

# HISTORIC AND DESIGN REVIEW COMMISSION

February 15, 2023

**HDRC CASE NO:** 2023-054  
**ADDRESS:** 311 EAGLELAND DR  
540 ADAMS ST  
**LEGAL DESCRIPTION:** NCB 2914 BLK LOT 11 & S 11.7 FT OF 10  
**ZONING:** RM-4,HS  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** King William Historic District  
**LANDMARK:** Individual Landmark  
**APPLICANT:** 540 Adams, LLC  
**OWNER:** 540 Adams, LLC  
**TYPE OF WORK:** Historic Tax Certification  
**APPLICATION RECEIVED:** February 07, 2023  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Rachel Rettaliata

## REQUEST:

The applicant is requesting Historic Tax Certification for the property at 540 Adams/311 Eagleland.

## APPLICABLE CITATIONS:

*UDC Section 35-618. Tax Exemption Qualification.*

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

## FINDINGS:

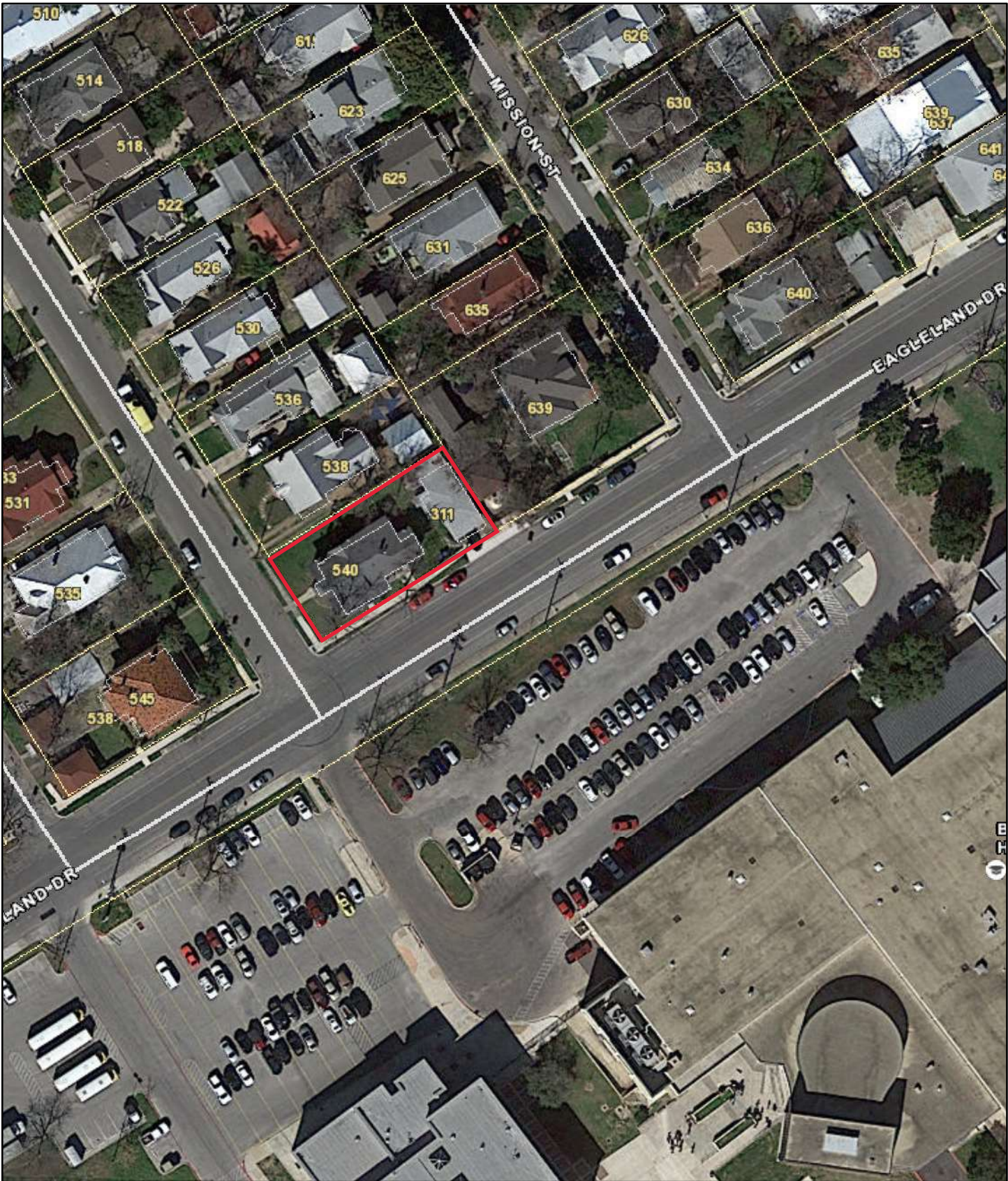
- a. The primary structure located at 540 Adams is a 1-story, single-family structure constructed circa 1920. The property features a 1-story rear accessory structure that first appears on the 1931 Sanborn Map. The rear accessory structure is separately addressed as 311 Eagleland. The primary structure features a front gable composition shingle roof with a side dormer, a partially enclosed front entry porch, a full-width side porch with stone columns, wood siding, and one-over-one wood and replacement windows. The structures have been greatly modified over time. The property is contributing to the King William Historic District. The applicant is requesting Historic Tax Certification.
- b. The scope of work includes a comprehensive interior remodel, exterior wall repair, siding installation, door and window repair and replacement, exterior lighting and repainting on the primary structure and the interior remodel and construction of a second-story addition to the rear accessory structure. Certificates of Appropriateness are required for all exterior scopes of work.
- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer. To qualify for the Substantial Rehabilitation Tax Incentive the owner must pursue Historic Tax Verification once the rehabilitation work is complete. Any violations on the property may disqualify the property from participation in the program.

## RECOMMENDATION:

Staff recommends approval based on findings a through c.

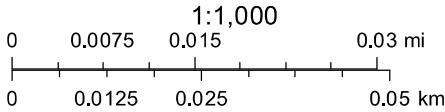


# City of San Antonio One Stop



December 15, 2022

— User drawn lines







439

363

362

359

3575

364

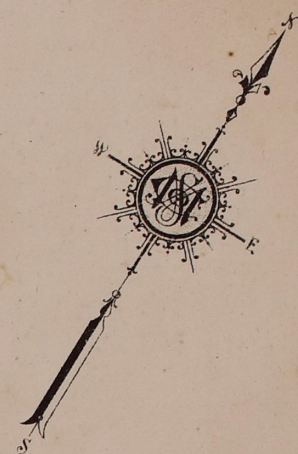


440

ADDL SHEET  
FEB. 1919





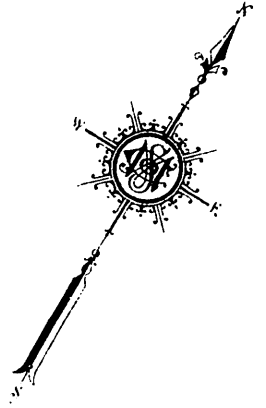




440

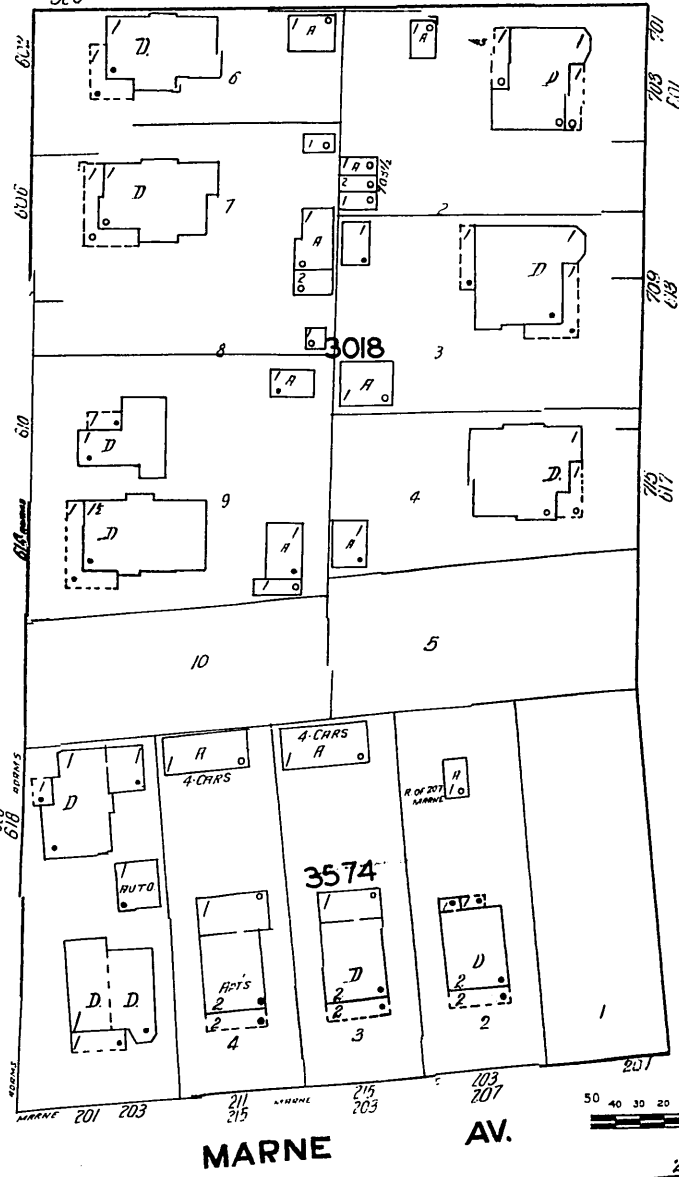
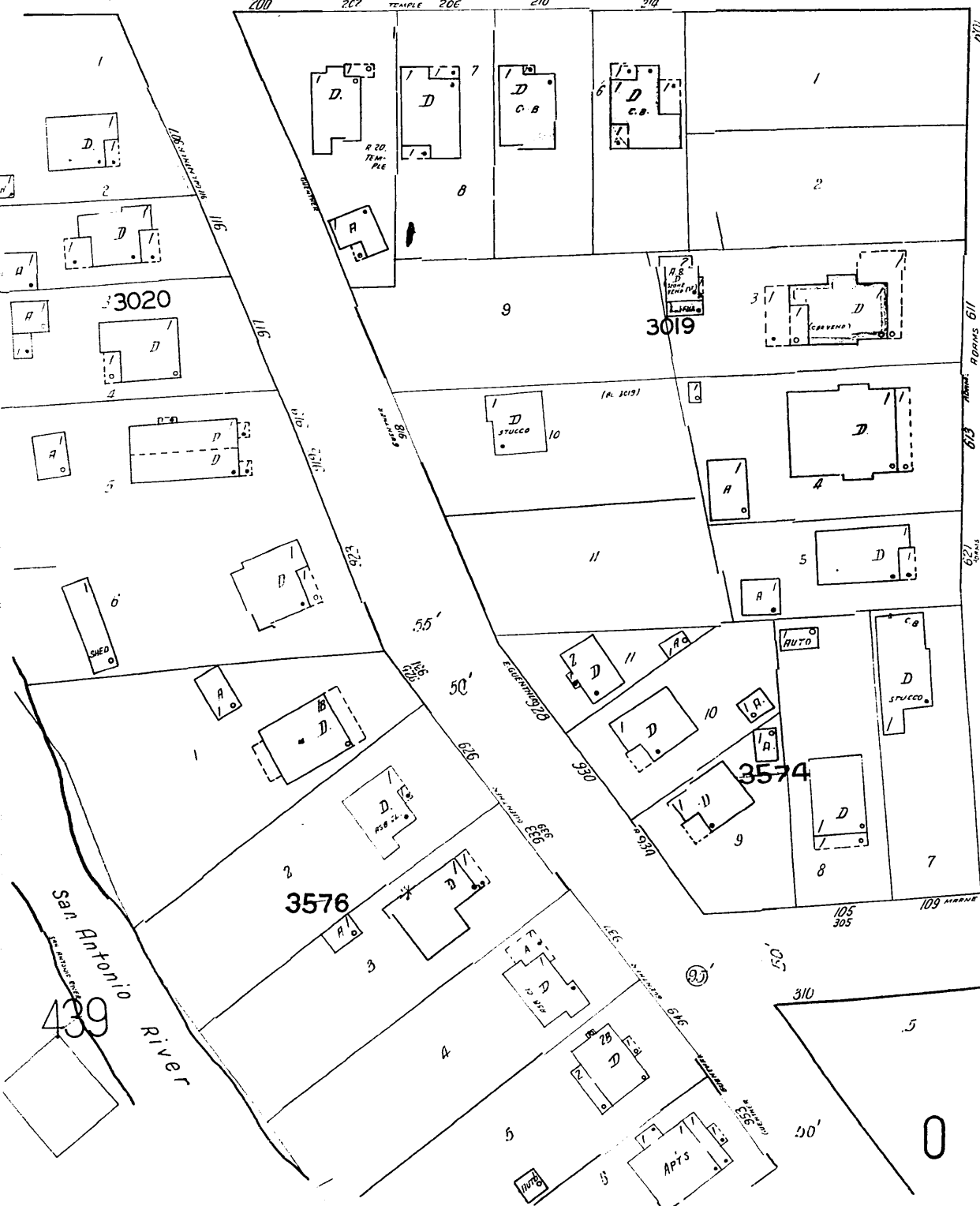
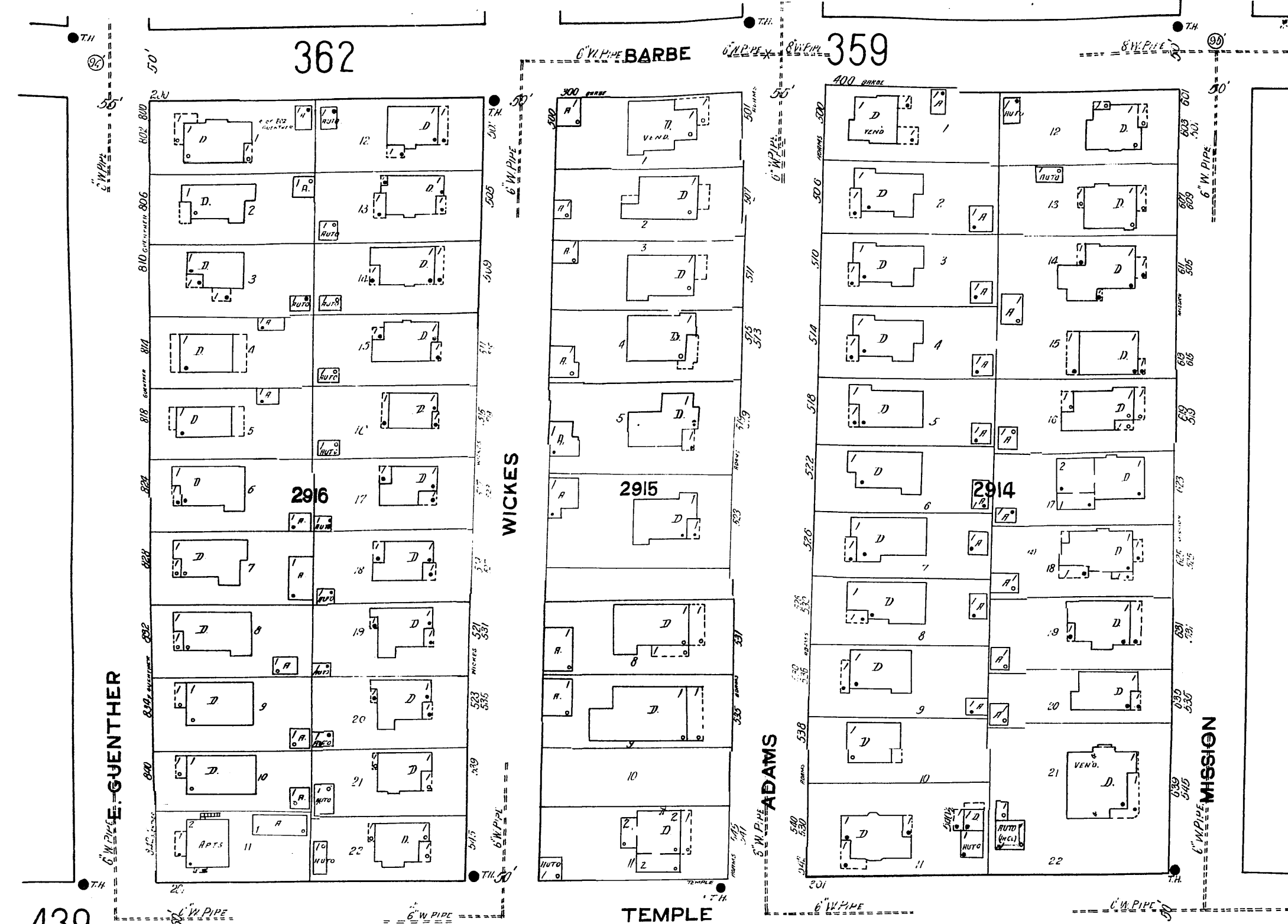
ADDL SHEET  
FEB. 1919

TEX 40



363

439



Scale of Feet.

Copyright 1919 by the Sanborn Map Co

GEO. W. BRACKENRIDGE HIGH SCHOOL  
See report on sheet 364

364

WEST WING

3575



### **540 Adams / 311 Eagleland – Rehab Scope**

This scope of work is for the remodel for 540 Adams and upstairs addition & remodel to 311 Eagleland. Dr. San Antonio, TX 78210.

This property is a duplex at 540 Adams St and single family home at 311 Eagleland that will be remodeled into a 2 bedroom / 2 bath home with an upstairs loft space.

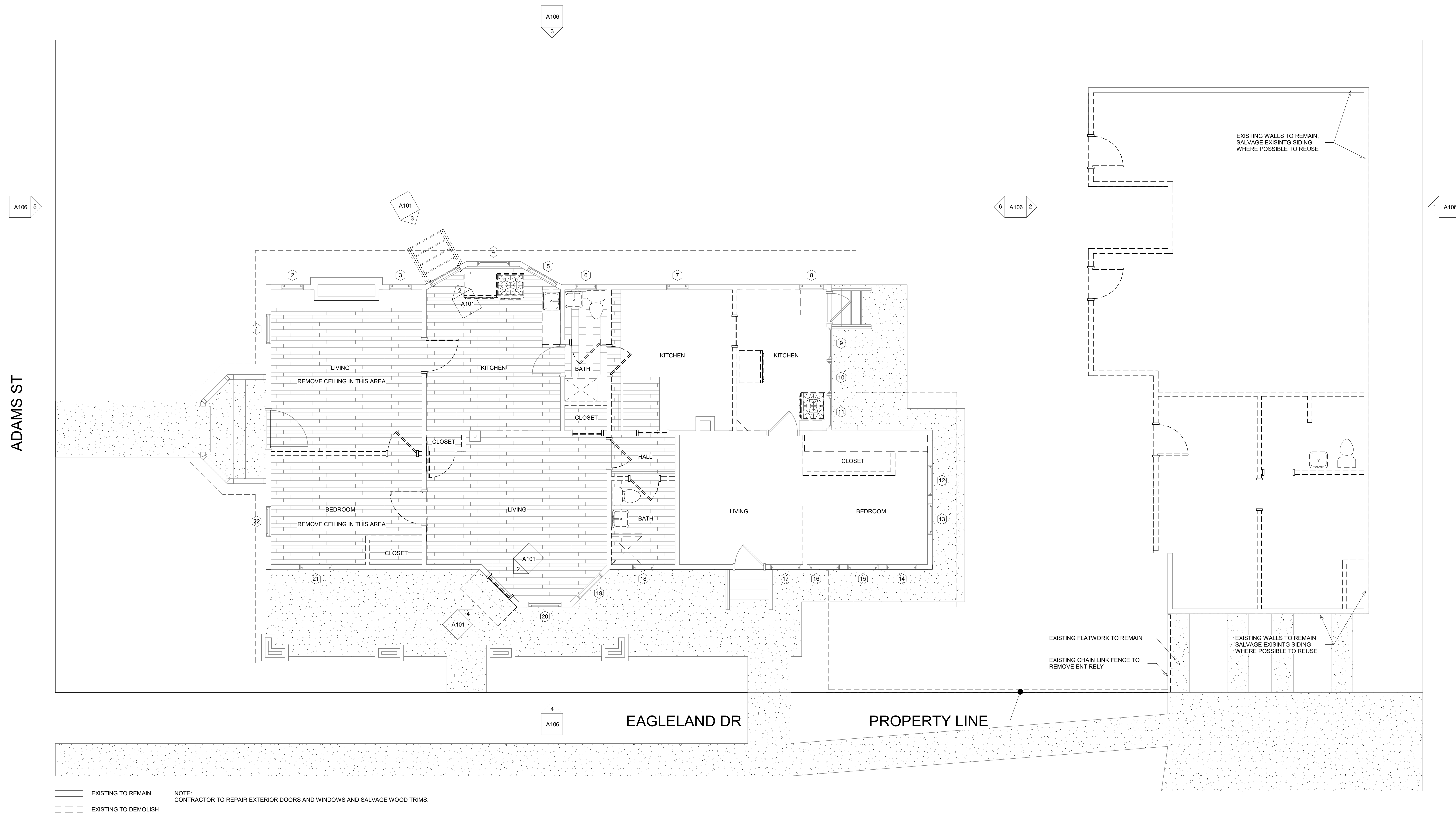
The repairs will include new framing of interior and repair of exterior walls, new siding, doors, windows and porch, new exterior lighting, and new paint to stay in character with other homes in the King William area.

The work on both of these homes will be completed in the next 4-5 months and is scheduled to be completed before May 31, 2023.

## Costs Summary for 540 Adams & 311 Eagleland

| <u>Item</u>        | <u>540 Adams</u> | <u>311 Eagleland</u> | <u>Total Cost</u> |
|--------------------|------------------|----------------------|-------------------|
| Foundation         |                  |                      |                   |
| Framing            |                  |                      |                   |
| Int Doors          |                  |                      |                   |
| Window             |                  |                      |                   |
| Insulation         |                  |                      |                   |
| Exterior Repair    |                  |                      |                   |
| Porch Repair       |                  |                      |                   |
| Ext Paint          |                  |                      |                   |
| Sheetrock          |                  |                      |                   |
| Tape/Float/Texture |                  |                      |                   |
| Int Paint          |                  |                      |                   |
| Flooring           |                  |                      |                   |
| Tile               |                  |                      |                   |
| Cabinetry          |                  |                      |                   |
| Trim               |                  |                      |                   |
| Landscaping        |                  |                      |                   |
| Countertop         |                  |                      |                   |
| <b>Est Total</b>   |                  |                      |                   |





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Consultant  
Address  
Address  
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Phone

[illegible]CHRISTOPHER GILL  
LYDIA ZAIDMAN

540 ADAMS  
SAN ANTONIO, TX 78210

## DEMOLITION FLOOR PLAN

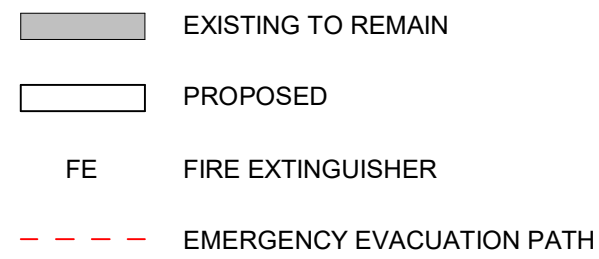
|                |                |
|----------------|----------------|
| Project Number | Project Number |
| Date           | 12.21.2022     |
| Drawn By       | Author         |
| Checked By     | Checker        |

A101

|       |              |
|-------|--------------|
| Scale | As indicated |
|-------|--------------|







1 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

PROPERTY LINE

FENCE —

Scale  $1/4" = 1'-0"$

Consultant  
Address  
Address  
Address  
Phone

[illegible]













Consultant  
Address  
Address  
Address  
Phone

CHRISTOPHER GILL  
LYDIA ZAIDMAN

540 ADAMS  
SAN ANTONIO, TX 78210

|                |                |
|----------------|----------------|
| Project Number | Project Number |
| Date           | 12.21.2022     |
| Drawn By       | Author         |
| Checked By     | Checker        |
| A106           |                |
| Scale          | 1/8" = 1'-0"   |





|  |                       |
|--|-----------------------|
| <p>CHRISTOPHER GILL<br/>LYDIA ZAIDMAN</p>  |                       |
| <p>540 ADAMS<br/>SAN ANTONIO, TX 78210</p> |                       |
| <p>PROPOSED<br/>BUILDING<br/>ELEVATION</p> |                       |
| <p>Project Number</p>                      | <p>Project Number</p> |
| <p>Date</p>                                | <p>12.21.2022</p>     |
| <p>Drawn By</p>                            | <p>Author</p>         |
| <p>Checked By</p>                          | <p>Checker</p>        |
| <p>A107</p>                                |                       |
| <p>Scale</p>                               | <p>1/8" = 1'-0"</p>   |



































































