

HISTORIC AND DESIGN REVIEW COMMISSION

June 07, 2023

HDRC CASE NO: 2023-213
ADDRESS: 801 MATAGORDA
LEGAL DESCRIPTION: NCB 712 BLK 9 LOT N 63.56 FT OF 8
ZONING: RM-4, H
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
APPLICANT: Maria (Gini) Garcia
OWNER: Dora Elia Garcia/Garcia Dora E Living Trust
TYPE OF WORK: Construction of an ADA ramp on the front facade, relocation of porch steps, porch modifications
APPLICATION RECEIVED: May 23, 2023
60-DAY REVIEW: July 22, 2023
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Relocate the existing front porch steps from their original location to a location at the far north of the porch, facing Matagorda. This relocation will include removal of the existing porch baluster.
2. Construct an ADA ramp to run parallel to the front façade of the historic structure.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

A. MAINTENANCE (PRESERVATION)

- i. Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

8. Americans with Disabilities Act (ADA) Compliance

A. HISTORIC FEATURES

- i. Avoid damage*—Minimize the damage to the historic character and materials of the building and sidewalk while complying with all aspects of accessibility requirements.
- ii. Doors and door openings*—Avoid modifying historic doors or door openings that do not conform to the building and/or accessibility codes, particularly on the front façade. Consider using a discretely located addition as a means of providing accessibility.

B. ENTRANCES

- i. Grade changes*—Incorporate minor changes in grade to modify sidewalk or walkway elevation to provide an accessible entry when possible.
- ii. Residential entrances*—The preferred location of new ramps is at the side or rear of the building when convenient for the user.
- iii. Non-residential and mixed use entrances*—Provide an accessible entrance located as close to the primary entrance as possible when access to the front door is not feasible.

C. DESIGN

- i. Materials*—Design ramps and lifts to compliment the historic character of the building and be visually unobtrusive as to minimize the visual impact, especially when visible from the public right-of-way.
- ii. Screening*—Screen ramps, lifts, or other elements related to ADA compliance using appropriate landscape materials. Refer to Guidelines for Site Elements for additional guidance.
- iii. Curb cuts*—Install new ADA curb cuts on historic sidewalks to be consistent with the existing sidewalk color and texture while minimizing damage to the historical sidewalk.

FINDINGS:

- a. The primary structure located at 801 Matagorda is a 1-story, single-family structure constructed circa 1895 in the Folk Victorian style. The property first appears on the Sanborn Map in 1896. The structure features a cross gabled roof, an asymmetrical front porch with wood supports and decorative brackets, non-original aluminum windows, and wood cladding. The property is contributing to the Lavaca Historic District. At this time the applicant has proposed to relocate the existing, front porch steps from their original location to a location at the far north of the porch and to construct an ADA ramp to run parallel to the front façade of the historic structure.
- b. VIOLATION – The relocation of the front porch steps and the construction of an ADA ramp began prior to the issuance of a Certificate of Appropriateness.
- c. PREVIOUS APPROVAL – Certificates of Appropriateness have been issued for roof replacement with a ridge cap, window replacement, fenestration modifications, the construction of a side yard deck and the construction of a rear addition.
- d. PORCH STEP RELOCATION – The applicant has proposed to relocate the porch steps from their existing location, aligned with the front door, to a location at the far north of the porch, facing Matagorda. This relocation will include removal of the existing porch baluster and the installation of a concrete stair landing. The Guidelines for Exterior Maintenance and Alterations 7.A. notes that historic porches and their balusters should be preserved. Additionally, the Guidelines for Exterior Maintenance and Alterations 7.B. notes that replacement elements and reconstruction should be based on accurate evidence of the original.
- e. ADA RAMP – The applicant has proposed to construct an ADA ramp that is to run parallel to the front façade of the historic structure. Per the Guidelines for Site Elements, ADA ramps should be installed to minimize damage to the historic character and materials of the building. Additionally, the Guidelines note that ADA ramps should be located at the side or reach of the building when convenient for the user. The applicant has submitted a site plan noting site constraints and the need for the proposed ramp to be located in the manner that it is. Staff finds that the proposed ramp should feature balusters and railings that complement those found originally on the historic structure.

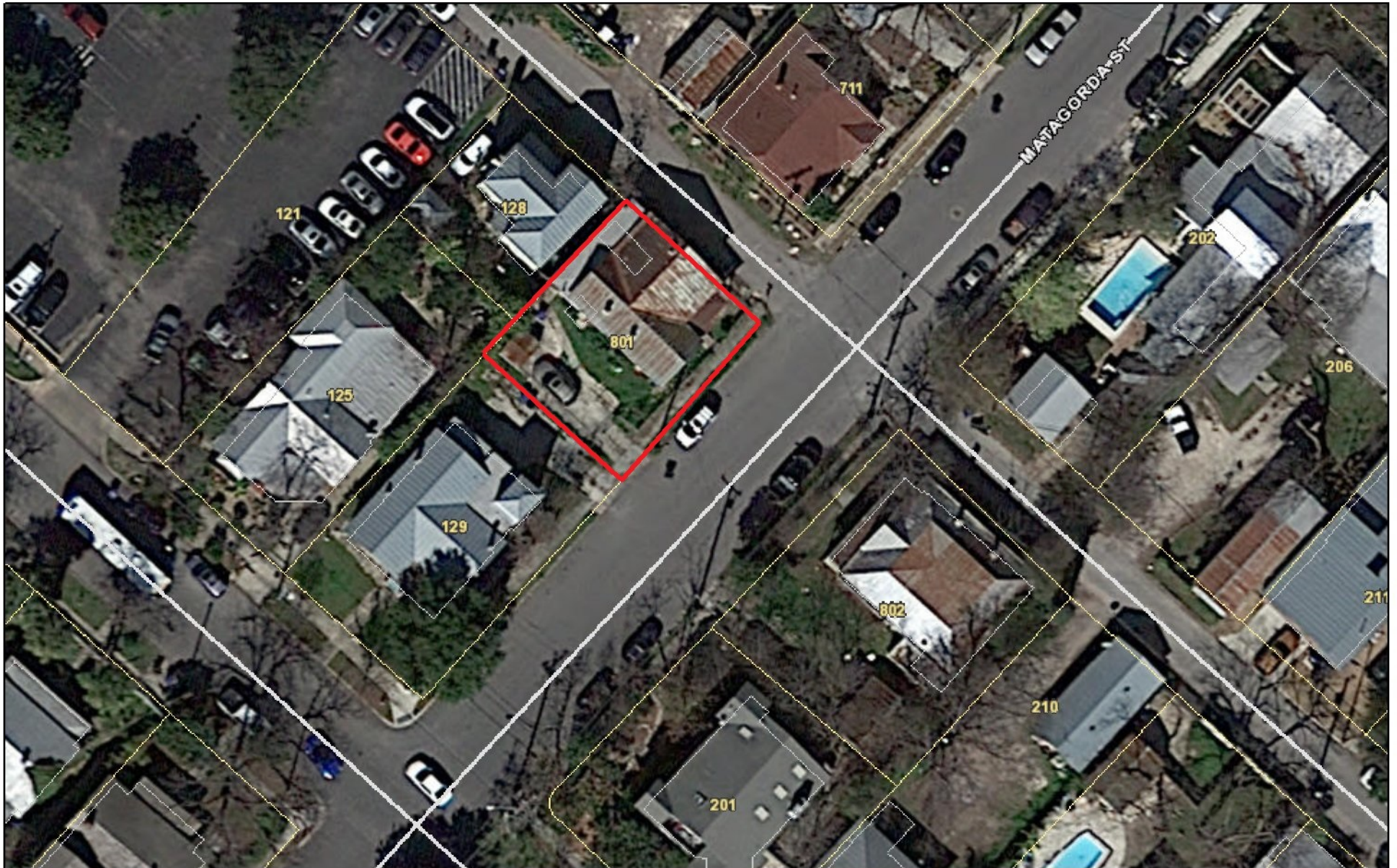
RECOMMENDATION:

Staff recommends approval based on findings a through e with the following stipulations:

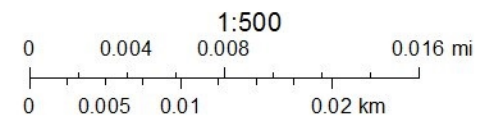
- i. That the proposed ADA ramp be installed in a manner that does not cause permanent damage to the historic structure's façade.
- ii. That final railing details be submitted to OHP staff for review and approval.
- iii. That the original porch rail be preserved in place to the maximum extent possible.

- iv. That the original porch condition be returned when the ramp is no longer needed.

City of San Antonio One Stop



April 1, 2022



Edward Hall (OHP)

From: gini garcia
Sent: Tuesday, May 30, 2023 10:17 PM
To: Edward Hall (OHP)
Cc: Dora Garcia
Subject: [EXTERNAL] Narrative to the requests of the COA for 801 Matagorda

Follow Up Flag: Flag for follow up
Flag Status: Completed

Let me tell you a little bit about my mother. She was born in 1931 which will make her 92 years old this August. Mom and I started our company together in 1998 and in our 25 year years working and mentoring me side by side we are so excited to be able to also spend the last years of her life together in this newly restored house. My mother has a broken back and is going blind as well as numerous medical conditions where she will be needing a wheelchair in the near future. As it is she needs the assistance of her care taker to grab on to, to walk at all.

The house at 801 Matagorda is being carefully restored and renovated to be able to live side-by-side. Her side of the house, which faces North, will be accessible through the front door on Matagorda Street. The importance of having her use the front door is that her side is being built to be ADA compliant so all the doors are 36" wide including the shower and entry and the light switches are at 30" high from the floor. This makes it easy for her to get around once confined to a wheelchair. My mother requires 24/7 care and her caretakers will also have a space in her bedroom to sleep on their own bed.

In addition, we are adding the same stairs as was planned originally and because the landing is going in place of the stairs, I decided to push the stairs all the way to the left side for symmetry and because there is a 60 year old rose bush that my mother adores right in the middle between the ramp landing and the proposed stair location.

My side of the house which faces South has been designed and build to suit my own needs. I have had to make the deck shorter from the back due to the 10' variance required for decks that are on the property line that is less than 36" tall. I also had change the location of the second set of stairs going into the side door, which will be utilized as my main entry point. This is due to the gas meter location which is right in the way of the previously proposed stairs.

We have long dreamed of making this house a reality and now finally we are hopeful to be able to complete this project by August to be able to move in at that time.

The necessity for a ramp that crosses over the façade of the house is simply because there is no other way to bring the ramp to the front door. You will see in my documents the measurements that were taken from the house to the property line on on all sides of the front of the house .

I ask that you please consider my request to build the ADA compliant ramp for my mother so that she can have her own private entrance to her side of the house as well the approval of the change in my stairs orientation to avoid covering the gas meter as well the 10' variance along the back wall.

Thanking you in advance for these important request to the Historic Design Review Commission and the Office of Preservation,

Sincerely,
Gini Garcia

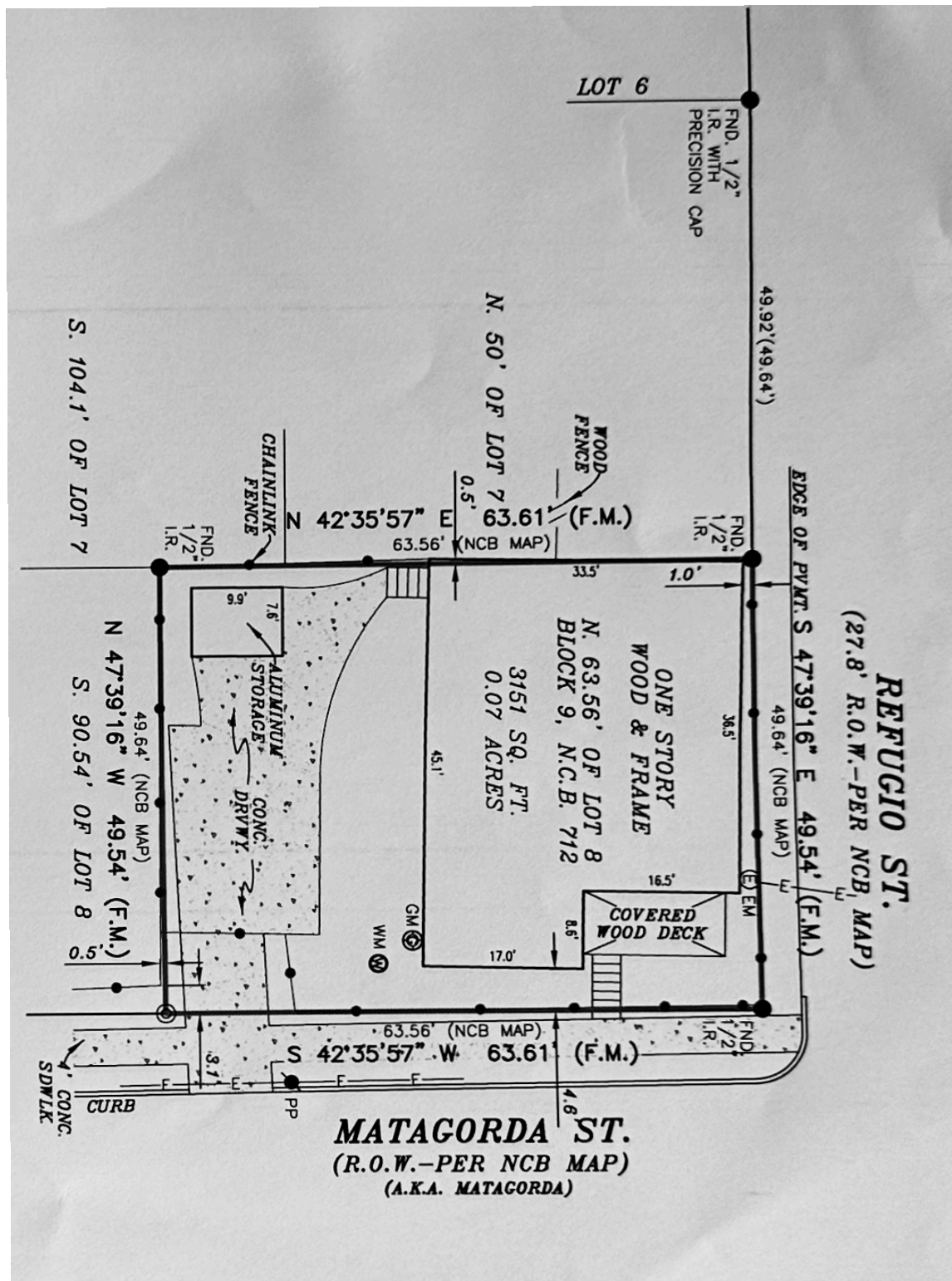
5/30/23

Sent from my iPhone

****THIS EMAIL IS FROM AN EXTERNAL SENDER OUTSIDE OF THE CITY.****

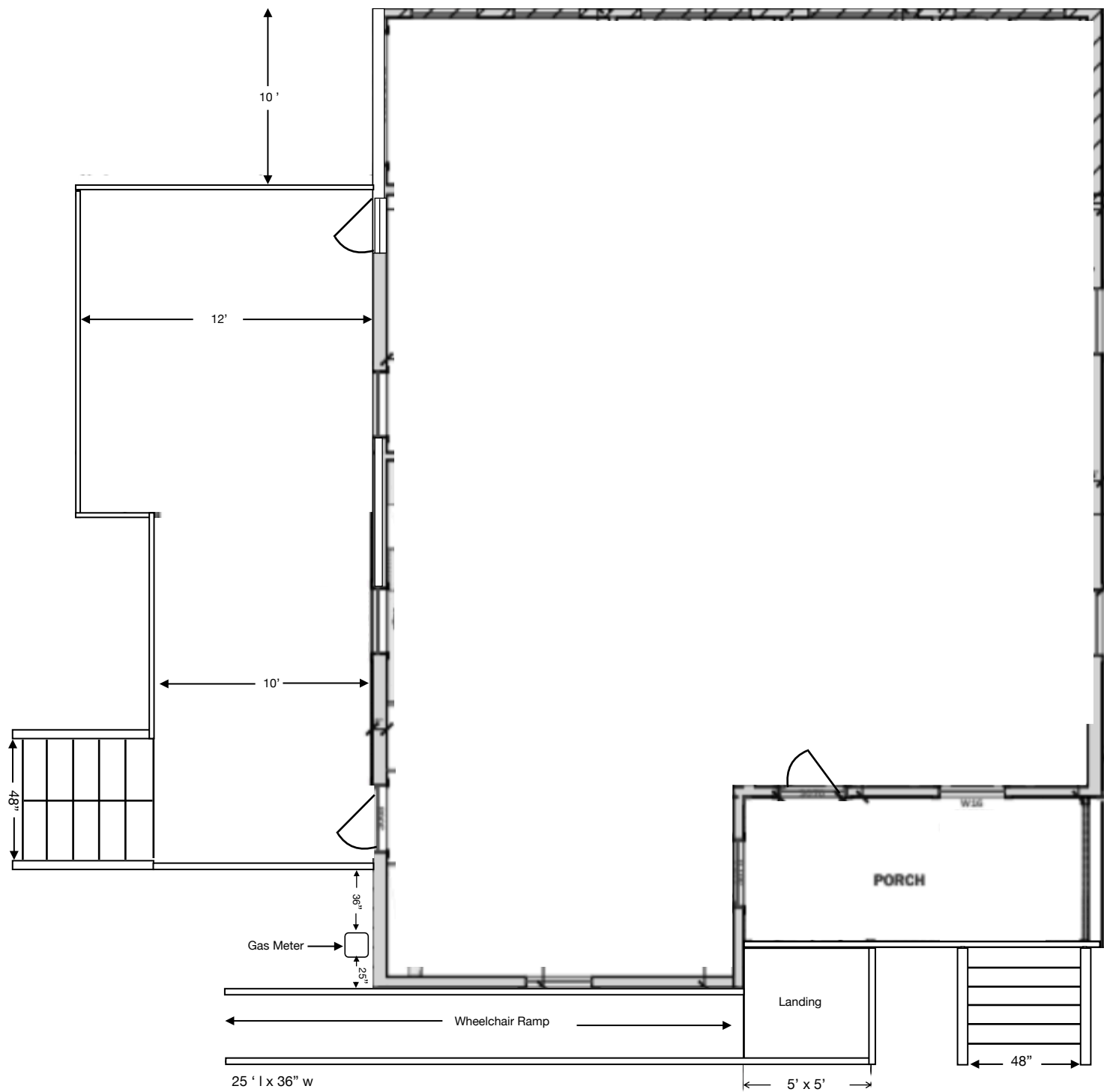
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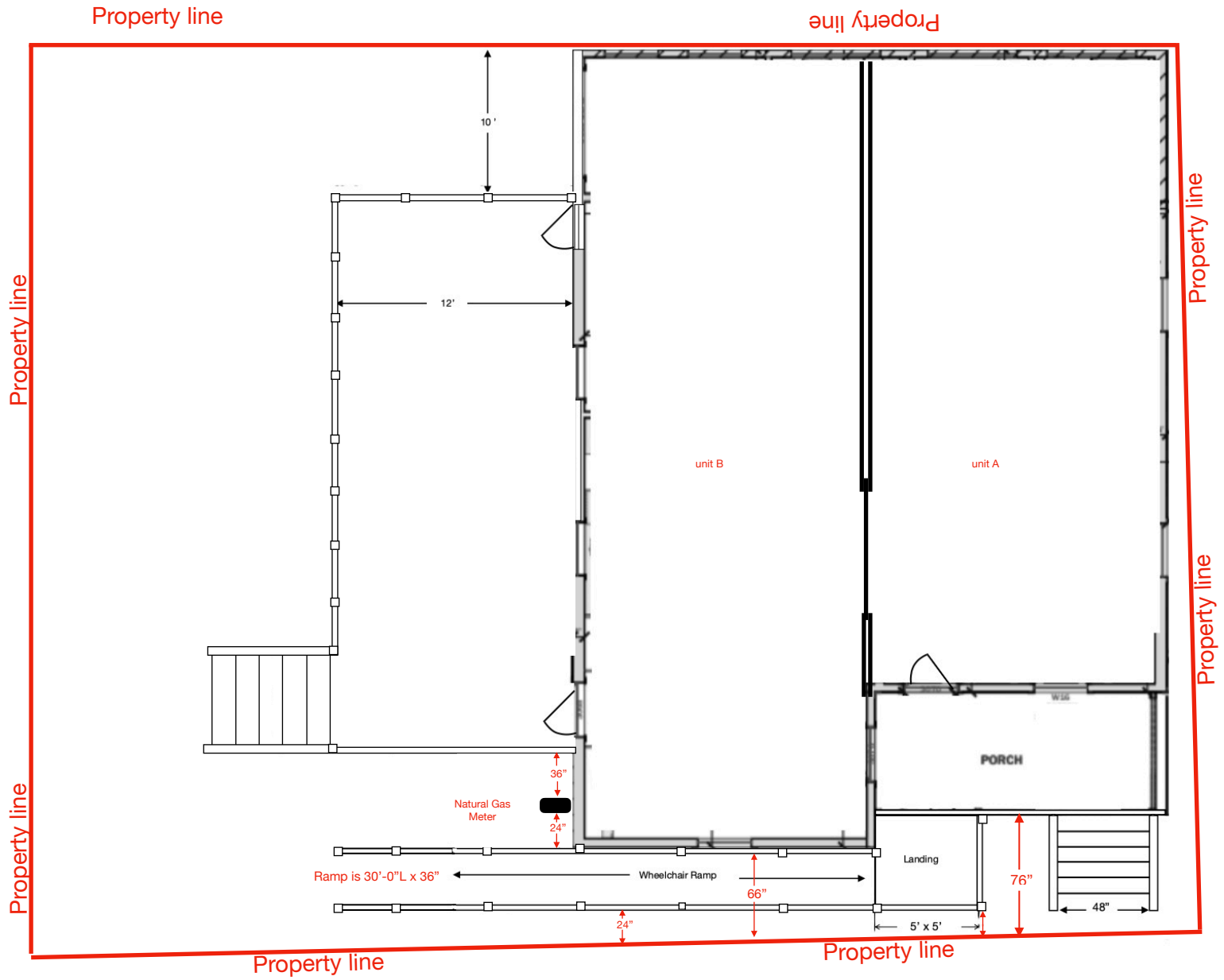
SURVEY



Gini Garcia / Mom Garcia Residence
Remodel
801 Matagorda

NO SCALE
4/27/23







FRONT ELEVATION



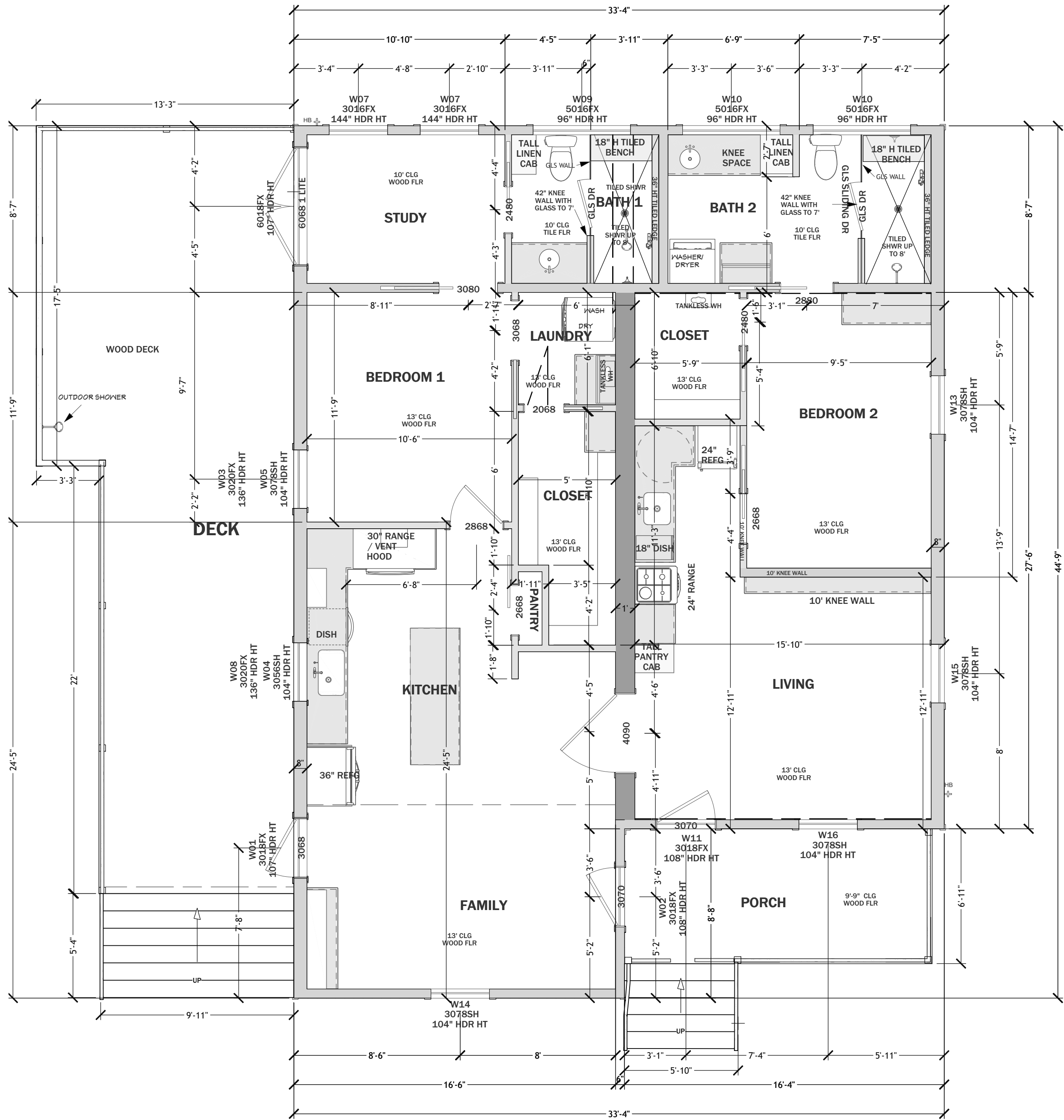
RIGHT ELEVATION

PREVIOUSLY REVIEWED CONSTRUCTION DOCUMENTS. SHOWN FOR REFERENCE.

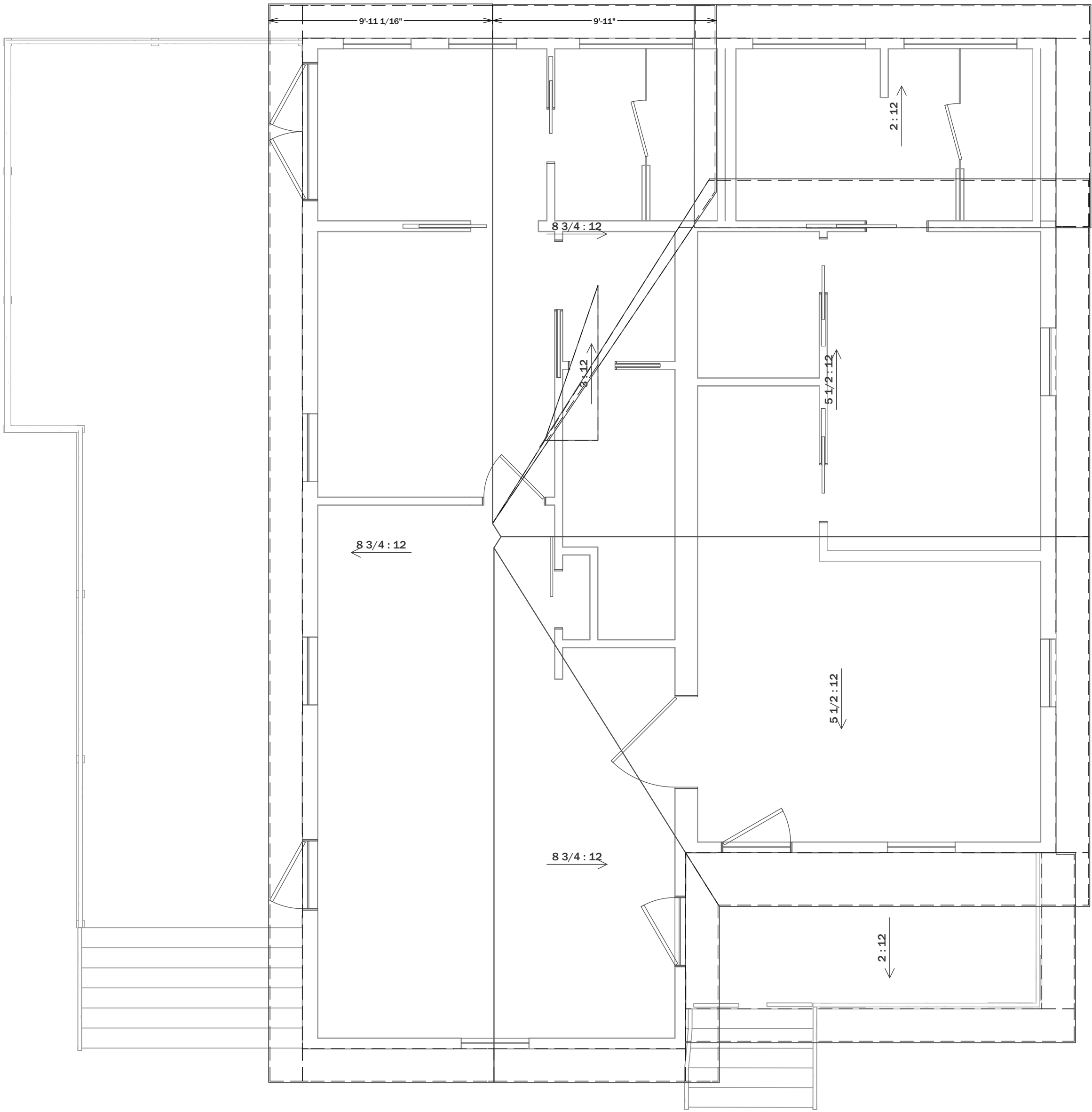
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1st Floor



ROOF

NOT FOR CONSTRUCTION - REVIEW ONLY

FINAL

BUILDER:

801 MATAGORDA
SAN ANTONIO, TX
NCB T12 BLK 9 LOT N 63.56
FT OF 8

GINI GARCIA
REMDOEL

DESIGNER:
J EDWARDS
HOME DESIGNS
JULIE EDWARDS
210.646.8843
JEDWARDSHOMEDESIGNS@GMAIL.COM

DATE:

9/23/2021

SCALE:

1/4" = 1'

SHEET:

2

PREVIOUSLY REVIEWED CONSTRUCTION DOCUMENTS. SHOWN FOR REFERENCE.

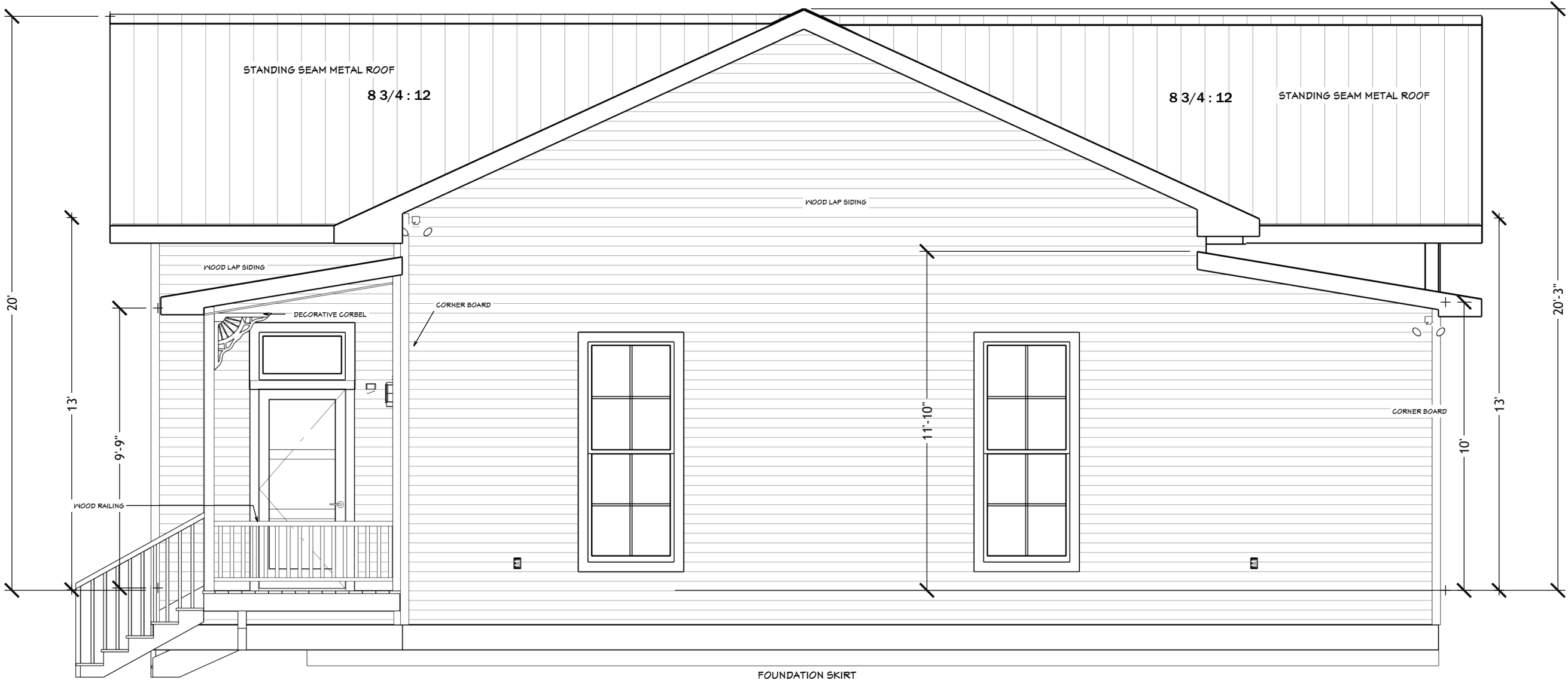
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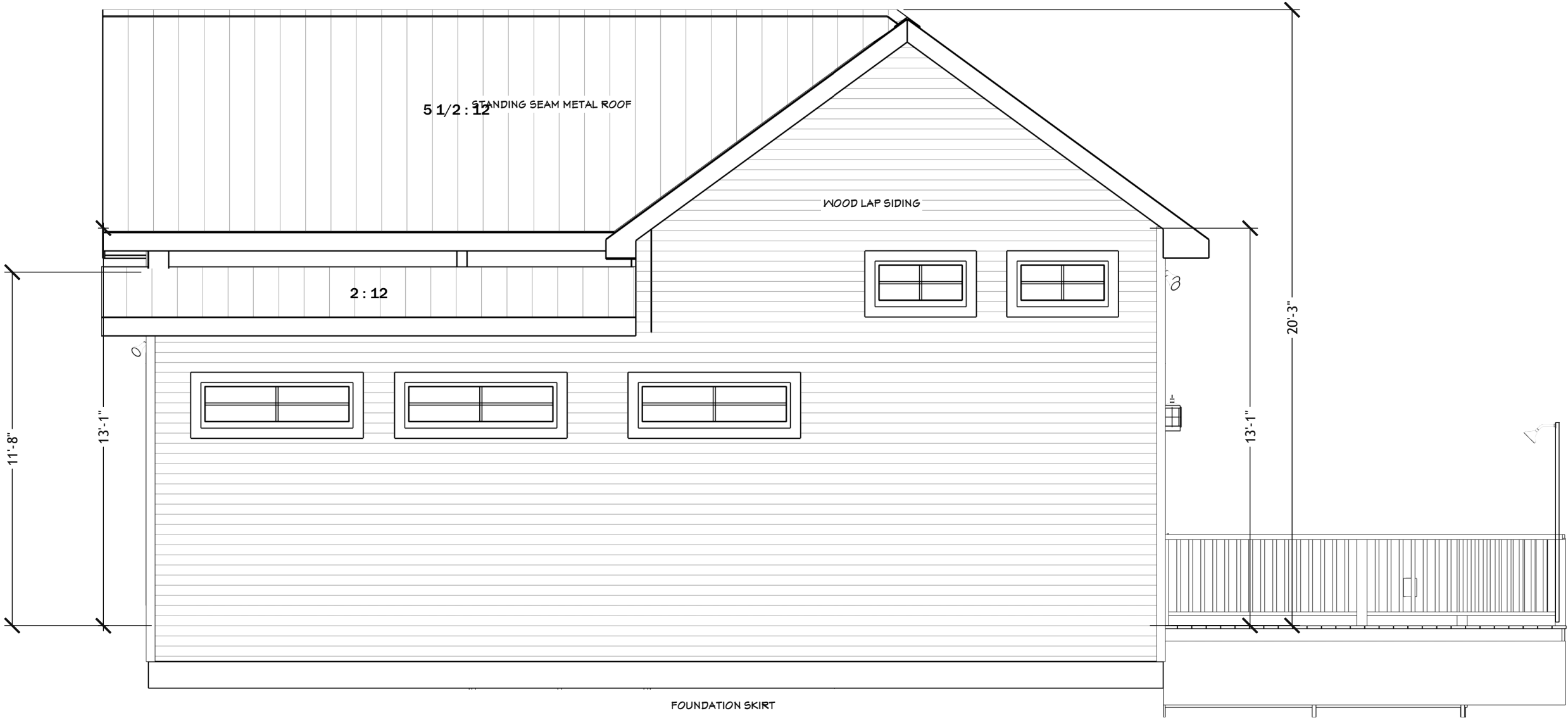
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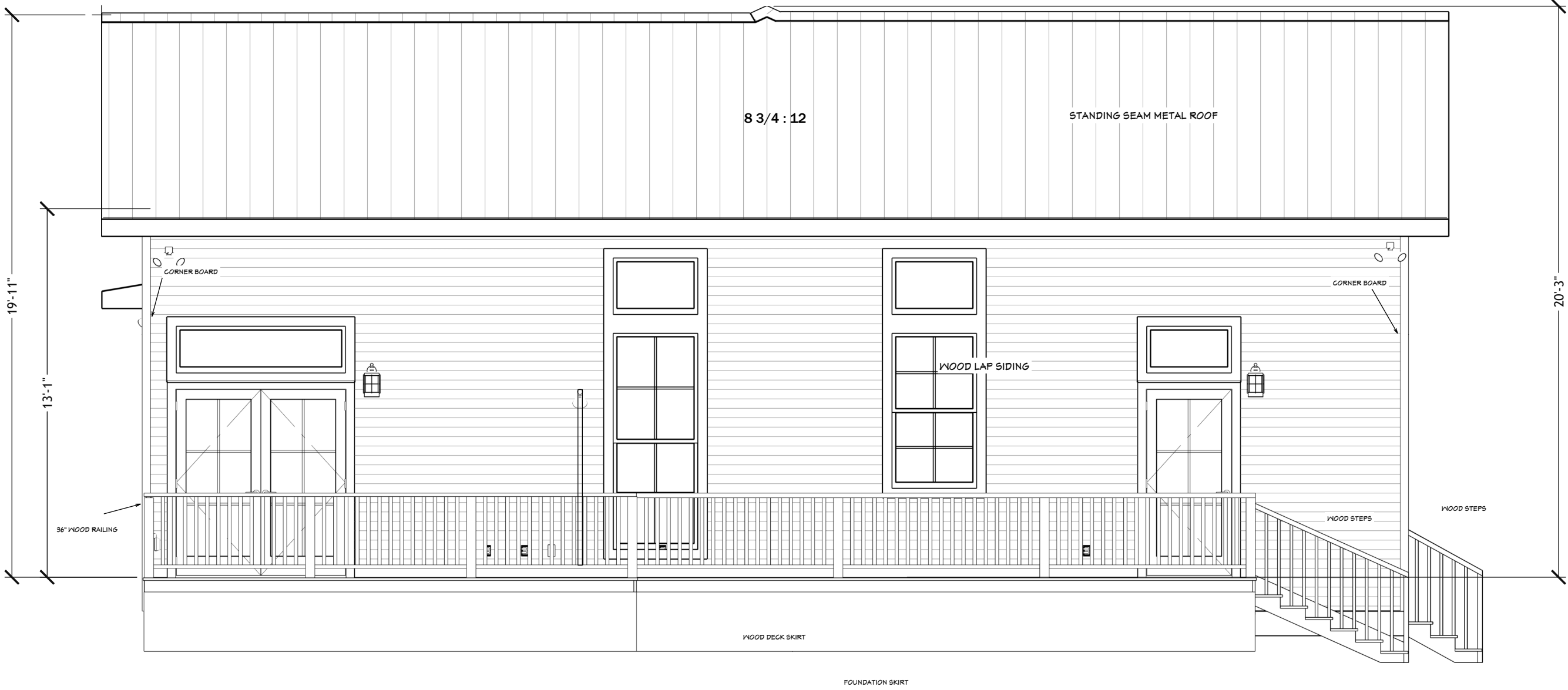
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

NOT FOR CONSTRUCTION - REVIEW ONLY

FINAL

BUILDER:

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SAN ANTONIO, TX
NCB T12 BLK 9 LOT N 63.56
FT OF 8

GINI GARCIA
REMDOEL

DESIGNER:
J EDWARDS
HOME DESIGNS
JULE EDWARDS
210.646.8843
JEEDWARDS@GMAIL.COM

DATE:

9/23/2021

SCALE:

1/4" = 1'

SHEET:

3

PHOTO SHOWING ORIGINAL PORCH CONFIGURATION



May 31, 2023 at 5:02:59 PM
116-198 Refugio St
San Antonio TX 78210
United States



May 31, 2023 at 5:08:45 PM
801 Matagorda St
San Antonio TX 78210
United States



May 31, 2023 at 5:08:50 PM
801 Matagorda St
San Antonio TX 78210
United States











