

HISTORIC AND DESIGN REVIEW COMMISSION
February 15, 2023

HDRC CASE NO: 2023-037
ADDRESS: 304 SADIE ST
LEGAL DESCRIPTION: NCB 733 BLK 5 LOT 1 AND 2
ZONING: RM-4, H
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
APPLICANT: Henry Tijerina | Tijerina Construction LLC
OWNER: Carlos Omar & Selsabeel A. Gonzalez
TYPE OF WORK: Dormer Addition and Window Fenestration Modifications
APPLICATION RECEIVED: January 23, 2023
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Bryan Morales

REQUEST:

The applicant requests a Certificate of Appropriateness for approval to:

1. Relocate one historic wood window on the west elevation of the house.
2. Install a dormer on the north side of the house with a single-pane wood hopper window.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

1. Materials: Woodwork

A. MAINTENANCE (PRESERVATION)

- i. *Inspections*—Conduct semi-annual inspections of all exterior wood elements to verify condition and determine maintenance needs.
- ii. *Cleaning*—Clean exterior surfaces annually with mild household cleaners and water. Avoid using high pressure power washing and any abrasive cleaning or striping methods that can damage the historic wood siding and detailing.
- iii. *Paint preparation*—Remove peeling, flaking, or failing paint surfaces from historic woodwork using the gentlest means possible to protect the integrity of the historic wood surface. Acceptable methods for paint removal include scraping and sanding, thermal removal, and when necessary, mild chemical strippers. Sand blasting and water blasting should never be used to remove paint from any surface. Sand only to the next sound level of paint, not all the way to the wood, and address any moisture and deterioration issues before repainting.
- iv. *Repainting*—Paint once the surface is clean and dry using a paint type that will adhere to the surface properly. See *General Paint Type Recommendations* in Preservation Brief #10 listed under Additional Resources for more information.
- v. *Repair*—Repair deteriorated areas or refasten loose elements with an exterior wood filler, epoxy, or glue.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Facade materials*—Avoid removing materials that are in good condition or that can be repaired in place. Consider exposing original wood siding if it is currently covered with vinyl or aluminum siding, stucco, or other materials that have not achieved historic significance.
- ii. *Materials*—Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard and other cementitious materials are not recommended.
- iii. *Replacement elements*—Replace wood elements in-kind as a replacement for existing wood siding, matching in profile, dimensions, material, and finish, when beyond repair.

3. Materials: Roofs

A. MAINTENANCE (PRESERVATION)

- i. *Regular maintenance and cleaning*—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.
- ii. *Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.
- iii. *Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.
- iv. *Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.
- v. *Materials: flat roofs*—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.
- vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.
- vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. *Security bars*—Install security bars only on the interior of windows and doors.
- ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

Standard Specifications for Original Wood Window Replacement

- o **SCOPE OF REPAIR:** When individual elements such as sills, muntins, rails, sashes, or glazing has deteriorated, every effort should be made to repair or reconstruct that individual element prior to consideration of wholesale replacement. For instance, applicant should replace individual sashes within the window system in lieu of full replacement with a new window unit.
- o **MISSING OR PREVIOUSLY-REPLACED WINDOWS:** Where original windows are found to be missing or previously-replaced with a nonconforming window product by a previous owner, an alternative material to wood may be considered when the proposed replacement product is more consistent with the Historic Design Guidelines in terms of overall appearance. Such determination shall be made on a case-by-case basis by OHP

and/or the HDRC. Whole window systems should match the size of historic windows on property unless otherwise approved.

- o MATERIAL: If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.
- o SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- o DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- o TRIM: Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- o GLAZING: Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- o COLOR: Replacement windows should feature a painted finish. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- o INSTALLATION: Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- o FINAL APPROVAL: If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

FINDINGS:

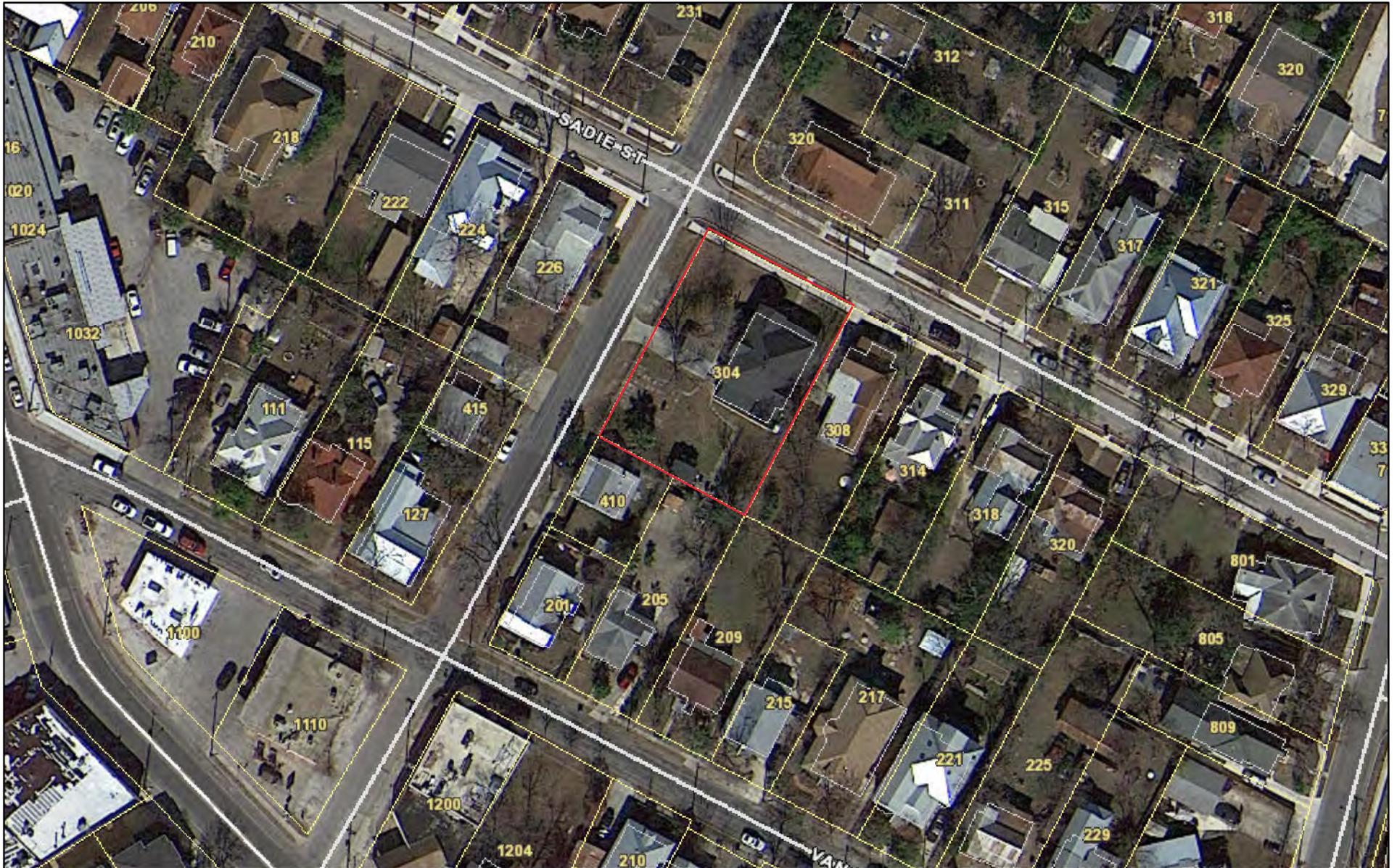
- a. The structure located at 304 Sadie Street is a single-story Folk Victorian style residence. Built c 1910, the property sits on the southwest corner of Riddle and Sadie Street. The house features wood waterfall siding and wood shake in the gable. The cross-gabled roof of the house is clad in composition shingles. One-over-one windows appear alone or in ganged pairs on the structure with some historic exterior window screens. The property contributes to the Lavaca historic district.
- b. FENESTRATION CHANGES: The applicant requests approval to relocate one historic wood window on the west elevation of the house. Staff finds this proposed modification to be minor as it maintains the existing number of fenestrations on this elevation and mimics an existing condition on the front façade. This is consistent with the guidelines provided that proposed condition should include historically appropriate details.
- c. DORMER ADDITION: The applicant has proposed to modify the existing roofline by adding a dormer on the front-facing roofline. According to the Historic Design Guidelines 3.B.iii, the addition of a dormer should be compatible in size, scale, proportion, placement, and detail with the style of the house. Staff finds the proposed dormer is typical of houses of this style and within the historic district and is appropriate.

RECOMMENDATION:

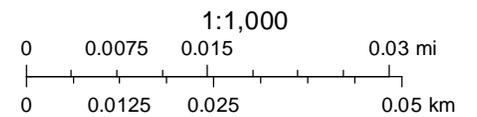
Staff recommends approval of items 1 and 2 based on findings b and c, with the following stipulation:

- i. That the relocated window be ganged with the neighboring window on the west elevation to include a wood mullion and continuous sill.

City of San Antonio One Stop



February 8, 2023















REVISION 4
10.3.22

- Reverse Swing @
Door 4

- Windows in Bed 2

- Kitchen Layout
change

- Window in Primary
Bath

REVISION 5
10.31.22

- Windows in Primary
Bath

REVISION 6
12.6.22

- Replace windows

REVISION 7
1.9.23

- Move window at
West Facade

Bid Documents



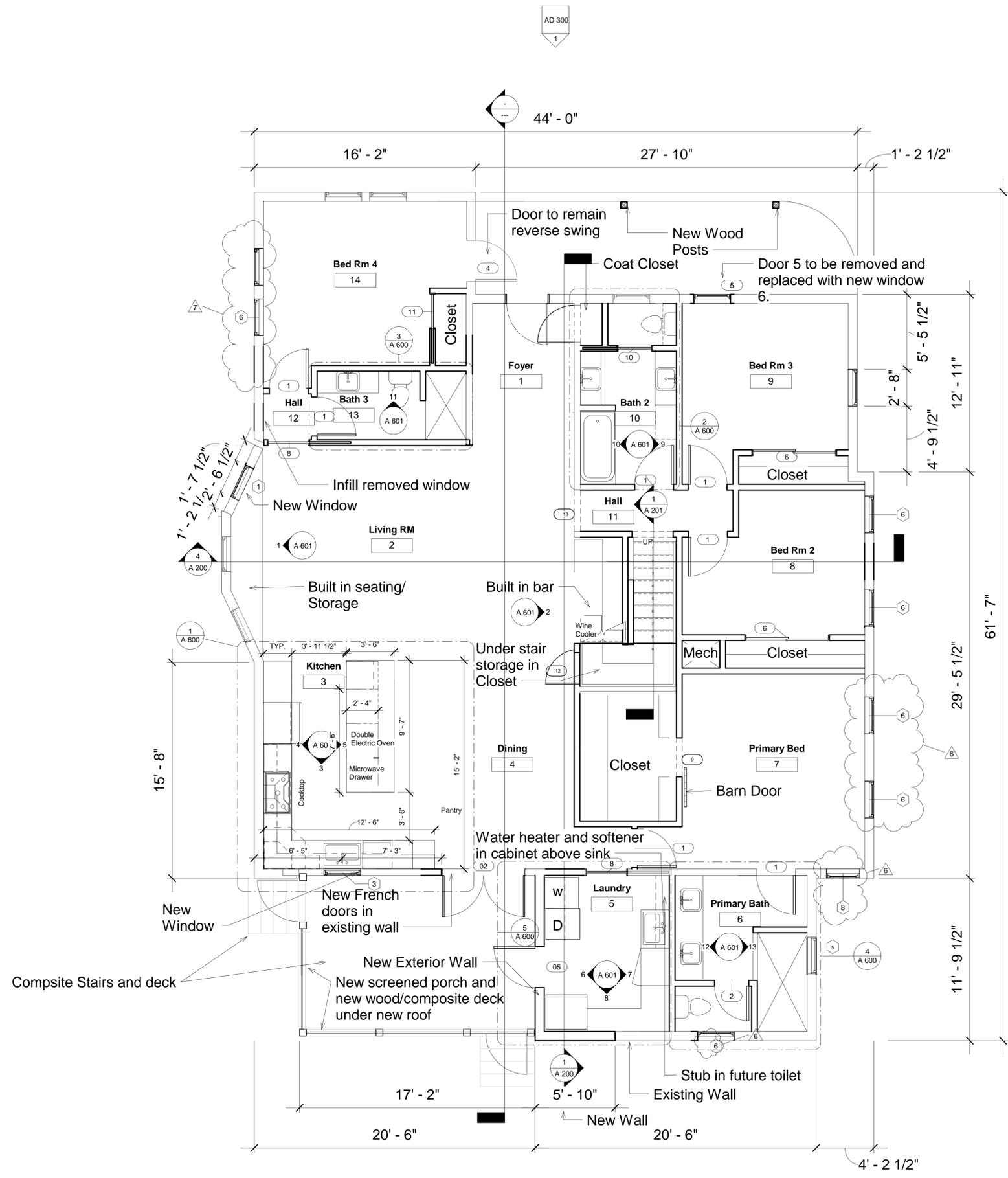
Michelle Hipps-Cruz
TX Registration No. 26493

Date
3.31.22

Scale
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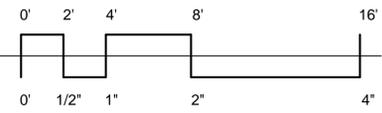
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FIRST FLOOR PLAN

Sheet Number



1 Floor Plan - Level 1
1/4" = 1'-0"

Scale: 1/4" = 1'-0"



INCH IN INCREMENTS ARE SHOWN AT FULL SCALE ON THE SHEET, IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY

- Notes:
1. Sand, stain, and seal all existing wood floors.
 2. Insulate crawlspace with R-13.

Notes - All Elevations

1. Paint all exterior wood of home.
2. Paint windows and trims.
3. Replace crawspace siding with wood siding to match siding of house.
4. Vent crawspace as required.

L I M I N A L

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Gonzalez Home
304 Sadie

REVISION 4
10.3.22

- Porch roof to be reconstructed and raised.

- Wood Post details

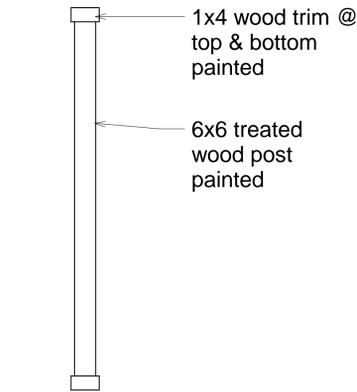
REVISION 6
12.6.22

- Replace all windows

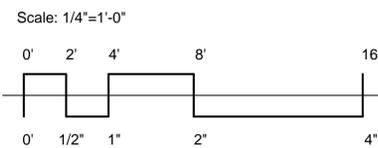
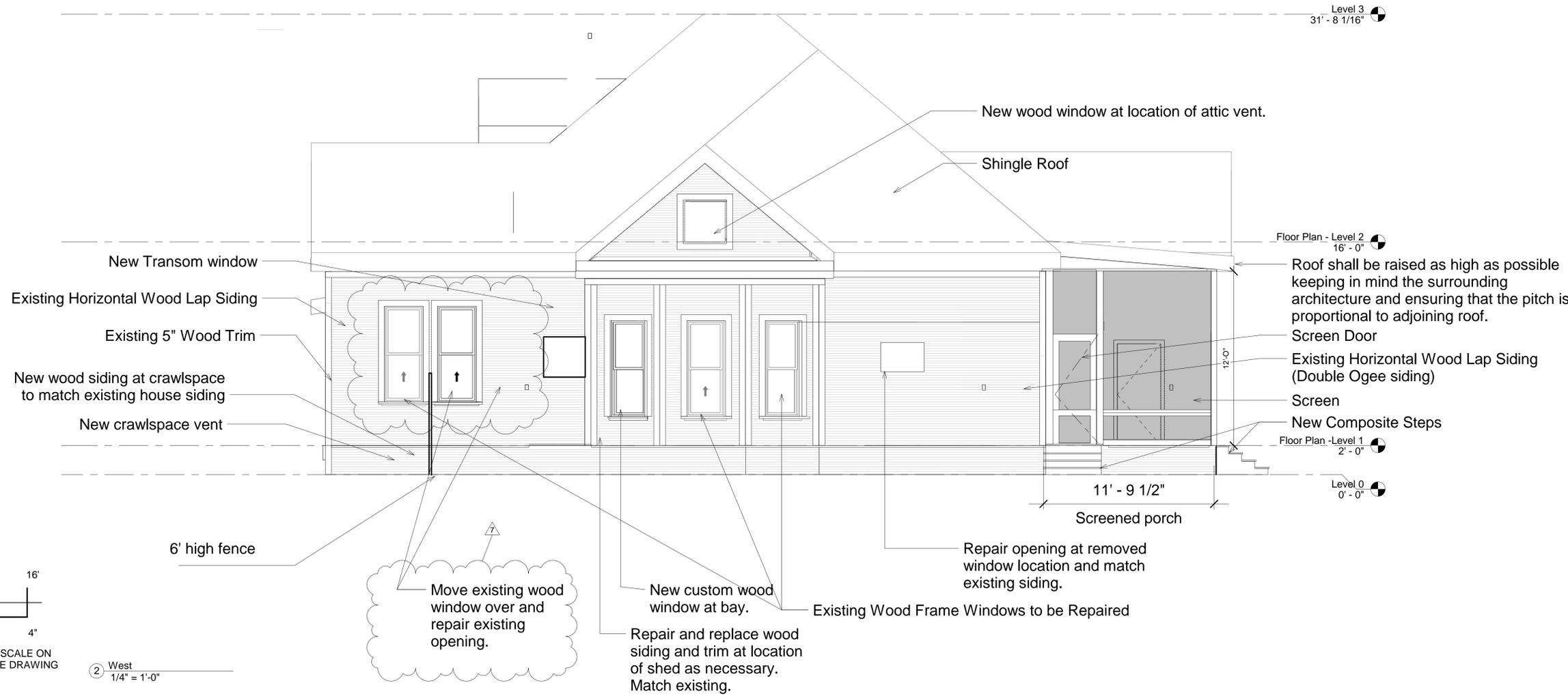
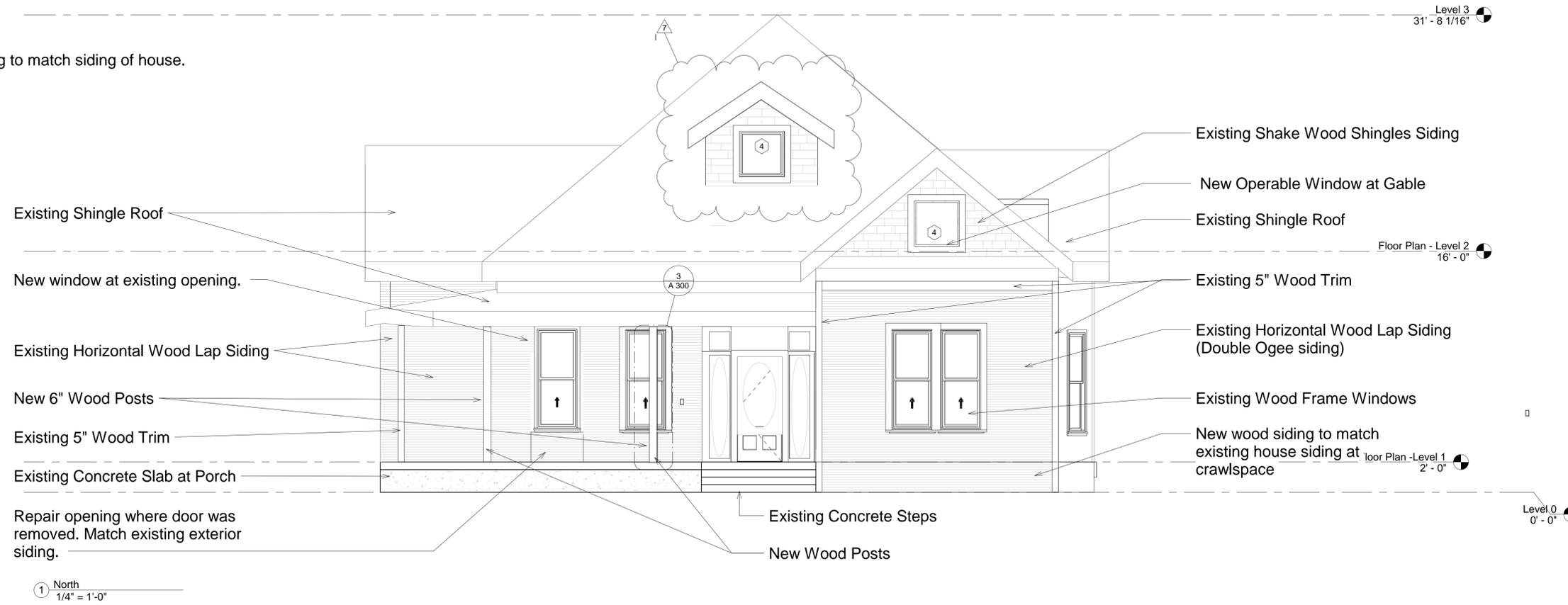
REVISION 7
1.9.23

- Move window at West Facade

- Add New Dormer on North Facade.



③ Wood Post
1/2" = 1'-0"



INCH IN INCREMENTS ARE SHOWN AT FULL SCALE ON THE SHEET, IF AT ANY OTHER LENGTH, SCALE DRAWING PROPORTIONALLY

Bid Documents



Michelle Hipps-Cruz
TX Registration No. 26493

Date

3/31/22

Scale

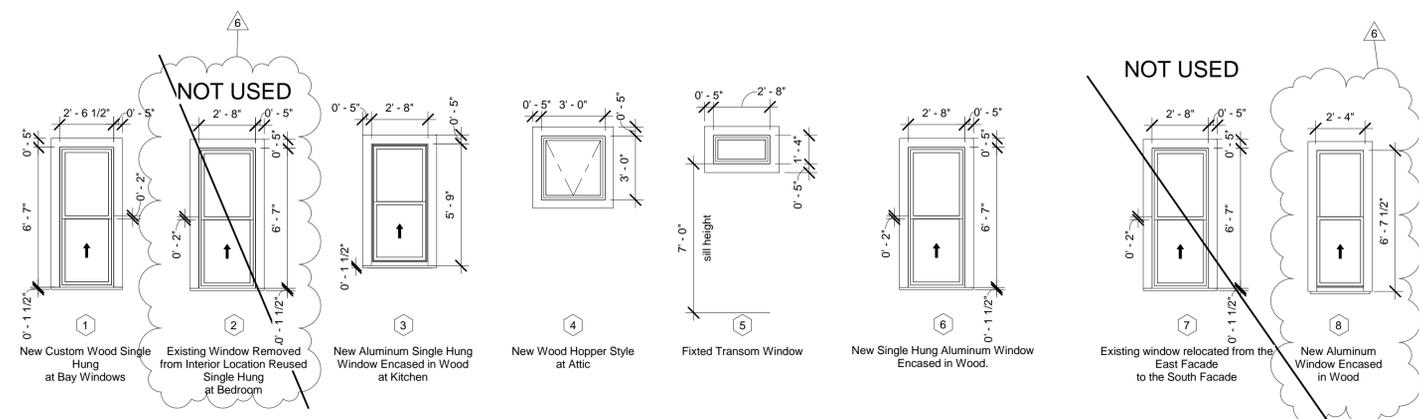
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ELEVATION NORTH & WEST

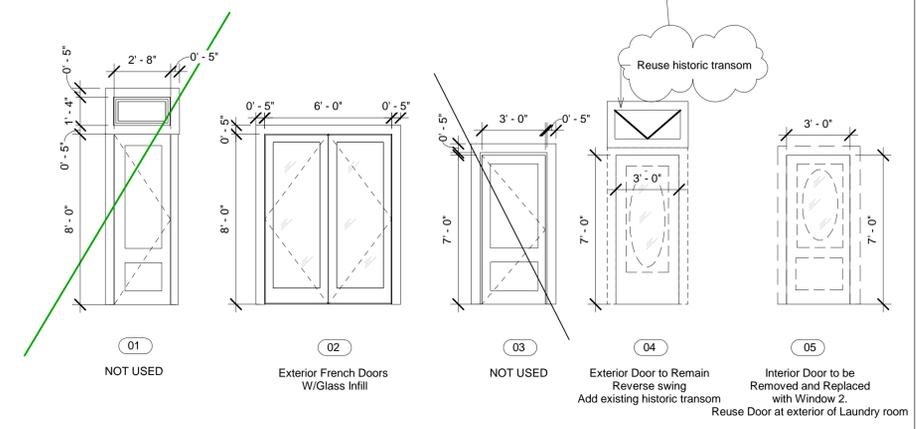
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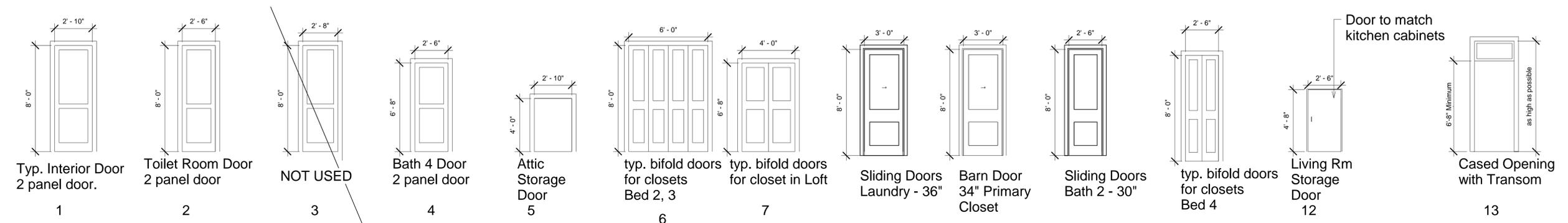


Exterior Window Schedule

Window and Door Schedule
1/4" = 1'-0"



Exterior Door Schedule



Interior Door Schedule

Window Schedule						
Type Mark	Type	Level	Width	Height	Head Height	Comments
1	30.5" x 6'-7"	Floor Plan -Level 1	2' - 6 1/2"	6' - 7"	8' - 7"	Custom Window at Bay
3	32" x 5'-7"	Floor Plan -Level 1	2' - 8"	5' - 7"	9' - 3"	New window at Kitchen
4	36"x36"	Floor Plan -Level 2	3' - 0"	3' - 0"	3' - 0"	Exit window at loft
4	36"x36"	Floor Plan -Level 2	3' - 0"	3' - 0"	7' - 11 7/16"	
5	32" x 16" 2	Floor Plan -Level 1	2' - 8"	1' - 4"	8' - 6 1/4"	Transom at Bathroom
6	32" x 6'-7"	Floor Plan -Level 1	2' - 8"	6' - 7"	8' - 10"	
6	32" x 6'-7"	Floor Plan -Level 1	2' - 8"	6' - 7"	8' - 6"	
6	32" x 6'-7"	Floor Plan -Level 1	2' - 8"	6' - 7"	8' - 7"	
6	32" x 6'-7"	Floor Plan -Level 1	2' - 8"	6' - 7"	9' - 7"	
6	32" x 6'-7"	Floor Plan -Level 1	2' - 8"	6' - 7"	9' - 7"	
6	32" x 6'-7"	Floor Plan -Level 1	2' - 8"	6' - 7"	8' - 9"	
6	32" x 6'-7"	Floor Plan -Level 1	2' - 8"	6' - 7"	8' - 9"	
6	32" x 6'-7"	Floor Plan -Level 1	2' - 8"	6' - 7"	8' - 7"	
6	32" x 6'-7"	Floor Plan -Level 1	2' - 8"	6' - 7"	8' - 7"	
6	32" x 6'-7"	Floor Plan -Level 1	2' - 8"	6' - 7"	9' - 11"	
8	29"x 6'-7"	Floor Plan -Level 1	2' - 5"	6' - 7"	8' - 9"	

Door Schedule							
Type Mark	Type	Count	Height	Width	Finish	Frame Type	Comments
1	Swing	7	96"	34"	Painted	Wood	Typical Interior Doors
2	Swing	1	96"	30"	Painted	Wood	Primary Bath Toilet Room
4	Swing	1	80"	30"	Painted	Wood	Bath 4 in Loft
5	Swing	2	48"	34"	Painted	Wood	Storage to Attic
6	Bi-fold	2	96"	72"	Painted	Wood	Closet doors in Rm 2&3
7	Bi-fold	1	80"	48"	Painted	Wood	Closet doors in Loft
8	Sliding	2	96"	36"	Painted	Wood	Door to Laundry Rm & Hall 12
9	Barn Door	1	96"	34"	Painted	Wood	Primary Rm Closet
10	Sliding	1	96"	30"	Painted	Wood	Bath 2 Toilet rm Door
11	Bi-fold	1	96"	30"	Painted	Wood	Bed 4 Closet
12	Cabinet door	1	56"	30"			Door under stair in Living Rm
13	Cased Opening w/ Transom	1	96"	36"			Reuse transome above opening
02	French Door	1	96"	72"	Glass		New door to porch
04	Existing Door						Reverse Door Swing
05	Existing Door	1					Relocate door to Laundry rm

Bid Documents



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Date

3/31/22

Scale

1/4" = 1'-0"

Sheet Name

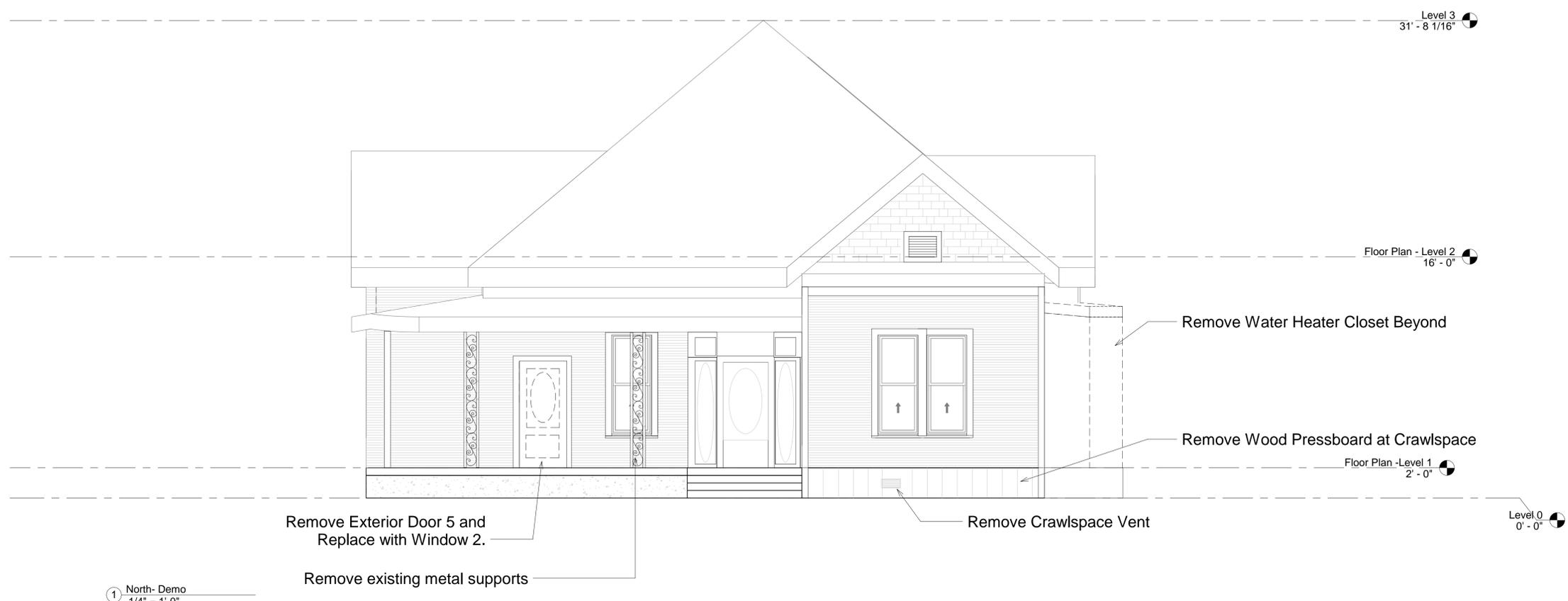
Window and Door
Schedule

Sheet Number

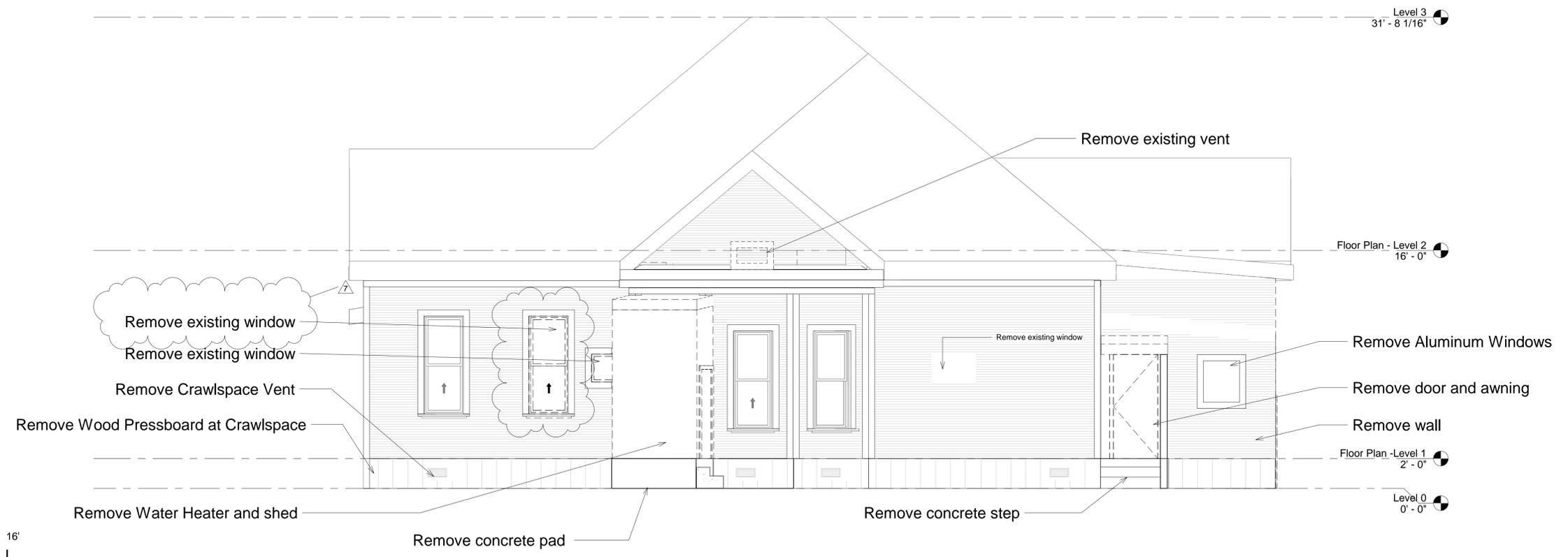
Gonzalez Home
 304 Sadie

REVISION 6
 12.6.22
 - Replace all windows

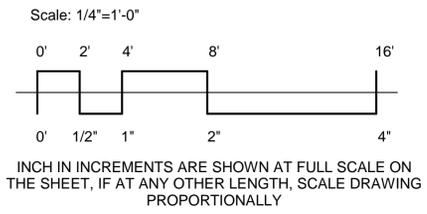
REVISION 7
 1.9.23
 - Move window at West Facade



① North- Demo
 1/4" = 1'-0"



② West- Demo
 1/4" = 1'-0"



Bid Documents



Michelle Higgs-Cruz
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Date
 3/31/22

Scale
 1/4" = 1'-0"

Sheet Name
 ELEVATION NORTH &
 WEST-DEMO

Sheet Number