

HISTORIC AND DESIGN REVIEW COMMISSION

February 15, 2023

HDRC CASE NO: 2023-039
ADDRESS: 918 N PINE ST
LEGAL DESCRIPTION: NCB 1653 BLK A LOT 4 AT 918 PINE N
ZONING: R-5 CD, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: David Ericsson
OWNER: David Ericsson
TYPE OF WORK: Construction of a metal carport, CMU wall construction, and landscaping
APPLICATION RECEIVED: January 27, 2023
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Construct a steel carport structure to feature an overall length of 74' – 0", an overall depth of approximately 20' – 0", and an overall height of 8' – 7".
2. Construct a CMU wall parallel to N Pine Street to screen the proposed parking from view from the right of way.
3. Install a landscaping garden to screen both the CMU wall and steel carport from view from the right of way.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

- i. Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
- ii. Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
- iii. Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- iv. Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION

- i. Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley loaded garages were historically used.
- ii. Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

2. Fences and Walls

A. HISTORIC FENCES AND WALLS

- i. Preserve*—Retain historic fences and walls.
- ii. Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

B. NEW FENCES AND WALLS

- i. Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure.
- vi. Screening incompatible uses*—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

3. Landscape Design

A. PLANTINGS

- i. Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

- i. Impervious surfaces*—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.

iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

C. MULCH

i. *Organic mulch* – Organic mulch should not be used as a wholesale replacement for plant material. Organic mulch with appropriate plantings should be incorporated in areas where appropriate such as beneath a tree canopy.

ii. *Inorganic mulch* – Inorganic mulch should not be used in highly-visible areas and should never be used as a wholesale replacement for plant material. Inorganic mulch with appropriate plantings should be incorporated in areas where appropriate such as along a foundation wall where moisture retention is discouraged.

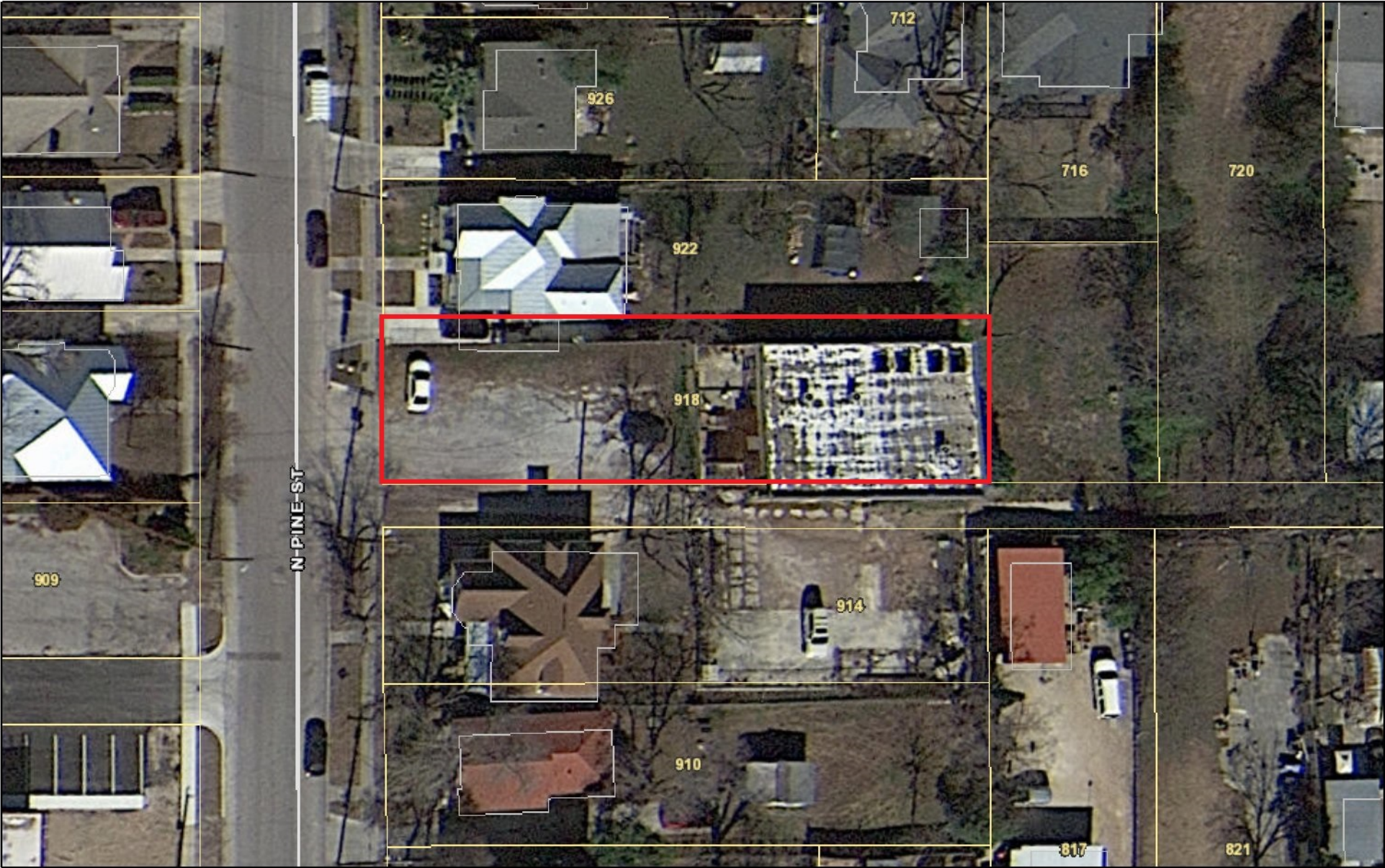
FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to construct a steel carport, CMU screening wall and to perform landscaping modifications on the lot at 918 N Pine, located within the Dignowity Hill Historic District.
- b. EXISTING LOT CONDITION – The lot at 918 N Pine currently features a rear industrial structure with no primary historic structure addressing N Pine. The construction of a single-family residential structure was approved at this location on November 11, 2019.
- c. CARPORT (Masing & Form) – The applicant has proposed to construct a steel carport structure to feature an overall length of 74' – 0", an overall depth of approximately 20' – 0", and an overall height of 8' – 7". The proposed carport will be located in a position that would occupy space formerly occupied by a historic structure. The Guidelines for New Construction 5. Notes that new garages and outbuildings should be designed to be visually subordinate to the primary historic structure on the lot, should be no larger in plan than 40 percent of the primary historic structure's footprint, should relate to the period of construction of the primary historic building on the lot, should be located consistently with the predominant garage and outbuilding orientation on the lot, and should follow the historic setback pattern of the block. Staff finds the location and materials of the proposed carport to be inconsistent with the Guidelines. Covered parking with an increased setback featuring traditional building materials such as wood framing would be more appropriate within the Dignowity Hill Historic District.
- d. CMU WALL – The applicant has proposed to construct a CMU wall parallel to N Pine Street to screen the proposed parking from view from the right of way. The applicant has proposed for the wall to feature six (6) feet in height. The Guidelines for Site Elements 2.B.i. notes that new fences and walls should appear similar to those used historically within the district regarding transparency, scale and character, should be located where historically found, should be limited to four (4) feet in height, and should feature traditional fencing materials. Exposed CMU are prohibited by the Guidelines as a fencing and wall material.
- e. LANDSCAPING – The applicant has proposed to install a landscaping garden to screen both the CMU wall and steel carport from view from the right of way. Generally, staff finds the installation of landscaping materials in this location to be appropriate; however, staff finds that a detailed landscaping plan should be submitted for review and approval.

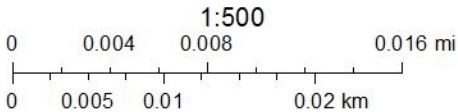
RECOMMENDATION:

1. Staff does not recommend approval of item #1, the construction of a steel carport structure based on finding c. Staff recommends the applicant proposed a carport with a location and materials consistent with the Guidelines for New Construction.
2. Staff does not recommend approval of item #2, the construction of an exposed, CMU wall parallel to the front property line and right of way, based on finding d. Staff recommends the applicant proposed fencing that is consistent with the Guidelines and historic examples found within the district.
3. Staff recommends approval of item #3, the installation of a landscape garden to feature native grasses based on finding e with the stipulation that a detailed landscaping plan be submitted for review and approval that should be consistent with the Guidelines and adopted policy documents.

City of San Antonio One Stop



February 8, 2023





W Pine St







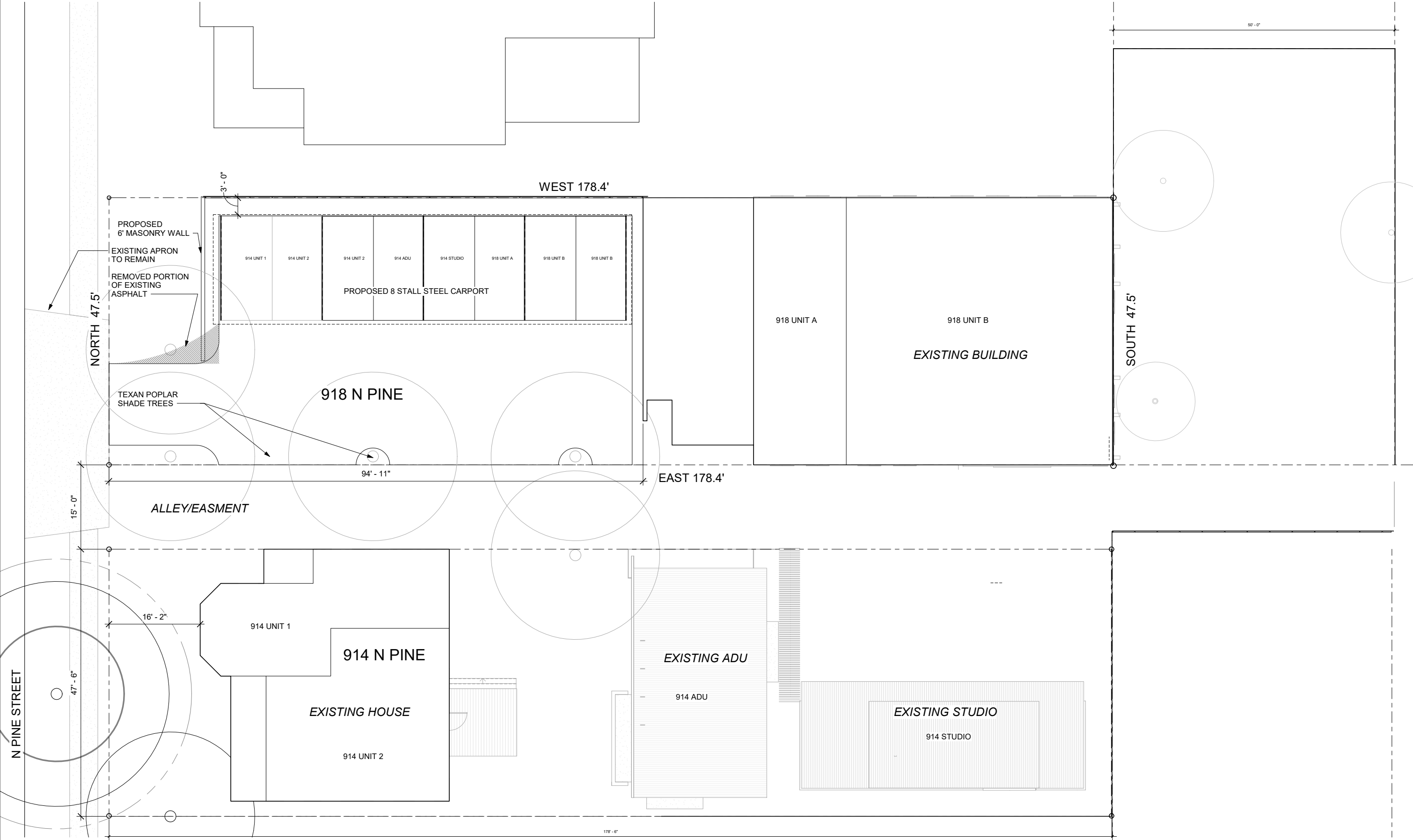
RENDER

914-918 N PINE SAN ANTONIO TX 78202

DAVID ERICSSON

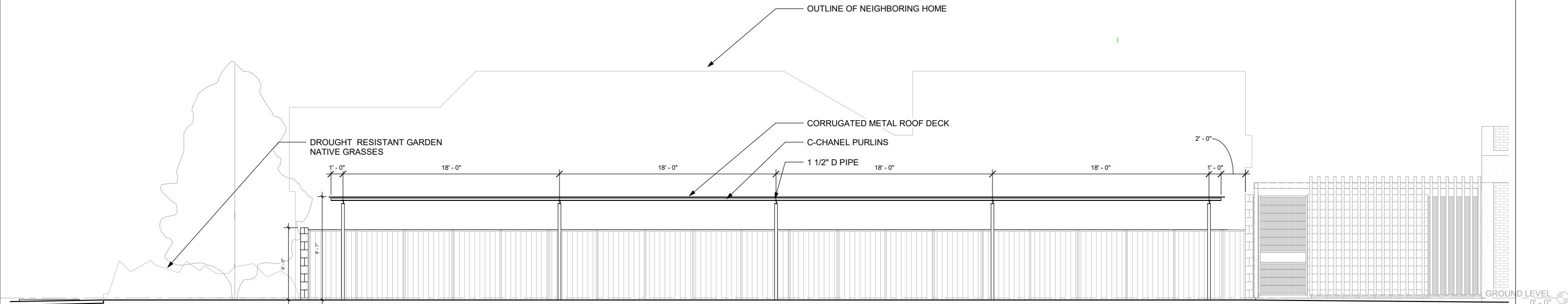
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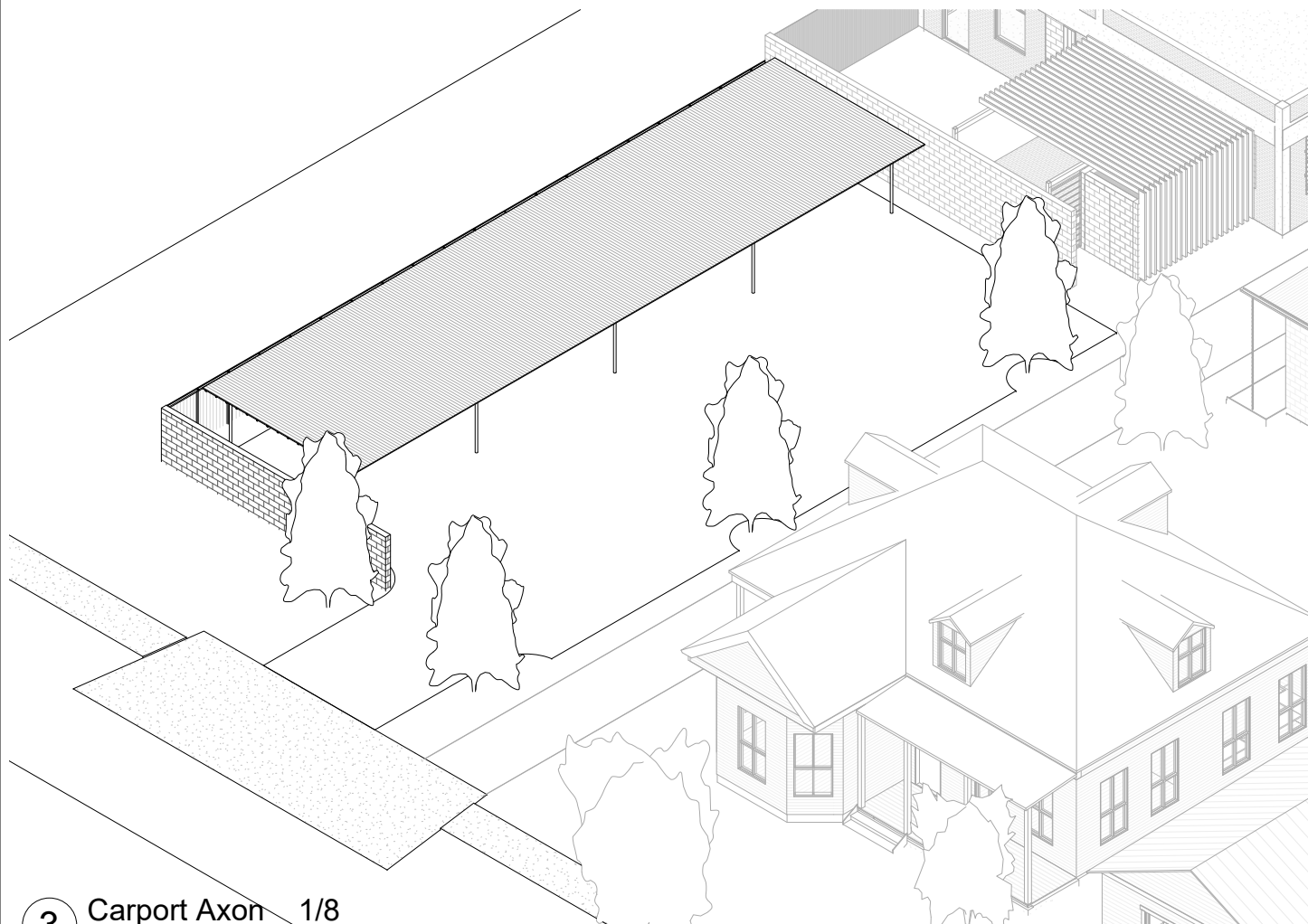
CARPORT PLAN
914-918 N PINE SAN ANTONIO TX 78202
DAVID ERICSSON

1 PLAN 918 N PINE CARPORT
SCALE : 1/8" = 1'-0"



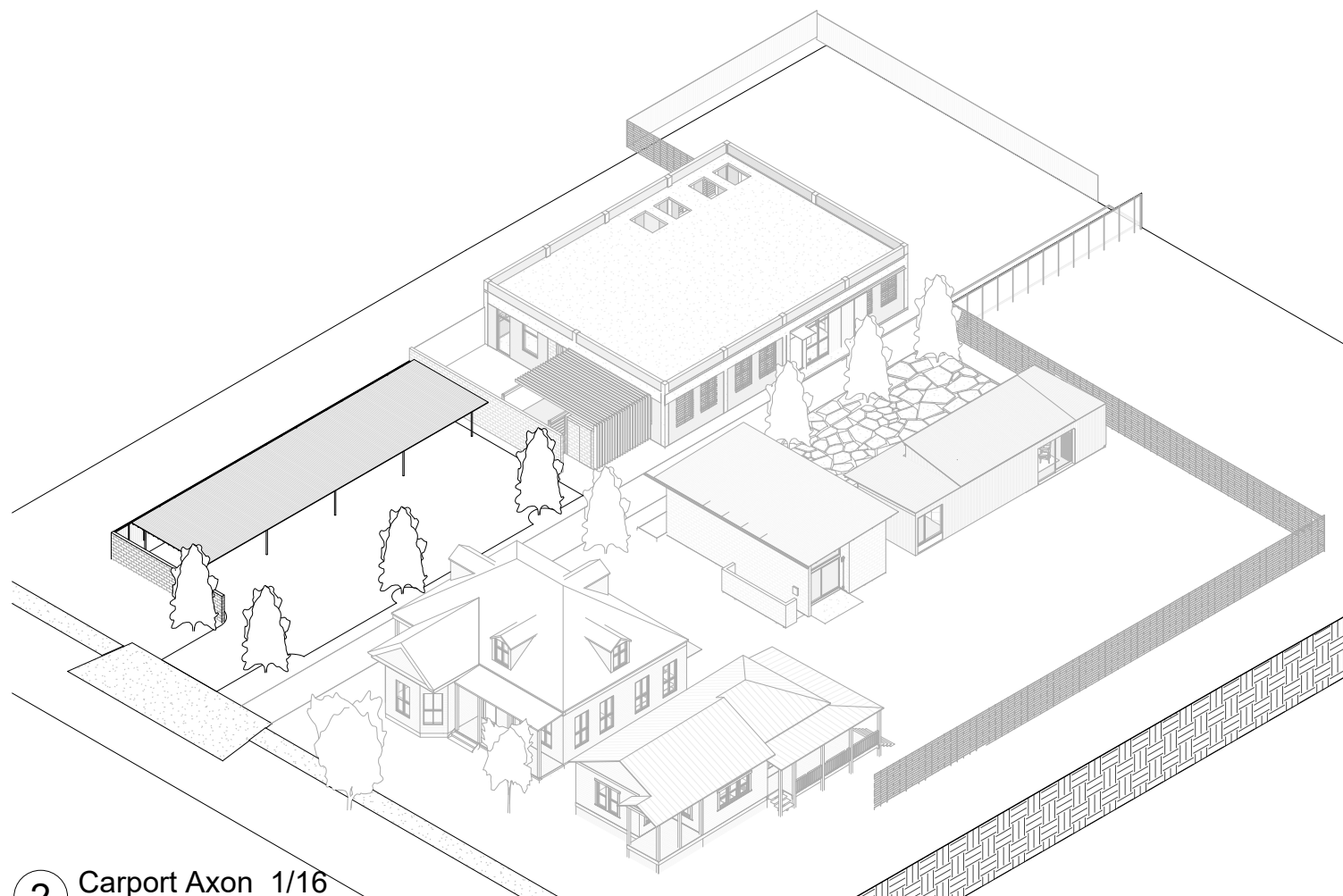
1 CARPORT ELEVATION

SCALE : 1/4" = 1'-0"



3 Carport Axon 1/8

SCALE :



2 Carport Axon 1/16

SCALE :

ELEVATION + 3d views
914-918 N PINE SAN ANTONIO TX 78202
DAVID ERICSSON

01/27/23
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