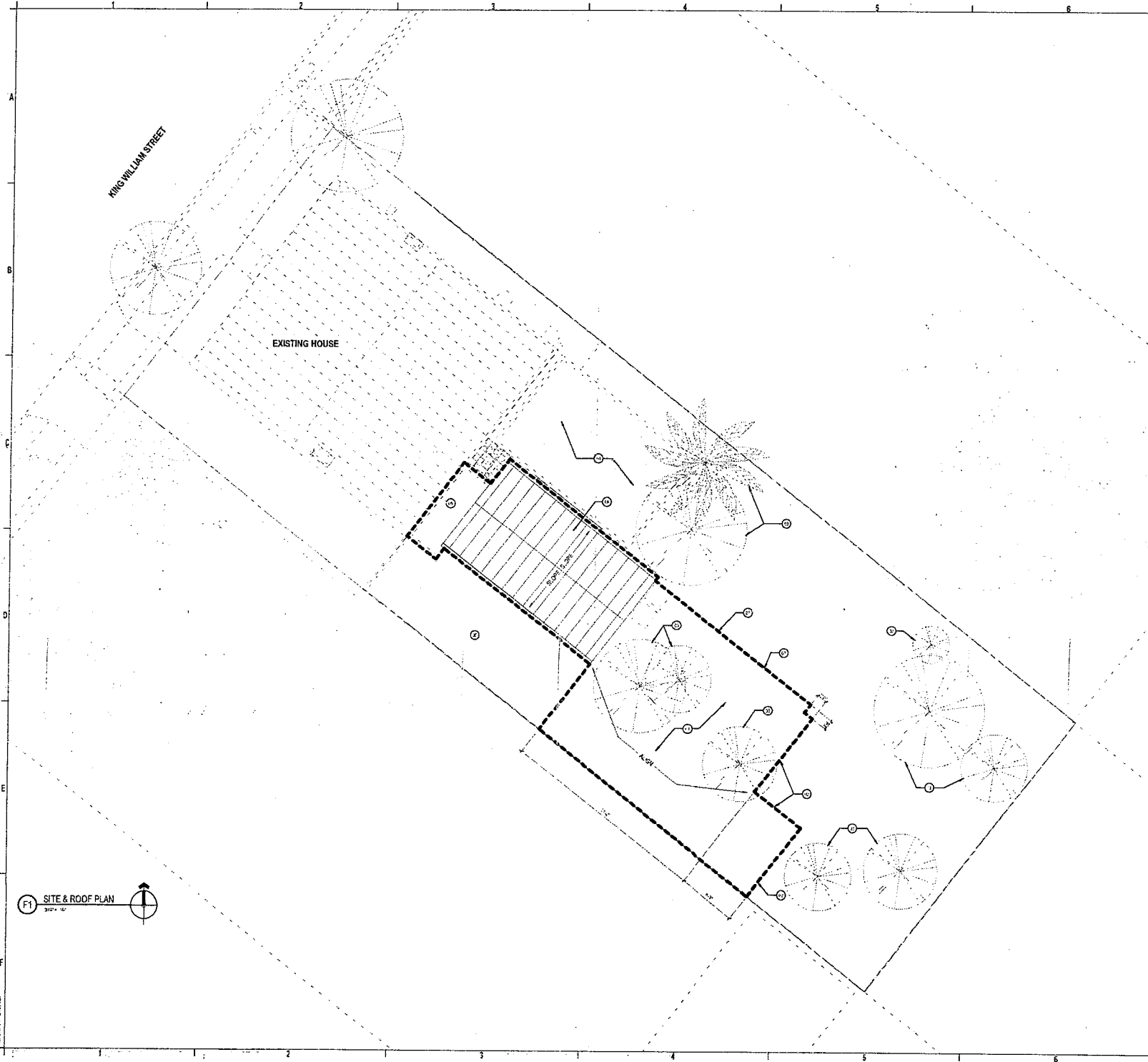
  
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**THE GUYER RESIDENCE**  
 120 KING YELLOW STREET, SAN ANTONIO, TX 78205  
 DOOR & WINDOW SCHEDULES AND DETAILS

SHEET NO.  
A-002





## KEY NOTES

- 01 PEA GRAVEL DRIVEWAY W/ GRAVEL/PAVE MEMBRANE BELOW
- 02 METAL LANDSCAPE EDGING
- 03 EXISTING TREE TO REMAIN
- 04 EXISTING BRICK PAVEMENT PATIO
- 05 BRICK PAVEMENT WALKWAY WITH 6" CONCRETE BORDER CURB. BRICK COLOR TO MATCH EXISTING ADJACENT PATIO AND BE INSTALLED WITH A HERRINGBONE PATTERN
- 06 EXISTING GRAVEL DRIVEWAY
- 07 DASHED LINE INDICATES SCOPE OF WORK EXTENTS
- 08 HAND CRIMPED STANDING SEAM METAL ROOF. COLOR TO MATCH EXISTING MAIN HOUSE. REMOVE DAMAGED EXISTING SHEATHING AS REQUIRED AND REPLACE WITH PRESSURE TREATED PLYWOOD - SEE WALL SECTION DETAIL FOR FURTHER DIRECTION

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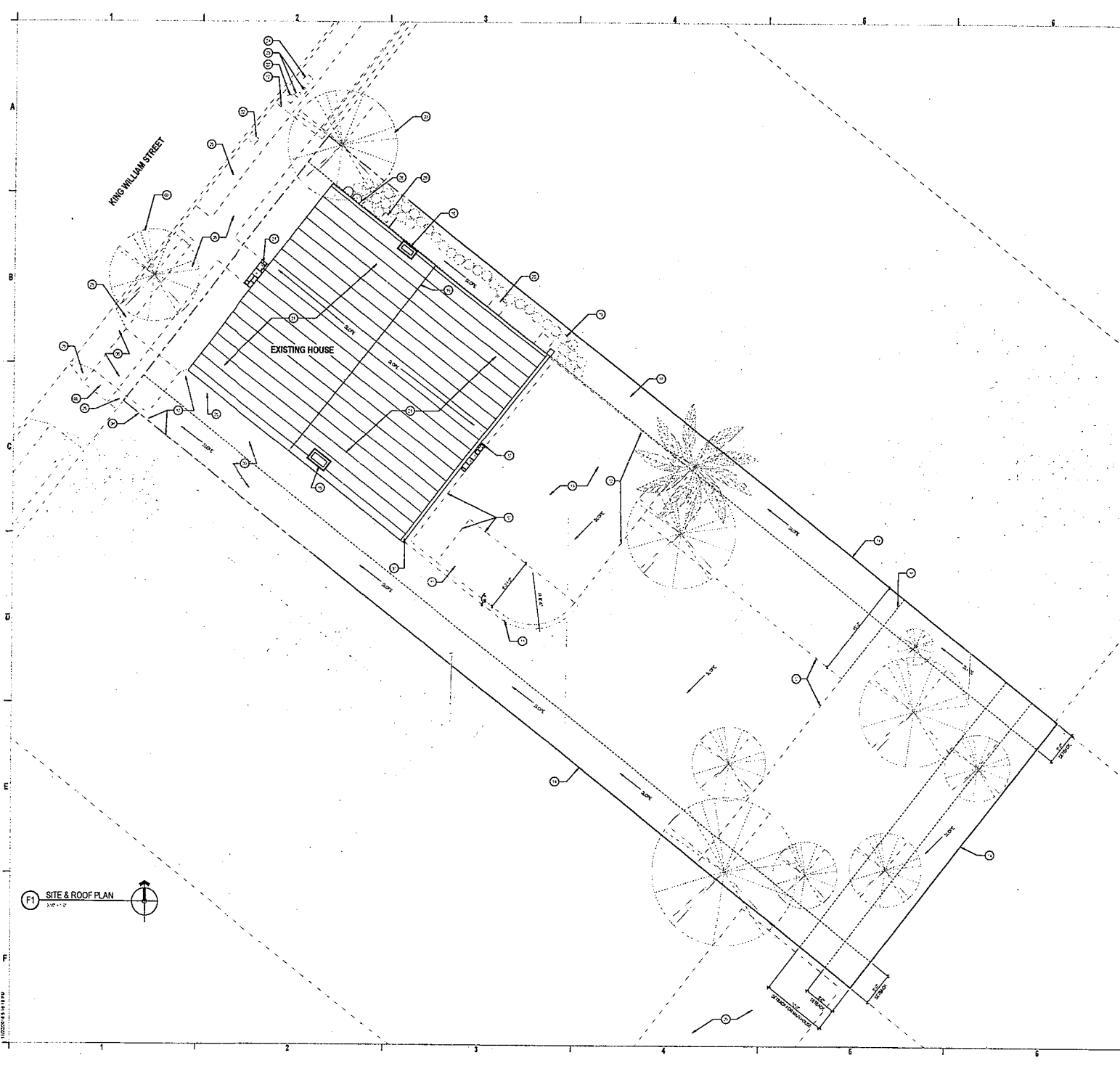


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PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
**THE GUTTER RESIDENCE**  
10 KINGSWILL STREET SAN ANTONIO, TX 78205  
SITE & ROOF PLAN

PROJECT NO. 1514 A2

SHEET NO.  
**A-100**



# KEY NOTES

- 03 EXISTING TREE
- 05 EXISTING SIDEWALK, CLEAN BY PRESSURE WASH
- 06 EXISTING DRIVEWAY APRON, REPAIR EXISTING CRACKS THEN CLEAN BY PRESSURE WASH
- 08 PROPERTY LINE
- 09 STABILIZED DECOMPOSED GRAVEL DRIVEWAY
- 11 CONCRETE RIBBON CURB, FLUSH WITH GRAVEL DRIVEWAY
- 12 GRAVEL PATIO WITH WEED BLOCK FABRIC BELOW
- 13 6" HIGH METAL PERIMETER FENCE
- 15 RIDGE
- 16 EXISTING MASONRY CHIMNEY
- 17 MULCHED PLANTING BED BY OWNER
- 18 LEAVE AREA BEYOND THIS LINE NATURAL
- 19 18" LANDSCAPE CONCRETE PAVERS ON SAND BASE, EMBEDDED INTO MULCH BED
- 20 AC COMPRESSOR CASIUS PLACE CONCRETE SLAB, VERIFY DIMENSIONS WITH EQUIPMENT MANUFACTURER RECOMMENDATIONS
- 21 REFINISHED EXISTING STANDING SEAM METAL ROOF, REPAIR AND/OR REPLACE ANY DAMAGED SECTIONS OF ROOF AS REQUIRED AND RESTAGGER JOINTS
- 22 EXISTING WATER METER
- 23 EXISTING TELEPHONE SPICE BOXES
- 24 EXISTING ELECTRIC METER
- 26 LIMESTONE STEP TO MATCH EXISTING
- 27 EXISTING LIMESTONE STEP
- 28 EXISTING GAS METER, VERIFY SERVICE IS WORKING AND EXISTING EQUIPMENT MEETS CODE
- 29 EXISTING NEIGHBORING GARAGE STRUCTURE
- 30 6" HALF ROUND, WHITE ALUMINUM GUTTER W/ LEAF GUARD AND 5" ROUND, WHITE ALUMINUM DOWNSPOUTS AT THE CORNERS OF THE HOUSE

**Fisher Heck**  
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120 South St Mary's Street  
San Antonio, TX 78205  
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PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
**THE GUYER RESIDENCE**  
120 KING WILLIAM STREET, SAN ANTONIO, TX 78205  
SITE & ROOF PLAN

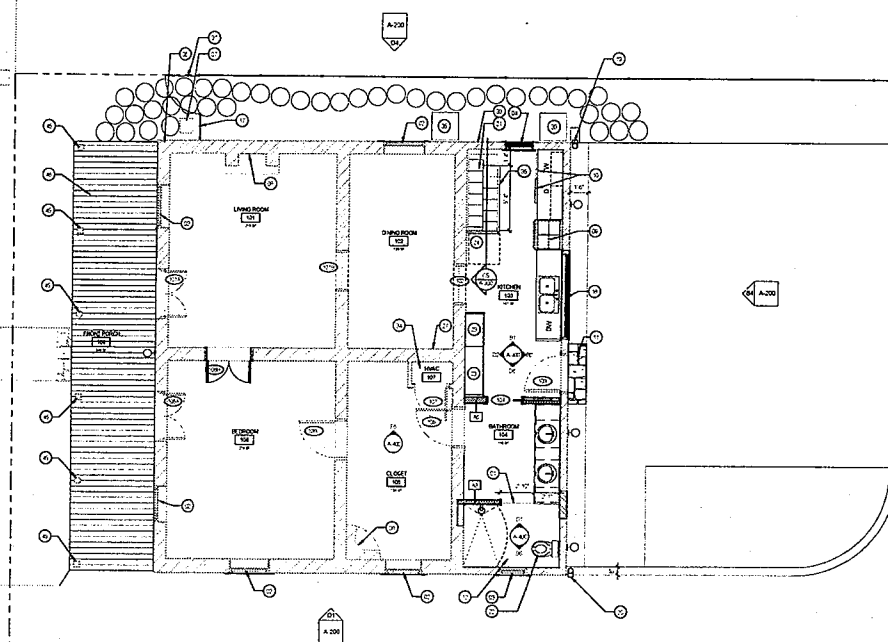
PROJECT NO. 1514-A2  
REVISION DATE

THE FLOOR THRESHOLD  
2 STRIP AND REFINISH EXISTING WINDOW FRAME, TRIM, SASHES AND HARDWARE. REPAIR AND/OR REPLACE ANY DAMAGED PIECES OF WOOD TO MATCH EXISTING SPECIES.  
3 STRIP AND REFINISH EXISTING WINDOW FRAME, TRIM, SASHES AND HARDWARE. REPAIR AND/OR REPLACE ANY DAMAGED PIECES OF WOOD TO MATCH EXISTING SPECIES. ADD UP TO 1/2" TO INTERIOR SIDE OF EXISTING GLAZING.  
4 RELOCATED EXISTING WINDOW FROM SOUTH FACED TO REAR FACED. STRIP WINDOW FRAME, TRIM, SASHES AND HARDWARE. REPAIR AND/OR REPLACE ANY DAMAGED PIECES OF WOOD TO MATCH EXISTING SPECIES.  
5 AC CONDENSER CATCH IN PLACE CONCRETE PAD COORDINATE WITH MECHANICAL CONTRACTOR ON LOCATION. RELOCATED CONDENSER UNIT 2' AWAY FROM EXISTING FOUNDATION WALL.  
6 INSTALL NEW SURFACE MOUNTED HOSE BIBB WITH 1/2" IPS SCHEDULE 40 COPPER PIPE AGAINST WALL.  
7 EXISTING GAS METER  
8 REPAIR INTERIOR WALLS OF FIREPLACE AND PAINT WITH A FINISH TO MATCH EXISTING. REPAIR PLASTER CHIMNEY FINISH AND PAINT  
9 SLIDE IN GAS RANGE PER SCHEDULE 1  
10 UNDER COUNTER DISHWASHER AND DRYER PER SCHEDULE 1  
11 6" H X 5" W Limestone step to MATCH EXISTING  
12 CONCRETE TO EXISTING EXISTING CONDITIONS OF BATHROOM FLOOR. INSTALL NEW 2X6 JOISTS @ 6" O.C. CONSULT WITH ENGINEER AND ARCHITECT AS TO HOW TO PROTECT EXISTING FLOORING. ALL SAMPSON JOIST HANGER AND FASTENERS TO BE STAINLESS STEEL TYPE.  
13 WOOD POST WITH WYBARK FENCE  
14 NEW METAL CLAD WOOD WINDOW, TRIPLE GLAZED, 24" X 36" TO WINDOW ELEVATION A20402.  
15 REFINISHED METAL DOWNSPOUT WITH PRECAST SLASH BLOCK  
16 REFINISHED METAL DOWNSPOUT  
17 CONCRETE TO EXISTING. WYBARK STAIR (A) ALTERNATE TREAD STAIRCASE  
18 TOILET FIXTURE. INSTALL TO MATCH WITH EXISTING. GRAB BAR TO EXISTING. EXISTING TOILET CUPBOARD. EXISTING DRAIN PIPE TO BE FUNCTIONAL, AND COODE TO EXISTING. EXISTING PLUMBING TO REMAIN WITH PVC, BACK TO MAIN LINE. CONCRETE SECTION STREET  
19 CUBIN CABINET  
20 FREESTANDING WHIRPOOL, STAINLESS STEEL, REFRIGERATOR (P) A987920MBM  
21 GLASS DOOR TO EXISTING. WYBARK COLOR TO BE REPAINTED TO MATCH EXISTING  
22 CAST IN PLACE CONCRETE PAD FOR EXTERIOR AIR CONDITIONER AND ENCLOSURE  
23 REPAIR EXISTING EXTERIOR ELECTRICAL CONNECTIONS REQUIRED PER MANUFACTURER  
24 WALL AND EXTERIOR GRADE. TANKLESS WATER HEATER  
25 CONSTRUCT NEW PLYWOOD PLATFORM FOR NEW LAUNDRY  
26 2" SO BLACK IRON RAILING WITH 3/4" DIA HORIZONTAL IRON BALUSTERS @ 6" O C  
27 WYBARK FENCE TO EXISTING. WYBARK COLOR TO BE REPAINTED TO MATCH EXISTING  
28 REPAIR EXISTING CONCRETE FOUNDATION WALL AS REQUIRED  
29 REPAIR EXISTING CONCRETE PIER AT CORNER TO MATCH EXISTING  
30 INFILL BETWEEN CONCRETE PIERS WITH LIMESTONE  
31 REMOVE LOOSE DIRT AND LEVEL OUT FLOOR SURFACE. INSTALL SALVAGED CHAINS BRK BARS IN PLAYING DOWD PATTERN ON 1" SAND BED  
32 EXISTING STONE RETAINING WALL. BUILD UP TO EXISTING EXISTING WOOD JOISTS  
33 PRESSURE TREATED WOOD STUD WALL WITH 1/2" PRESSURE TREATED PLYWOOD SHEATHING FOR MOULDING AND ELECTRICITY  
34 2" SO IRON HANDRAIL @ 36" AFF, MOUNTED TO STONE WALL AND JOINED TO RAILING ABOVE  
35 REPAIR EXISTING WOOD FLOORING TO MATCH EXISTING  
36 REFINISH EXISTING WOOD FLOOR BOARDS, STAINED & SEALED  
37 LEASE ALL DIRT FROM EXISTING FLOOR AND APPLY A THIN COAT OF SELF-LEVELING COMPOUND TOPPING, THEN STAIN TO MATCH WOOD STAIR COLOR  
38 LEAVE OPENING IN WALL FOR VENTILATION THROUGH CHAIR, SPACE  
39 INSTALL 1/2" DIA. METAL VAPOR BARRIER OVER TOP OF EXISTING DRAINAGE

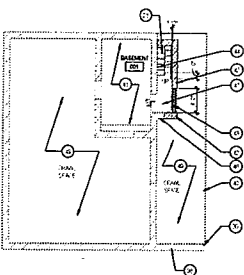


PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
**THE GUYER RESIDENCE**  
 1200 N. KING WILLIAM STREET, SAN ANTONIO, TX 78205  
 FLOOR PLAN

SHEET NO.  
**A-101**



**01 FIRST FLOOR PLAN**



**F1 BASEMENT FLOOR PLAN**

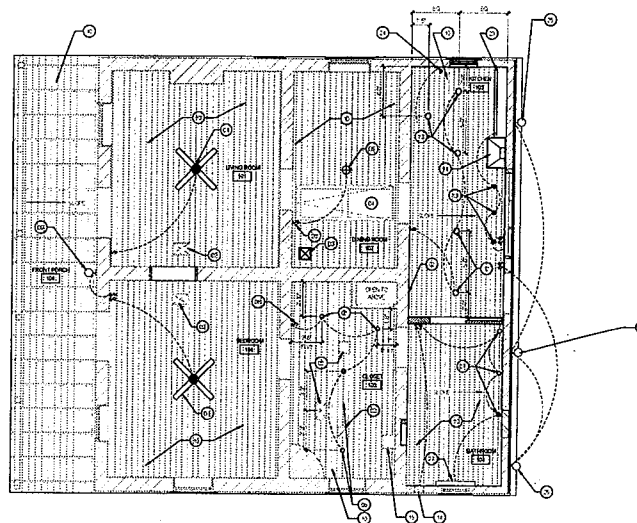
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ROOM FINISH SCHEDULE						
ROOM NAME	NEW NAME	FLOOR	BASE	WALL/PAPER	CEILING/FINISH	REMARKS
STAIRWAY	STAIRWAY	1ST	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	2ND	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	3RD	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	4TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	5TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	6TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	7TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	8TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	9TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	10TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	11TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	12TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	13TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	14TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	15TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	16TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	17TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	18TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	19TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	20TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	21TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	22TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	23TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	24TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	25TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	26TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	27TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	28TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	29TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	30TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	31TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	32TH	WOOD	WOOD	WOOD	
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STAIRWAY	STAIRWAY	35TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	36TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	37TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	38TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	39TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	40TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	41TH	WOOD	WOOD	WOOD	
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STAIRWAY	STAIRWAY	48TH	WOOD	WOOD	WOOD	
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STAIRWAY	STAIRWAY	50TH	WOOD	WOOD	WOOD	
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STAIRWAY	STAIRWAY	69TH	WOOD	WOOD	WOOD	
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STAIRWAY	STAIRWAY	71TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	72TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	73TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	74TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	75TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	76TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	77TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	78TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	79TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	80TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	81TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	82TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	83TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	84TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	85TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	86TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	87TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	88TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	89TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	90TH	WOOD	WOOD	WOOD	
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STAIRWAY	STAIRWAY	97TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	98TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	99TH	WOOD	WOOD	WOOD	
STAIRWAY	STAIRWAY	100TH	WOOD	WOOD	WOOD	

MATERIAL LEGEND			
TYPE MARK	MATERIAL	COLOR	NOTES
17B1	CONCRETE GRADE	NOI	
20T1	REINFORCING BAR	NOI	FLAT PATTERNS
18L1B1	EXTERIOR FINISH	NOI	STAIRWELL CHIMNEY: REINFORCEMENT FOR STAIRWELL FINISH (SEE STAIRWELL FINISH AT 20B1)
18L1B2	EXTERIOR FINISH	NOI	
18L1B3	EXTERIOR FINISH	NOI	
18L1B4	EXTERIOR FINISH	NOI	
18L1B5	EXTERIOR FINISH	NOI	
18L1B6	EXTERIOR FINISH	NOI	
18L1B7	EXTERIOR FINISH	NOI	
18L1B8	EXTERIOR FINISH	NOI	
18L1B9	EXTERIOR FINISH	NOI	
18L1B10	EXTERIOR FINISH	NOI	
18L1B11	EXTERIOR FINISH	NOI	
18L1B12	EXTERIOR FINISH	NOI	
18L1B13	EXTERIOR FINISH	NOI	
18L1B14	EXTERIOR FINISH	NOI	
18L1B15	EXTERIOR FINISH	NOI	
18L1B16	EXTERIOR FINISH	NOI	
18L1B17	EXTERIOR FINISH	NOI	
18L1B18	EXTERIOR FINISH	NOI	
18L1B19	EXTERIOR FINISH	NOI	
18L1B20	EXTERIOR FINISH	NOI	
18L1B21	EXTERIOR FINISH	NOI	
18L1B22	EXTERIOR FINISH	NOI	
18L1B23	EXTERIOR FINISH	NOI	
18L1B24	EXTERIOR FINISH	NOI	
18L1B25	EXTERIOR FINISH	NOI	
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18L1B87	EXTERIOR FINISH	NOI	
18L1B88	EXTERIOR FINISH	NOI	
18L1B89	EXTERIOR FINISH	NOI	</

## KEY NOTES

- 01 CEILING FAN FIXTURE L3. INSTALL ADDITIONAL BLOCKING ABOVE CEILING FOR SUPPORT AS REQUIRED
- 02 CLEAN AND PAINT EXISTING AIR GRILLE TO MATCH ADJACENT SURFACE COLOR
- 03 INSTALL NEW ONE WAY SUPPLY AIR GRILLE AIMED TOWARD WINDOW. SIZE TO MATCH EXISTING. PAINT TO MATCH CEILING
- 04 REFINISH EXISTING ATTIC DOOR. REPAIR DAMAGED TREADS AND SUPPORT HARDWARE OF STAIR
- 05 DECORATIVE PENDANT LIGHT FIXTURE L4
- 06 FIXED RECESSED LED LIGHT FIXTURE L5. CENTERED ON JOINT BETWEEN WOOD CEILING BOARDS
- 07 VANITY WALL SCONCE LIGHT FIXTURE L8
- 08 INSTALL NEW LIGHT SWITCHES AND FACEPLATE AT EXISTING LOCATION. MODIFY FIXTURE WIRING AS REQUIRED
- 09 WALL SCONCE LIGHT FIXTURE L1
- 10 INSTALL REFINISHED EXISTING CEILING BOARDS AND PAINT TO MATCH EXISTING. REPAIR ROOF RAFTERS WITH OPEN-CELL SPRAY FOAM INSULATION TO THE FULL THICKNESS OF THE RAFTERS
- 11 KITCHEN HOOD VENT PER SCHEDULE. INSTALL REQUIRED VENT PIPE THROUGH ROOF WITH FLASHING PER CODE
- 12 RECESSED ADJUSTABLE LED LIGHT FIXTURE L6
- 13 RECESSED ADJUSTABLE LED LIGHT FIXTURE L7. CENTERED ON THE WINDOW PANES AND COUNTER TOP BELOW
- 14 SIDEWALL EXHAUST FAN
- 15 EXISTING FURR DOWN FOR MECHANICAL DUCT. REPAIR ANY DAMAGED PLASTER AND PREP FOR PAINTING. COLOR TO MATCH THE WALL COLOR
- 23 UNDERCABINET LED STRIP LIGHT
- 24 3-WAY LIGHT SWITCH FOR BASEMENT LIGHT FIXTURES
- 25 WALL SCONCE LIGHT FIXTURE L2
- 26 DIMMER SWITCH
- 27 BATHROOM WALL SCONCE LIGHT FIXTURE L8. CENTERED ABOVE EXISTING WINDOW. REFER TO ELEVATION



03 FIRST FLOOR REFLECTED CEILING PLAN

## LIGHT FIXTURE LEGEND

- L1 DARKENED COPPER WALL SCONCE (DIRECT FROM MEXICO #A53232)  
-INSTALL WITH 75 WATT EQUAL LED BULB, 3000K MAX
- L2 WHITE OVAL OUTDOOR WALL SCONCE (SEA GULL LIGHTING RICKY170)  
-INSTALL WITH 75 WATT EQUAL LED BULB, 3000K MAX
- L3 HUNTER DOUGHERTY CEILING FAN (#59029 BRUSHED NICKEL FINISH)  
-INSTALL WITH TWO 48 WATT EQUAL LED BULBS, 3000K MAX  
-INSTALL WALL MOUNTED CRADLE ACCESSORY FOR REMOTE
- L4 20TH C FACTORY FILAMENT MILK GLASS CAFÉ ROUND PENDANT BY RESTORATION HARDWARE 3 CORD (#680343 PIVAN)  
-INSTALL WITH 40 WATT EQUAL DIMMABLE LED BULBS, 2700K MAX  
-POLISHED NICKEL FINISH
- L5 5" DIA RECESSED, FIXED LED LIGHT FIXTURE WITH WHITE TRIM, 3000K MAX
- L6 5" DIA RECESSED, ADJUSTABLE LED LIGHT FIXTURE WITH WHITE TRIM, 3000K MAX
- L7 4" DIA RECESSED, ADJUSTABLE LED LIGHT FIXTURE WITH WHITE TRIM, 3000K MAX
- L8 MODERN FORMS VOGUE 3-LIGHT LED WALL SCONCE (MFDE1063)  
-INSTALL VERTICALLY PER INTERIOR ELEVATION  
-BRUSHED NICKEL FINISH
- L9 MODERN FORMS VOGUE 6-LIGHT LED WALLS CONCE (MFDE1067)  
-INSTALL HORIZONTALLY PER INTERIOR ELEVATION  
-BRUSHED NICKEL FINISH

PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
THE GUYER RESIDENCE  
100 WYOMING STREET, SAN ANTONIO, TX 78205  
REFLECTED CEILING PLAN

PROJECT NO. 1514.02  
REVISION DATE

## KEY NOTES

- 01 NEW ELECTRICAL OUTLET FOR REFRIGERATOR @ 24" AFF
- 02 NEW ELECTRICAL OUTLET FOR DISHWASHER @ 24" AFF
- 03 NEW ELECTRICAL OUTLET FOR ELECTRIC VENTLESS DRYER @ 24" AFF
- 04 NEW ELECTRICAL OUTLET FOR ELECTRIC WASHING MACHINE @ 24" AFF
- 05 ABOVE COUNTER, GFCI ELECTRICAL OUTLET
- 06 RELOCATED CABLE & PHONE OUTLETS
- 07 GFCI OUTLET FOR WATER SOFTENER, @ 42" AFF
- 09 EXTERIOR RATED GFCI OUTLET @ 24" AFF WITH PROTECTIVE HOUSING
- 10 NEW ELECTRICAL OUTLET FOR GAS RANGE @ 24" AFF
- 11 NEW GFCI ELECTRICAL OUTLET FOR GARBAGE DISPOSAL @ 24" AFF
- 12 RELOCATED ELECTRICAL OUTLET FOR MICROWAVE @ 44" AFF
- 14 NEW EXTERIOR RATED OUTLET FOR HVAC AIR HANDLING UNIT
- 15 NEW STANDARD GFCI ELECTRICAL OUTLET @ 15" AFF
- 16 NEW STANDARD ELECTRICAL OUTLET @ 15" AFF
- 17 NEW OUTLET FOR NEW FURNACE @ 35" AFF
- 18 NEW ELECTRICAL PANEL MOUNTED TO NEW WOOD STUD WALL
- 19 NEW GFCI ELECTRICAL OUTLET @ 35" AFF

D2 FIRST FLOOR ELECTRICAL POWER PLAN  
1/4" = 1'-0"

E2 BASEMENT ELECTRICAL POWER PLAN  
1/4" = 1'-0"

Fisher Heck  
ARCHITECTS

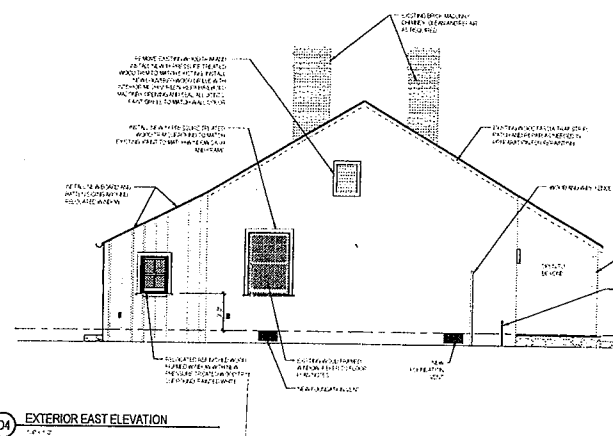
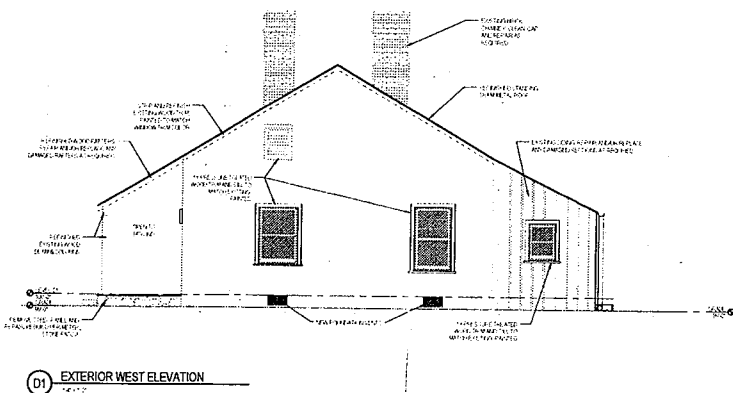
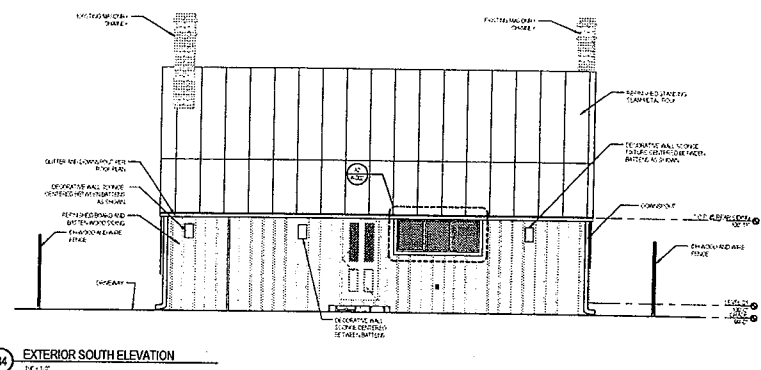
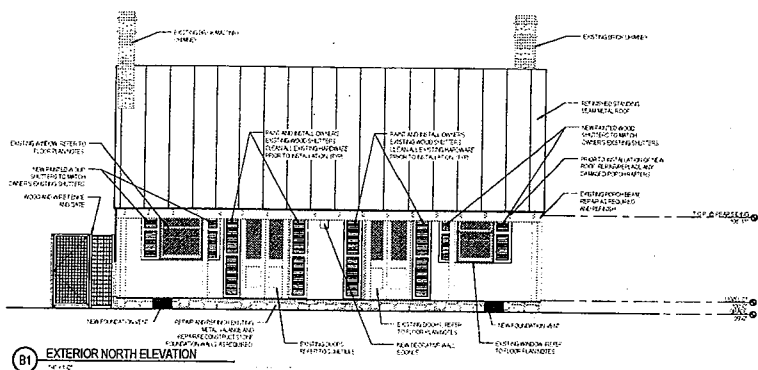


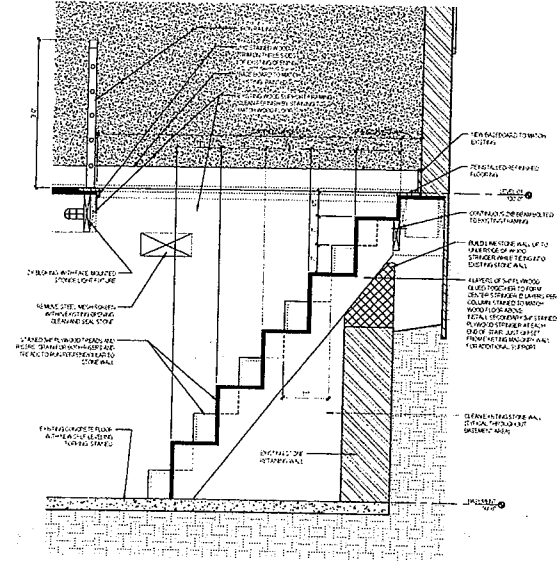
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PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
THE GUYER RESIDENCE  
120 KING VALLEY STREET, SAN ANTONIO, TX 78205  
FIRST FLOOR ELECTRICAL PLAN

PROJECT NO. 1514 A2  
REVISION DATE

SHEET NO.  
A-103





CS STAIR SECTION DETAIL  
11/11/15

**Fisher Heck**  
CHITECTS  
3 South St. Mary's Street  
San Antonio, TX 78205  
210.209.1500 Fax 210.209.1502



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PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
**THE GUYER RESIDENCE**  
1201015 VILLAM STREET SAN ANTONIO, TX 78205  
BUILDING & WALL SECTIONS

PROJECT NO. 1514.02

REVISION DATE

SHEET NO.  
**A-300**

11/22/2015 10:27 PM





RECEIVED

98- 0104583

98 AUG 21 AM 10: 23

HISTORIC DESIGNATION: VERIFIED CERTIFICATE

DEPT. OF PLANNING  
LAND DEVELOPMENT  
SERVICES DIVISION

This Verified Certificate Re: Historic Designation (Certificate) is being recorded in compliance with section 315.006(h) of the Local Government Code which provides that each municipality shall record in the real property records of the County Clerk's office of each county in which the municipality is located a verified written instrument setting forth each historic structure or property that is located in the municipality and county. Additionally, it should be noted that for purposes of this section 315.006(h) requirement a "historic structure or property" is defined in TEX. GOV'T CODE ANN. | 442.001, or it can be a structure or property that is designated as historic by a political subdivision of the State, the State, or the federal government. See TEX. LOCAL GOV'T CODE ANN. | 315.06(a).

Furthermore, it should be noted that pursuant to TEX. LOCAL GOV'T CODE ANN. | 315.006(I) upon the recording and indexing of this Certificate Tex. LOCAL GOV'T CODE ANN | 315.006(a) - (g) become applicable. In that light, all persons take note that:

1. The historic structure or property described in this Certificate has been given the following historic designation: [Registration in the National Register of Historic Places and /or Recorded Texas Historical Landmark or any of the other historic designations set forth in TEX. LOCAL GOV'T CODE | 315.006(a) Historic Districts and Landmarks Zoning Ordinance No. 64539.

Designation: City of San Antonio Historic Exceptional Landmark; City Ordinance  
#64540

2. The legal description of the real property on which the aforementioned designated historic structure or property is located is as follows:

120 King William, San Antonio, Bexar County, Texas and specifically described in the Deed Records of Bexar County, Texas as Lot 4, Block 2, New City Block 737, situated in the City of San Antonio, Bexar County, Texas.

3. The street address of the real property on which the aforementioned designated historic structure or property is located (if available in the municipal files) is shown to be as follows:

120 King William  
San Antonio, Texas 78204

VOL 7515 PG 1464

4. The aforementioned designated historic structure or property may generally be described as follows:

This is a simple Vernacular cottage of stuccoed masonry, probably caliche block. The gabled roof extends at a slightly different pitch out over a front porch. This porch roof extension is supported by cedar posts. The roofing is standing seam metal. Two pairs of paneled doors are symmetrically placed at the middle of the main facade and each has a small six over six double hung window to its outer side. All four openings have louvered shutters. A single chimney penetrates the roof at the center of the ridge.

5. The name and address of the owner of the record of the real property on which the aforementioned designated historic structure or property is located is shown to be as follows in:

**WARRANTY DEED**

Volume number/Page number: 4161/1209

A. N. Norwood, Inc.  
Ronald & Madeline Guyer  
3051 S. Valley View Ln.  
San Antonio, Texas 78217-5135

RECEIVED  
98 AUG 21 AM 10:23  
DEPT. OF PLANNING  
& LAND DEVELOPMENT  
SERVICES DIVISION

VOL 7515 PG 1465

VERIFICATION

RECEIVED

STATE OF TEXAS |

KNOW ALL PERSONS BY THESE PRESENTS

COUNTY OF BEXAR |

BEFORE ME, the undersigned authority, personally appeared

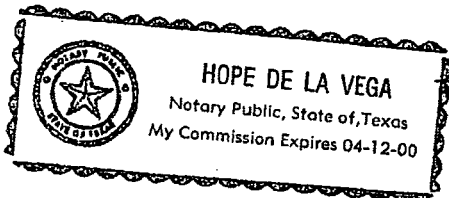
SEP 21 AM 10:23  
DEPT. OF PLANNING  
LAND DEVELOPMENT  
SERVICES DIVISION

Emil Moncivais, and being by me duly sworn on his oath states:

1. that he is the [City Clerk or other municipal official in charge of keeping municipal files];
2. that he is over 21 years of age and fully competent to make this statement;
3. that he is duly authorized to make this verification;
4. that the matters contained in the foregoing Certificate are based on information collected and maintained by the [City Clerk or other municipal official] in his files which are kept in the regular course of municipal business by a municipal employee whose business it is to collect and maintain such information for the municipality.

Emil Moncivais  
Municipal Officer, Emil Moncivais  
Director of Planning

SUBSCRIBED AND SWORN to before me on this the 23 day of July, 1997.



Hope De La Vega  
NOTARY PUBLIC STATE OF TEXAS  
Hope De La Vega

ACKNOWLEDGEMENT

STATE OF TEXAS |

COUNTY OF BEXAR |

This instrument was acknowledged before me on July 23, 1997 by  
Date

Ann Benson McGlone  
Name: Ann Benson McGlone

as Historic Preservation Officer  
Title

When Recorded, Return To:  
Ann Benson McGlone, HPO  
City of San Antonio  
Department of Planning  
P.O. Box 839966  
San Antonio, TX 78283-3966

Hope De La Vega  
NOTARY PUBLIC STATE OF TEXAS  
Hope De La Vega  
My Commission Expires: 4-12-00

VOL 7515 PG 1466

RECORDER'S MEMORANDUM

AT THE TIME OF RECORDATION, THIS INSTRUMENT WAS FOUND TO BE INADEQUATE FOR THE BEST PHOTOGRAPHIC REPRODUCTION BECAUSE OF ILLEGIBILITY, CARSON OR PHOTO COPY, DISCOLORED PAPER, ETC.

Any provision herein which restricts the sale, rental, or use of the described real property because of race is invalid and unenforceable under Federal law STATE OF TEXAS, COUNTY OF BEXAR  
I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me and was duly RECORDED in the Official Public Record of Real Property of Bexar County, Texas on:

JUN 24 1998



*Gerry Rickhoff*  
COUNTY CLERK BEXAR COUNTY, TEXAS

Filed for Record in:  
BEXAR COUNTY, TX  
GERRY RICKHOFF, COUNTY CLERK

On Jun 22 1998

At 12:42pm

Receipt #: 137121  
Recording: 7.00  
Doc/Mgmt: 6.00

Doc/Num : 98- 0104583

Deputy -Janie Sanchez

VOL 7515 PG 1467

COLOR PHOTO OF THE STRUCTURE

FROM THE STREET

THE JOHN BALL HOUSE

120 KING WILLIAM STREET



# FRONT EXTERIOR BEFORE





Exterior view of West, front room window,  
on the Front Porch. Before

E

W





BEFORE COLOR PHOTOS OF THE EXTERIOR

THE JOHN BALL HOUSE

120 KING WILLIAM STREET



(East)  
One of the front doors . 120 King William St.

Before

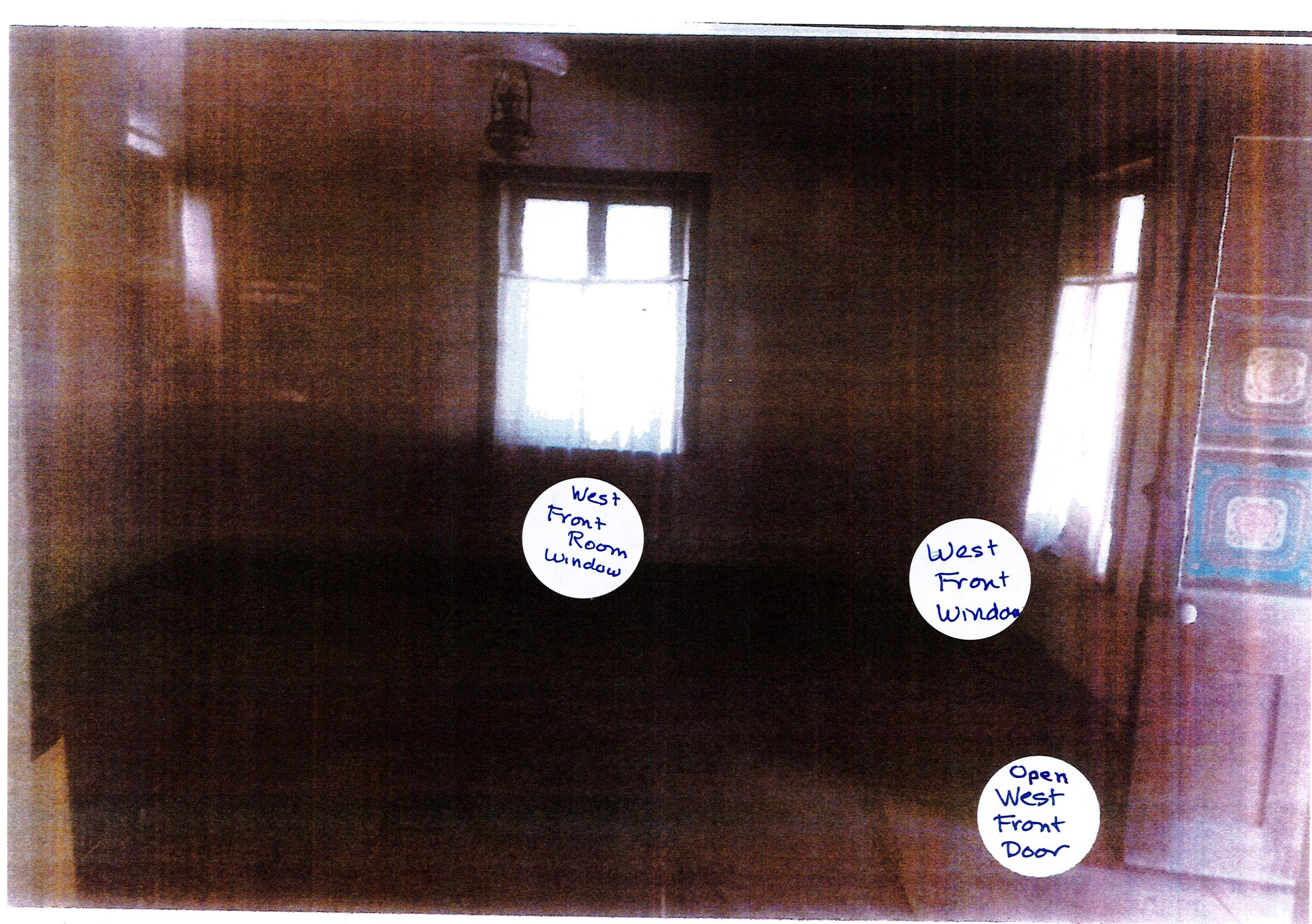
Front  
Door  
East Side  
of  
house

E

W







Interior view of Front and Side Windows of the Front West Room  
120 King William. The West Front Door is visible on the right.





Front View of Front  
Porch Edge + Column  
Before

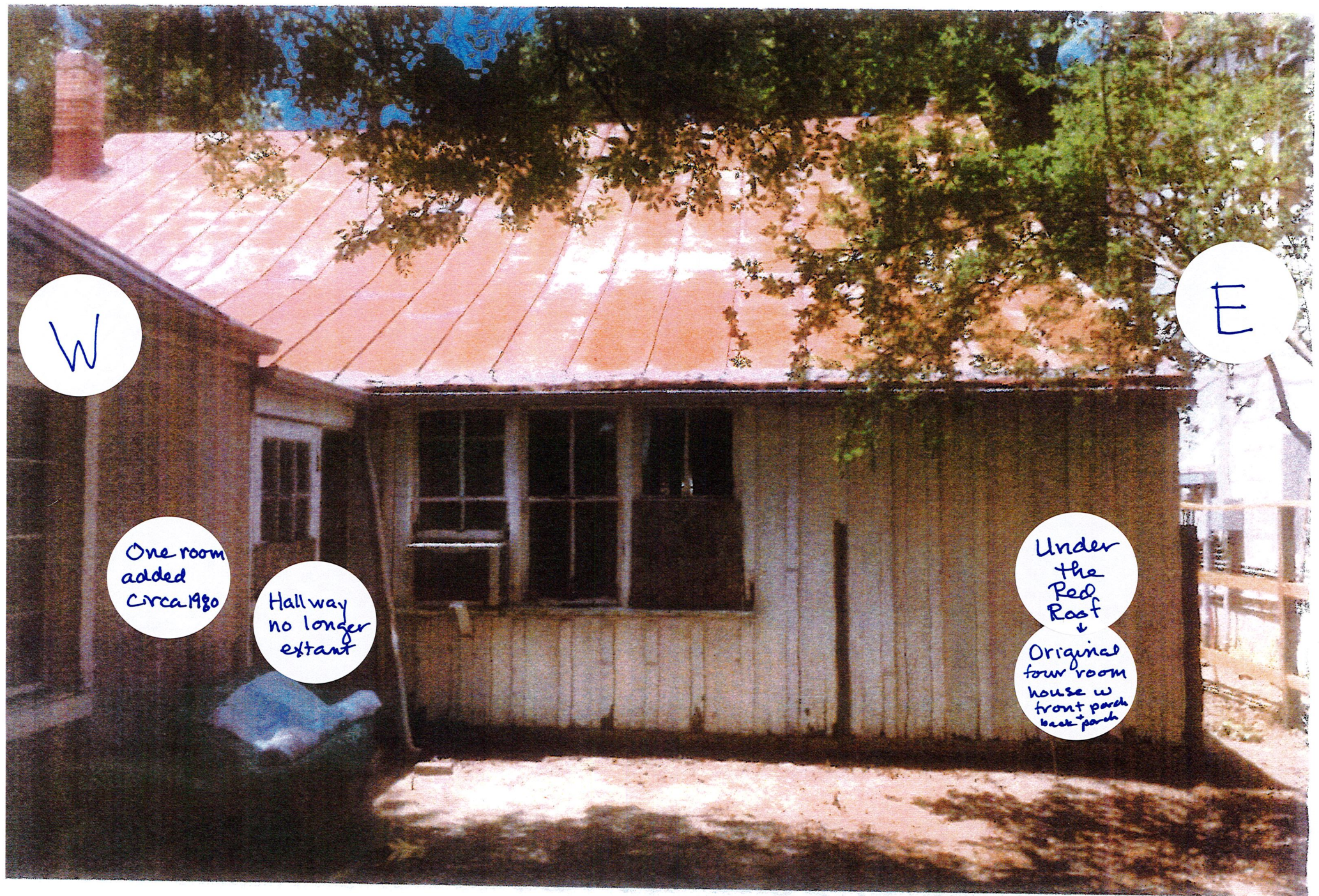


Exterior view of West, second room (kitchen)  
window.





# Rear View 120 King William St Before



W

E

One room  
added  
Circa 1980

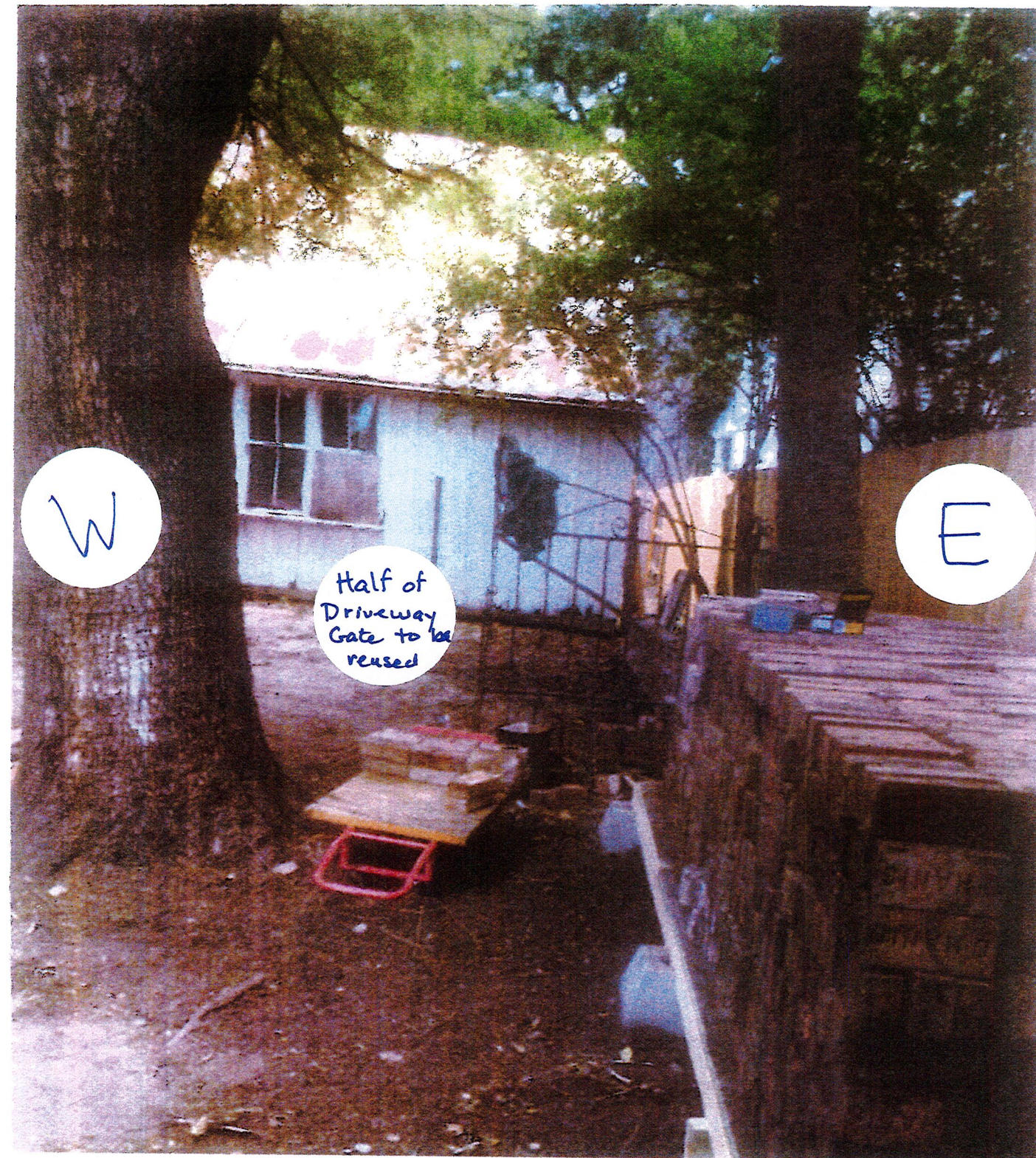
Hallway  
no longer  
extant

Under  
the  
Red  
Roof  
↓

Original  
four room  
house w  
front porch  
back porch



## Back Exterior View



Bricks to be used  
for brick patio and  
basement floor. Sal-  
vaged from demolished  
structure in San Antonio

Previous Driveway Gate  
in photo by bricks. Both  
sides <sup>of gate</sup> will be reused on  
the driveway gate.



Exterior East Side View of Second Room  
Window

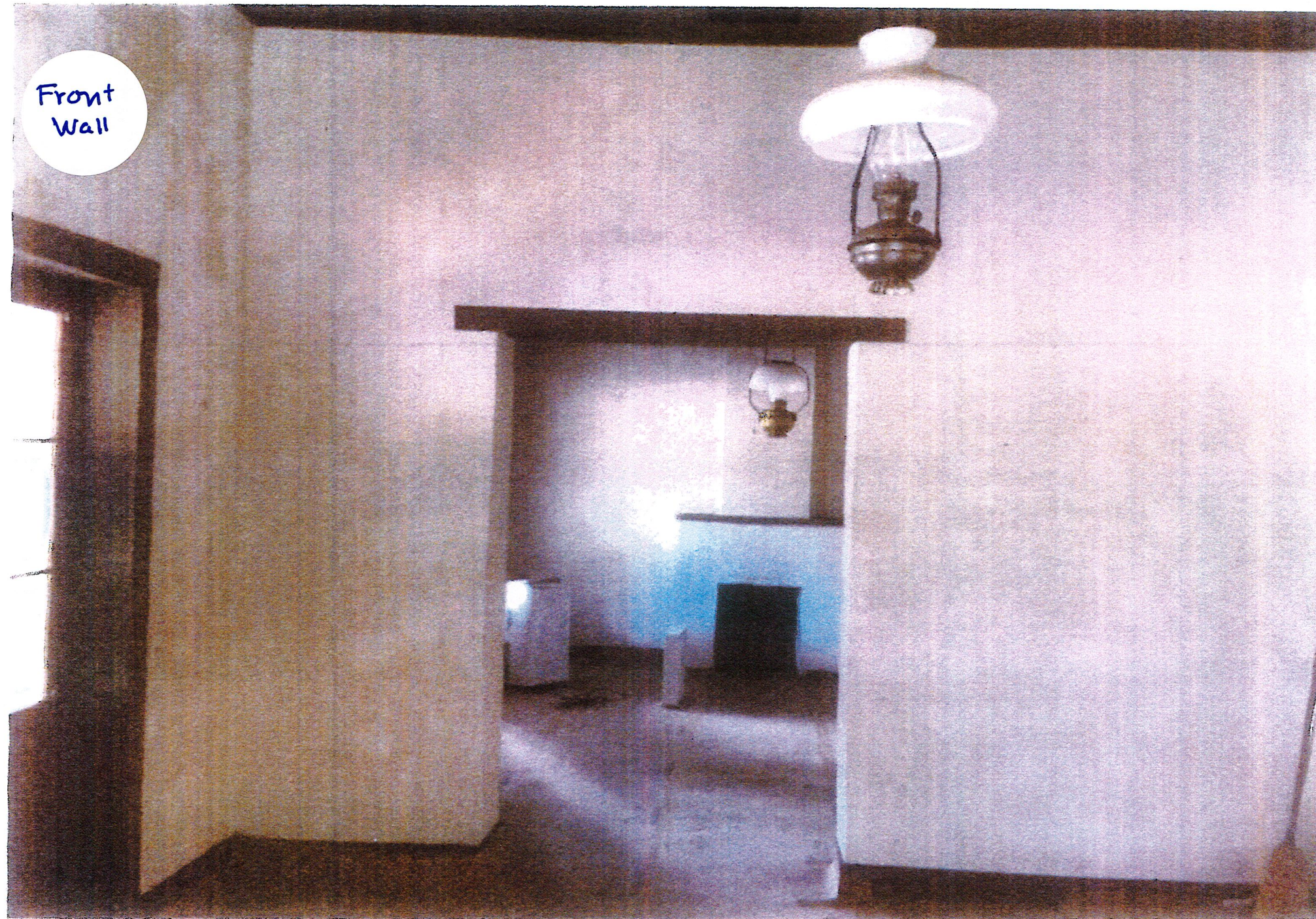




BEFORE COLOR PHOTOS OF THE INTERIOR  
THE JOHN BALL HOUSE  
120 KING WILLIAM STREET

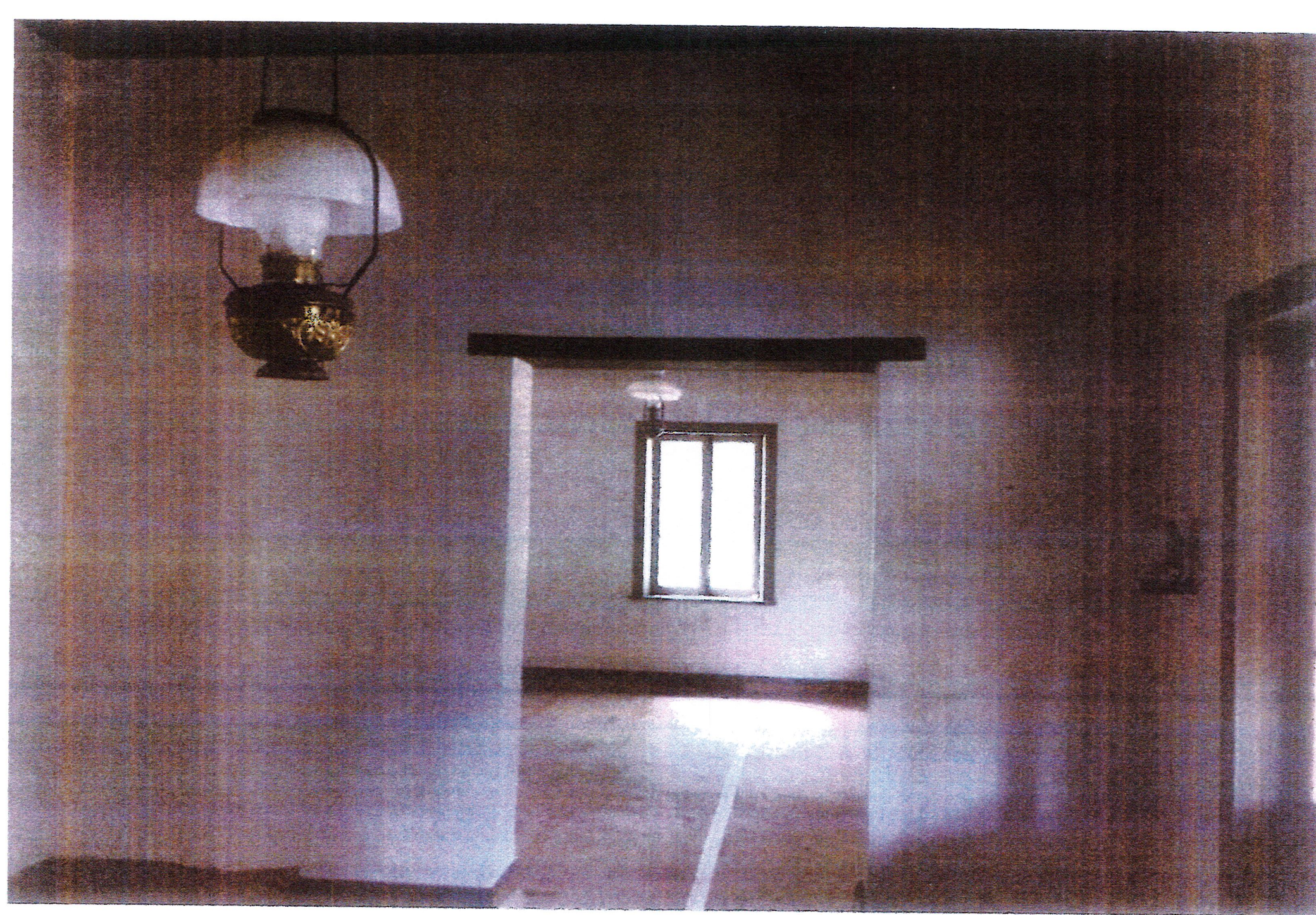


Front  
Wall



View from front West Room to East Front Room  
BEFORE with original fireplace

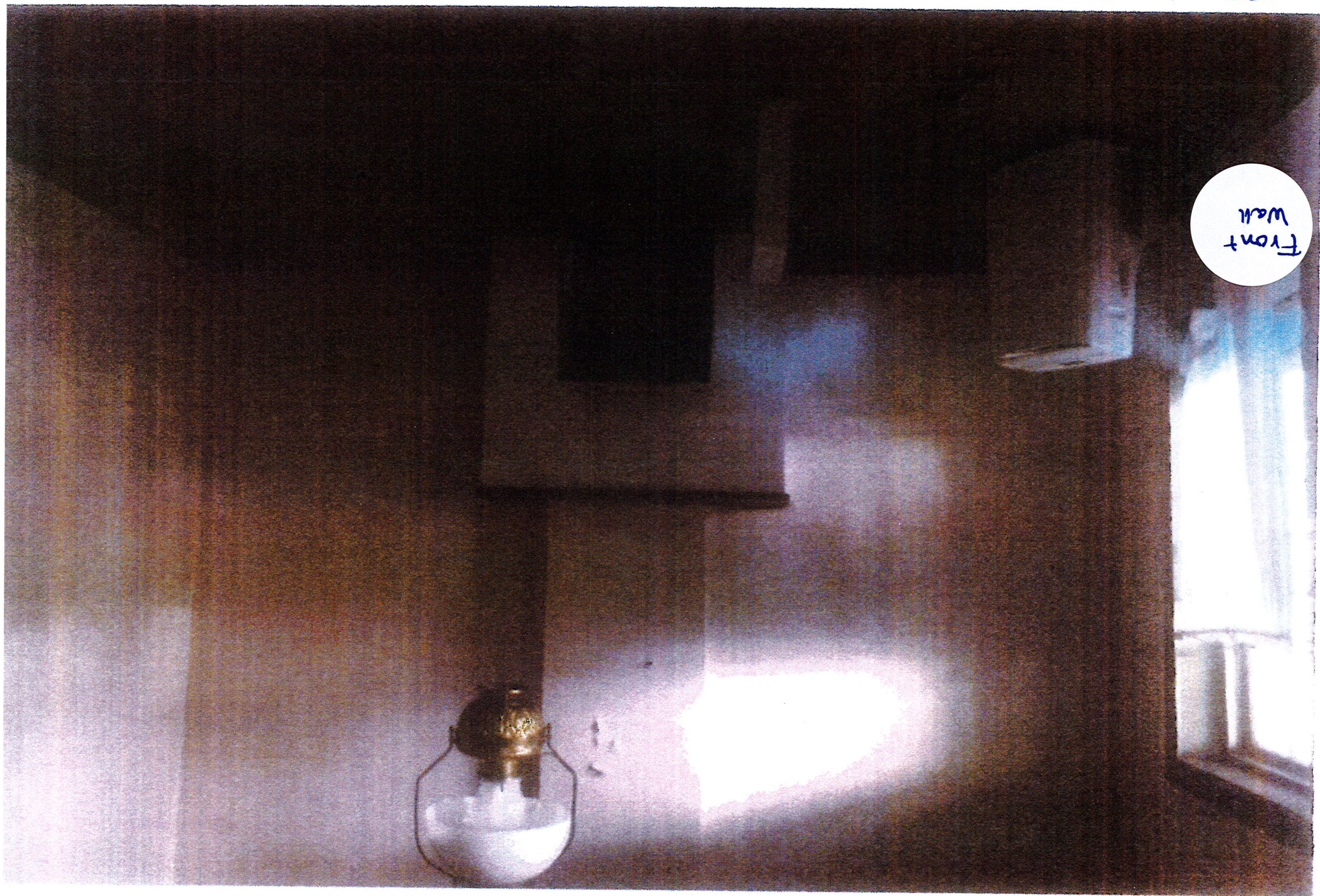




View from East Front Room to West Front Room BEFORE



FRONT ROOM East Side of House showing window and fireplace.



Front  
Wall



Front Room (East) looking <sup>NORTH</sup> toward street. The window is raised with an airconditioner in the bottom of the window.

Front  
Interior  
Wall





Interior  
View  
Second  
Room

East  
Side  
Window





second room on west side of house



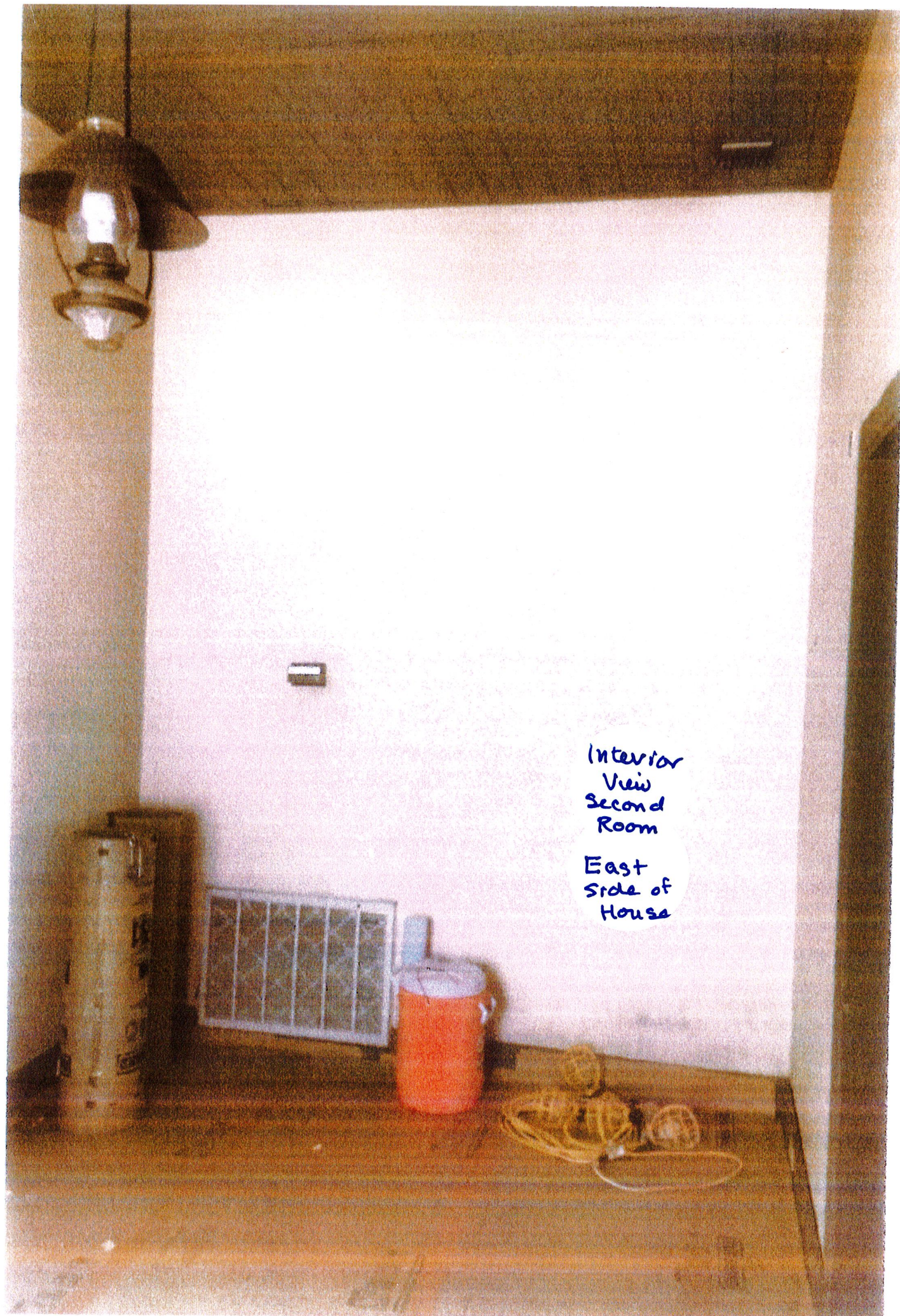
Kitchen in the second room on the west side of the house. It has a ~~looking~~ corner fireplace. All appliances have been removed.



This is a view from the front west room through the kitchen into the original back porch. The closet containing the washer and dryer is seen through the second doorway.







Interior  
View  
Second  
Room

East  
Side of  
House



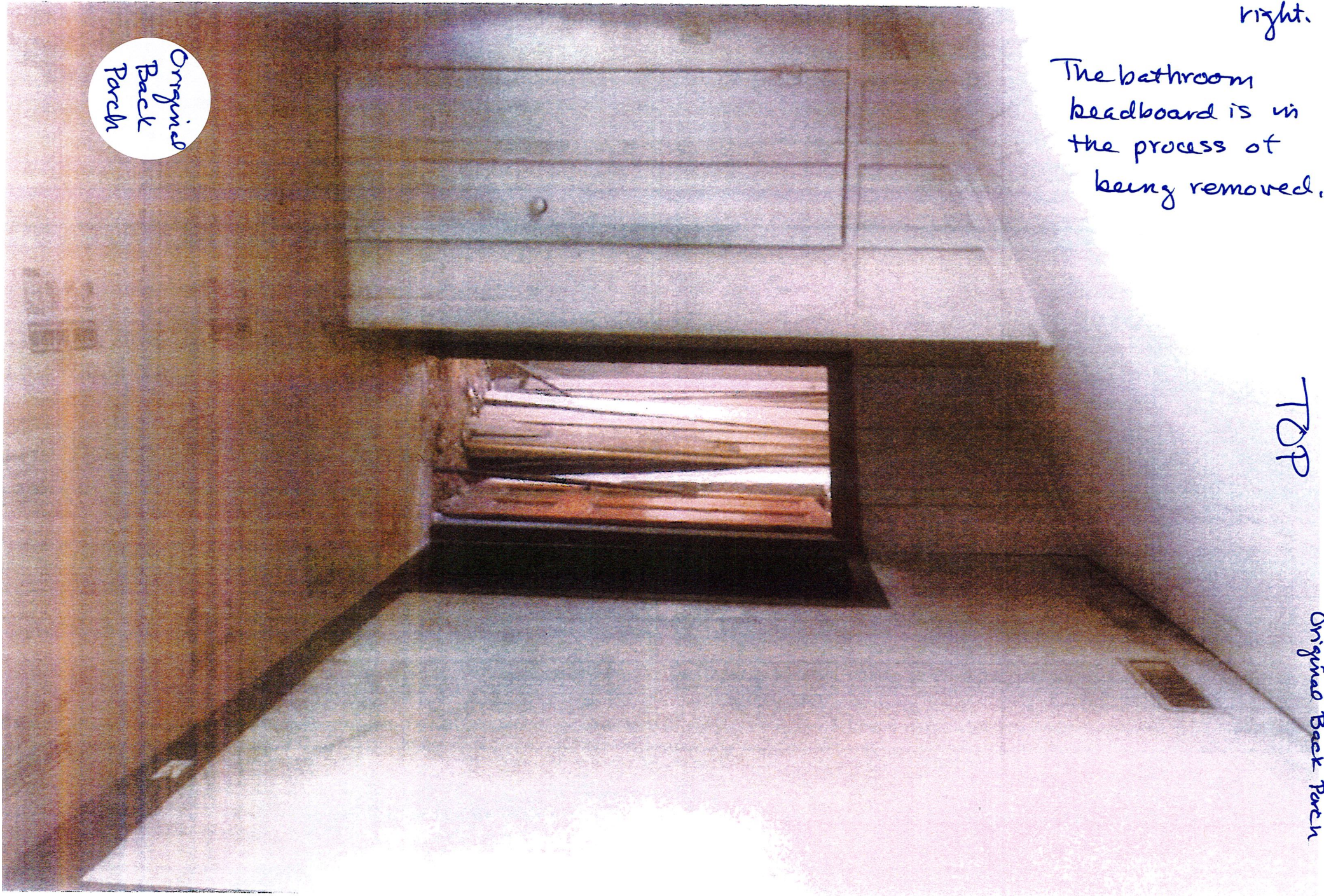
Looking west from the original back porch: A closet containing a washer and dryer is on the left. The door into the bathroom is on the right.

The bathroom headboard is in the process of being removed.

TOP

Original Back Porch

Original  
Back  
Porch



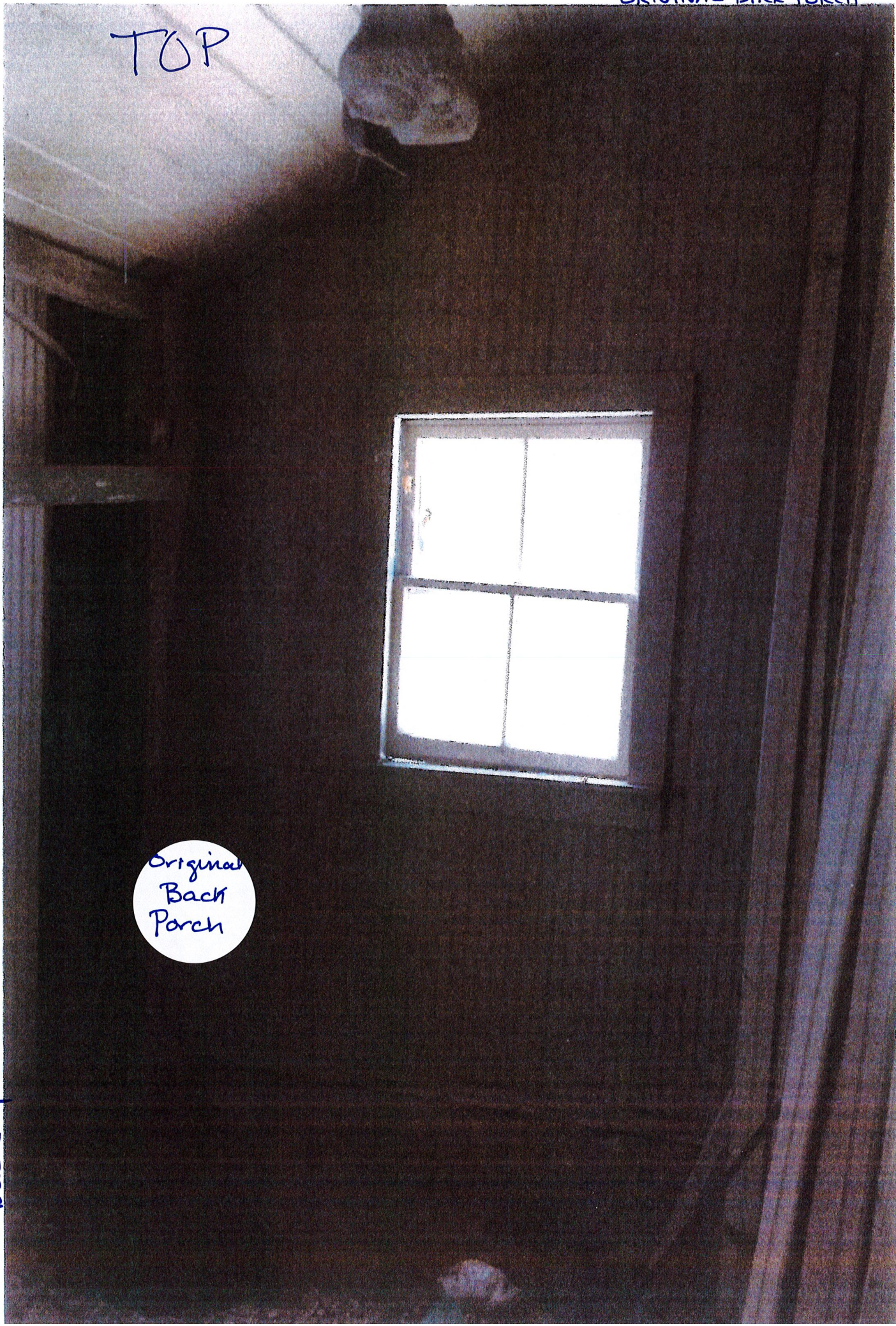


LOOKING WEST from the existing bathroom toward the west window of the bathroom. This was part of the original back porch.

TOP

Original  
Back  
Porch

ORIGINAL BACK PORCH





This is the original exterior wall under the beadboard of the bathroom added when indoor plumbing became available

TOP

Original Back Porch

Original  
Back  
Porch





This is an original window from the second room of the west side of the house. It has a matching window on the east side of the house which is plastered over. It will be used to make a space for shelving in the shower. These original windows were on the back side of the house.



Original Back Porch

TOP

Original  
Back Porch  
Window



TOP

Basement

opening  
to  
basement

metal  
barrier

exterior  
east  
wall

Earth

limestone

This photo was taken with a light in the basement.

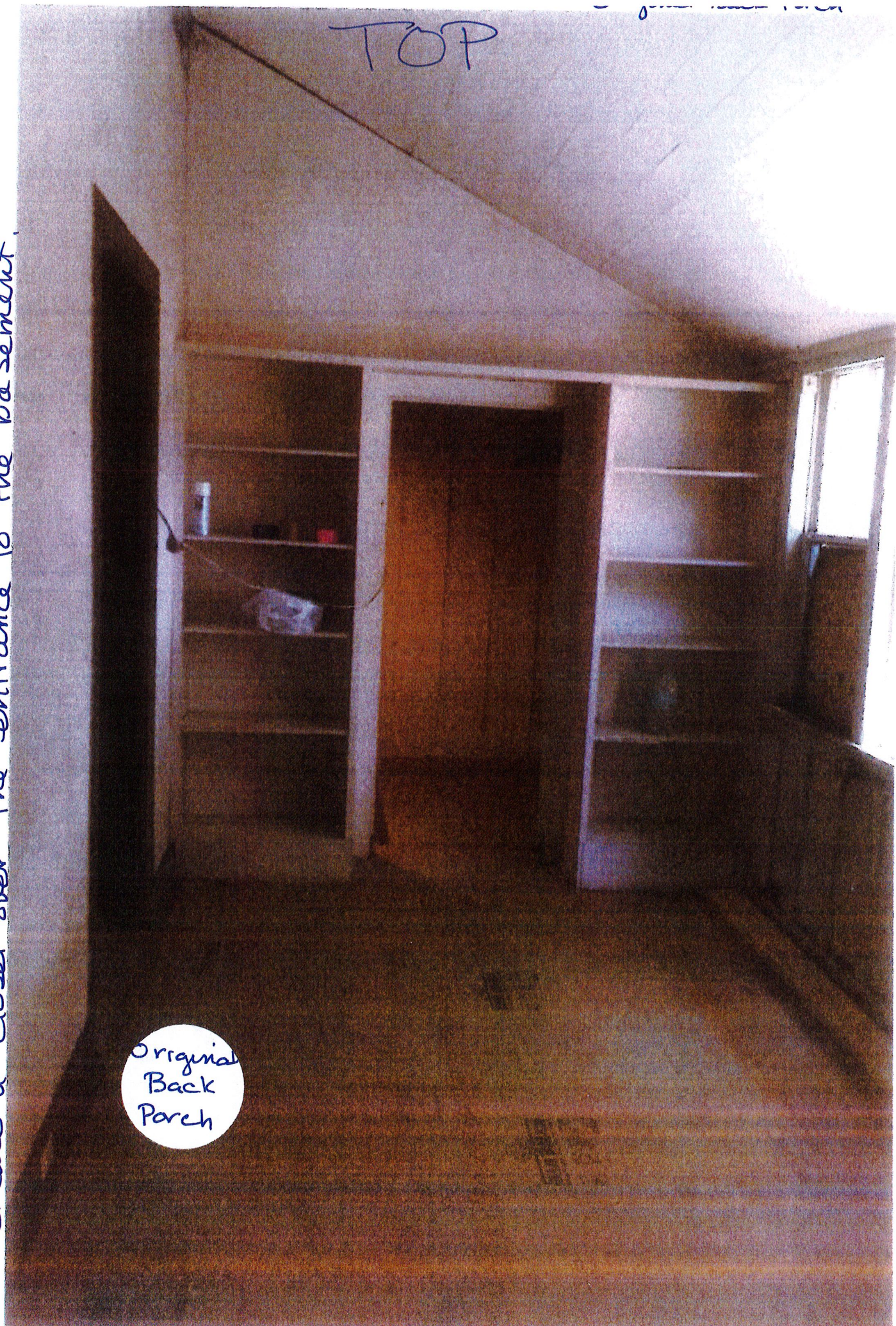
BOTTOM



Looking east, standing in the room which was the original back porch, toward bookshelves and a wall, installed in the 1980's, to create a closet over the entrance to the basement.

TOP

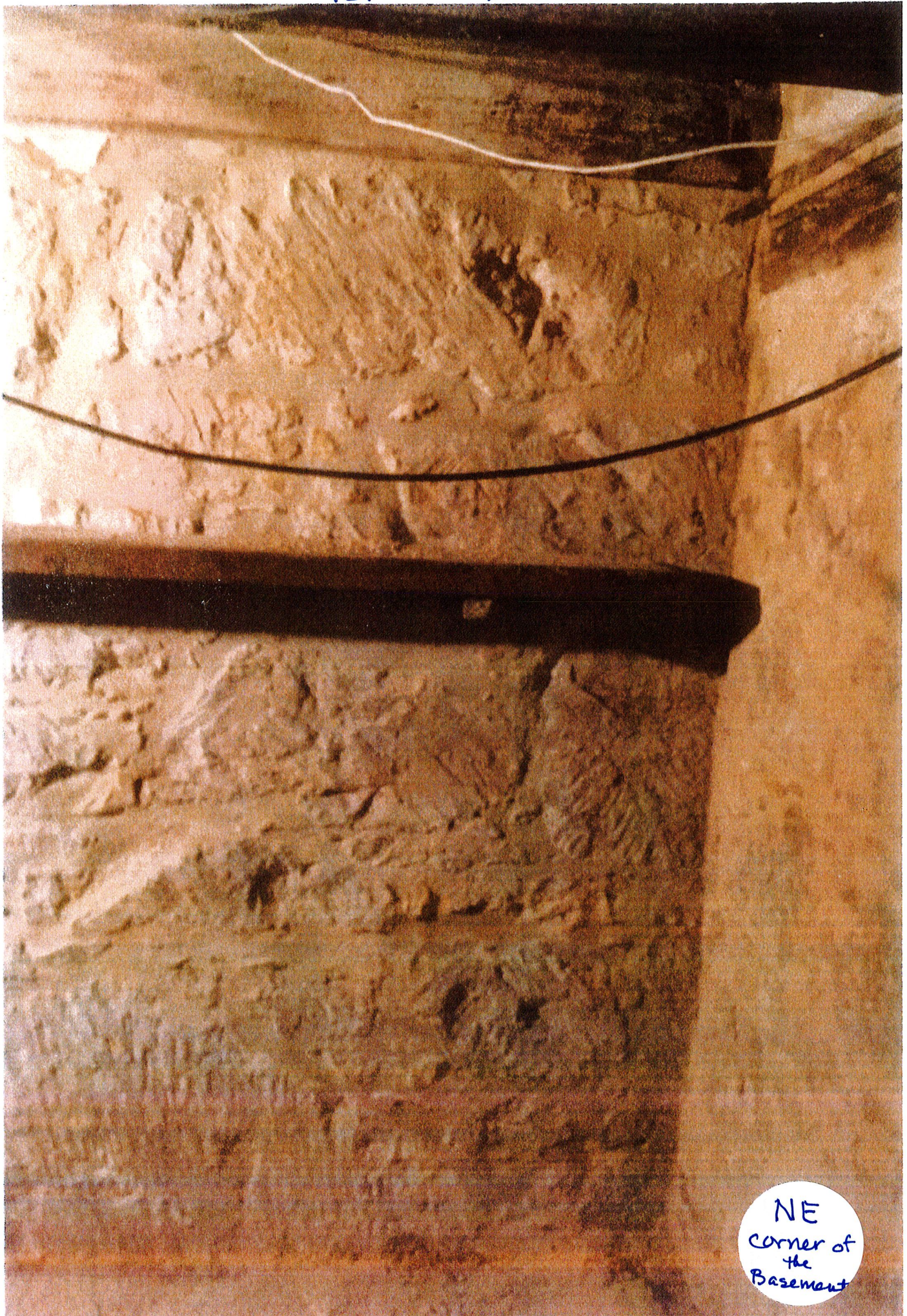
Original  
Back  
Porch





TOP

BASEMENT



NE  
corner of  
the  
Basement



TOP

Basement

## BEFORE

This is the limestone wall at the end of the previously existing stairway to the basement. A right turn at this wall takes you into the basement room.

This photo was taken with a light in the basement.

BOTTOM

BOTTOM



TOP

This photo shows beyond the wall at the end of the previously existing stairway to the crawl space under the house and toward the west.

This photo was taken with a light in the basement.

