

HISTORIC AND DESIGN REVIEW COMMISSION

February 15, 2023

HDRC CASE NO: 2023-060
ADDRESS: 410 AUSTIN ST
LEGAL DESCRIPTION: NCB 517 BLK 11 LOT S 36.2 FT OF 3 & N 11.4 FT OF S 47.6 FT OF W 96 FT OF 3
ZONING: D, H
CITY COUNCIL DIST.: 2
APPLICANT: Lydell Toye/U.S.Signs
OWNER: SHIRLEY GERRY & HARMEL OLAF & KIMBERLY
TYPE OF WORK: Signage
APPLICATION RECEIVED: January 30, 2023
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to install a reverse-lit, channel letter sign on the front façade of the historic building at 410 Austin.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 6, Guidelines for Signage

1. General

A. GENERAL

- i. Number and size—Each building will be allowed one major and two minor signs. Total requested signage should not exceed 50 square feet.
- ii. New signs—Select the type of sign to be used based on evidence of historic signs or sign attachment parts along the building storefront where possible. Design signs to respect and respond to the character and/or period of the area in which they are being placed. Signs should identify the tenant without creating visual clutter or distracting from building features and historic districts.
- iii. Scale—Design signage to be in proportion to the facade, respecting the building's size, scale and mass, height, and rhythms and sizes of window and door openings. Scale signage (in terms of its height and width) to be subordinate to the overall building composition.

B. HISTORIC SIGNS

- i. Preservation—Preserve historic signs, such as ghost signs or other signs characteristic of the building's or district's period of significance, whenever possible.
- ii. Maintenance—Repair historic signs and replace historic parts in-kind when deteriorated beyond repair.

C. PLACEMENT AND INSTALLATION

- i. Location—Place signs where historically located and reuse sign attachment parts where they exist. Do not erect signs above the cornice line or uppermost portion of a facade wall, or where they will disfigure or conceal architectural details, window openings, doors, or other significant details.
- ii. Obstruction of historic features—Avoid obscuring historic building features such as cornices, gables, porches, balconies, or other decorative elements with new signs.

iii. Damage—Avoid irreversible damage caused by installing a sign. For example, mount a sign to the mortar rather than the historic masonry. iv. Pedestrian orientation—Orient signs toward the sidewalk to maintain the pedestrian oriented nature of the historic districts.

D. DESIGN

- i. Inappropriate materials—Do not use plastic, fiberglass, highly reflective materials that will be difficult to read, or other synthetic materials not historically used in the district.
- ii. Appropriate materials—Construct signs of durable materials used for signs during the period of the building's construction, such as wood, wrought iron, steel, aluminum, and metal grill work.
- iii. Color—Limit the number of colors used on a sign to three. Select a dark background with light lettering to make signs more legible.
- iv. Typefaces—Select letter styles and sizes that complement the overall character of the building façade. Avoid hard-to-read or overly intricate styles.

E. LIGHTING

- i. Lighting sources—Use only indirect or bare-bulb sources that do not produce glare to illuminate signs. All illumination shall be steady and stationary. Internal illumination should not be used.
- ii. Neon lighting—Incorporate neon lighting as an integral architectural element or artwork appropriate to the site, if used.

F. PROHIBITED SIGNS

i. An abbreviated list of the types of signs prohibited within San Antonio's historic districts and on historic landmarks is provided below. Refer to UDC Section 35- 612(j) and Chapter 28 of the Municipal Code for more detailed information on prohibited signs.

- Billboards, junior billboards, portable signs, and advertising benches.
- Pole signs.
- Revolving signs or signs with a kinetic component.
- Roof mounted signs, except in the case of a contributing sign.
- Digital and/or LED lighted signs, not to include LED light sources that do not meet the definition of a sign.
- Moored balloons or other floating signs that are tethered to the ground or to a structure.
- Any sign which does not identify a business or service within the historic district or historic landmark.
- Any non-contributing sign which is abandoned or damaged beyond 50 percent of its replacement value, including parts of old or unused signs.
- Notwithstanding the above, signs designated as a contributing sign or structure by the historic preservation officer shall not be prohibited unless or until such designation is revoked.

G. MULTI-TENANT PROPERTIES

- i. Signage Plan—Develop a master signage plan or signage guidelines for the total building or property.
- ii. Directory signs—Group required signage in a single directory sign to minimize visual color and promote a unified appearance.

3. Projecting and Wall-Mounted Signs

A. GENERAL

- i. *Mounting devices*—Construct sign frames and panels that will be used to be attach signs to the wall of a building of wood, metal, or other durable materials appropriate to the building's period of construction.
- ii. *Structural supports*—Utilize sign hooks, expansion bolts, or through bolts with washers on the inside of the wall depending upon the weight and area of the sign, and the condition of the wall to which it is to be attached.
- iii. *Appropriate usage*—Limit the use of projecting and wall-mounted signs to building forms that historically used these types of signs, most typically commercial storefronts. To a lesser degree, these signage types may also be appropriate in areas where residential building forms have been adapted for office or retail uses, if sized accordingly.

B. PROJECTING SIGNS

- i. Placement*—Mount projecting signs perpendicularly to a building or column while allowing eight feet of overhead clearance above public walkways.
- ii. Public right-of-way*—Limit the extension of projecting signs from the building facade into the public right-of-way for a maximum distance of eight feet or a distance equal to two-thirds the width of the abutting sidewalk, whichever distance is greater.
- iii. Area*—Projecting signs should be scaled appropriately in response to the building façade and number of tenants.

C. WALL-MOUNTED SIGNS

- i. Area*—Limit the aggregate area of all wall-mounted signs to twenty-five percent of a building facade.
- ii. Projection*—Limit the projection of wall-mounted signs to less than twelve inches from the building wall.
- iii. Placement*—Locate wall signs on existing signboards—the area above the storefront windows and below the second story windows—when available. Mount wall signs to align with others on the block if an existing signboard is not available.
- iv. Channel letters*—Avoid using internally-illuminated, wall-mounted channel letters for new signs unless historic precedent exists. Reverse channel letters may be permitted.

FINDINGS:

- a. The historic structure at 410 Austin was constructed circa 1895 and is found on the 1896 Sanborn Map. The structure features a decorative brick parapet wall, decorative brick coursework, and originally featured a double-height front porch. At this time the applicant has proposed to install a reverse-lit, channel letter sign on the front façade between the second story windows. Generally, staff finds the proposed sign construction and lighting method to be appropriate and consistent with the UDC.
- b. SIGNAGE – The Guidelines for Signage 1.C. notes that signs should be located where historically located. Additionally, the Guidelines for Signage 3.C.iii. notes that wall mounted signs should be installed in existing sign board areas or in the areas above the storefront windows and beneath the second story windows. The proposed signage location is located between the second story windows, beneath what would have originally been the second story porch roof. Staff finds the proposed signage location, between the second level windows, to be inconsistent with the Guidelines. Staff finds that a vertically oriented blade sign would be most appropriate.

RECOMMENDATION:

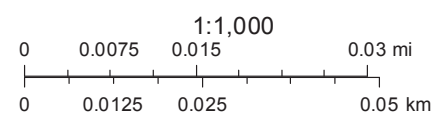
Staff recommends the applicant submit an amended sign design and location. Staff recommends a vertically oriented blade sign to be located to the far left or right of the front façade.

City of San Antonio One Stop

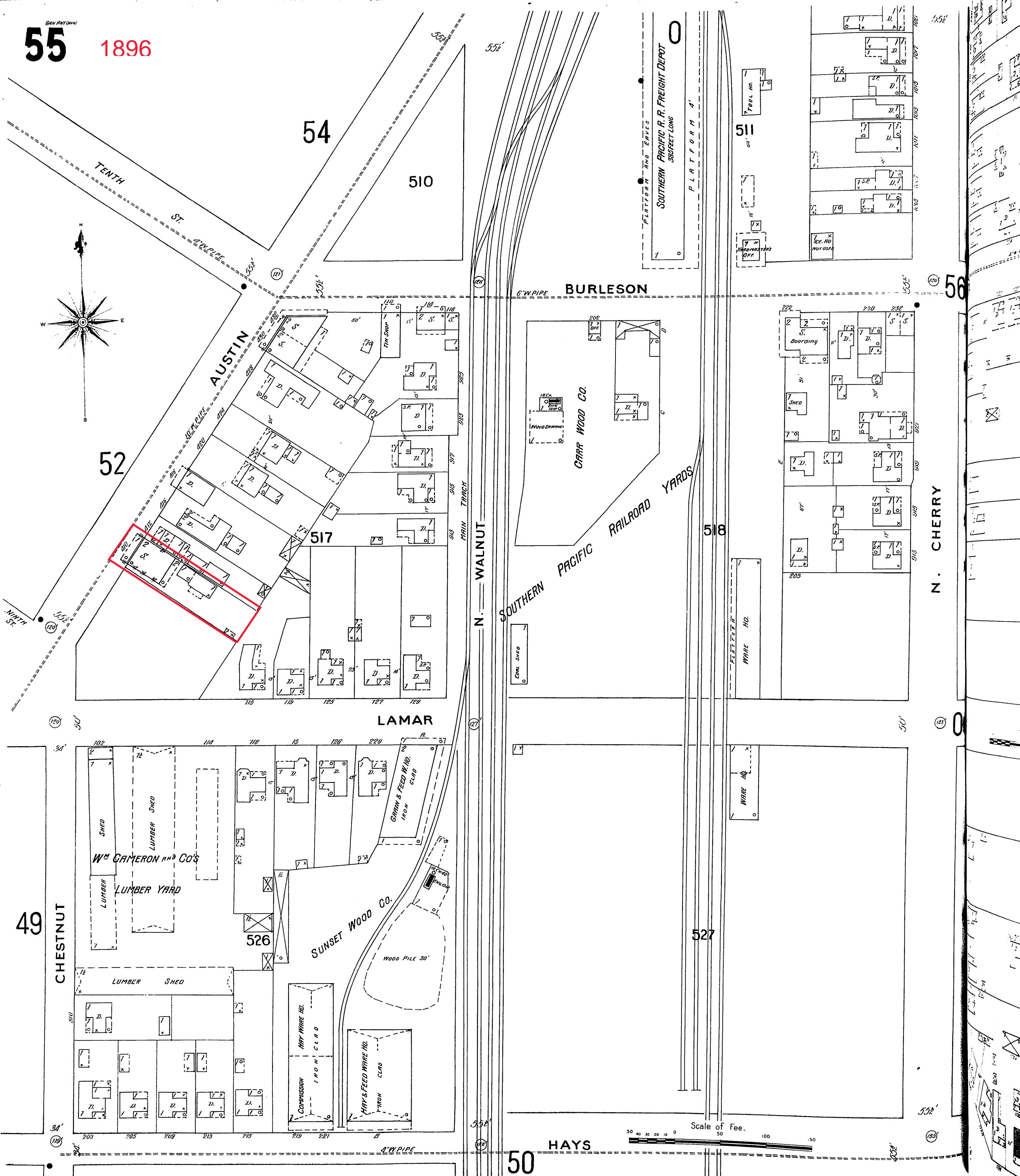
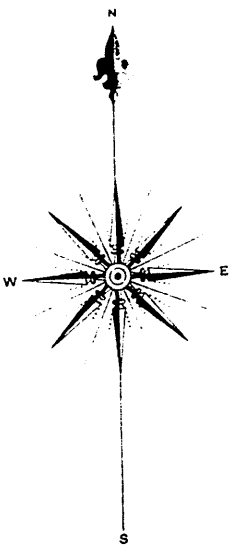


August 11, 2021

— User drawn lines

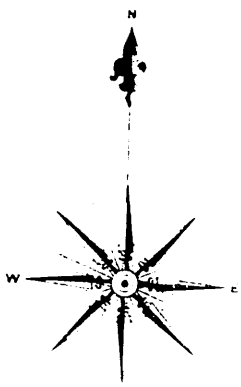


55 1896



166

SHERMAN 1904



DEVILBIS ST.

510

165

10TH ST.

AUSTIN

517

LAMAR

R H DOWMAN
LUMBER YARD

LUMBER SHED

LUMBER PILE

526

SUN SET WOOD CO.
STEAM RAIL YARD

SHAW MILL
INC.

CORD WOOD PILED

N. WALNUT

162

BURLESON

MACADAMIZED

518

MACADAMIZED

527

FREIGHT WARE HO.

Scale of Feet

N. CHERRY

167

NOT PAVED.

5' W PIPE

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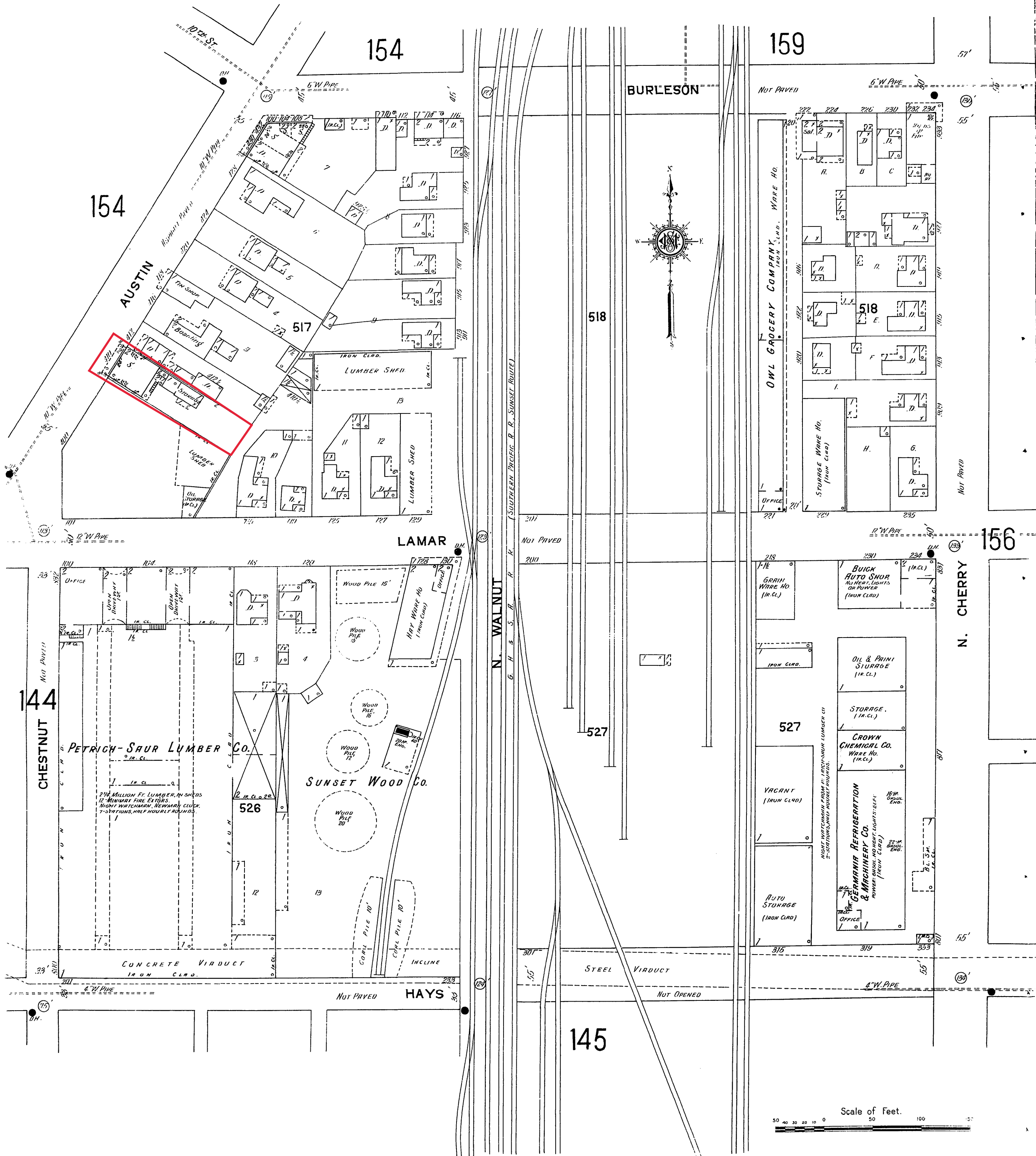
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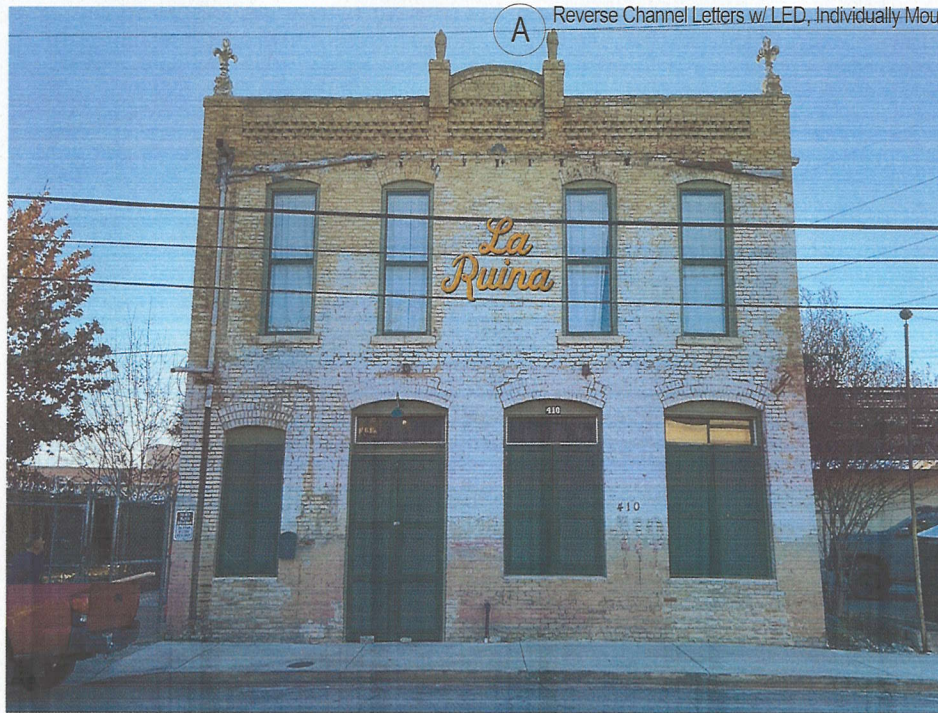
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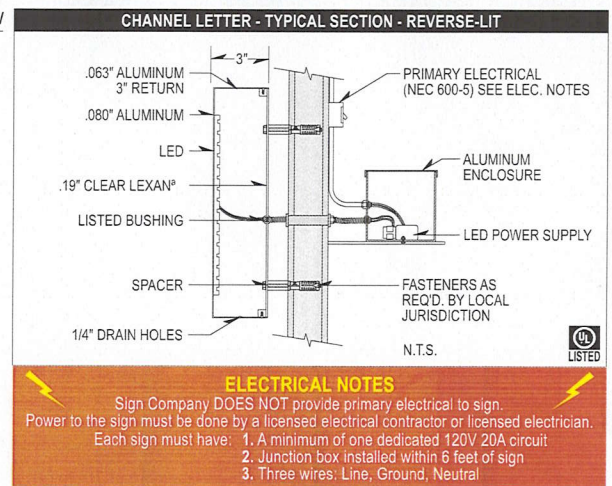




DO NOT
BLOCK
DRIVEWAY
24 HOUR
ACCESS
REQUIRED



A Reverse Channel Letters w/ LED, Individually Mounted, Remote Transformers ¥Front View



Manufacture 1 set of reverse halo lit LED channel letters with a rust patina all around letter and returns. Letters will have white 6500 Principal LEDs and will be stud mounted on to store front wall. Main electrical by others.



Sign area 53" x 6' = 26.4 sq ft



State License TSCL 18159

258 TRADE CENTER DRIVE
NEW BRAUNFELS, TEXAS 78130
830.629.4411 FAX 830.629.8099
ussignnb@gmail.com • www.ussignsnb.com



Client *La Ruina* 410 Austin St

Approval

Date

All drawings submitted are property of U.S. Signs until purchased by The Client. No alterations or distributions can be made without written consent from U.S. Signs

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.