

# HISTORIC AND DESIGN REVIEW COMMISSION

February 15, 2023

**HDRC CASE NO:** 2023-056  
**ADDRESS:** 237 CLAUDIA ST  
**LEGAL DESCRIPTION:** NCB 2876 BLK 1 LOT 1 EXC NW TRI 23 FT  
**ZONING:** RM-4, H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** King William Historic District  
**APPLICANT:** SCHC Properties LLC  
**OWNER:** SCHC Properties LLC  
**TYPE OF WORK:** Historic Tax Certification  
**APPLICATION RECEIVED:** February 07, 2023  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Rachel Rettaliata

## REQUEST:

The applicant is requesting Historic Tax Certification for the property at 237 Claudia.

## APPLICABLE CITATIONS:

*UDC Section 35-618. Tax Exemption Qualification.*

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption

## FINDINGS:

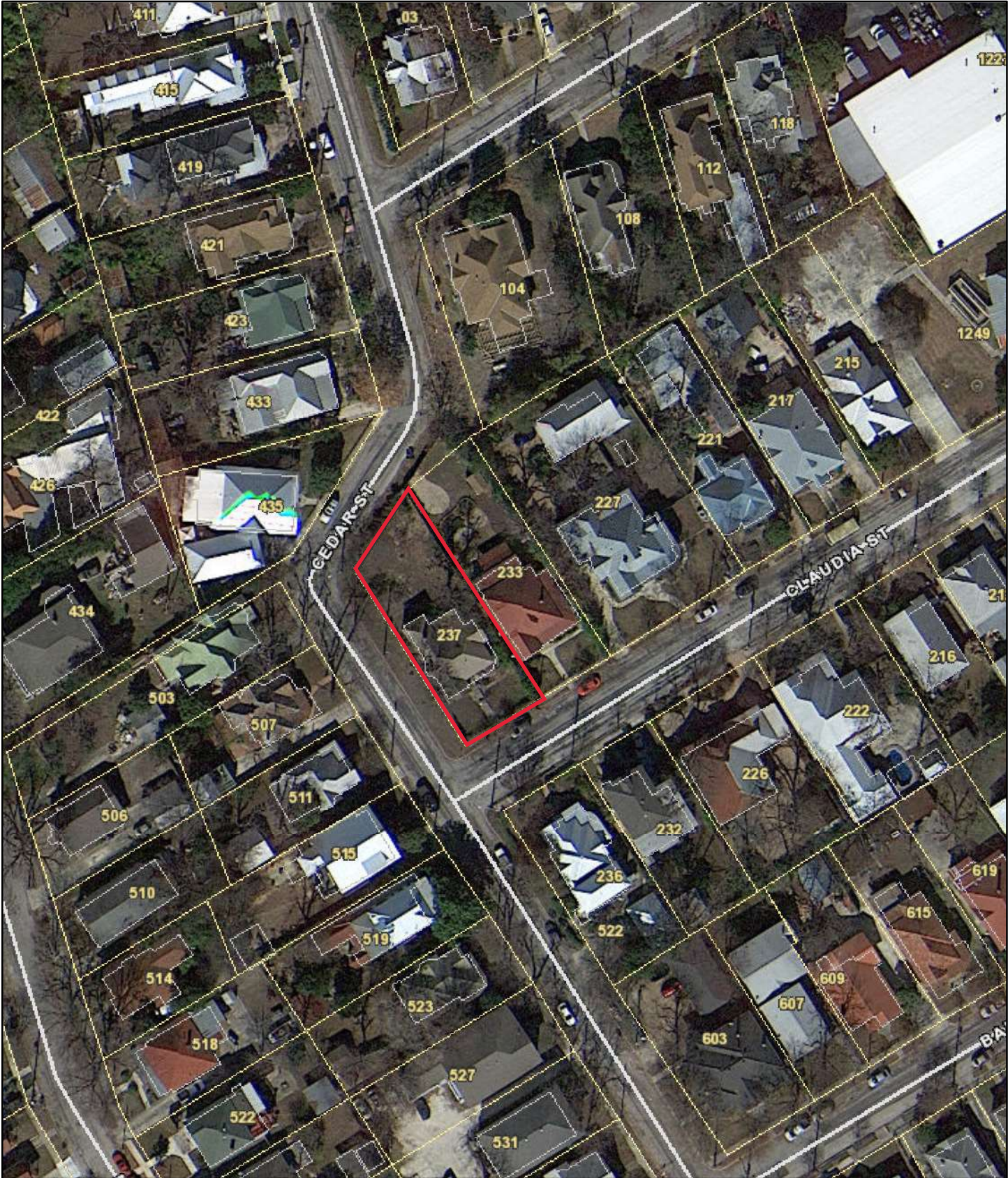
- a. The structure located at 237 Claudia is a 1-story, single-family structure constructed in the Folk Victorian style circa 1910. The structure features a composition shingle hip roof with a prominent front gable, wood siding, and one-over-one wood windows. The property is contributing to the King William Historic District. The applicant is requesting Historic Tax Certification.
- b. The scope of work includes a comprehensive interior remodel, electrical, mechanical, and plumbing upgrades, foundation repair, roof replacement, window restoration, replacement of vinyl siding, wood siding repair, repainting, and front porch reconstruction. Certificates of Appropriateness are required for all exterior scopes of work.
- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer. To qualify for the Substantial Rehabilitation Tax Incentive the owner must pursue Historic Tax Verification once the rehabilitation work is complete. Any violations on the property may disqualify the property from participation in the program.

## RECOMMENDATION:

Staff recommends approval based on findings a through c.

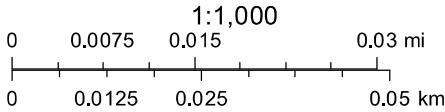


# City of San Antonio One Stop



February 10, 2023

— User drawn lines





We purchased 237 Claudia Street with the intent to make this Historic Landmark not only habitable but beautiful. The home needs extensive work as detailed by the pictures. We are hoping to be finished by the end of the year. Rehabilitation requires, at a minimum, the following:

1. New roof
2. Foundation repair, including replacing several piers and beams and leveling
3. Restoring original windows
4. All new electrical
5. All new plumbing including main sewer line
6. Installation of HVAC system
7. Removal of vinyl siding and repair of wood siding
8. Exterior/Interior paint
9. Rebuilding the front porch
10. Restoration of wood floors
11. Installation of drywall
12. Installation of kitchen
13. Installation of 2 bathrooms
14. Replacing flooring in rear portion of home and living room











































Item		
New roof		
Foundation repair, including replacing several piers and beams and leveling		
Restoring original windows		
All new electrical		
All new plumbing including main sewer line		
Installation of HVAC system		
Removal of vinyl siding		
Exterior Paint/repair of wood siding		
Rebuilding the front porch		
Restoration of wood floors and repair		
Installation of drywall		
Installation of kitchen		
Installation of 2 bathrooms		
Replacing flooring in rear portion of home		
Dumpsters		