

# HISTORIC AND DESIGN REVIEW COMMISSION

November 02, 2022

**HDRC CASE NO:** 2022-508  
**COMMON NAME:** 105 - 113 BROWN ALLEY  
**ADDRESS:** 415 N MESQUITE ST  
**LEGAL DESCRIPTION:** NCB 568 BLK 17 LOT E 70 FT OF N 27.5 FT OF 10  
**ZONING:** IDZ, H  
**CITY COUNCIL DIST.:** 2  
**APPLICANT:** Ricardo McCullough  
**OWNER:** Vergel Construction  
**TYPE OF WORK:** Construction of six, multi-story residential structures  
**APPLICATION RECEIVED:** September 29, 2022  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Edward Hall

## REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct six, multi-story residential structures on the vacant lots addressed as 105, 107, 109, 111, and 113 Brown Street and 415 N Mesquite Street, located within the Dignowity Hill Historic District. The lots are bounded by Brown Street to the south, N Mesquite to the east, and Brown Alley to the north. Each of the proposed structures will feature between approximately twenty-nine (29) and thirty-two (32) feet in height.

A previous proposal at this location was approved by the Historic and Design Review Commission on October 2, 2019. Since that time, the property owner, design team and applicant have changed. Additionally, the previously proposed and approved duplex structure has been separated into two separate structures.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 4, Guidelines for New Construction*

### 1. Building and Entrance Orientation

#### A. FAÇADE ORIENTATION

*i. Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

*ii. Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

#### B. ENTRANCES

*i. Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

### 2. Building Massing and Form

#### A. SCALE AND MASS

*i. Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.

*ii. Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.

*iii. Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within

one foot of floor-to-floor heights on adjacent historic structures.

## B. ROOF FORM

*i. Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential building types are more typically flat and screened by an ornamental parapet wall.

*ii. Façade configuration*—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

## D. LOT COVERAGE

*i. Building to lot ratio*—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

## 3. Materials and Textures

### A. NEW MATERIALS

*i. Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

*ii. Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

*iii. Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

*iv. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

*v. Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

## 4. Architectural Details

### A. GENERAL

*i. Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

*ii. Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district.

Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

*iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

## 5. Garages and Outbuildings

### A. DESIGN AND CHARACTER

- i. Massing and form—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
- ii. Building size – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
- iii. Character—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- iv. Windows and doors—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. Garage doors—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

## B. SETBACKS AND ORIENTATION

- i. Orientation—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley loaded garages were historically used.
  - ii. Setbacks—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.
- ## 6. Mechanical Equipment and Roof Appurtenances

## A. LOCATION AND SITING

- i. *Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.
- ii. *Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

## B. SCREENING

- i. *Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
- ii. *Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
- iii. *Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

## *Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

## B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district.  
New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

### 3. Landscape Design

#### A. PLANTINGS

- i. Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

#### B. ROCKS OR HARDSCAPE

- i. Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

#### D. TREES

- i. Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

### 5. Sidewalks, Walkways, Driveways, and Curbing

#### A. SIDEWALKS AND WALKWAYS

- i. Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

#### B. DRIVEWAYS

- i. Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site.



Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

*ii. Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

## 7. Off-Street Parking

### A. LOCATION

*i. Preferred location*—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.

*ii. Front*—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.

*iii. Access*—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

### B. DESIGN

*i. Screening*—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.

*ii. Materials*—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.

*iii. Parking structures*—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding historic district when new parking structures are necessary.

### *Standard Specifications for Windows in Additions and New Construction*

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

## FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to construct six, multi-story residential structures on the vacant lots addressed as 105, 107, 109, 111, and 113 Brown Street and 415 N Mesquite Street, located within the Dignowity Hill Historic District. The lots are bounded by Brown Street to the south, N Mesquite to the east, and Brown Alley to the north. Each of the proposed structures will feature between approximately twenty-nine (29) and thirty-two (32) feet in height.
- b. PREVIOUS REVIEW – A previous proposal at this location was approved by the Historic and Design Review Commission on October 2, 2019. Since that time, the property owner, design team and applicant have changed. The previously proposed and approved duplex structure has been separated into two separate structures. Additionally, various design elements from the previous approval have been altered or omitted.
- c. CONTEXT & DEVELOPMENT PATTERN – The proposed new construction features one lot that fronts N Mesquite that will feature one residential structure. The remaining lots are interior to the block, with access provided via Brown Alley to the north, and Brown Street to the south. To the immediate south of the proposed new construction are commercial structures. The block to the immediate west features industrial and commercial structures. The lots and blocks to the immediate north and east are predominantly single-family residential in nature.
- d. EXISTING LOTS – The existing lots are currently void of any structures. Both Brown Alley to the north and Brown Street to the south are unimproved.
- e. SETBACKS & ORIENTATION (N Mesquite, east) – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Additionally, the orientation of new construction should be consistent with the historic examples found on the block. The applicant has proposed a setback that is less than that of the historic structure at 413 N Mesquite. Staff finds that all elements of the proposed new construction, including porch and roof elements should feature a setback greater than that of the historic structure to the immediate south (413 N Mesquite).
- f. SETBACKS & ORIENTATION (Brown Street, south) – The applicant has proposed southern facing setbacks for five (5) of the proposed structures to be behind that of the adjacent historic structure's side façade. Staff finds this to be appropriate.
- g. ENTRANCES (N Mesquite, east) – According to the Guidelines for New Construction 1.B.i., primary building entrances should be oriented towards the primary street. The applicant has oriented the primary entrance of the structure proposed to front N Mesquite to N Mesquite. This is appropriate and consistent with the Guidelines.
- h. ENTRANCES – The applicant has proposed for the five interior structures to feature entrances that are oriented towards Brown Street, to the south.
- i. ENTRANCE ELEMENTS & PORCH DESIGN – The applicant has proposed for each structure to feature an entrance towards N Mesquite and Brown Street. For the structure fronting N Mesquite, the applicant has proposed a front porch that is recessed within the massing of the proposed new construction. The structures that front Brown Street (to the south) feature porch elements that include massing that is recessed within the massing of the structure, and small stoop and porch roof elements. Historic residential structures found within the Dignowity Hill Historic District feature porch massing that contributes not the overall design of the structure, its massing, and its entrance orientation. While the applicant has introduced porch elements to each structure, staff finds that porches should feature proportions that are consistent with those found historically within the district.
- j. SCALE & MASS (Five interior structures) – The applicant has proposed massing for each structure that features between approximately thirty-two (32) and approximately thirty-five (35) feet in height. The applicant has proposed for each structure to feature either two full stories with occupiable attic space, or three full stories. This block features both single-story commercial structures and single-story, historic residential structures. On the blocks to the immediate south and west, there are multi-story commercial and industrial structures. The five, interior structures feature significant setbacks from the primary, right of way at N Mesquite, Dawson Street and N Cherry. Staff finds that the applicant should incorporate ways to reduce the overall heights of the five interior structures, such as the lowering of plate heights and reductions in roof profile.
- k. SCALE & MASS (N Mesquite) – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. The applicant has proposed for the structure that fronts N Mesquite to feature an overall height of approximately twenty-six (26) feet in height. This structure is proposed to be located immediately adjacent to a

1-story, historic structure. The proposed height is consistent with the Guidelines; however, staff finds that the applicant should study ways to reduce the overall height of the proposed new construction.

- l. FOUNDATION & FLOOR HEIGHTS – According to the Guidelines for New Construction 2.A.iii., foundation and floor height should be aligned within one (1) foot of neighboring structure’s foundation and floor heights. Historic structures in the vicinity and throughout the district feature foundation heights of two to three feet. The applicant has noted foundation heights for each structure that appear to be at least one (1) foot in height. Staff finds that the applicant should confirm conformance with the Guidelines regarding all foundation heights.
- m. ROOF FORM – The applicant has proposed roof forms that include contemporary gabled roofs and hipped roofs. Gabled roofs are found historically throughout the Dignowity Hill Historic District. Generally, staff finds the proposed roof forms to be appropriate.
- n. WINDOW & DOOR OPENINGS – Per the Guidelines for New Construction 2.C.i., window and door openings with similar proportions of wall to window space as typical with nearby historic facades should be incorporated into new construction. The applicant has generally proposed window openings that are consistent with the Guidelines and window proportions found historically within the district. All windows should feature equally sized sashes.
- o. LOT COVERAGE – Per the Guidelines, the building footprint for new construction should be no more than fifty (50) percent of the size of the total lot area. The applicant has noted that only two of the six lots feature proposed lot coverage that is less than fifty (50) percent. Staff finds that the proposed footprints of each structure be reduced to no more than fifty (50) percent.
- i. MATERIALS – The applicant has proposed primary materials that consist of wood lap siding, metal roofs, and board and batten siding. The applicant has proposed secondary materials that include wood columns and railings. Generally, staff finds the proposed materials to be appropriate; however, staff finds that board and batten siding, if installed using composite materials should feature smooth boards that are 12 inches wide and battens that are approximately 1.25 inches wide. Staff finds that columns should be installed that are square in nature that do not mimic historic Doric columns. Staff finds that all window and door trim should be approximately four (4) inches in width and feature a smooth finish. Additionally, staff finds that the proposed standing seam metal roofs should feature panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seams and a low profile ridge cap. An industrial ridge cap is not be used.
- p. WINDOWS – The applicant has not provided window specifications at this time. Staff finds that wood or aluminum clad windows should be installed that are consistent with staff’s standards for windows in new construction.
- q. ARCHITECTURAL DETAILS –Generally, staff finds the proposed architectural details to be appropriate; however, there are elements that staff finds to be atypical and inconsistent with the character of the Dignowity Hill Historic District, including the inclusion of attached garages, porch design and proportions, columns profiles and dimensions and the inclusions of faux shutters. Staff finds that the attached garages should be eliminated, that columns should feature designs and profiles that do not mimic historic column design, that porches should be designed in a manner that is consistent with the historic examples found within the district and that the proposed faux shutters should be eliminated.
- r. ARCHITECTURAL DETAILS (Attached Garages) – Staff does not find the attached garages to be appropriate and finds that the applicant should propose alternative design elements to allow for their removal. This could include the reduction of residential structures to provide for detached parking on site. Attached garages are not found historically within the district and are not consistent with the Guidelines. Additionally, the removal of attached garages and reduction of residential structures would contribute to the overall reduction of massing on the site. The applicant is responsible for submitting product specifications for garage doors for review.
- s. MECHANICAL EQUIPMENT – Per the Guidelines for New Construction 6., all mechanical equipment should be screened from view at the public right of way. The applicant has noted the locations of HVAC units and has noted their screening by landscaping elements. Staff finds this to be appropriate.
- t. DRIVEWAY & VEHICULAR ACCESS – The applicant has noted driveways from Brown Alley leading into each lot; however, the applicant has not noted improvements to Brown Alley, which may be required to accommodate emergency vehicles. Staff finds that the applicant should coordinate with Public Works Department to determine whether or not improvements are required for Brown Alley to accommodate emergency vehicles, and how that might impact site design and vehicular access to each lot. Additionally, staff finds that the applicant should provide additional information regarding driveways and driveway aprons, including dimensions.

- u. LANDSCAPING PLAN – The applicant has provided a site plan noting various site materials and the locations of proposed trees, walkways, shrubs, and other landscaping elements. Generally, staff finds the proposed landscaping plan to be appropriate and consistent with the Guidelines.

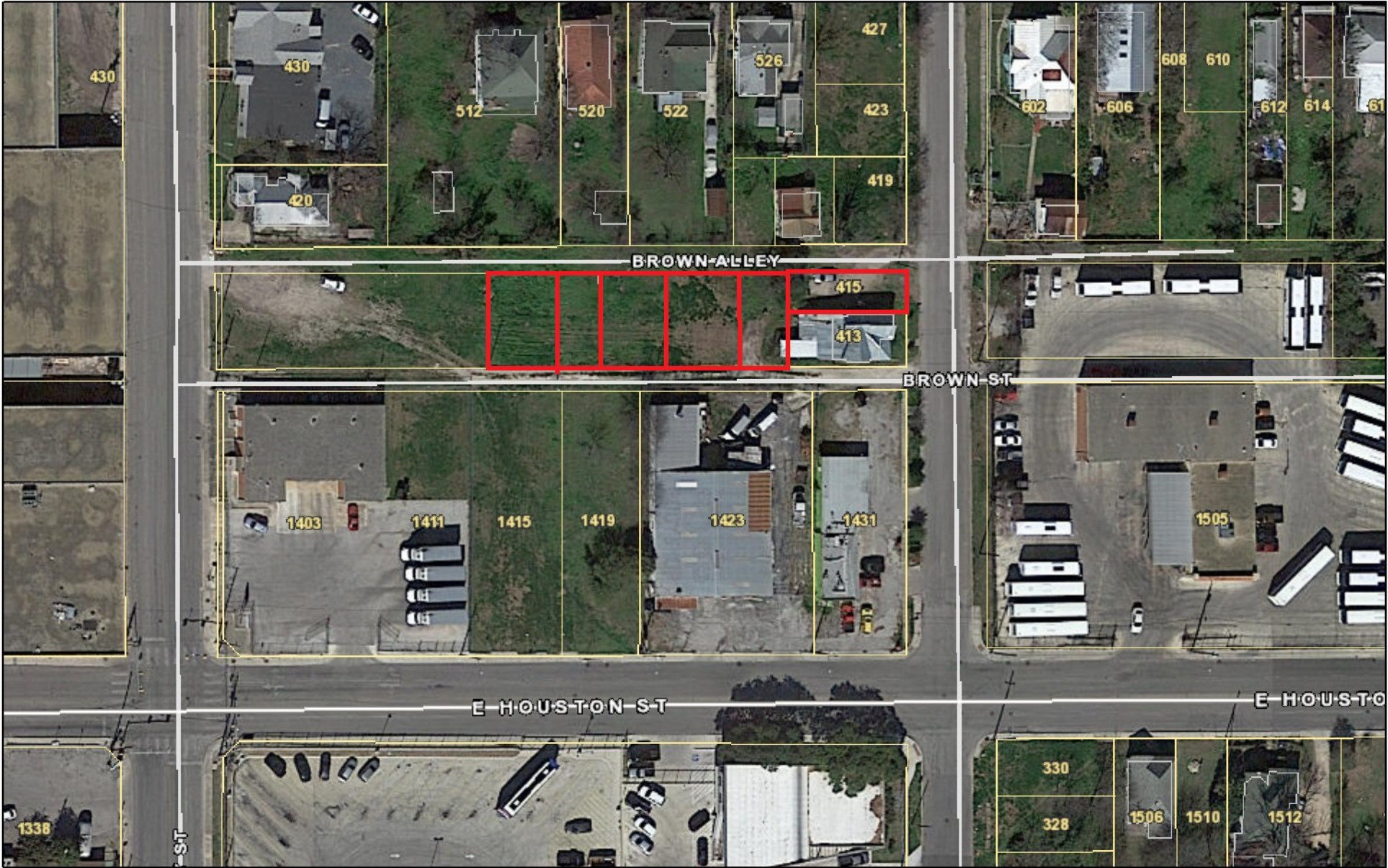
## **RECOMMENDATION:**

Staff does not recommend approval based on findings a through w. Staff recommends the applicant addressing the following items prior to receiving a recommendation of approval from staff.

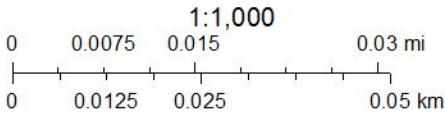
- i. That all elements of the proposed new construction (415 N Mesquite), including porch and roof elements feature a setback greater than that of the historic structure to the immediate south (413 N Mesquite), as noted in finding e.
- ii. That porch and additional architectural elements that relate to entrance elements be incorporated into each design, as noted in finding i.
- iii. That the applicant incorporate ways to reduce the overall heights of the five interior structures, such as the lowering of plate heights and reductions in roof profile, as noted in finding j.
- iv. That the applicant incorporate ways to reduce the overall height of the proposed new construction proposed on N Mesquite, as noted in finding k.
- v. That the applicant confirm conformance with the Guidelines regarding all foundation heights, as noted in finding l.
- vi. That all windows feature profiles and proportions that are consistent with the Guidelines and historic examples found within the Dignowity Hill Historic District, as noted in finding n, and that all windows should have equal sashes.
- vii. That the applicant reduce footprints to be no larger than fifty (50) percent of the lot area, as noted in finding o.
- viii. That the proposed standing seam metal roofs should feature panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, crimped ridge seams and a low profile ridge cap. An industrial ridge cap is not be used. Additionally, staff recommends that the board and batten siding, if installed using composite materials should feature smooth boards that are 12 inches wide and battens that are approximately 1.25 inches wide. Staff recommends that columns should be installed that are square in nature that do not mimic historic Doric columns.
- ix. That wood or aluminum clad windows be installed that are consistent with staff's standards for windows in new construction, as noted in finding p.
- x. That the proposed attached garages be eliminated, as parking is not found internal to the footprint of historic structures found within the Dignowity Hill Historic District, as noted in finding r.
- xi. That the applicant coordinate with Public Works Department to determine whether or not improvements are required for Brown Alley to accommodate emergency vehicles, and how that might impact site design and vehicular access to each lot. Additionally, staff recommends the applicant provide additional information regarding driveways and driveway aprons, including dimensions.



City of San Antonio One Stop



October 12, 2022











## 6 NEW RESIDENCES

EAST 39.7 OF LOT 9,  
105 BROWN ST.  
WEST 26.82' OF LOT 10,  
107 BROWN ST.  
EAST 39' OF W. 65.82'  
OF LOT 10,  
109 BROWN ST.  
EAST 42.5 OF W. 108.32' LOT 10  
111 BROWN ST.  
WEST 30' OF EAST 100'  
OF LOT 10,  
113 BROWN ST.  
EAST 70' OF N. 27.5 OF LOT 10  
415 N. MESQUITE.  
BLOCK 17, NCB 568.



**MCCULLOUGH  
DESIGN  
ASSOCIATES**

84 N. E. LOOP 410,  
SUITE 217,  
SAN ANTONIO, TX 78216  
PH. 843-1632  
[ricardo@mcculloughda.com](mailto:ricardo@mcculloughda.com)

THESE PLANS AND DESIGN WORKS DEPICTED  
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UNLESS OTHERWISE AGREED IN WRITING, THE  
CLIENT OF McCULLOUGH DESIGN  
ASSOCIATES HAS A NON-TRANSFERABLE  
SINGLE USE LICENSE TO CONSTRUCT ONE  
HOUSE FROM THIS PLAN, CONDITIONED ON  
THE TIMELY PAYMENT OF ALL SUMS DUE.



## 6 NEW RESIDENCES

105, 107, 109, 111, 113 BROWN ST. &  
415 MESQUITE AVE.  
SAN ANTONIO, TEXAS

REVISIONS:

DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHECKED BY: RAMc	DATE: 10.05.2022
	PROJECT No:

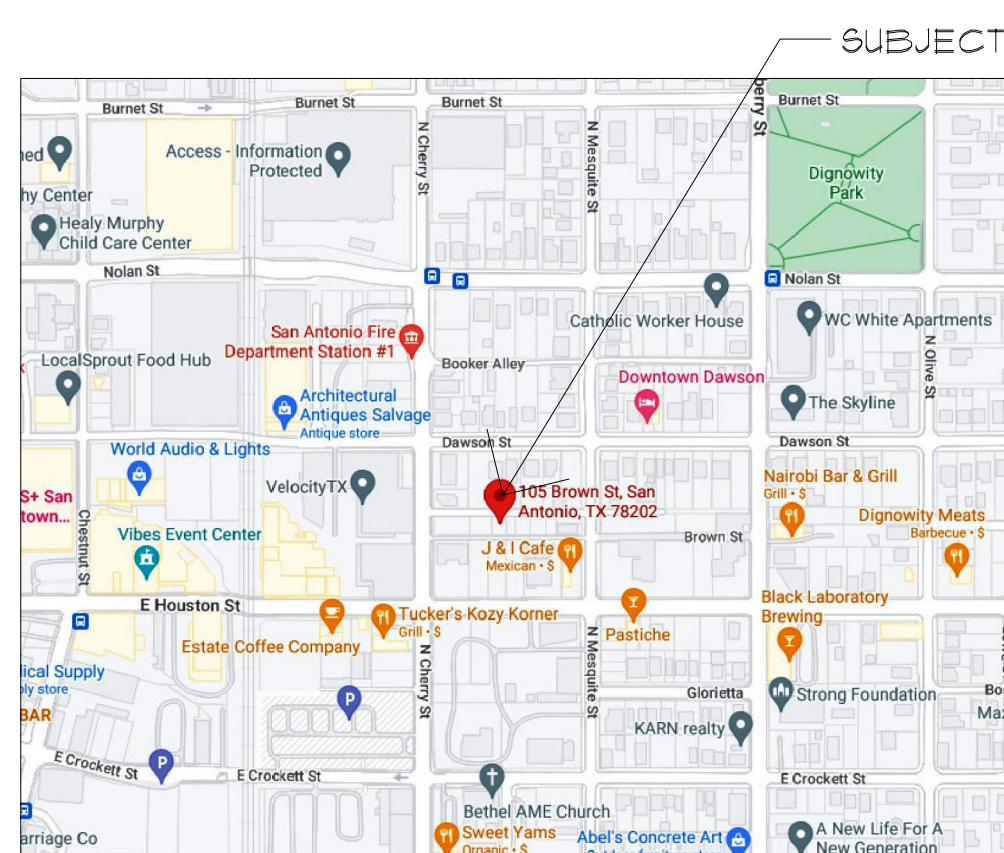
SHEET 1 of	3
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## AERIAL VIEW

N.T.S.

# SITE PLAN

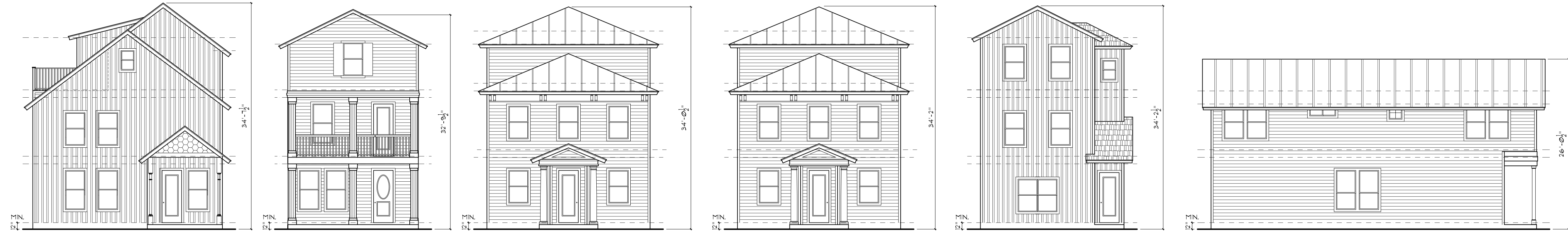
SCALE: 1" = 10'-0"



## LOCATION MAP

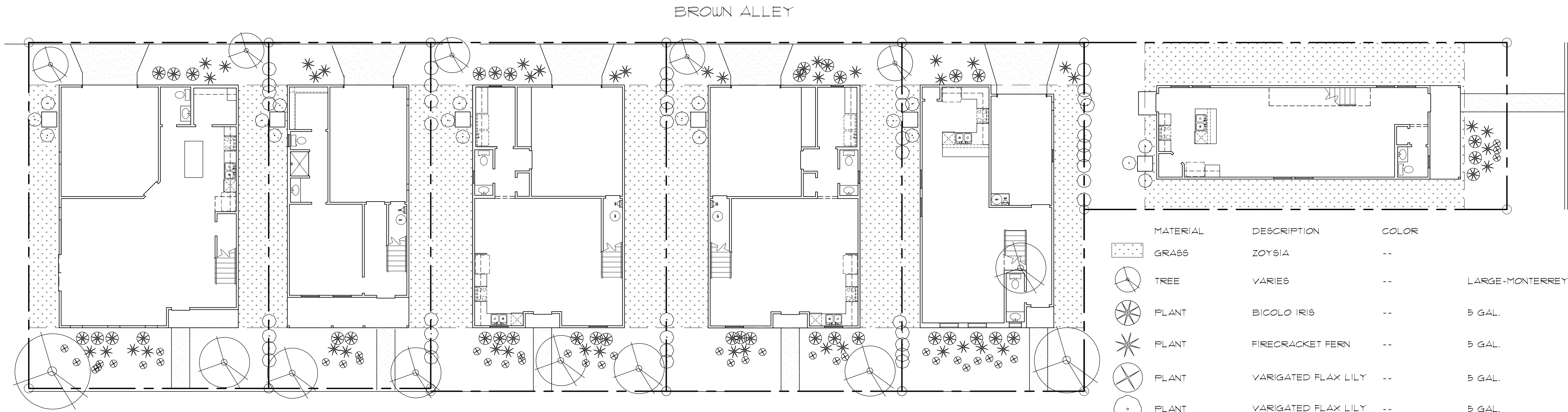
N.T.S.





BROWN ST. STREET SCAPE

SCALE: 1"=10'-0"



BROWN ST.

LANDSCAPING PLAN

SCALE: 1"=10'-0"



McCULLOUGH  
DESIGN  
ASSOCIATES

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VERGEL  
CONSTRUCTIONS  
4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

6 NEW RESIDENCES  
105, 107, 109, 111, 113 BROWN ST. &  
415 MESQUITE AVE.  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 10.05.2022
	PROJECT No:
SHEET 2 of	3

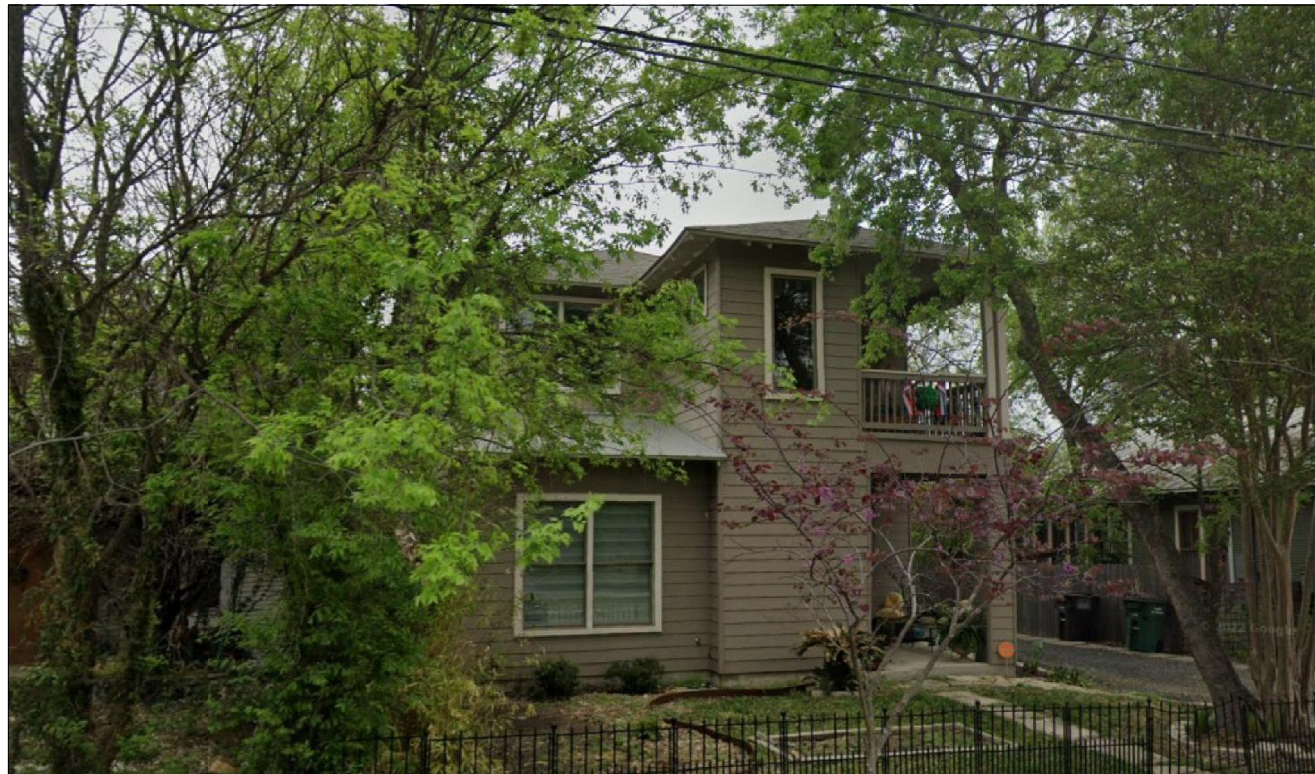




609 NOLAN ST.



611 DAWSON



615 DAWSON ST.



811 BURNET

NEARBY STRUCTURES

N.T.S.

BLOCK HEIGHTS ANALYSIS

N.T.S.



LINE OF HEIGHTS

SCALE: 1"=10'-0"



McCULLOUGH  
DESIGN  
ASSOCIATES

84 N. E. LOOP 410,  
SUITE 217,  
SAN ANTONIO, TX 78216  
P.H. 843-1632  
ricardo@mcculloughda.com

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VERGEL  
CONSTRUCTIONS

4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

6 NEW RESIDENCES

105, 107, 109, 111, 113 BROWN ST. &  
415 MESQUITE AVE.  
SAN ANTONIO, TEXAS

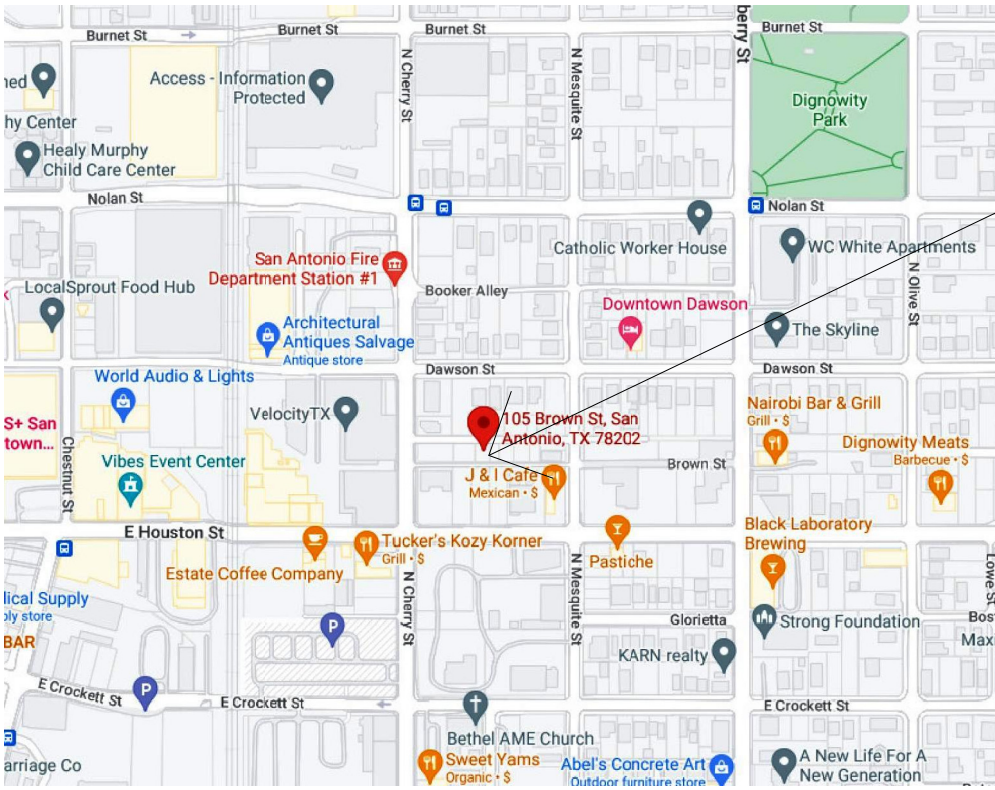
REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 10.05.2022
	PROJECT No:
SHEET 2 of	3



A NEW RESIDENCE  
EAST 70' OF N. 27.5 PF LOT 10, BLOCK 17, NCB. 568,  
415 N. MESQUITE  
SAN ANTONIO, TEXAS

EAST 39.7 OF LOT 9, BLOCK 17,  
NCB. 568,  
415 N. MESQUITE  
SAN ANTONIO, TEXAS



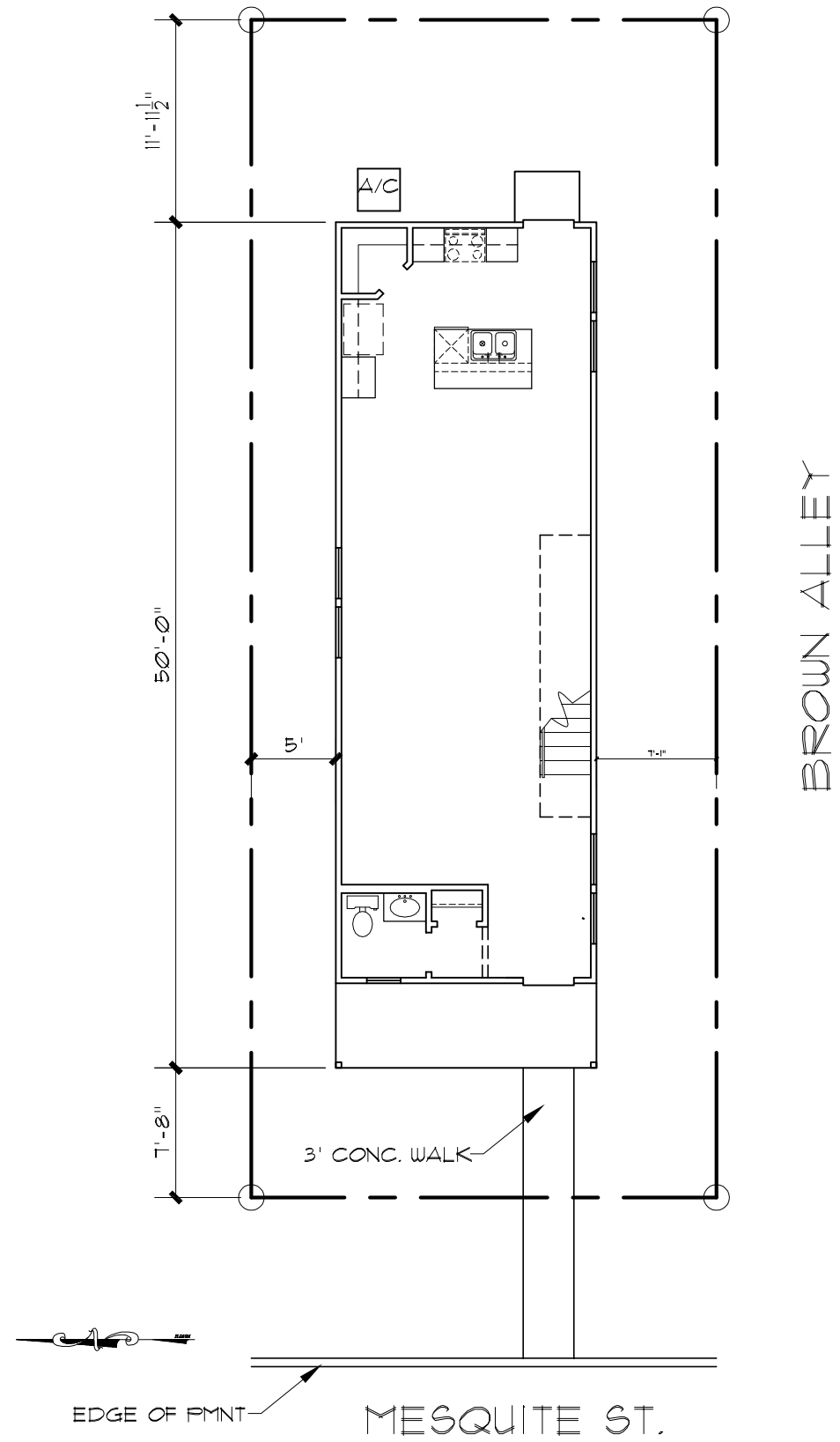
LOCATION MAP

N.T.S.

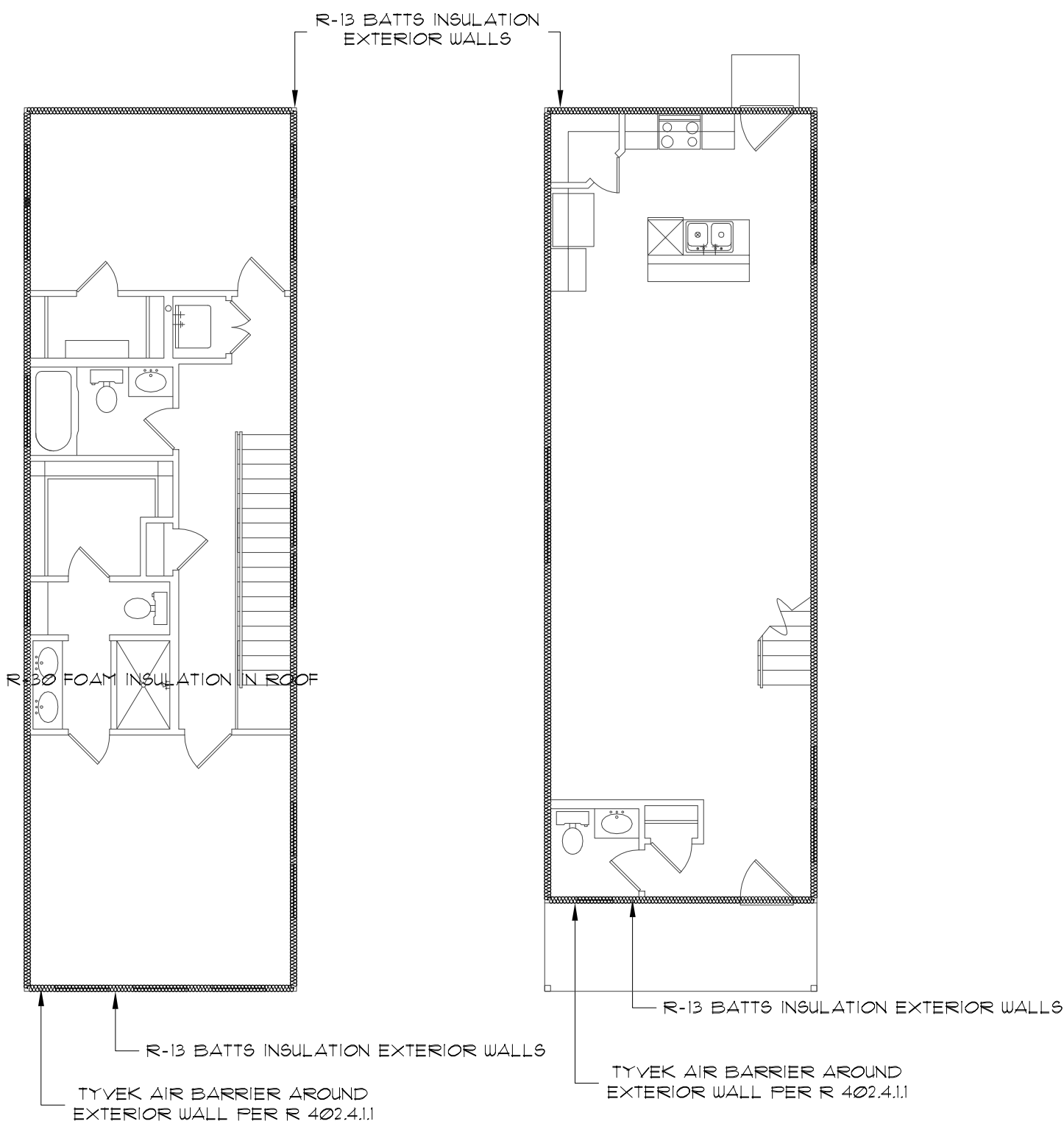


AERIAL VIEW

N.T.S.



SITE PLAN SCALE: 1"=10'-0"



CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATES SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER WALLS SHALL BE SEALED. SERVICE PENETRATIONS ARE SEALED AND AIR SEALING IS IN PLACE BEHIND OR AROUND SHOWER/TUB ENCLOSURES, ELECTRICAL BOXES, SWITCHES AND OUTLETS ON EXTERIOR WALLS. SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING IS SEALED.

INSULATION ENVELOPE

N.T.S.

GENERAL NOTES:  
APPLICABLE CODES:  
2022 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL CITY AMENDMENTS  
UNIFIED DEVELOPMENT CODE  
2022 UNIFORM MECHANICAL CODE WITH LOCAL CITY AMENDMENTS  
2022 NATIONAL ELECTRICAL CODE CITY CODE CHAPTER 10  
(ELECTRICAL)  
2022 UNIFORM PLUMBING CODE WITH LOCAL CITY AMENDMENTS  
2022 INTERNATIONAL ENERGY CONSERVATION CODE.

CONTRACTOR NOTES:

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NOTES:

- 1st FLOOR PLATE AT 10'-0" AFF. 2nd AT 9'-0" AFF. 3rd AT 8'-0" AFF.
2. 1st FLOOR WINDOW HEADER HT. AT 8'-0" AFF. 2nd AND 3rd AT 6'-0" AFF. UNLESS OTHERWISE NOTED.

MECHANICAL NOTES:

1. CLIMATE ZONE: 2
2. GLAZED FENESTRATION: SHGC: 0.30



McCULLOUGH  
DESIGN  
ASSOCIATES

84 N. E. LOOP 410,  
SUITE 217,  
SAN ANTONIO, TX 78216  
P.H. 843-1632  
ricardo@mcculloughda.com

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VERGEL  
CONSTRUCTIONS  
4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

A NEW RESIDENCE

EAST 70' OF N. 27.5 PF LOT 10, BLOCK 17, NCB. 568,  
415 N. MESQUITE  
SAN ANTONIO, TEXAS

REVISIONS:

DATE	ITEM

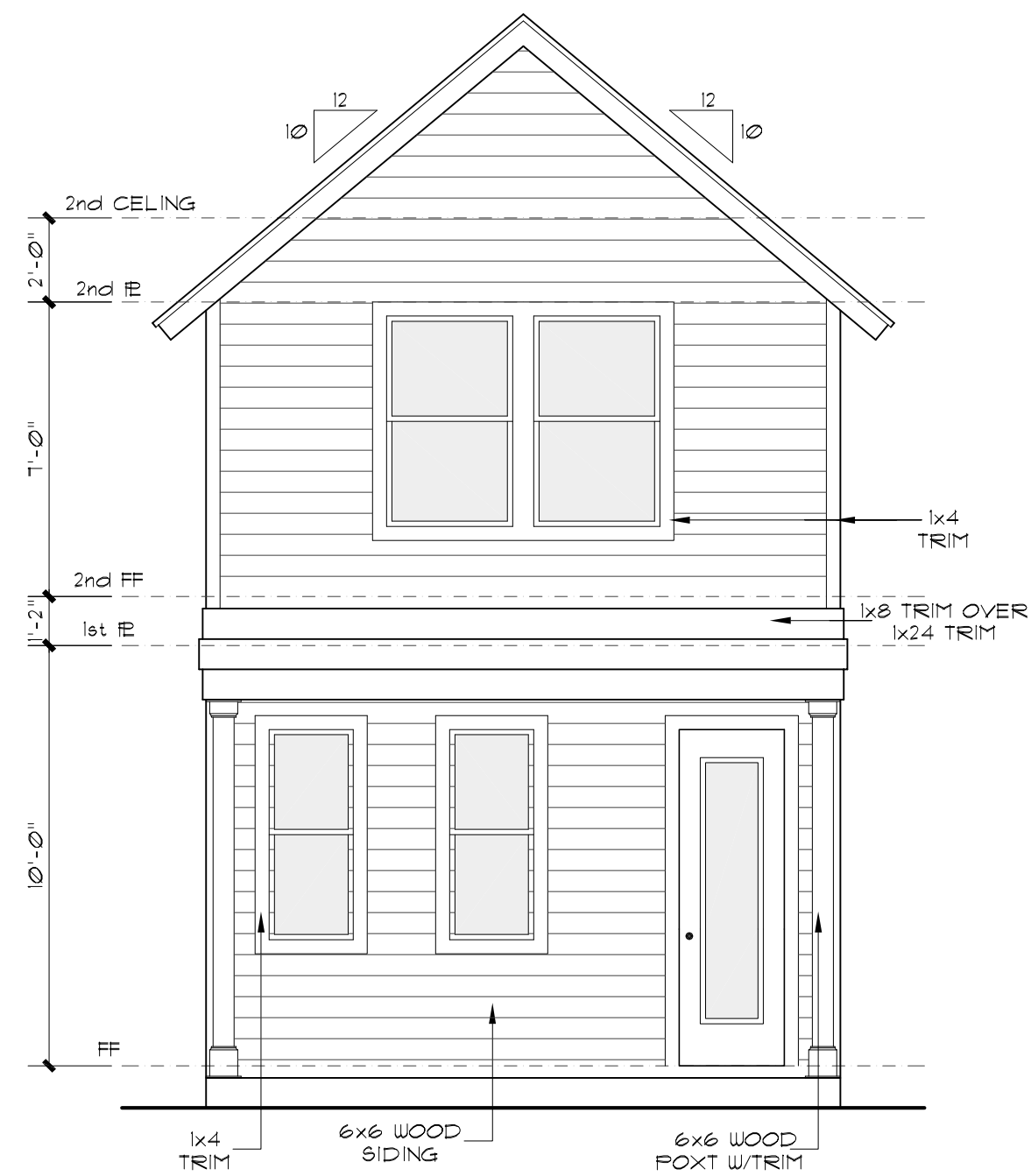
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SCALED: AS NOTED

CHECKED BY: RAMC  
DATE: ---

PROJECT No:

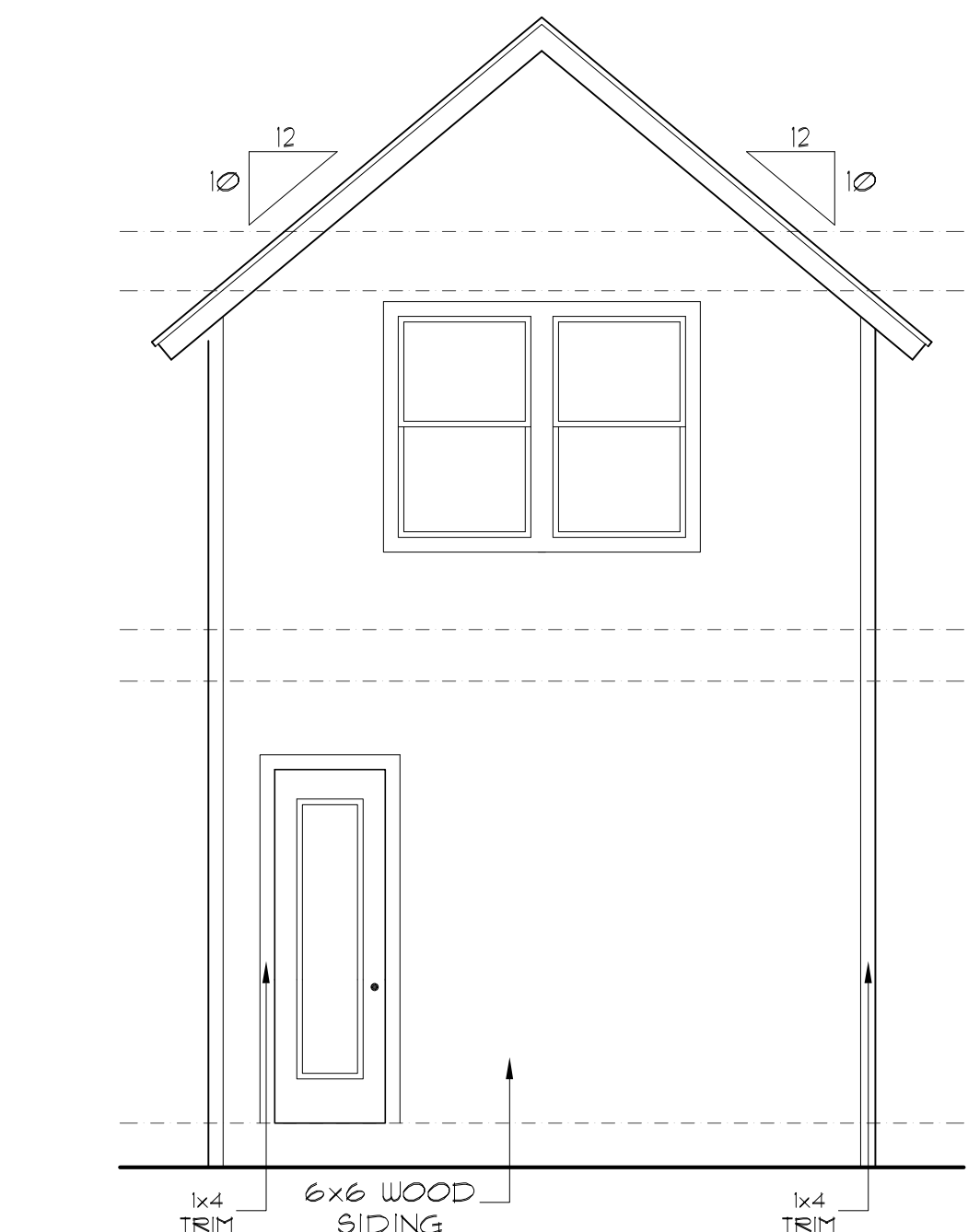
SHEET  
1 of 3





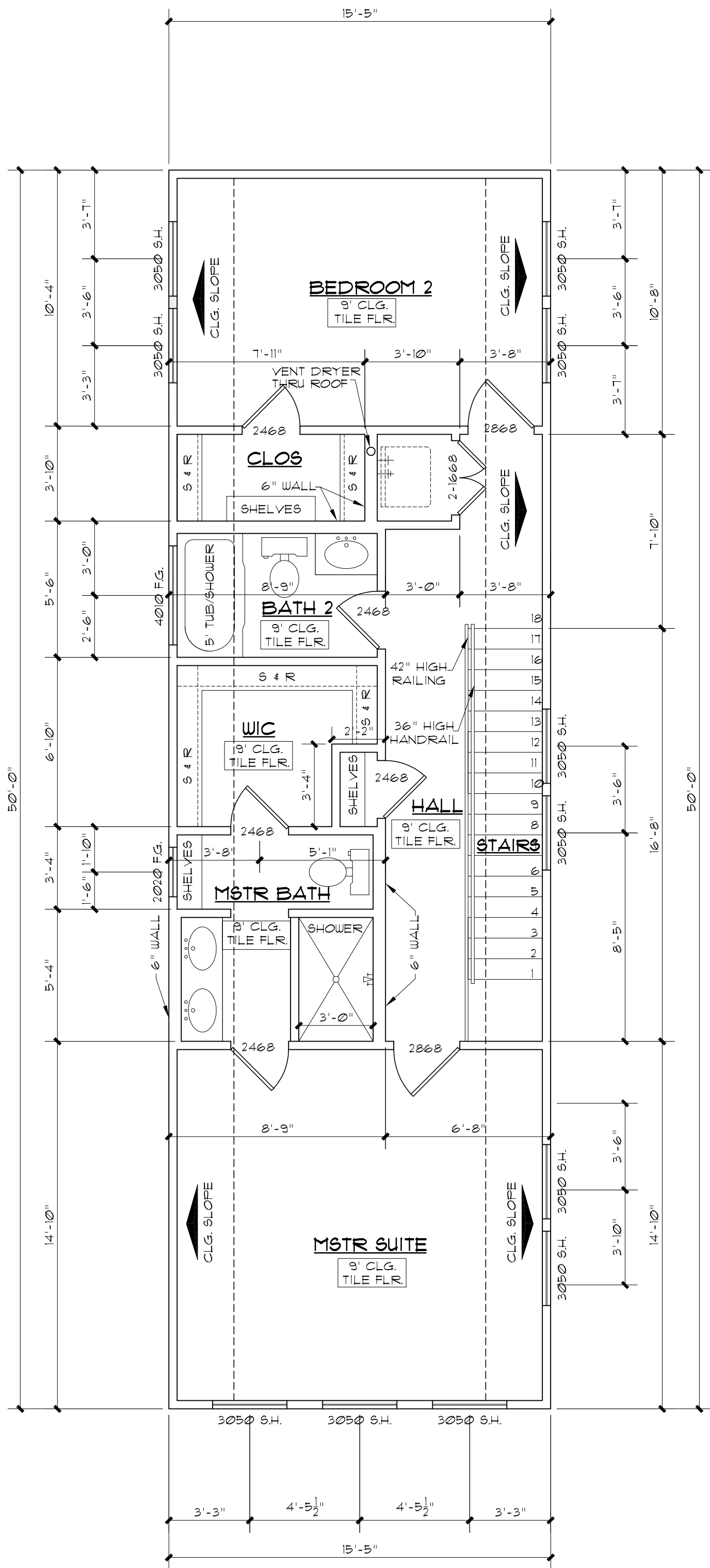
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



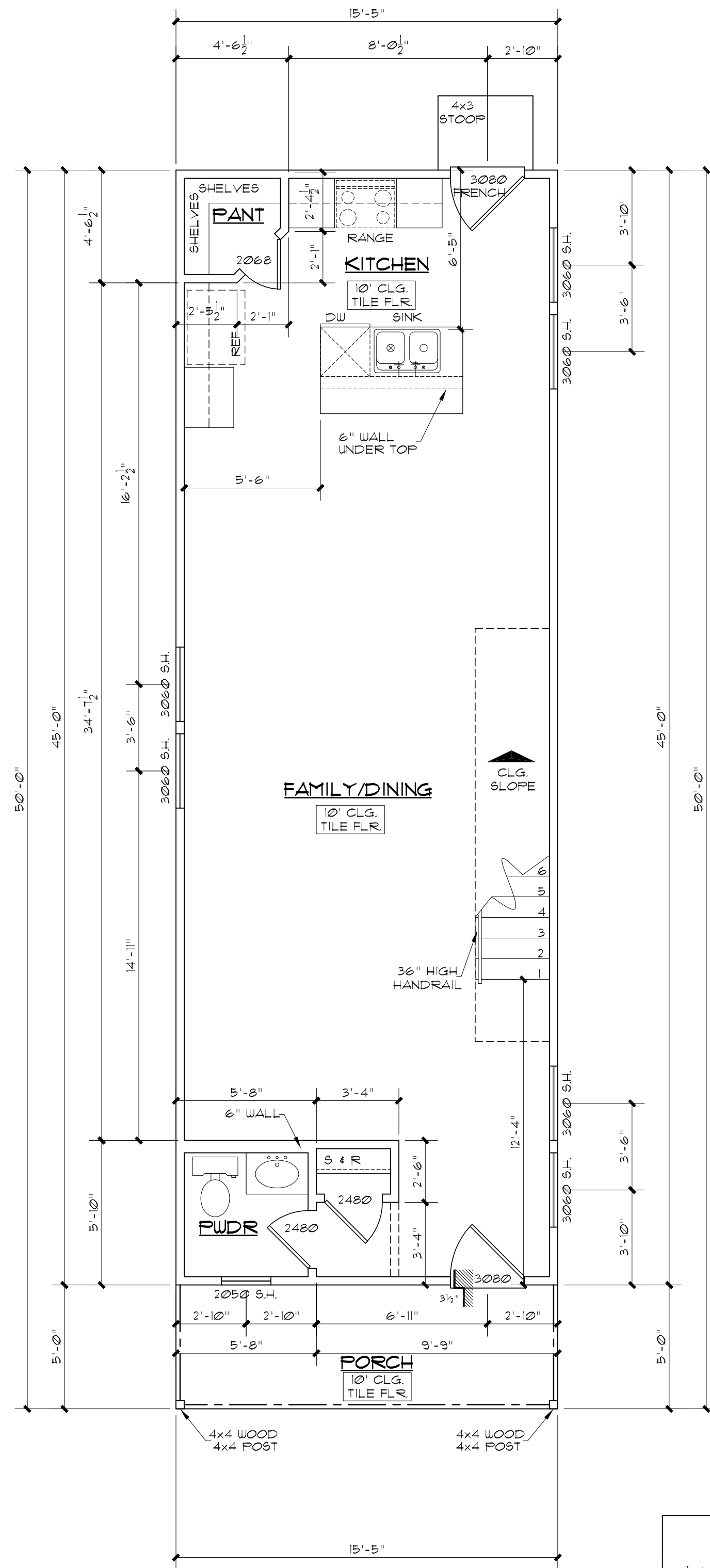
REAR ELEVATION

SCALE: 1/4" = 1'-0"



2nd FLOOR PLAN 715#

SCALE: 1/4" = 1'-0"



1st FLOOR PLAN 694#

SCALE: 1/4" = 1'-0"

AREAS	
1st FLOOR	694#
2nd FLOOR	715#
TOTAL LYING	1,409#
PORCH	77#
TOTAL BUILDING	1,486#
TOTAL SLAB	771#



McCULLOUGH  
DESIGN  
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VERGEL  
CONSTRUCTIONS  
4040 BROADWAY STE. 240  
SAN ANTONIO, TX, 78209.

A NEW RESIDENCE

EAST 70' OF N. 27.5 PF LOT 10, BLOCK 17, NCB. 568,  
415 N. MESQUITE  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHKD BY: RAMc	DATE: ---
	PROJECT No:
SHEET 2 of	3



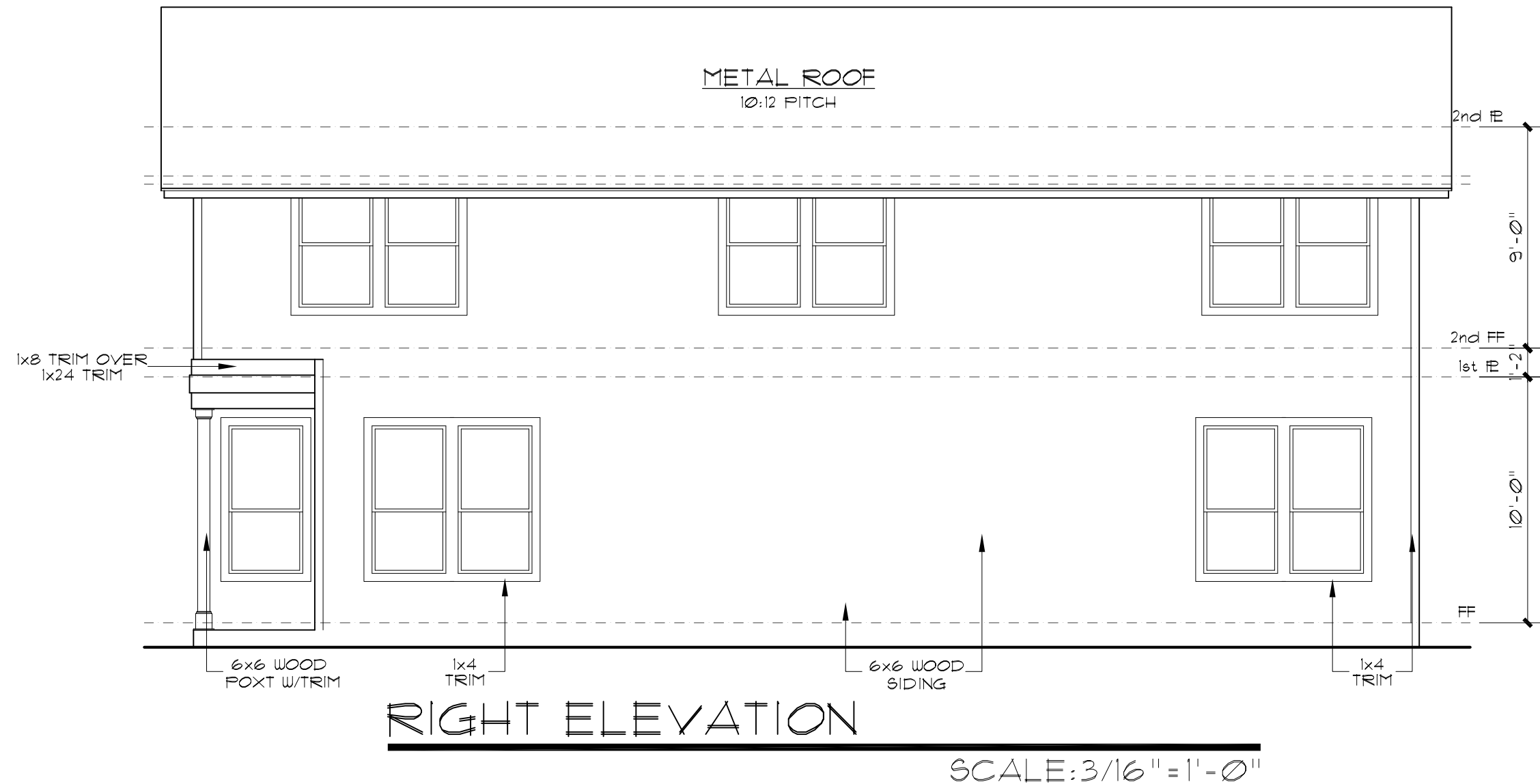
**VERGEL**  
CONSTRUCTIONS

4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

**A NEW RESIDENCE**  
EAST 70' OF N. 27.5 PF LOT 10, BLOCK 17, N.  
415 N. MESQUITE  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: ---
	PROJECT No.
S H E E T 3 of	3







McCULLOUGH  
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A NEW RESIDENCE  
EAST 39.7 OF LOT 9, BLOCK 17, NCB. 568,  
105 BROWN ST.  
SAN ANTONIO, TEXAS

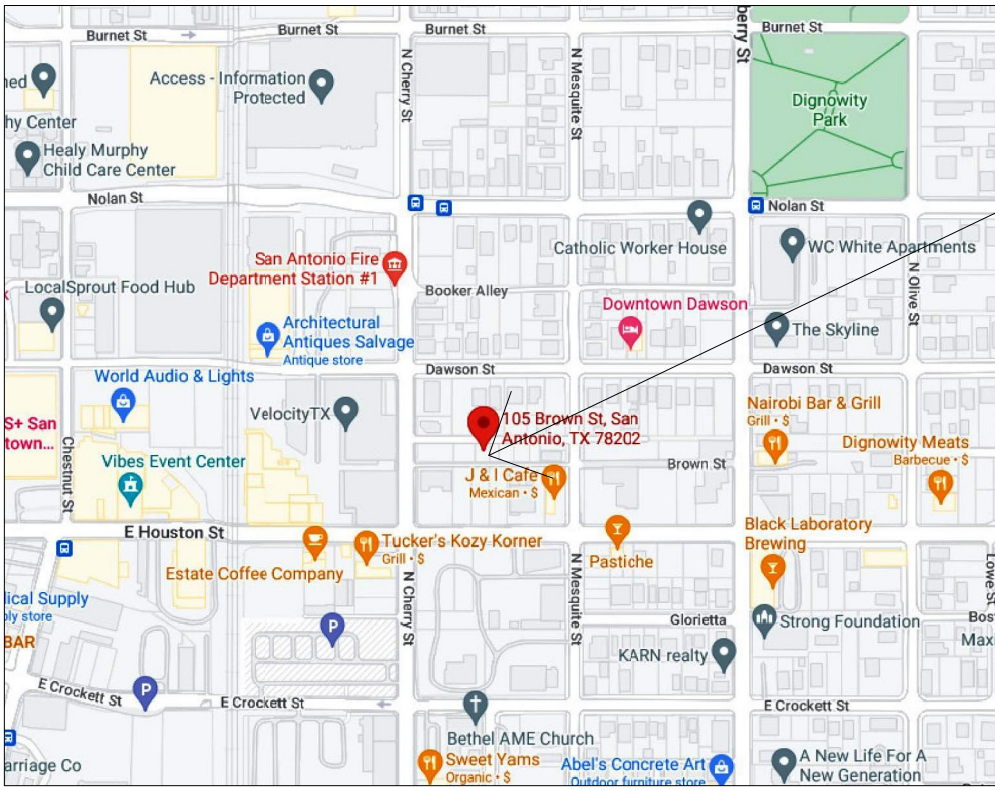
REVISIONS:	
DATE	ITEM

DRAWN BY: RAMC	SCALED: AS NOTED
CHKCD BY: RAMC	DATE: ----
	PROJECT No:
SHEET 1 of	-

# A NEW RESIDENCE

## EAST 39.7 OF LOT 9, BLOCK 17, NCB. 568, 105 BROWN ST. SAN ANTONIO, TEXAS

EAST 39.7 OF LOT 9, BLOCK 17,  
NCB. 568,  
105 BROWN ST.  
SAN ANTONIO, TEXAS



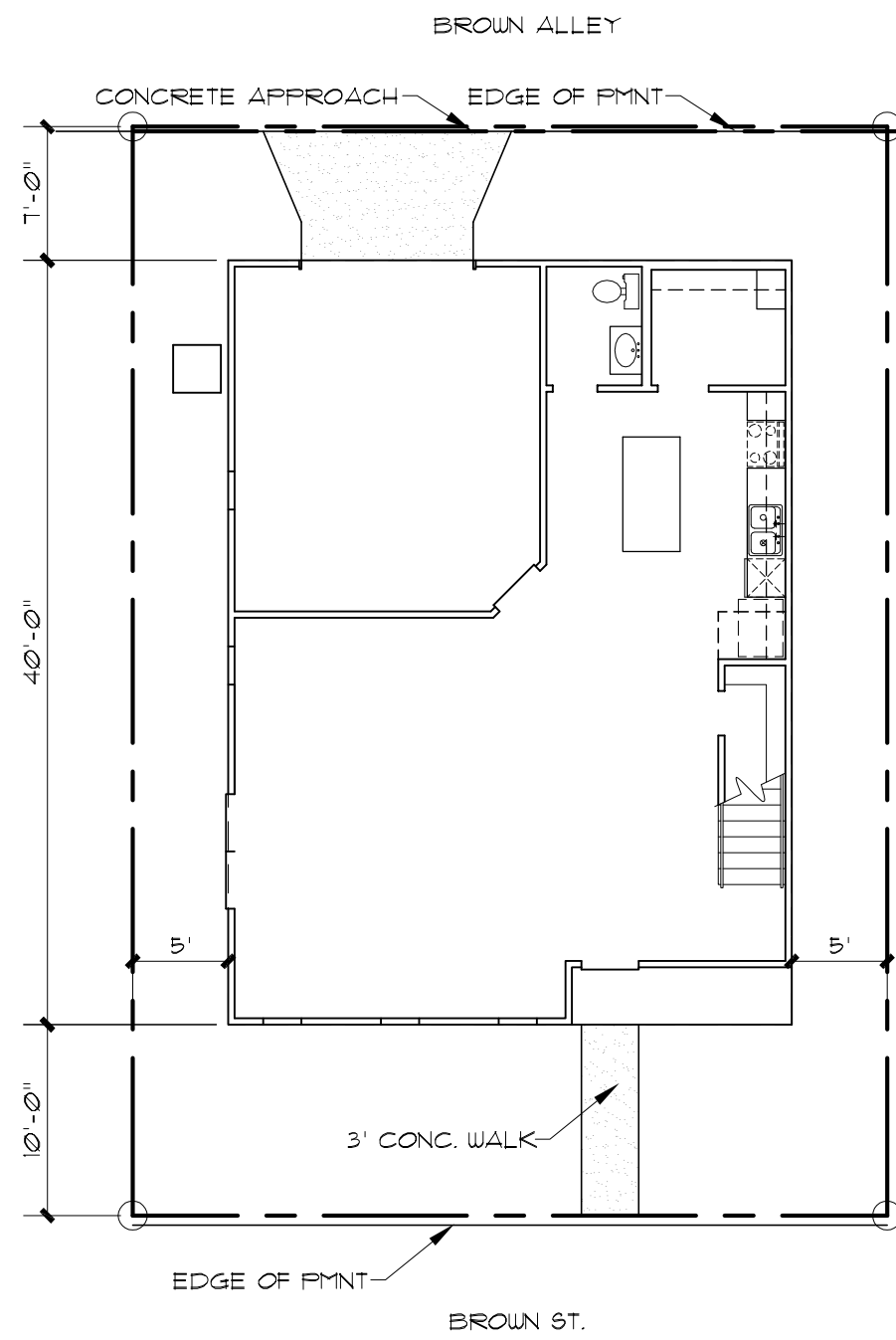
LOCATION MAP

N.T.S.



LOCATION MAP

N.T.S.



SITE PLAN

SCALE: 1" = 10'-0"

GENERAL NOTES:  
APPLICABLE CODES:  
2022 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL CITY AMENDMENTS  
UNIFIED DEVELOPMENT CODE  
2022 UNIFORM MECHANICAL CODE WITH LOCAL CITY AMENDMENTS  
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2022 INTERNATIONAL ENERGY CONSERVATION CODE.

#### CONTRACTOR NOTES:

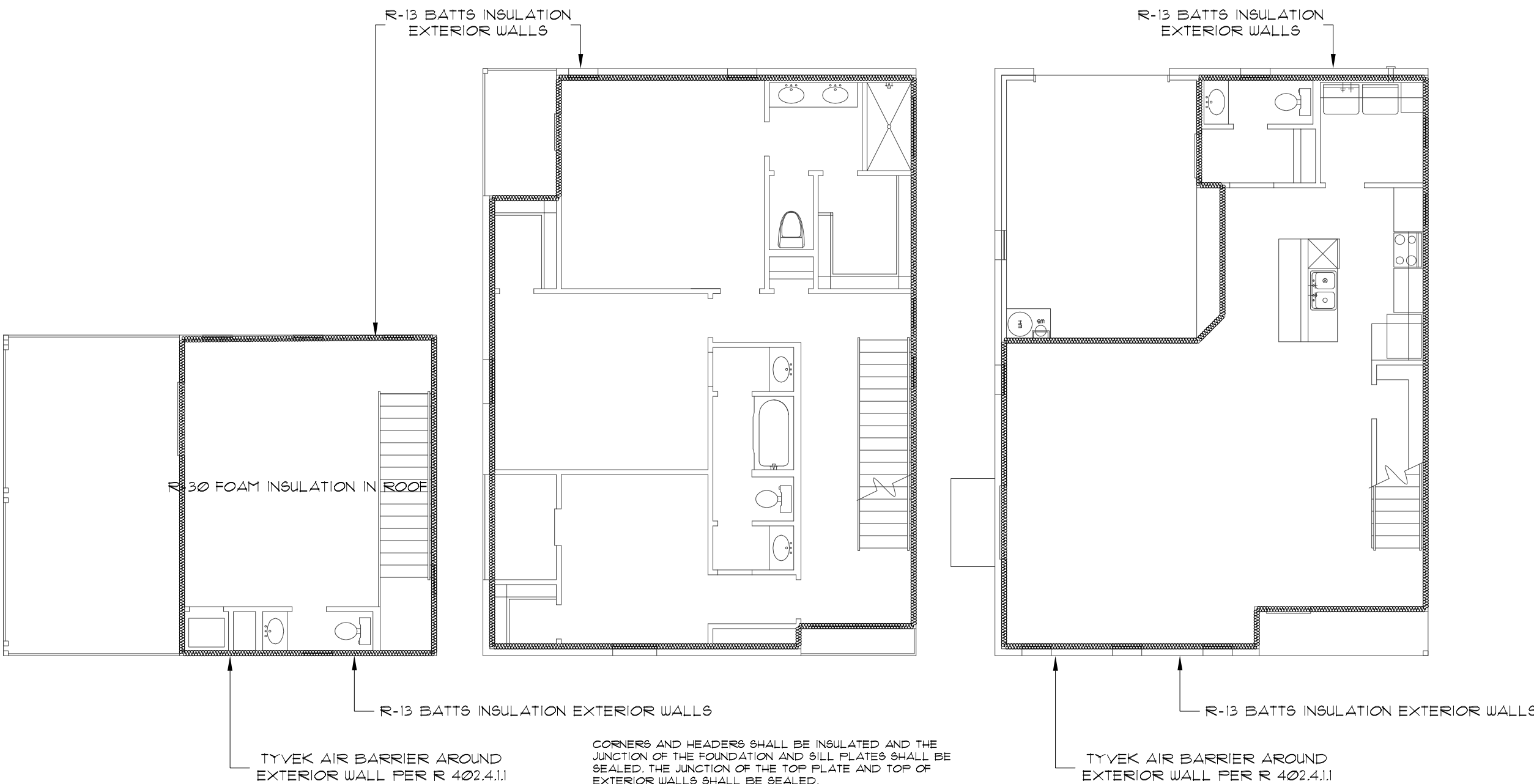
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#### NOTES:

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- 1st FLOOR WINDOW HEADER HT. AT 8'-0" AFF. 2nd AND 3rd AT 6'-8" AFF. UNLESS OTHERWISE NOTED.

#### MECHANICAL NOTES:

1. CLIMATE ZONE: 2
2. GLAZED FENESTRATION: SHGC: 0.30



INSULATION ENVELOPE

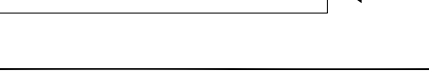
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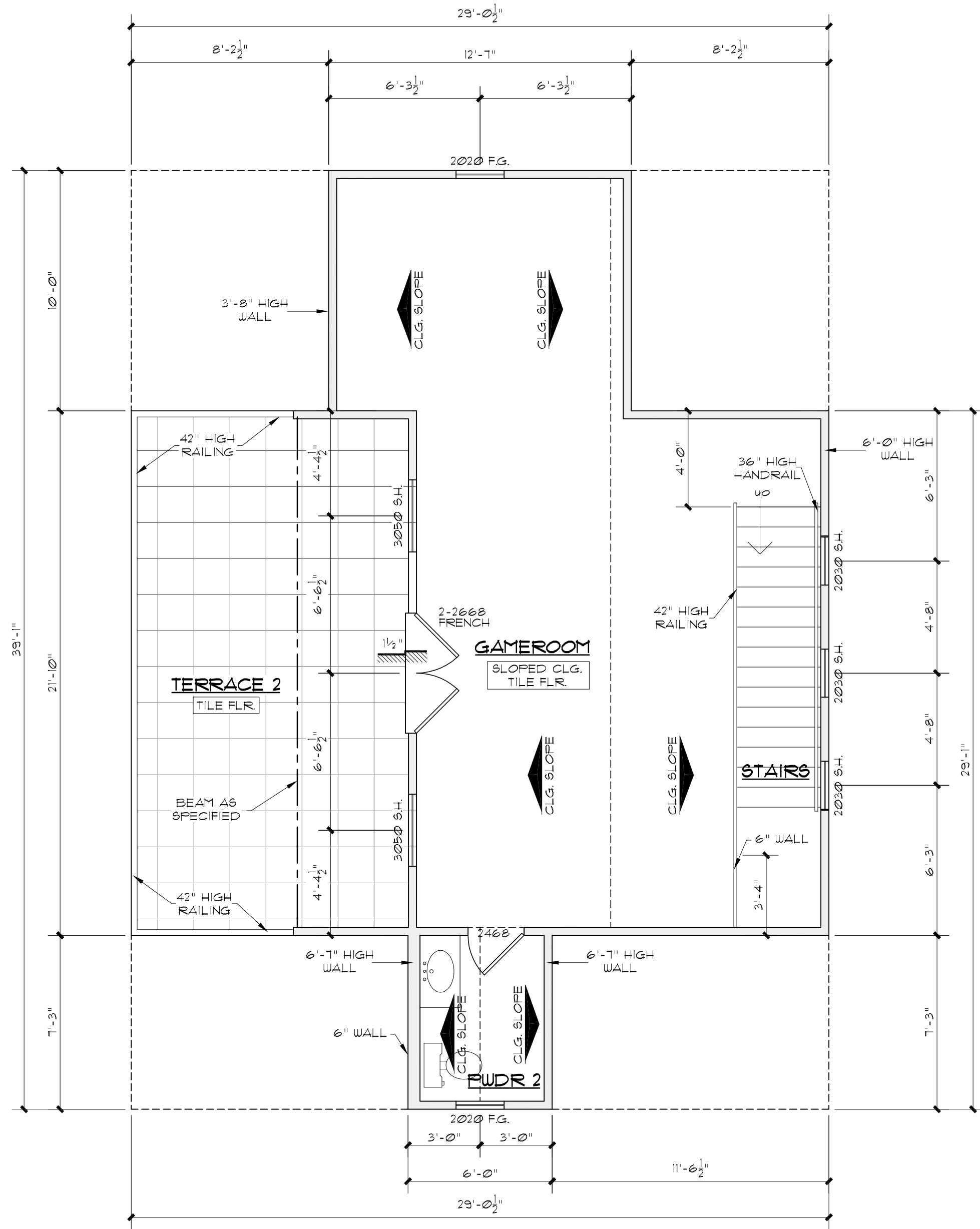


# A NEW RESIDENCE

EAST 39.7 OF LOT 9, BLOCK 17, NCB. 568,  
105 BROWN ST.  
SAN ANTONIO, TEXAS

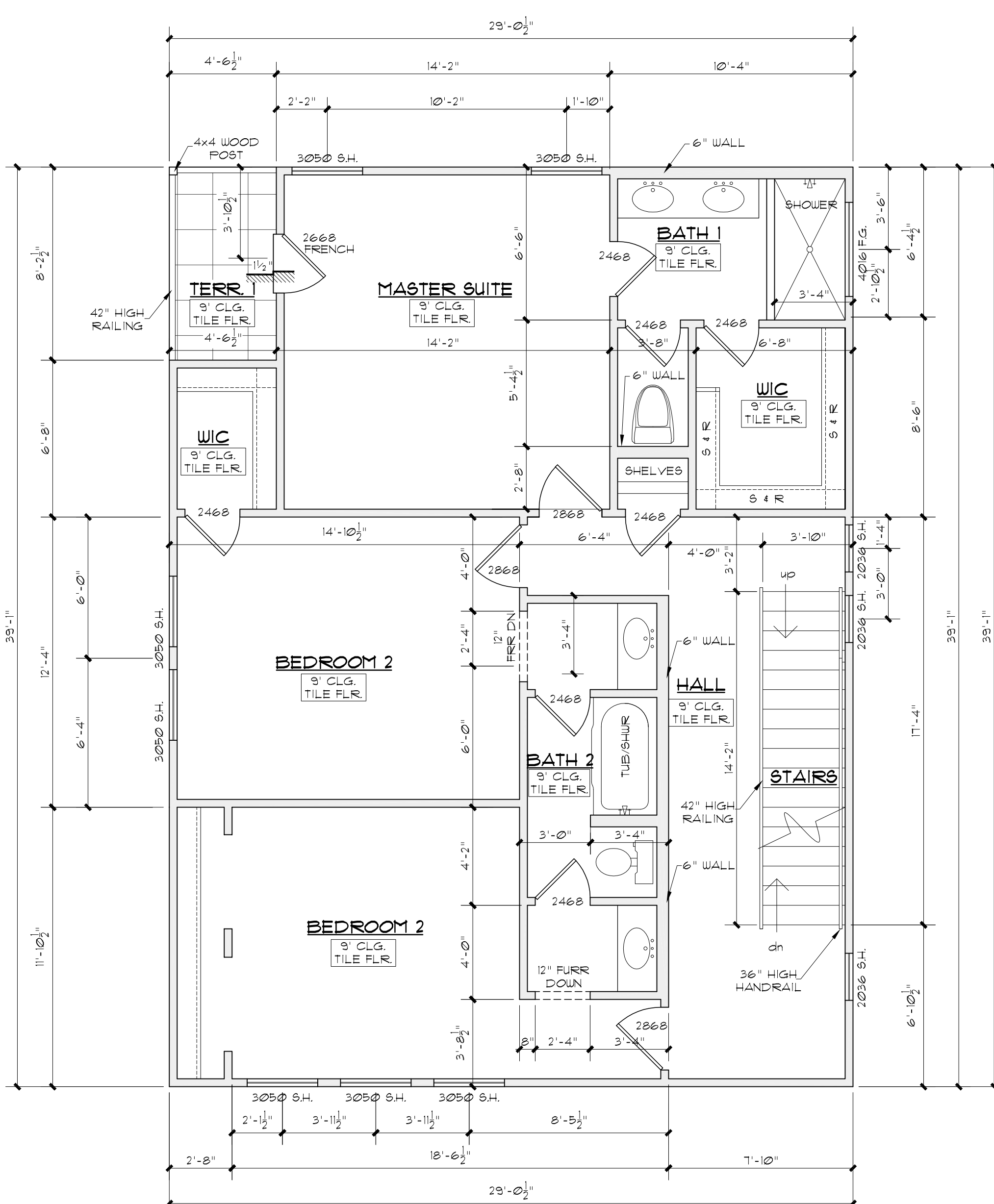
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DATE	ITEM

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CHECKED BY: RAMc	DATE: ----
	PROJECT No.
S H E E T 2 of	-



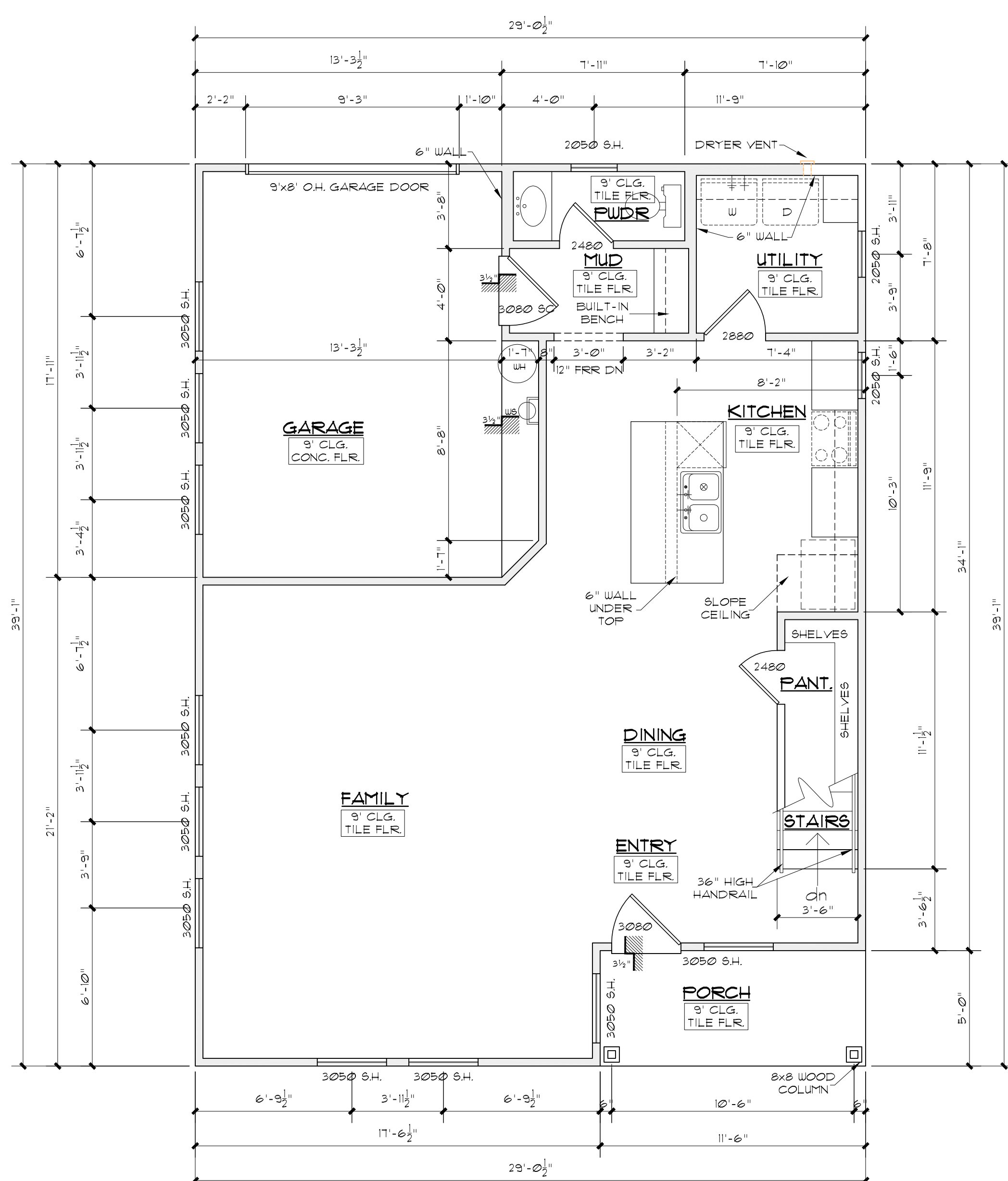
### 3rd FLOOR PLAN

SCALE: 1/4" = 1'-0"



## 2nd FLOOR PLAN

SCALE:  $\frac{1}{4}" = 1' - 0"$

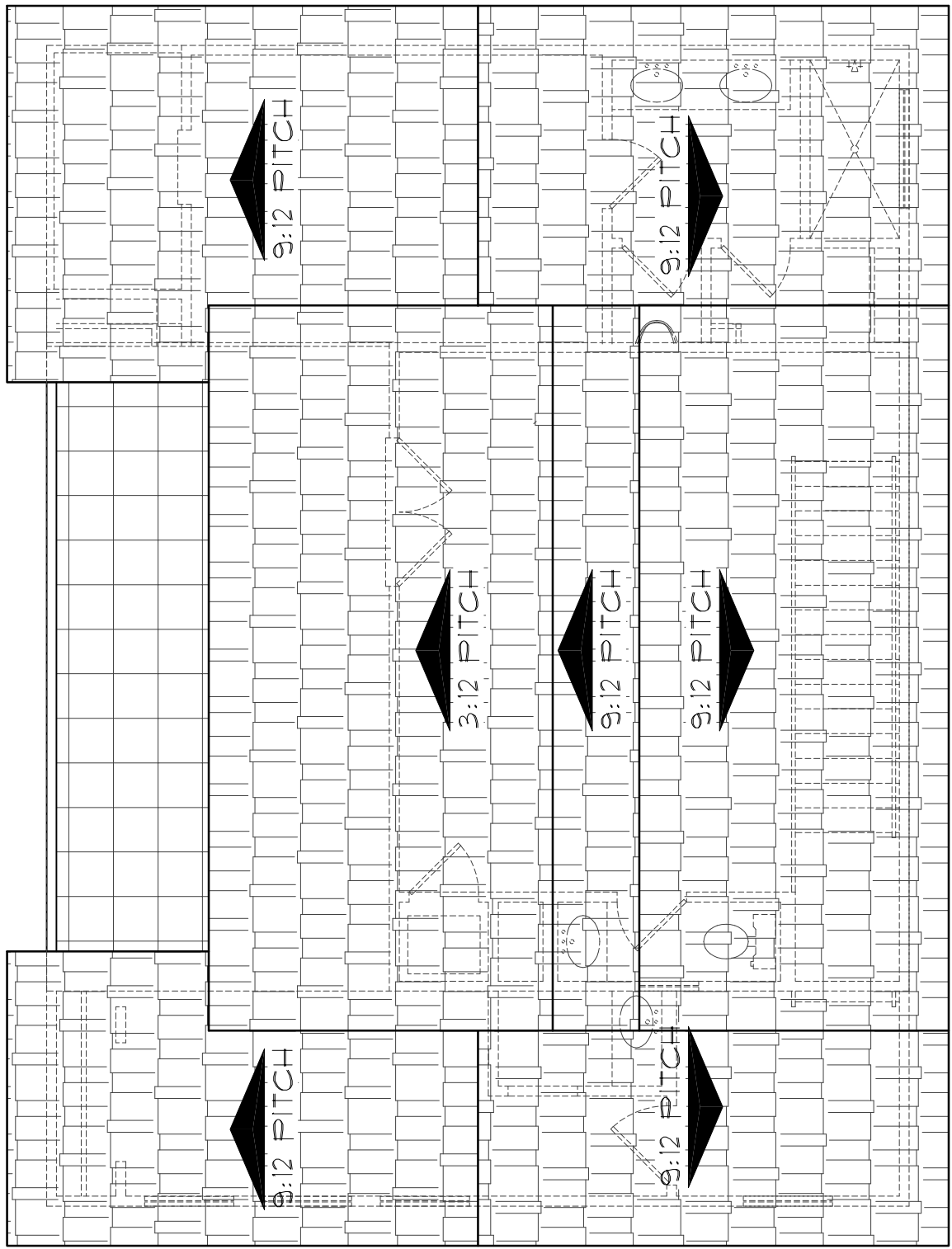


1st FLOOR PLAN

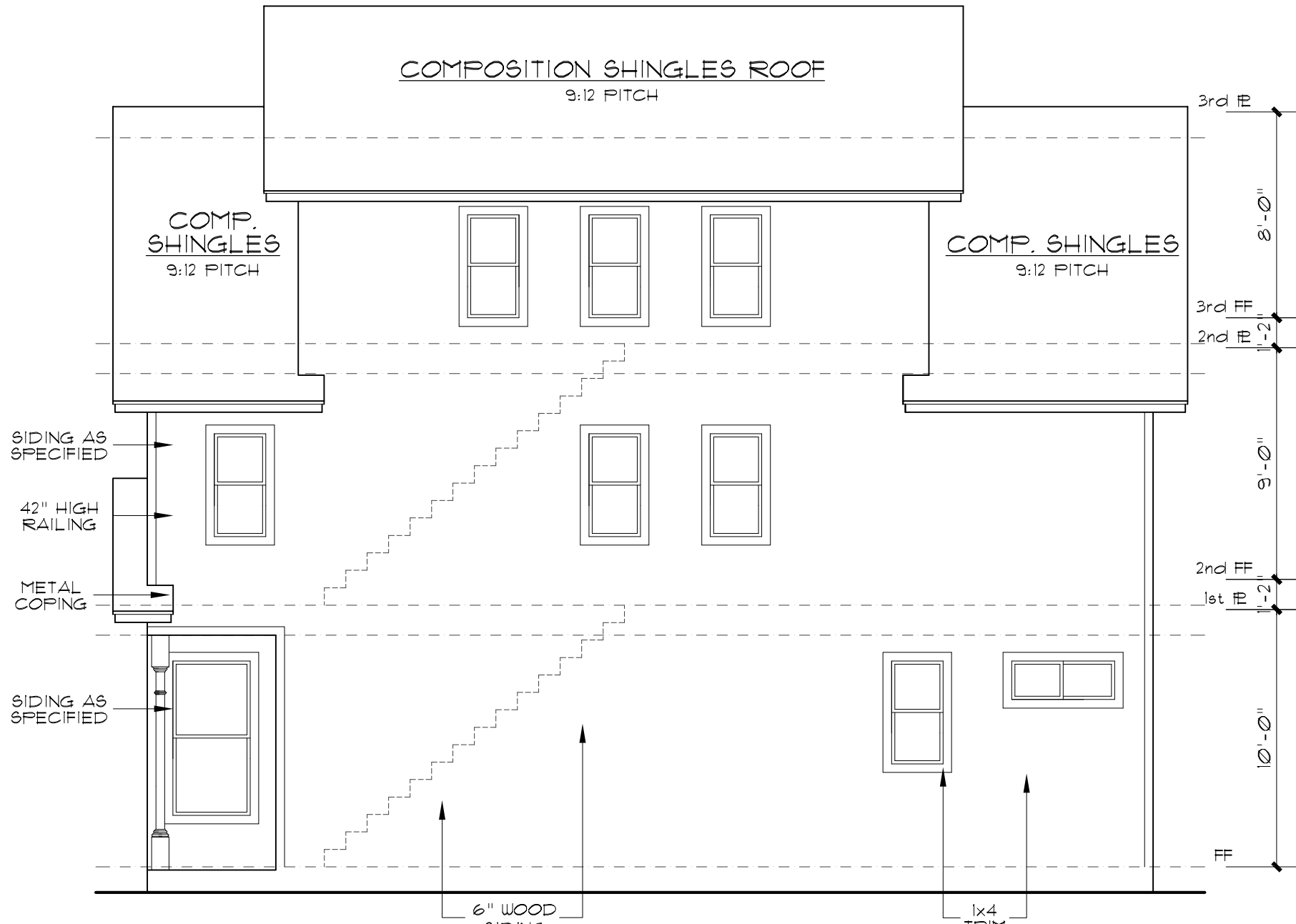
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SCALE:  $\frac{1}{4}" = 1' - 0"$

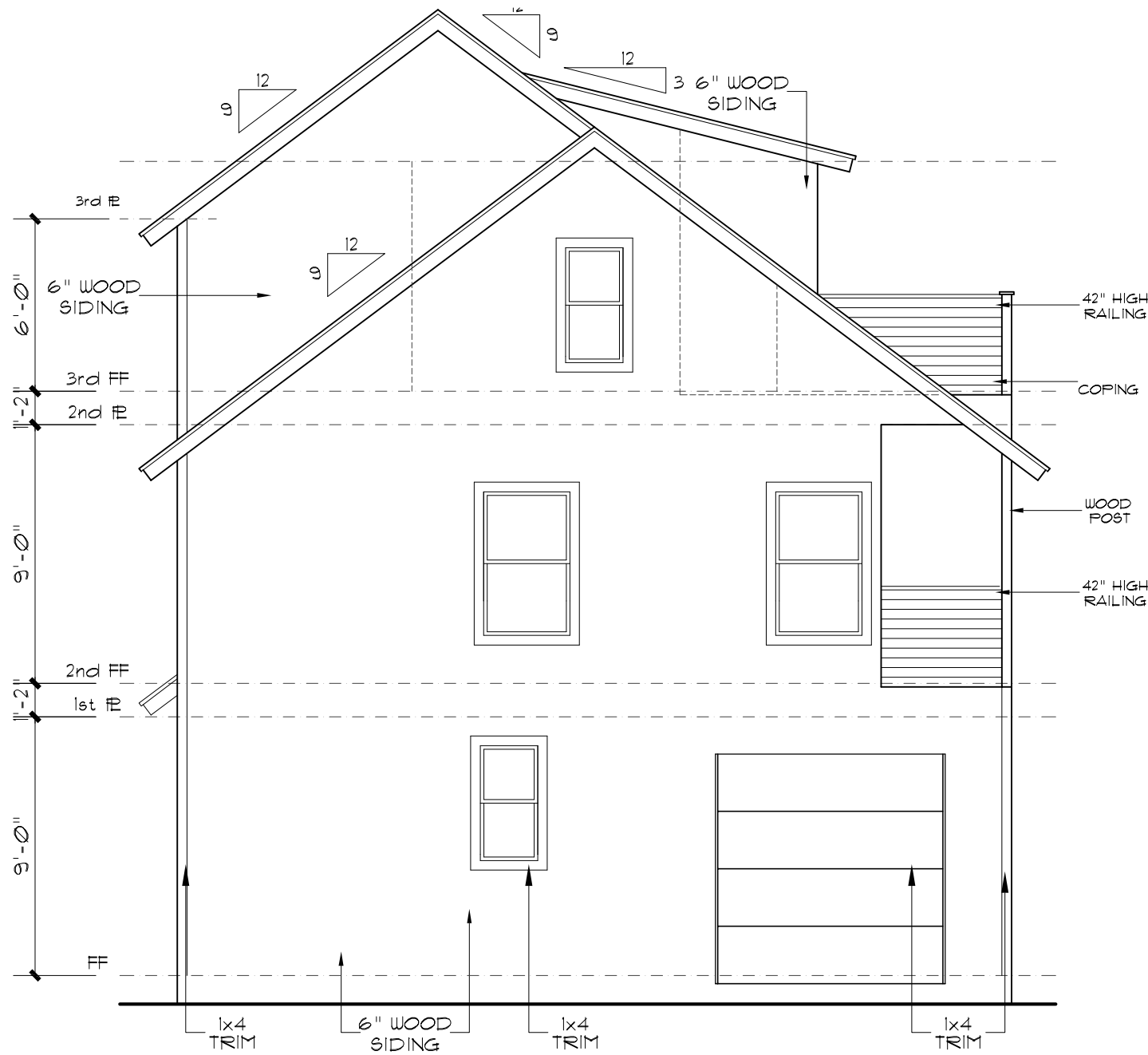
AREAS	
1st FLOOR	225#
2nd FLOOR	1,044#
2rd FLOOR	485#
TOTAL LVVING	2,354#
PORCH	25#
GARAGE	27#
TERRACE 1	27#
TERRACE 2	251#
TOTAL BUILDING	2,943#
TOTAL SLAB	1,136#



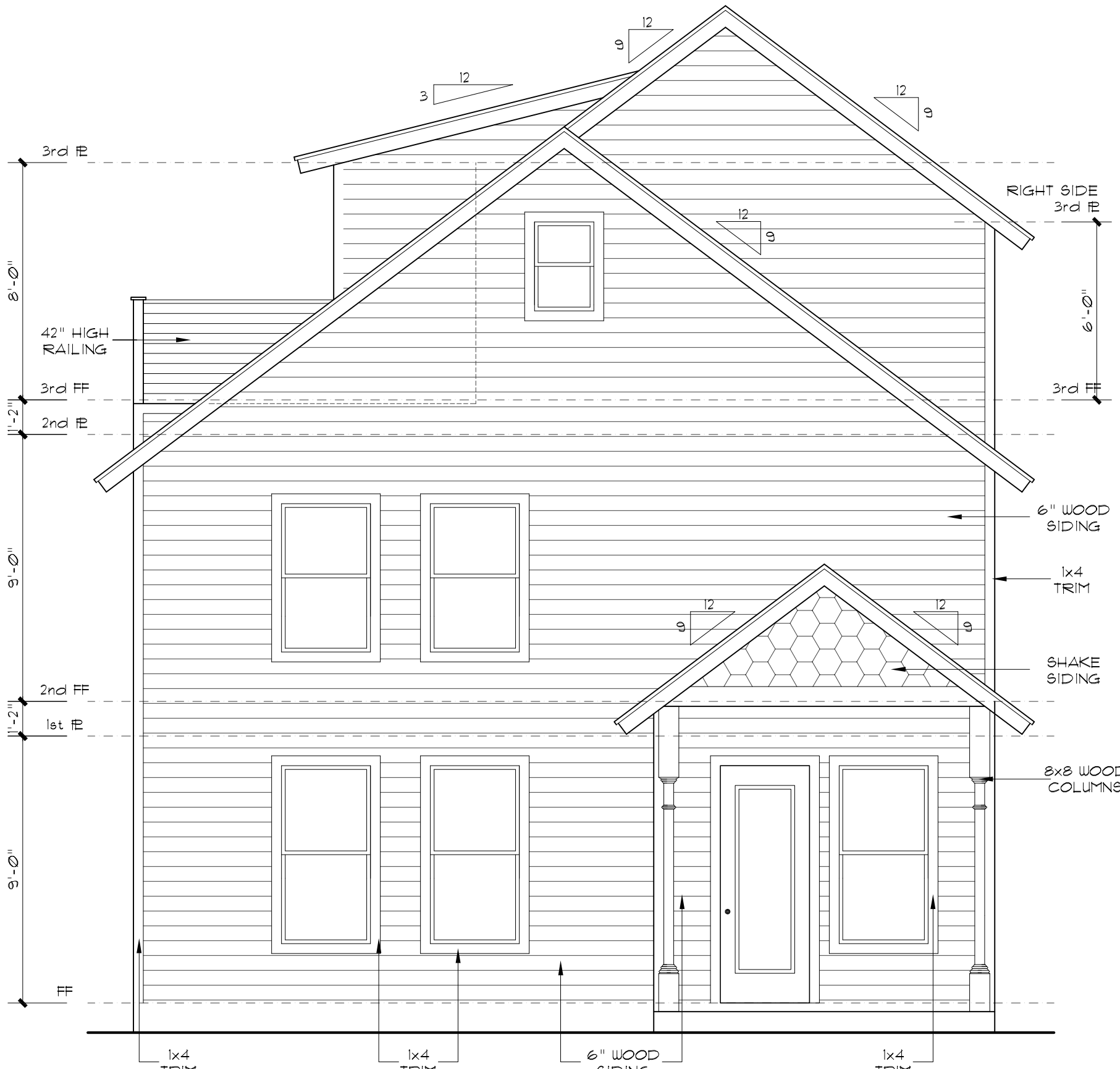
ROOF PLAN  
SCALE: 1/8" = 1'-0"  
ALL OVERHANGS 16" FROM FRAME



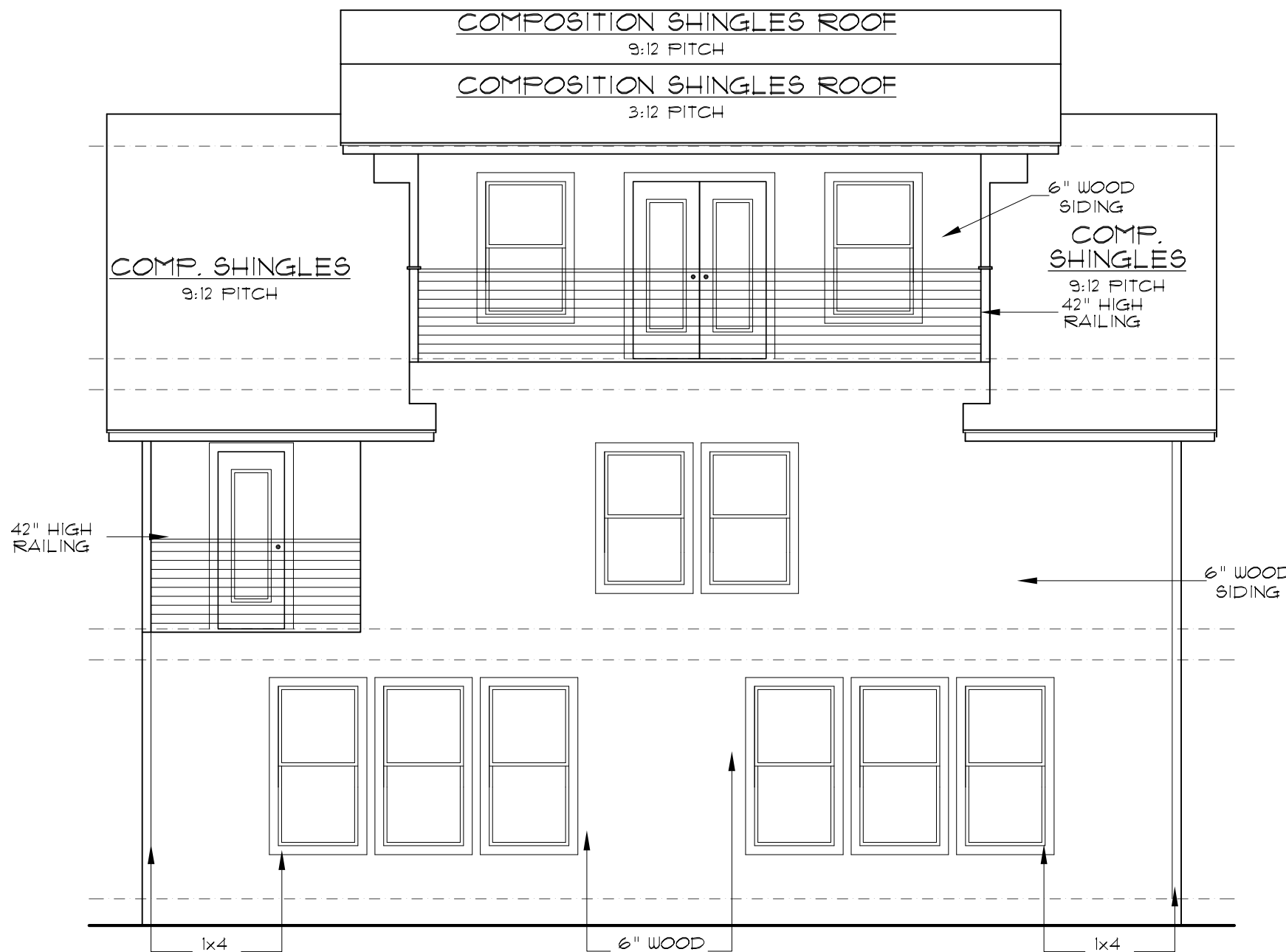
RIGHT ELEVATION  
SCALE: 3/16" = 1'-0"



REAR ELEVATION  
SCALE: 3/16" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 3/16" = 1'-0"



**McCULLOUGH  
DESIGN  
ASSOCIATES**  
84 N. E. LOOP 410,  
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**VERGEL  
CONSTRUCTIONS**  
4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

**A NEW RESIDENCE**  
EAST 39.7 OF LOT 9, BLOCK 17, NCB. 568,  
105 BROWN ST.  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: ----
	PROJECT No:
SHEET 3 of	-





McCULLOUGH  
DESIGN  
ASSOCIATES

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SUITE 217,  
SAN ANTONIO, TX 78216  
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VERGEL  
CONSTRUCTIONS

4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

A NEW RESIDENCE

WEST 26.82' OF LOT 10, BLOCK 17, NCB. 568,  
107 BROWN ST.  
SAN ANTONIO, TEXAS

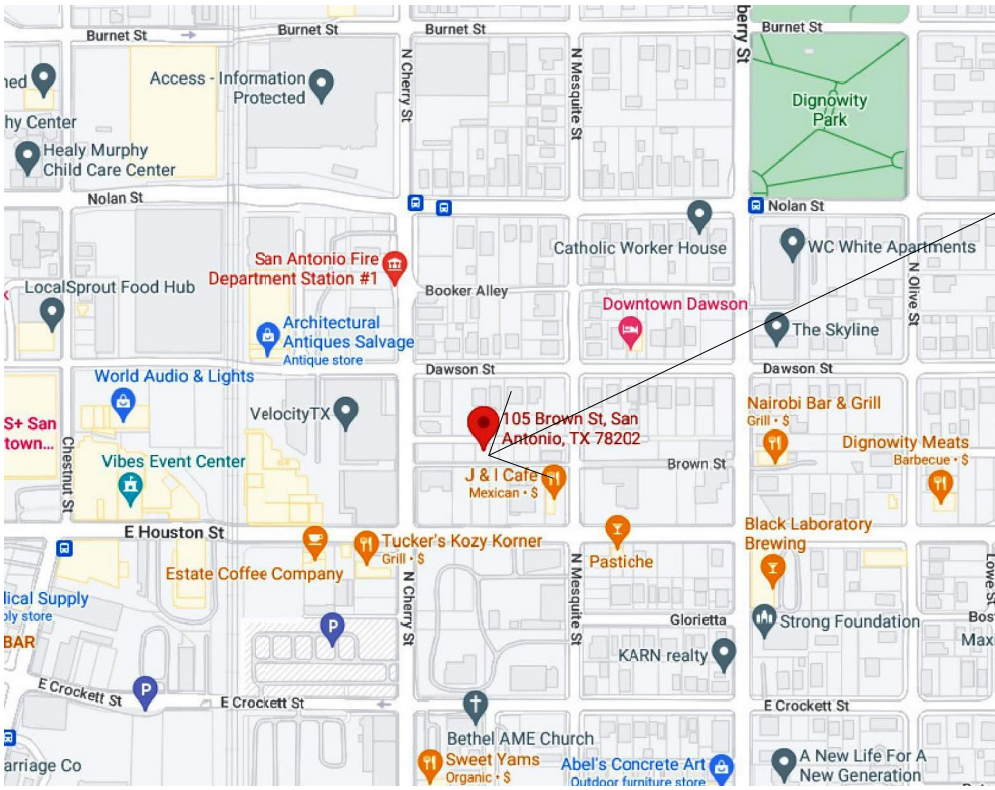
REVISIONS:	
DATE	ITEM

DRAWN BY: RAMC	SCALED: AS NOTED
CHKCD BY: RAMC	DATE: 09.27.202
	PROJECT No:
SHEET 1 of	3

# A NEW RESIDENCE

## WEST 26.82' OF LOT 10, BLOCK 17, NCB. 568, 107 BROWN ST. SAN ANTONIO, TEXAS

EAST 39.1' OF LOT 9, BLOCK 17,  
NCB. 568,  
107 BROWN ST.  
SAN ANTONIO, TEXAS



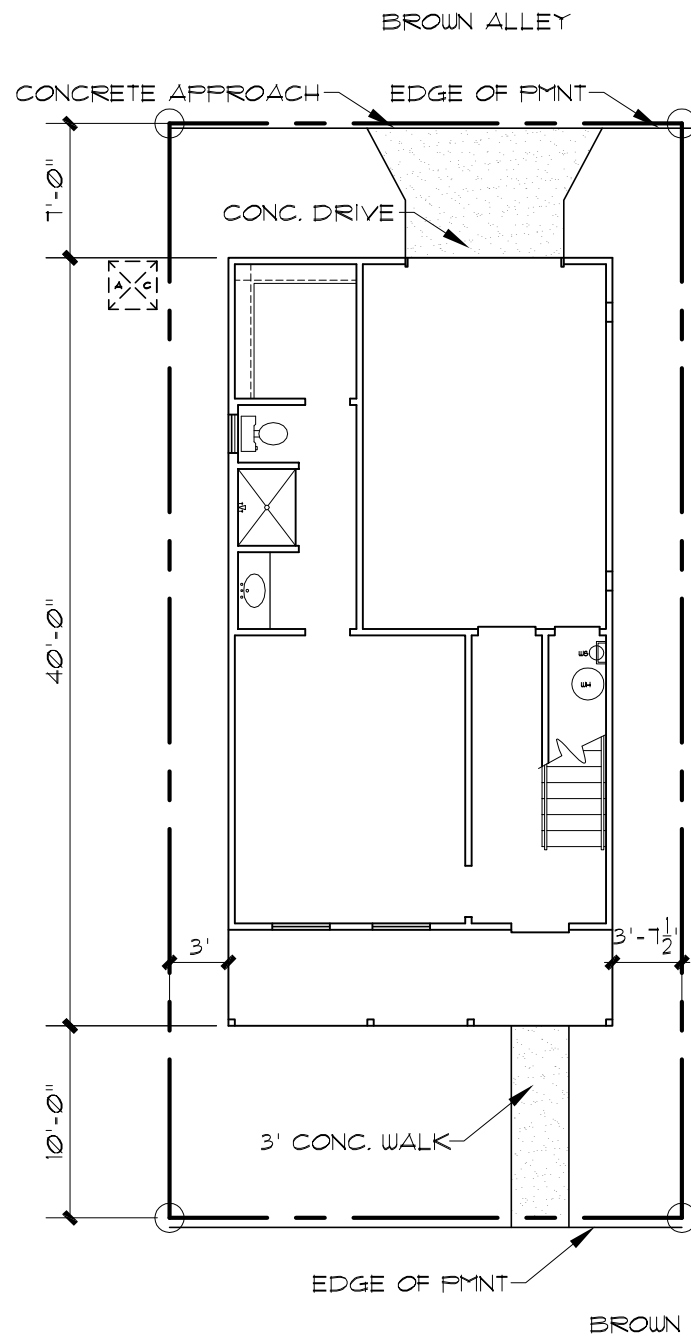
LOCATION MAP

N.T.S.



AERIAL VIEW

N.T.S.



SITE PLAN

SCALE: 1" = 10'-0"

CONTRACTOR NOTES:

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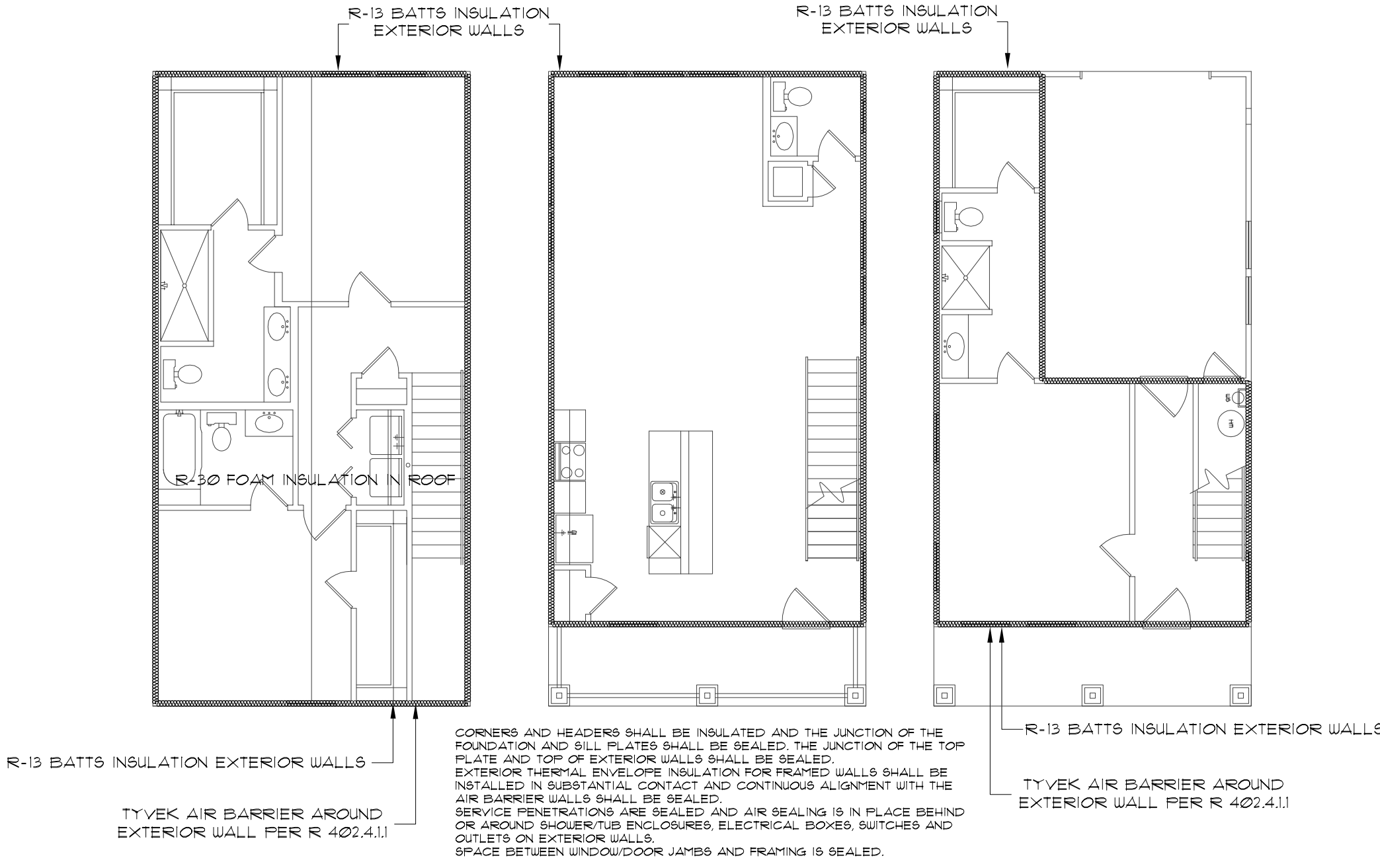
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT THE CONSTRUCTION OF THIS PROJECT MEETS ALL LOCAL CODES.

NOTES:

- 1st FLOOR PLATE AT 9'-0" AFF. 2nd AT 10'-0" AFF. 3rd AT 9'-0" AFF.
2. 2nd FLOOR WINDOWS HEADER HT. AT 8'-0" AFF. 1st AND 3rd AT 6'-8" AFF. UNLESS OTHERWISE NOTED.

MECHANICAL NOTES:

1. CLIMATE ZONE: 2
2. GLAZED FENESTRATION: SHGC: 0.30



INSULATION ENVELOPE

N.T.S.

TABLE N1102.4.1 (R402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION	
COMPONENT	CRITERIA
Air barrier and thermal barrier	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed. Air permeable insulation shall not be used as sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access opening, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.
Walls	Corners and the junction of the foundation and sill plate shall be sealed. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier. Knee walls shall be sealed.
Windows, skylights and doors	The space between window/door joints and framing and skylights and framing shall be sealed.
Rim joists	Rim shall be sealed to prevent air leakage.
Floors (including above garage and cantilevered floors)	Insulation shall be installed to maintain permanent contact with underside of subfloor decking. The air barrier shall be installed at any exposed edge of insulation.
Crawl space walls	Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls.

TABLE N1102.4.1 (R402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION	
COMPONENT	CRITERIA
	Exposed earth in unvented crawl spaces shall be covered with a Class 1 vapor retarder with overlapping joints taped.
Shafts, penetrations	Shut shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.
Narrow cavities	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be air tight, IC rated, and sealed to the drywall.
Plumbing and wiring	Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	Exterior walls adjacent to showers and tubs shall be insulated and the air barrier installed separating them from the showers and tubs.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.
WHC register boots	WHC register boots that penetrate building thermal envelope shall be sealed to the sub floor or drywall.
Fireplace	An air barrier shall be installed on fireplace walls.





McCULLOUGH  
DESIGN  
ASSOCIATES

84 N. E. LOOP 410,  
SUITE 217,  
SAN ANTONIO, TX 78216  
P.H. 843-1632  
ricardo@mcculloughda.com

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**VERGEL**  
CONSTRUCTIONS

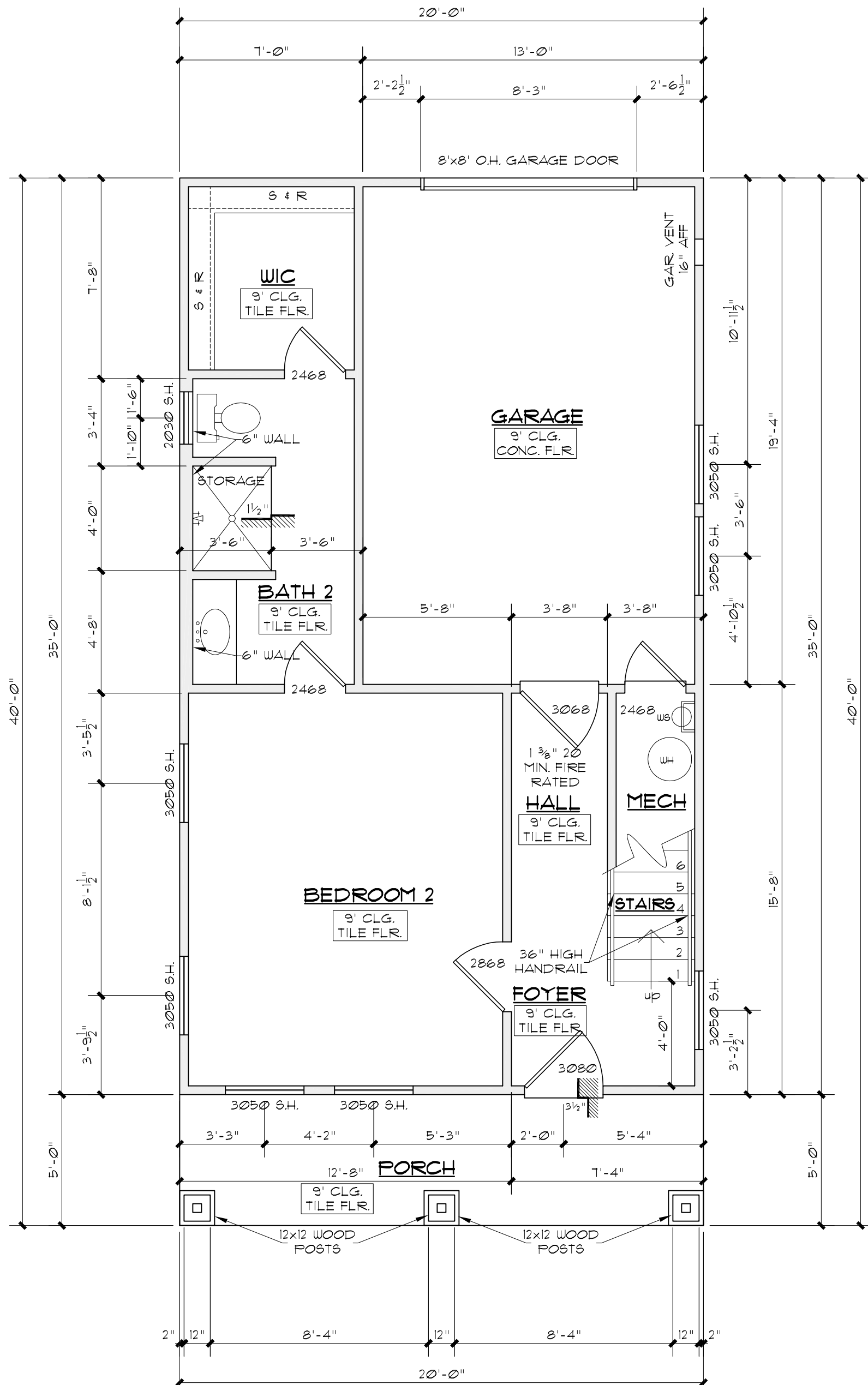
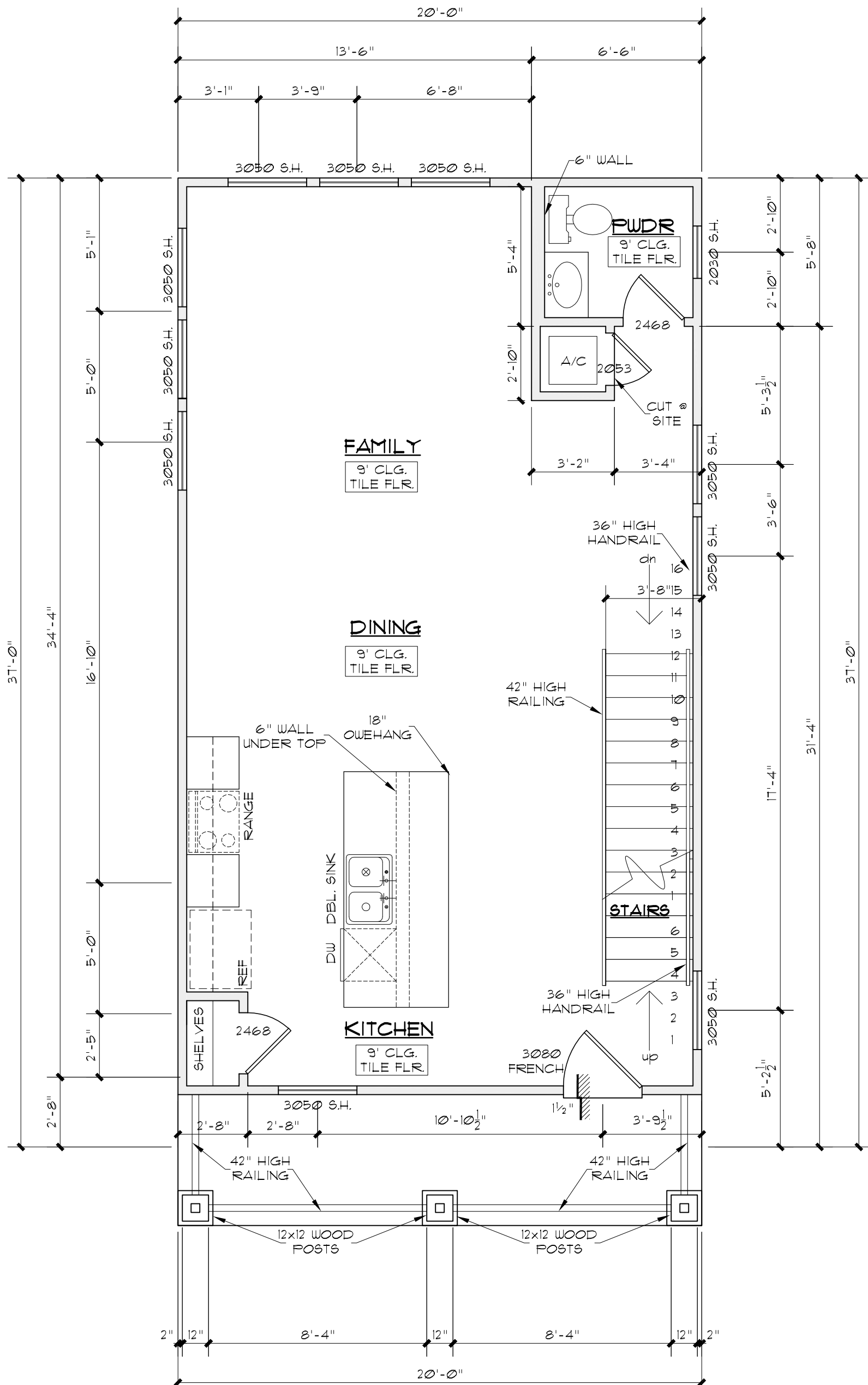
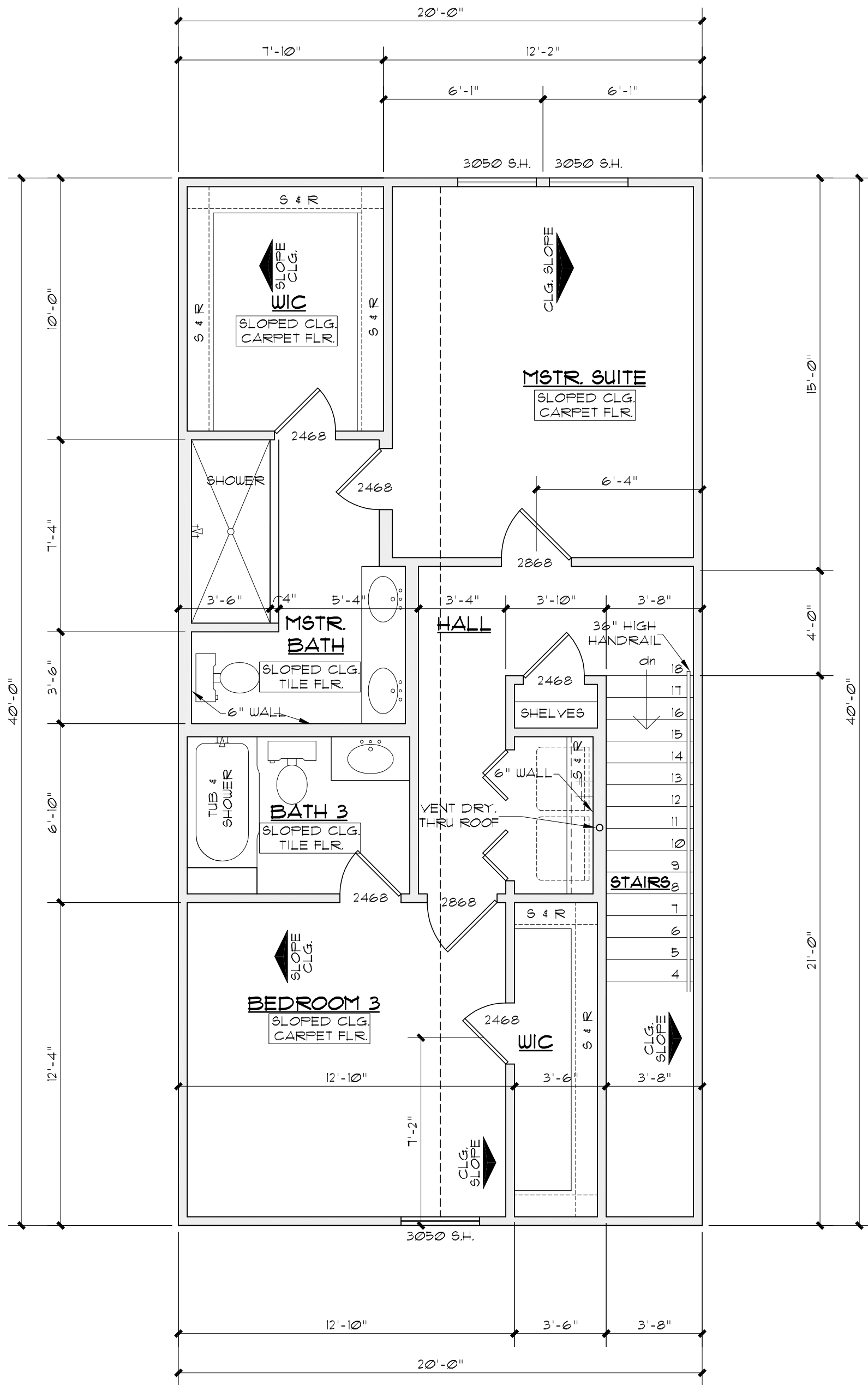
4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

**A NEW RESIDENCE**

WEST 26.82' OF LOT 10, BLOCK 17, NCB. 568,  
107 BROWN ST.  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

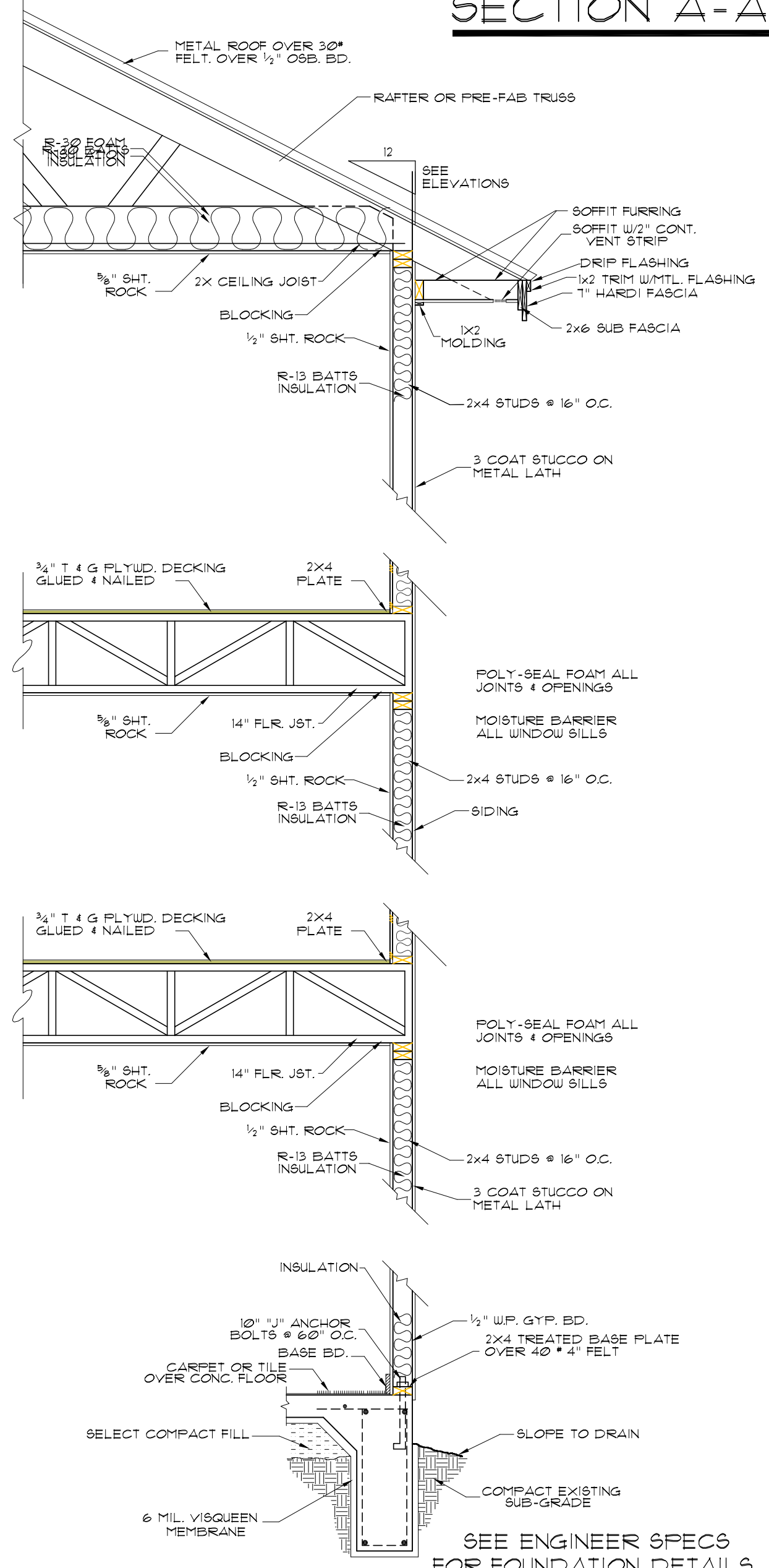
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CHCKD BY: RAMC	DATE: 09.27.202
PROJECT No:	
SHEET 2 of	3



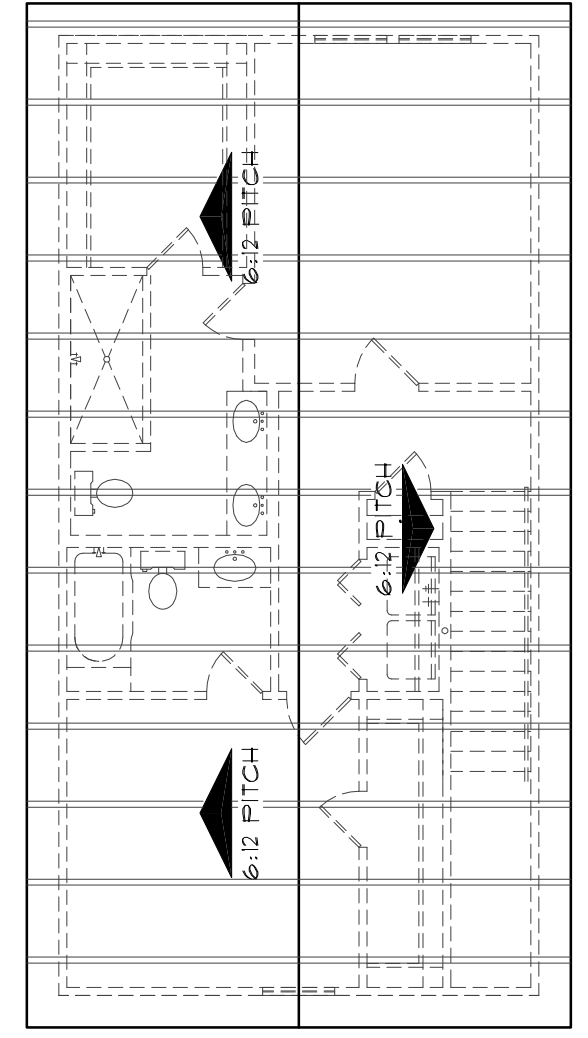
AREAS	
1st FLOOR	449#
2nd FLOOR	655#
2nd FLOOR	723#
TOTAL LIVING	1,827#
PORCH	100#
GARAGE	251#
TERRACE	100#
TOTAL BUILDING	2,278#
TOTAL SLAB	800#



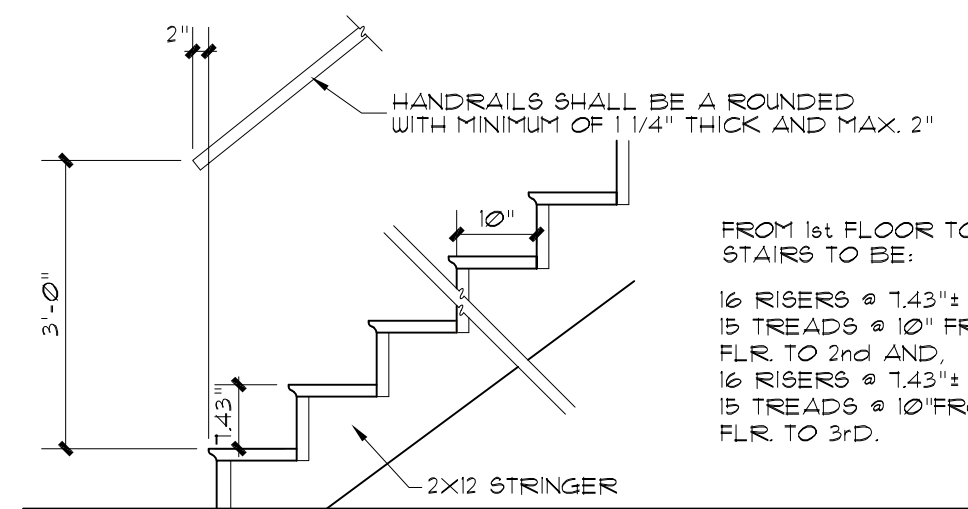
SECTION A-A  
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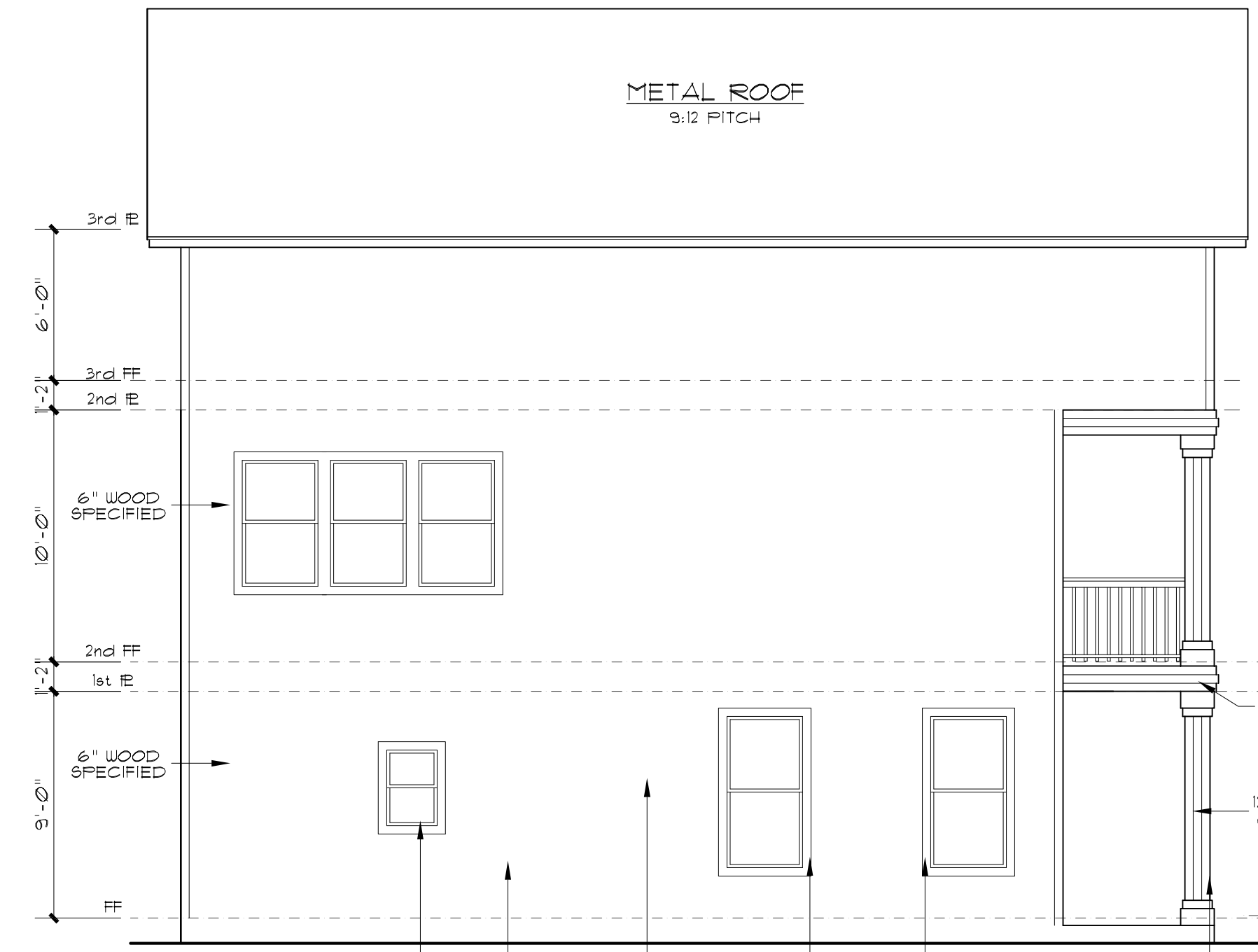
3 STORY STUCCO WALL SECTION  
SCALE: 1/2" = 1'-0"



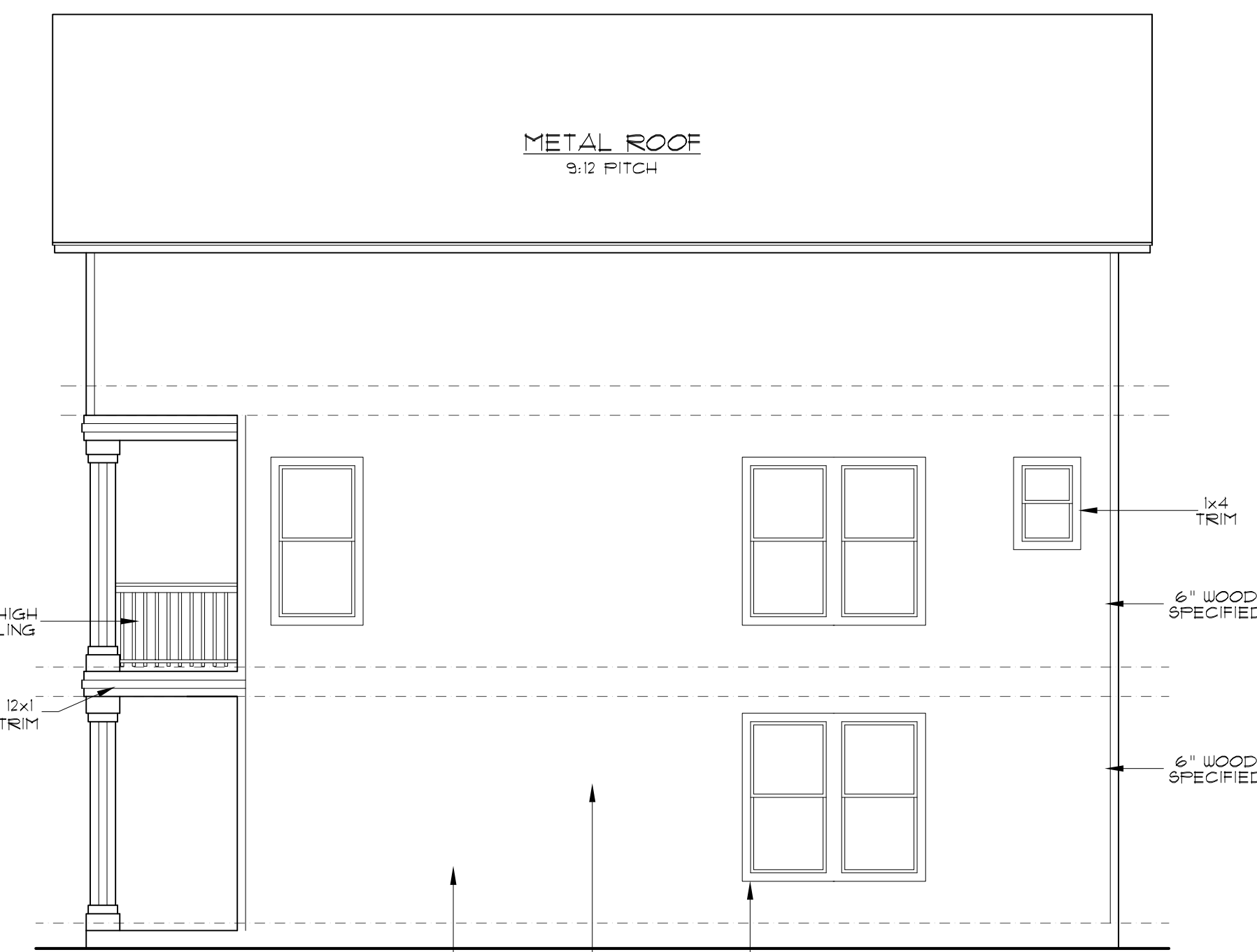
ROOF PLAN  
SCALE: 1/8" = 1'-0"



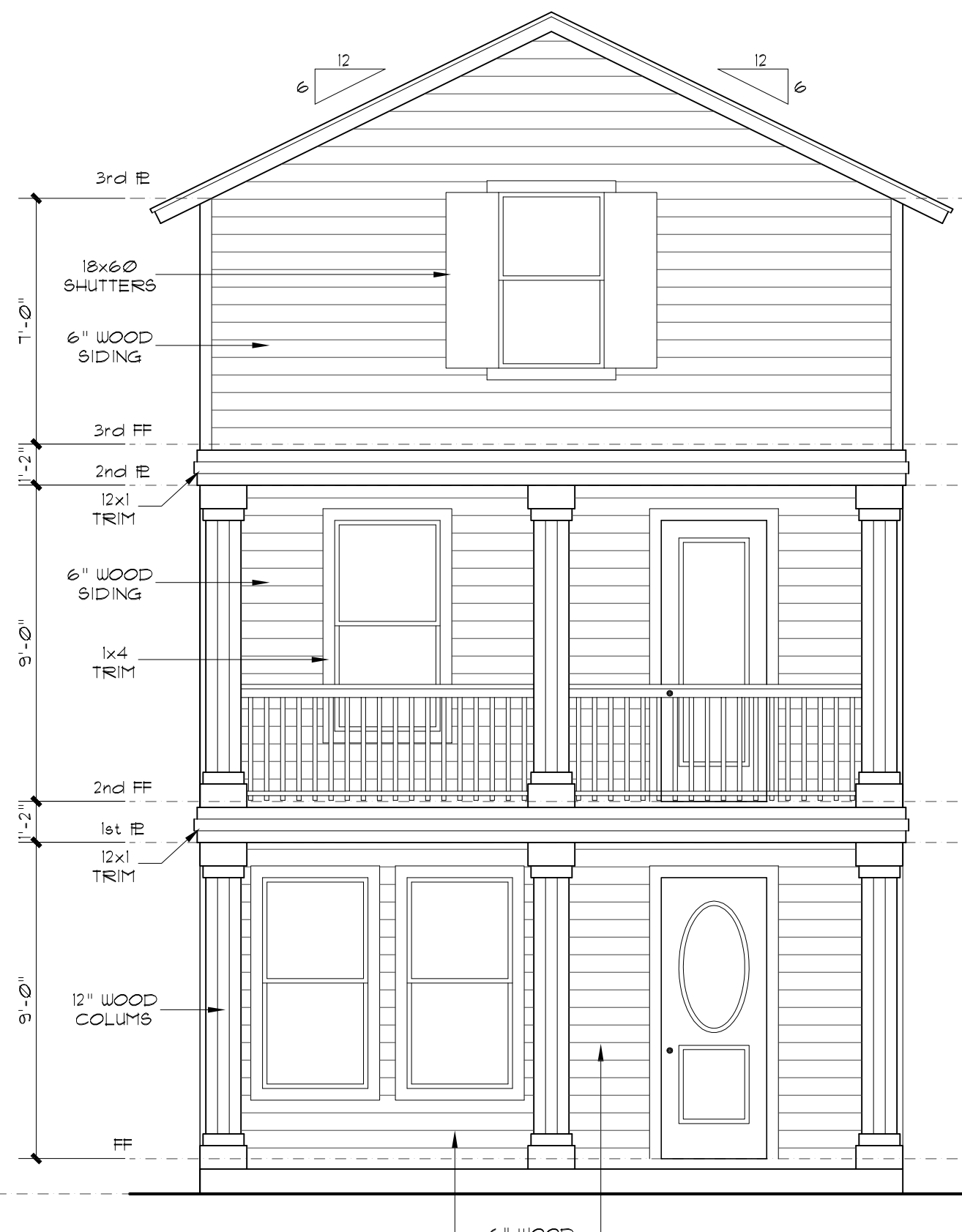
STAIR DETAILS  
SCALE: 1/2" = 1'-0"



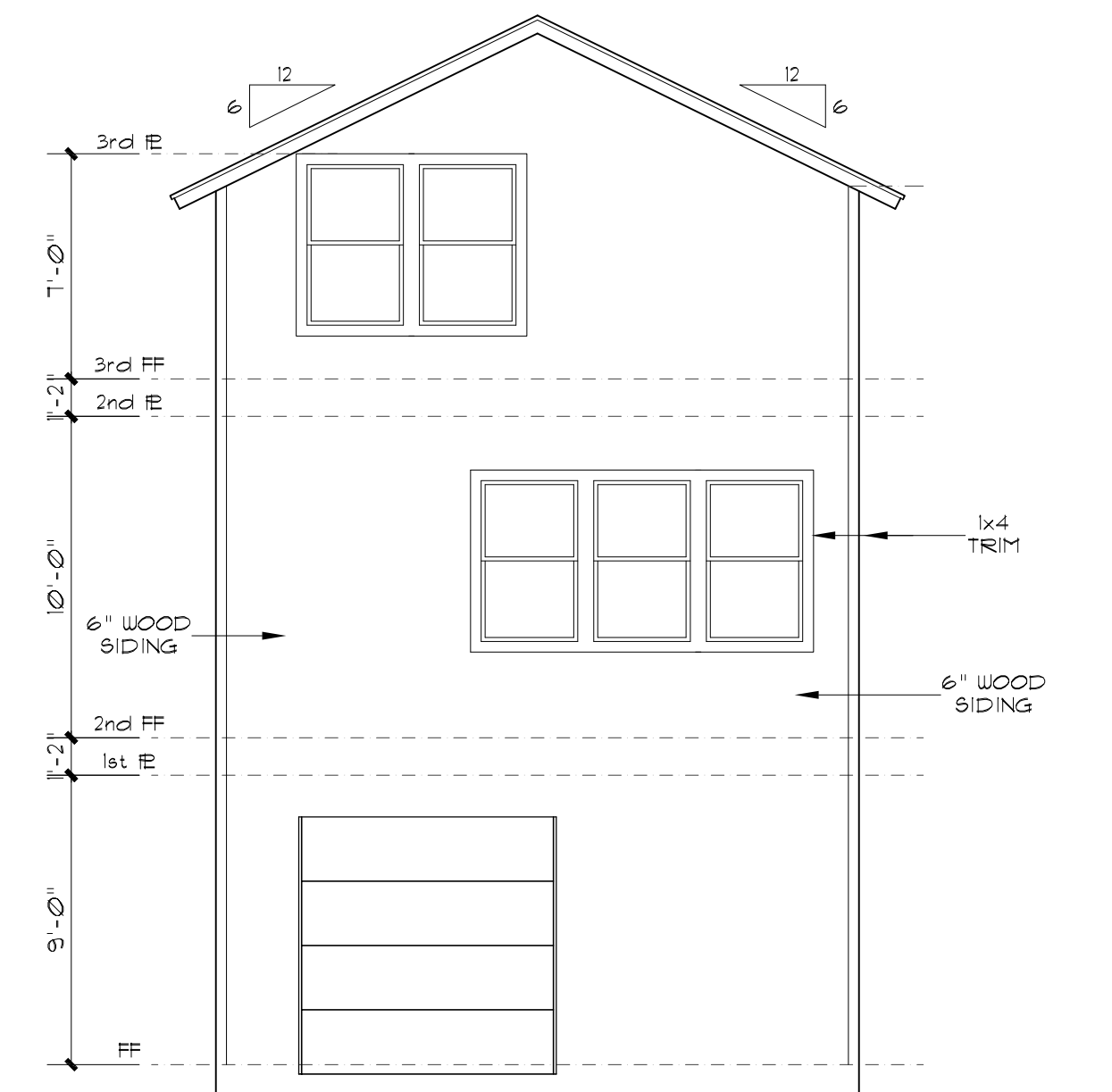
LEFT ELEVATION  
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION  
SCALE: 3/16" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



**McCULLOUGH  
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ASSOCIATES**  
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**VERGEL  
CONSTRUCTIONS**  
4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

**A NEW RESIDENCE**  
WEST 26.82' OF LOT 10, BLOCK 17, NCB. 568,  
107 BROWN ST.  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 09.27.202
	PROJECT No:
SHEET 3 of	53





McCULLOUGH  
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A NEW RESIDENCE  
EAST 39' OF W. 65.82' OF LOT 10, BLOCK 17, NCB. 568,  
109 BROWN ST.  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMC	SCALED: AS NOTED
CHKCD BY: RAMC	DATE: ---
	PROJECT No:
SHEET 1 of	5

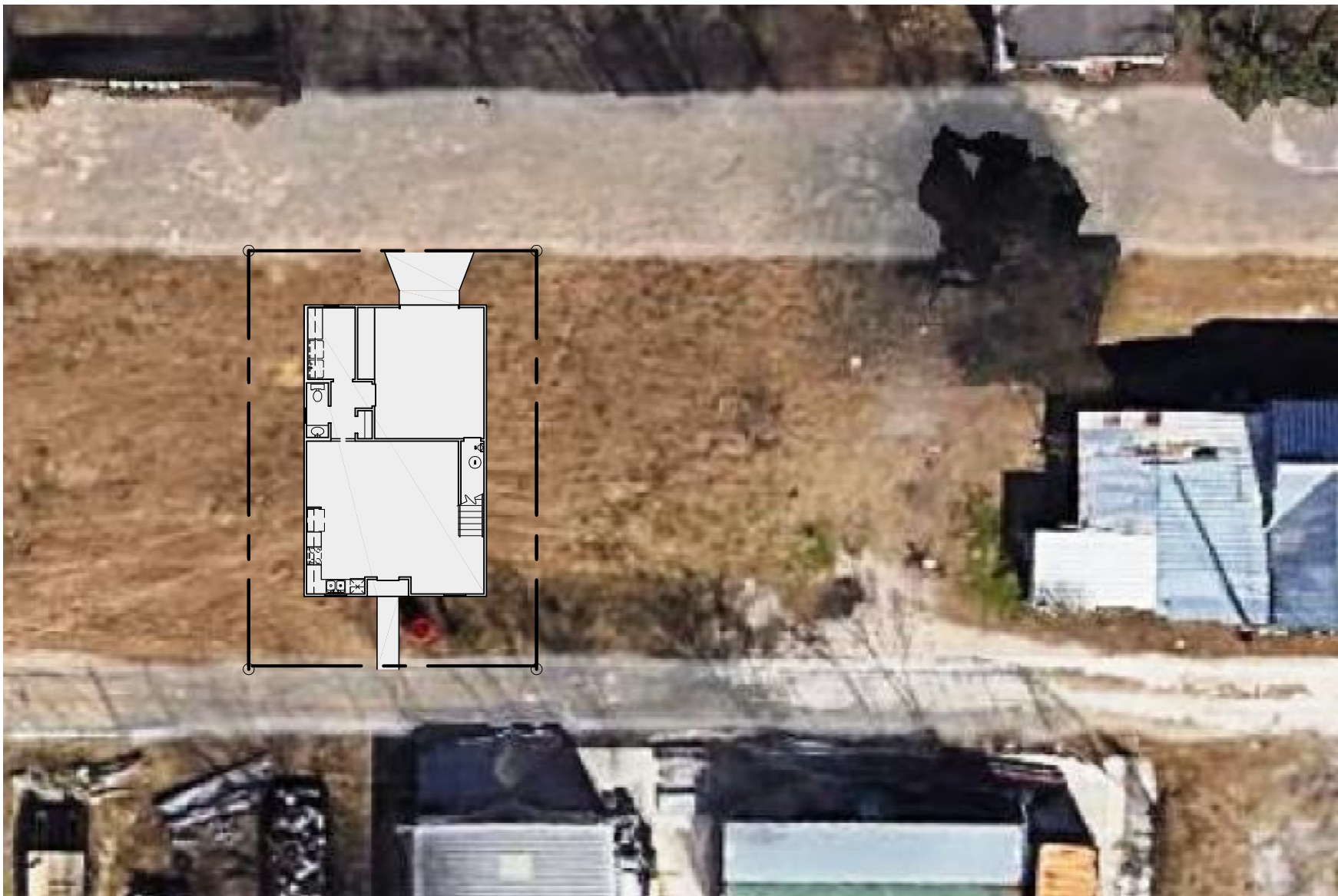
# A NEW RESIDENCE

## EAST 39' OF W. 65.82' OF LOT 10, BLOCK 17, NCB. 568, 109 BROWN ST. SAN ANTONIO, TEXAS



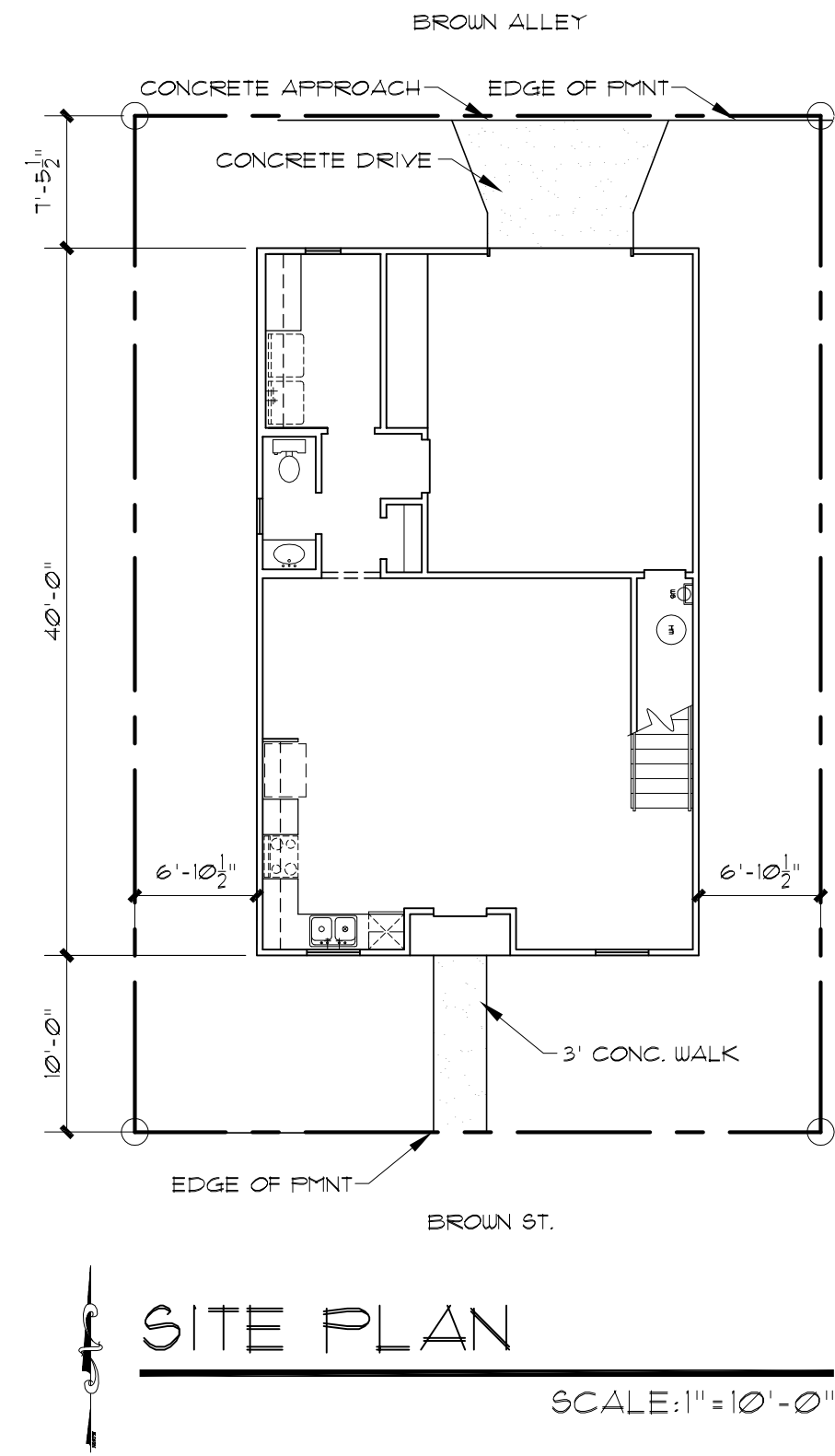
LOCATION MAP

N.T.S.



LOCATION MAP

N.T.S.

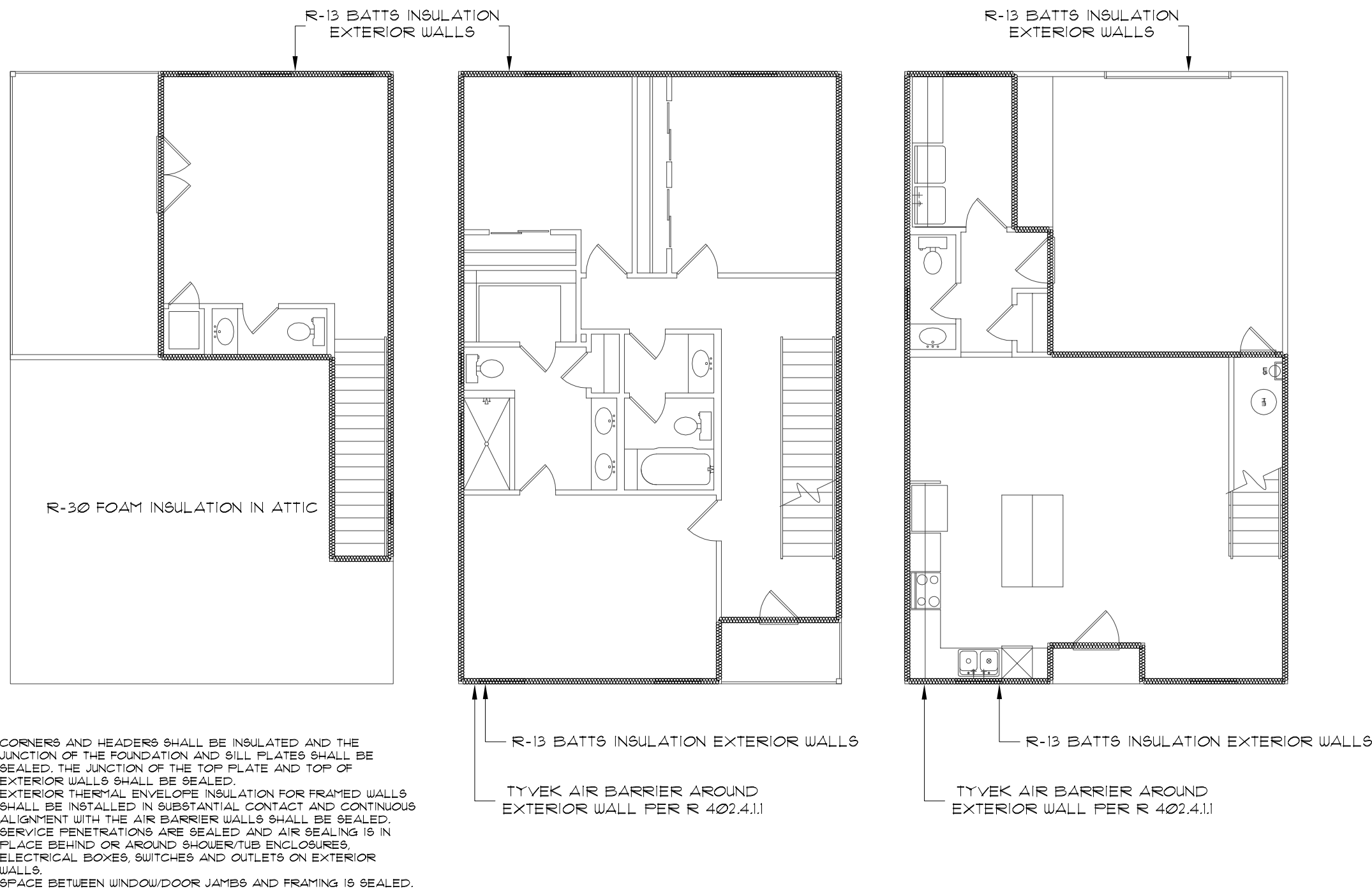


GENERAL NOTES:  
APPLICABLE CODES:  
2022 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL CITY AMENDMENTS  
UNIFIED DEVELOPMENT CODE  
2022 UNIFORM MECHANICAL CODE WITH LOCAL CITY AMENDMENTS  
2022 NATIONAL ELECTRICAL CODE CITY CODE CHAPTER 10  
(ELECTRICAL)  
2022 UNIFORM PLUMBING CODE WITH LOCAL CITY AMENDMENTS  
2022 INTERNATIONAL ENERGY CONSERVATION CODE.  
RATED.

CONTRACTOR NOTES:  
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NOTES:  
1. 1st FLOOR PLATE AT 10'-0" AFF. 2nd AT 9'-0" AFF. 3rd AT 8'-0" AFF.  
2. 1st FLOOR WINDOW HEADER HT. AT 8'-0" AFF. 2nd AND 3 rd AT 6'-8" AFF. UNLESS OTHERWISE NOTED.

MECHANICAL NOTES:  
1. CLIMATE ZONE: 2  
2. GLAZED FENESTRATION: SHGC: 0.30



INSULATION ENVELOPE

N.T.S.





ricardo@mcgculoughnda.com

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**A NEW RESIDENCE**  
EAST 39' OF W. 65.82' OF LOT 10, BLOCK 17, NCB. 568,  
109 BROWN ST.  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMC	SCALED: AS NOTED
CHECKED BY: RAMC	DATE: ---
	PROJECT No.
SHEET 2 of	5



AREAS	
1st FLOOR	657#
2nd FLOOR	921#
2nd FLOOR	289#
TOTAL LIVING	1867#
PORCH	305#
GARAGE	26#
TERRACE	183#
TOTAL BUILDING	2,380#
TOTAL SLAB	988#



McCULLOUGH  
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**VERGEL**  
CONSTRUCTIONS

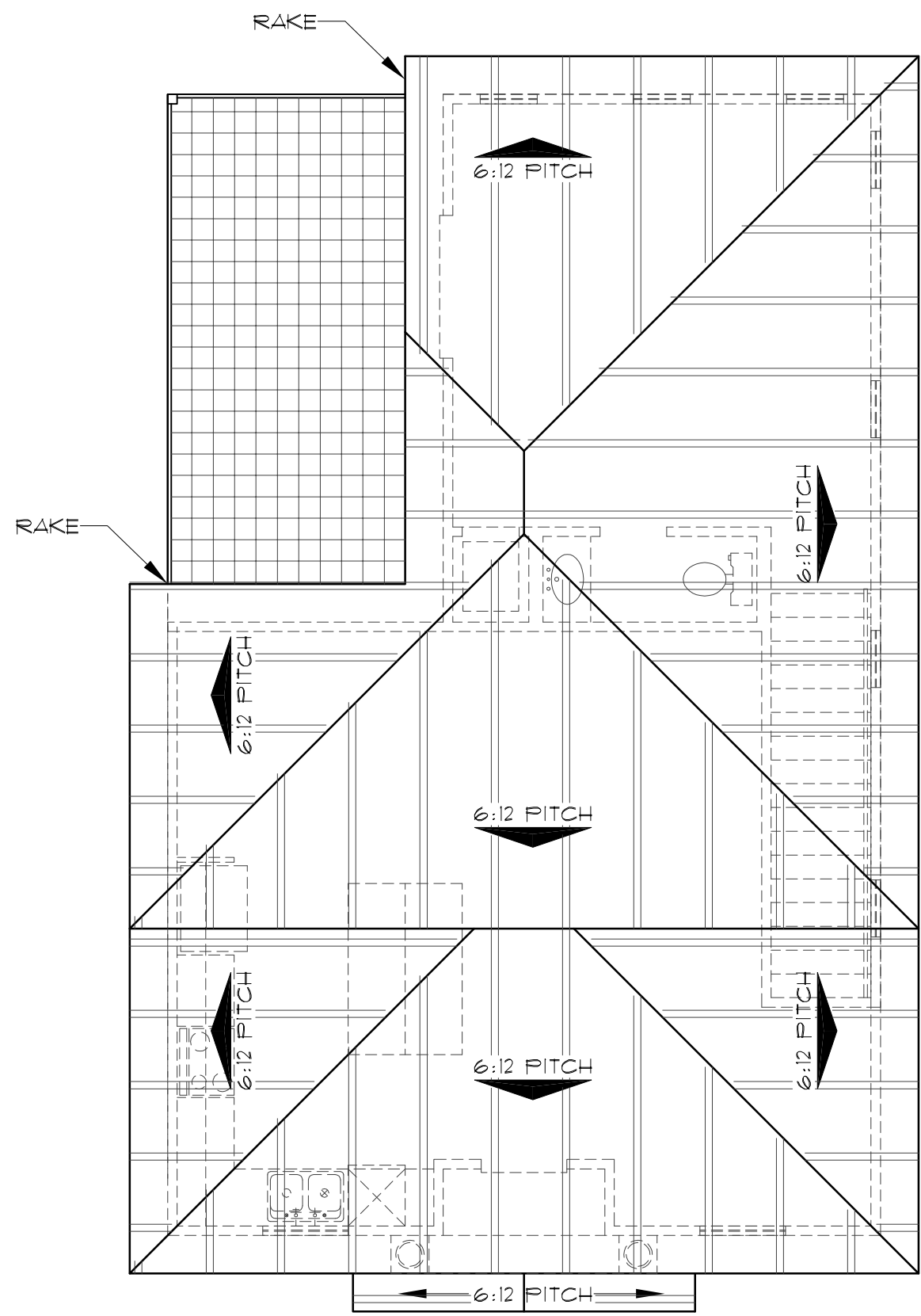
4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

A NEW RESIDENCE

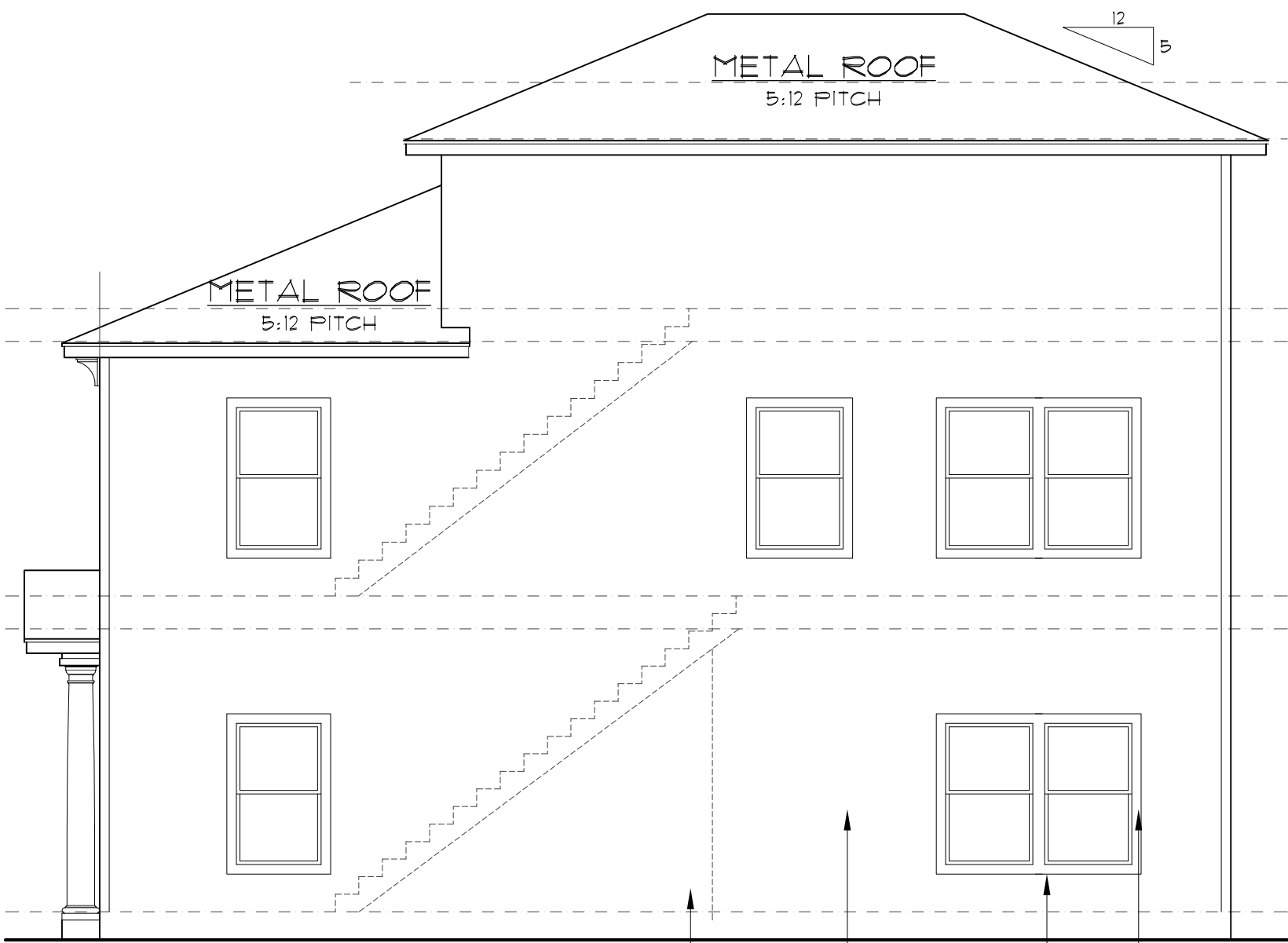
EAST 39' OF W. 65.82' OF LOT 10, BLOCK 17, NCB. 568,  
109 BROWN ST.  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

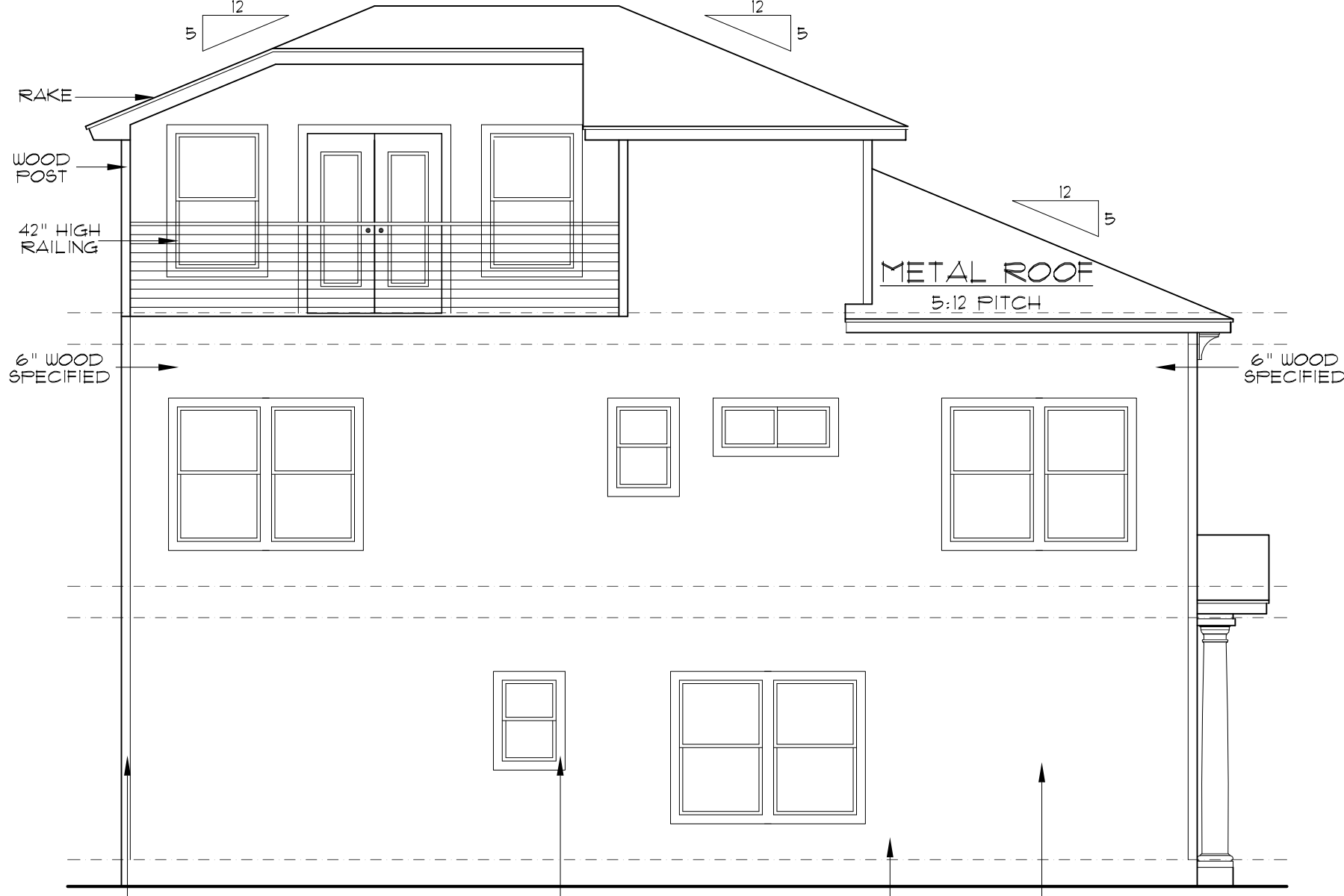
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CHCKD BY: RAMc	DATE: ---
	PROJECT No:
SHEET 3 of	5



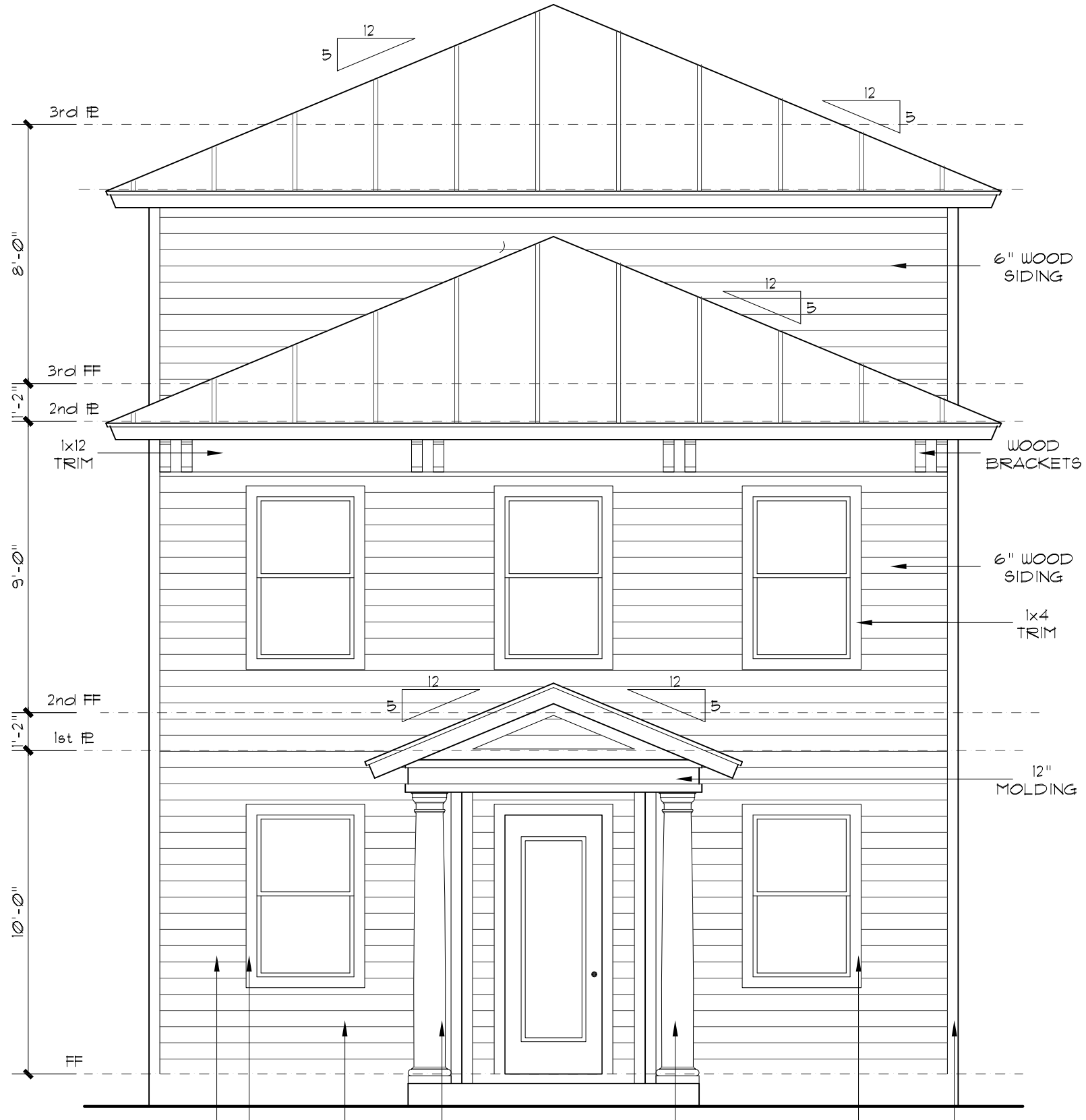
ROOF PLAN



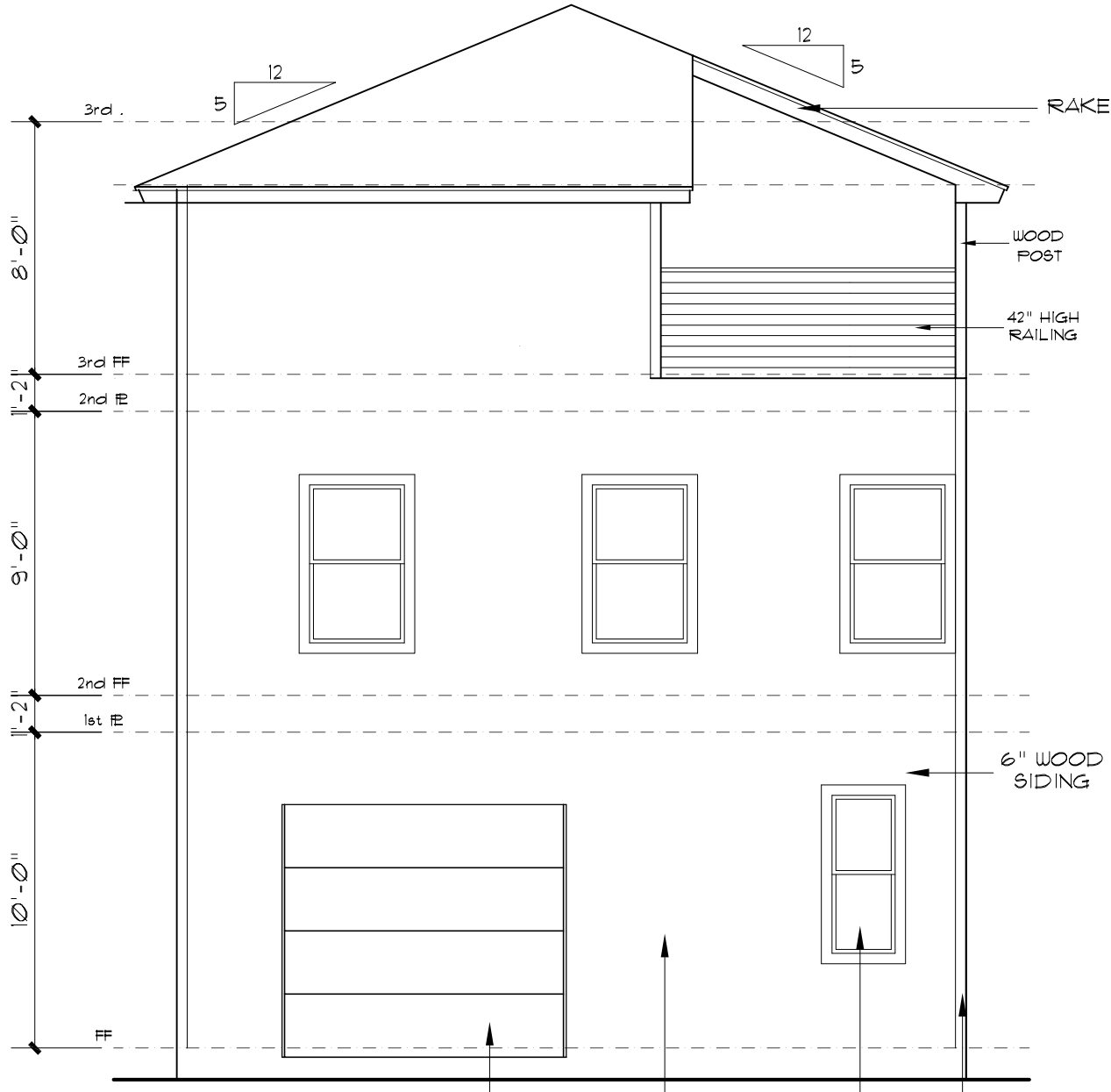
RIGHT ELEVATION  
SCALE: 3/16" = 1'-0"



LEFT ELEVATION  
SCALE: 3/16" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"





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A NEW RESIDENCE  
EAST 42.5 OF W. 108.32' LOT 10, BLOCK 17, NCB. 568,  
111 BROWN ST.  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMC	SCALED: AS NOTED
CHCKD BY: RAMC	DATE: ---
	PROJECT No:
SHEET 1 of	5

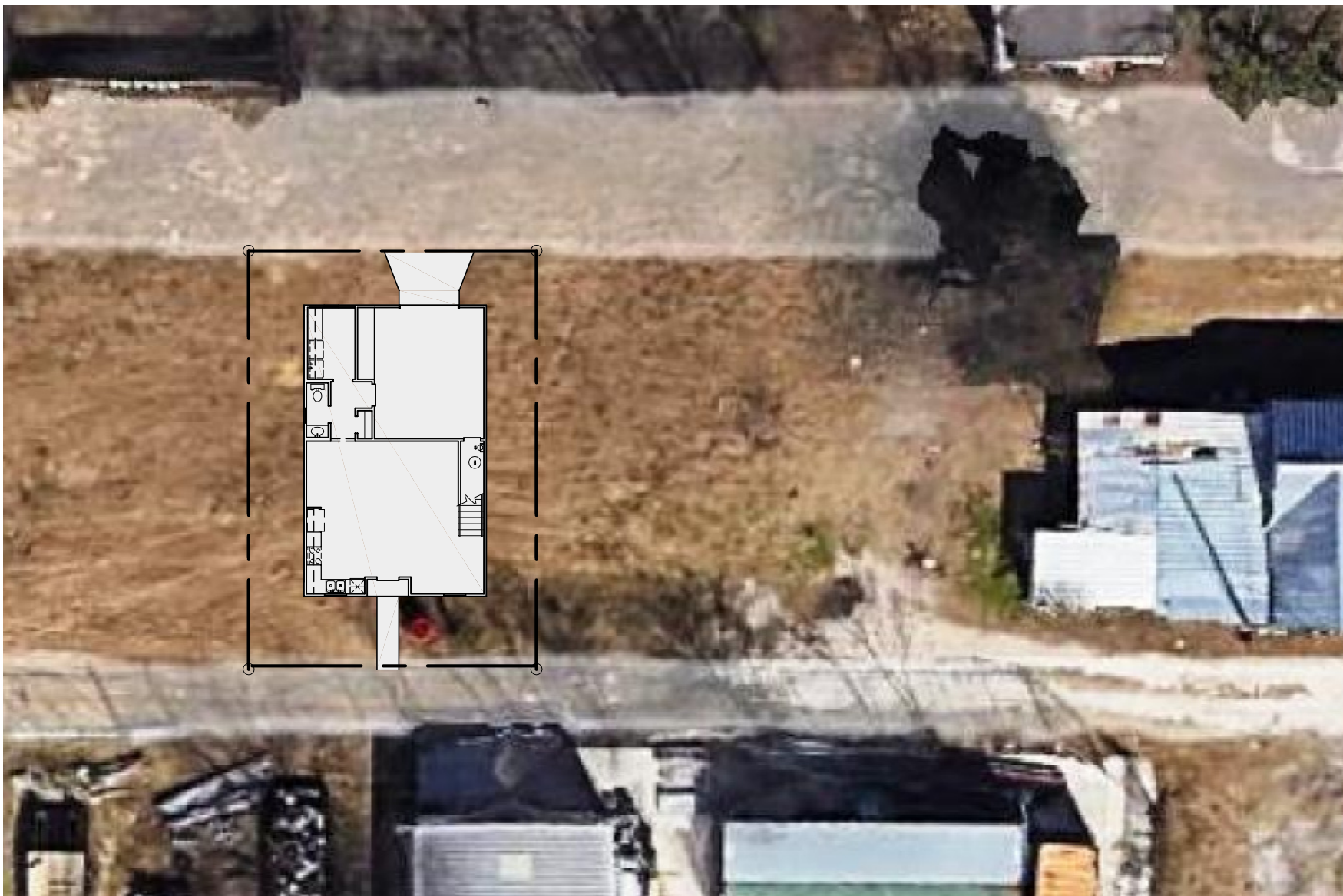
# A NEW RESIDENCE

EAST 42.5 OF W. 108.32' LOT 10, BLOCK 17, NCB. 568,  
111 BROWN ST.  
SAN ANTONIO, TEXAS



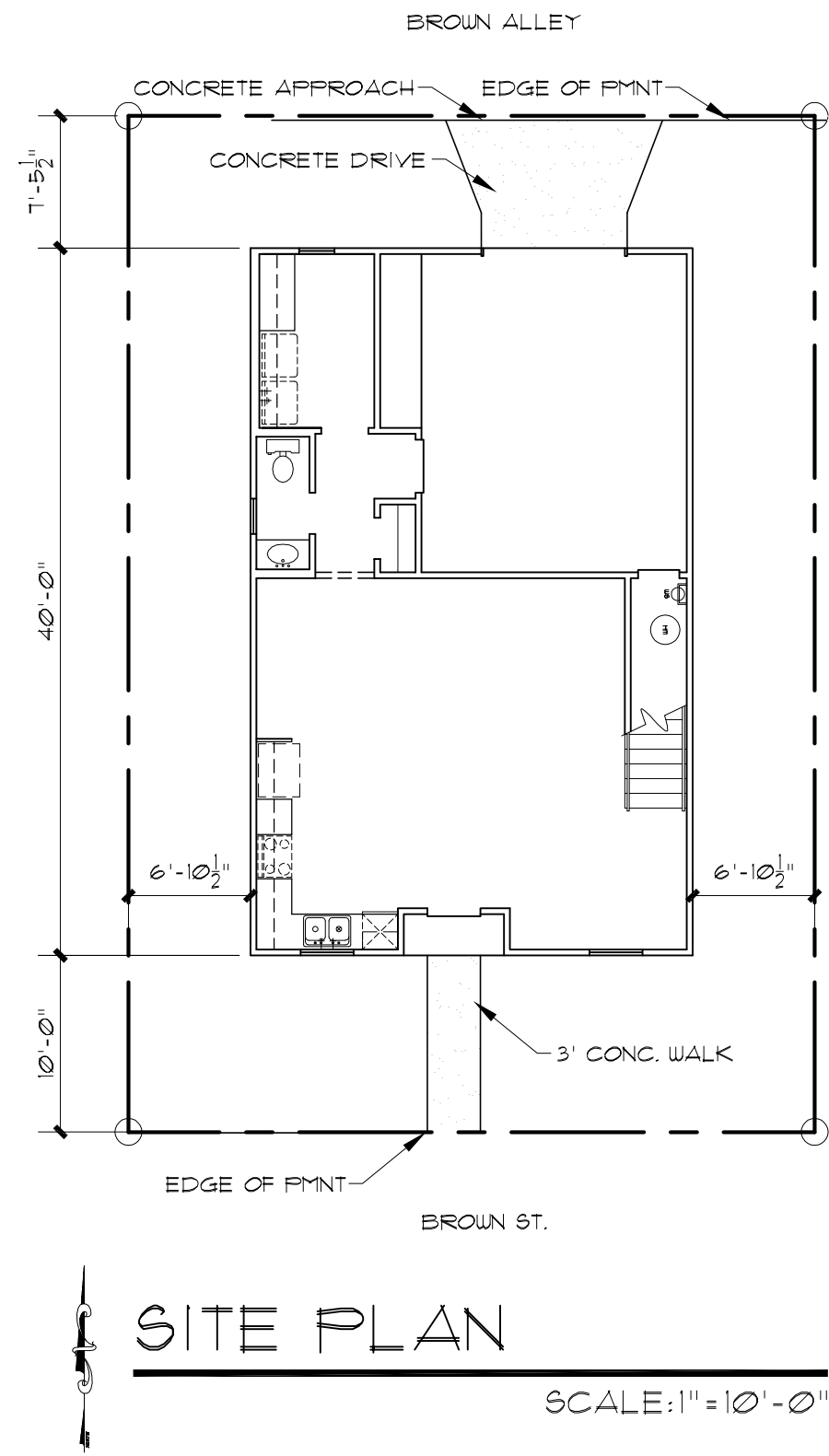
LOCATION MAP

N.T.S.



LOCATION MAP

N.T.S.

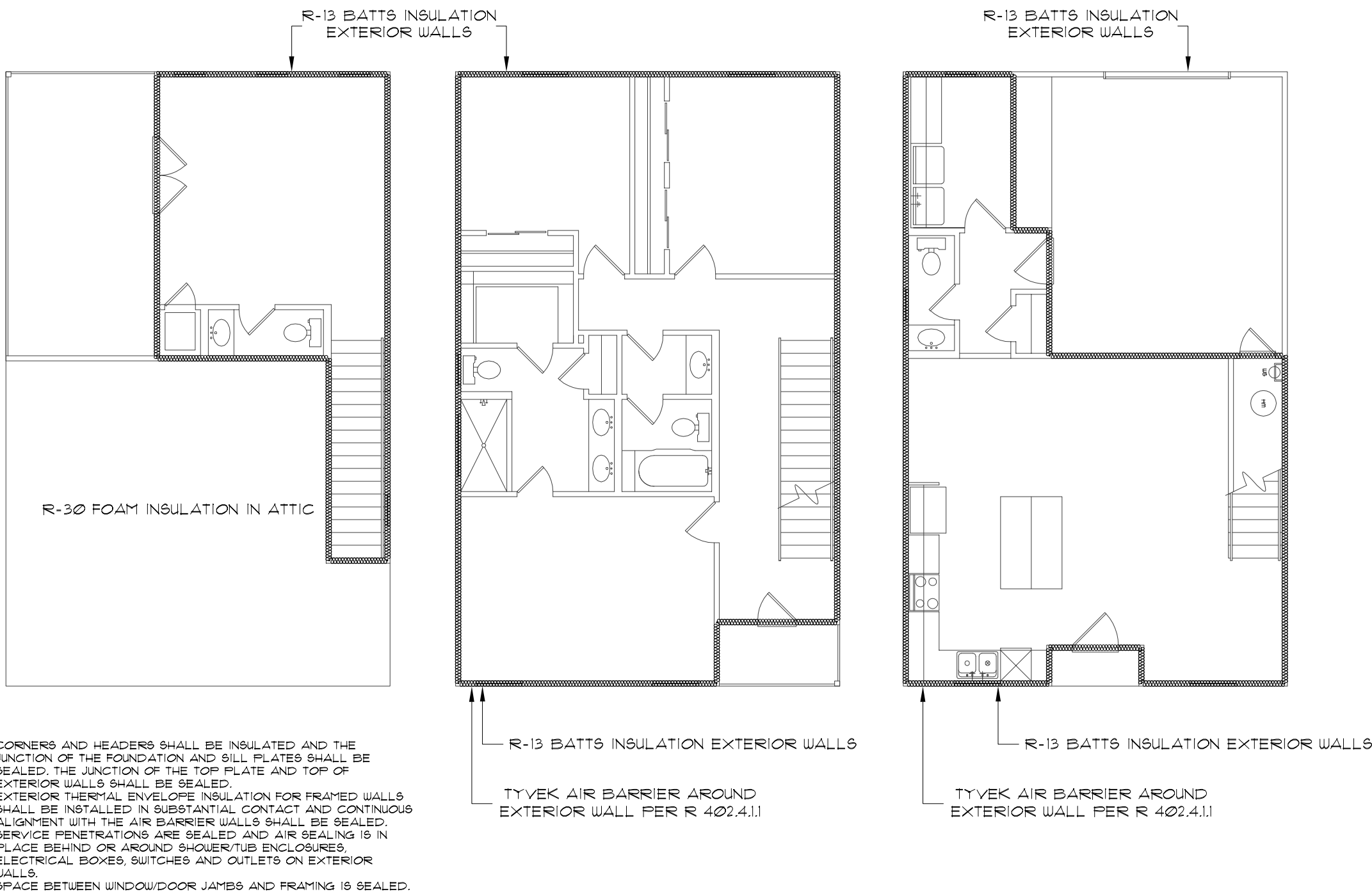


GENERAL NOTES:  
APPLICABLE CODES:  
2022 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL CITY AMENDMENTS  
UNIFIED DEVELOPMENT CODE  
2022 UNIFORM MECHANICAL CODE WITH LOCAL CITY AMENDMENTS  
2022 NATIONAL ELECTRICAL CODE CITY CODE CHAPTER 10  
(ELECTRICAL)  
2022 UNIFORM PLUMBING CODE WITH LOCAL CITY AMENDMENTS  
2022 INTERNATIONAL ENERGY CONSERVATION CODE.  
RATED.

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NOTES:  
1. 1st FLOOR PLATE AT 10'-0" AFF. 2nd AT 9'-0" AFF. 3rd AT 8'-0" AFF.  
2. 1st FLOOR WINDOW HEADER HT. AT 8'-0" AFF. 2nd AND 3 rd AT 6'-8" AFF. UNLESS OTHERWISE NOTED.

MECHANICAL NOTES:  
1. CLIMATE ZONE: 2  
2. GLAZED FENESTRATION: SHGC: 0.30



INSULATION ENVELOPE

N.T.S.





ricardo@mc McCulloughda.com

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**A NEW RESIDENCE**  
EAST 42.5 OF W. 108.32' LOT 10, BLOCK 17, NCB. 568,  
111 BROWN ST.  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMC	SCALED: AS NOTED
CHECKED BY: RAMC	DATE: ---
	PROJECT No.
SHEET 2 of	5



AREAS	
1st FLOOR	657#
2nd FLOOR	921#
2nd FLOOR	289#
TOTAL LIVING	1867#
PORCH	305#
GARAGE	26#
TERRACE	183#
TOTAL BUILDING	2,380#
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**VERGEL**  
CONSTRUCTIONS

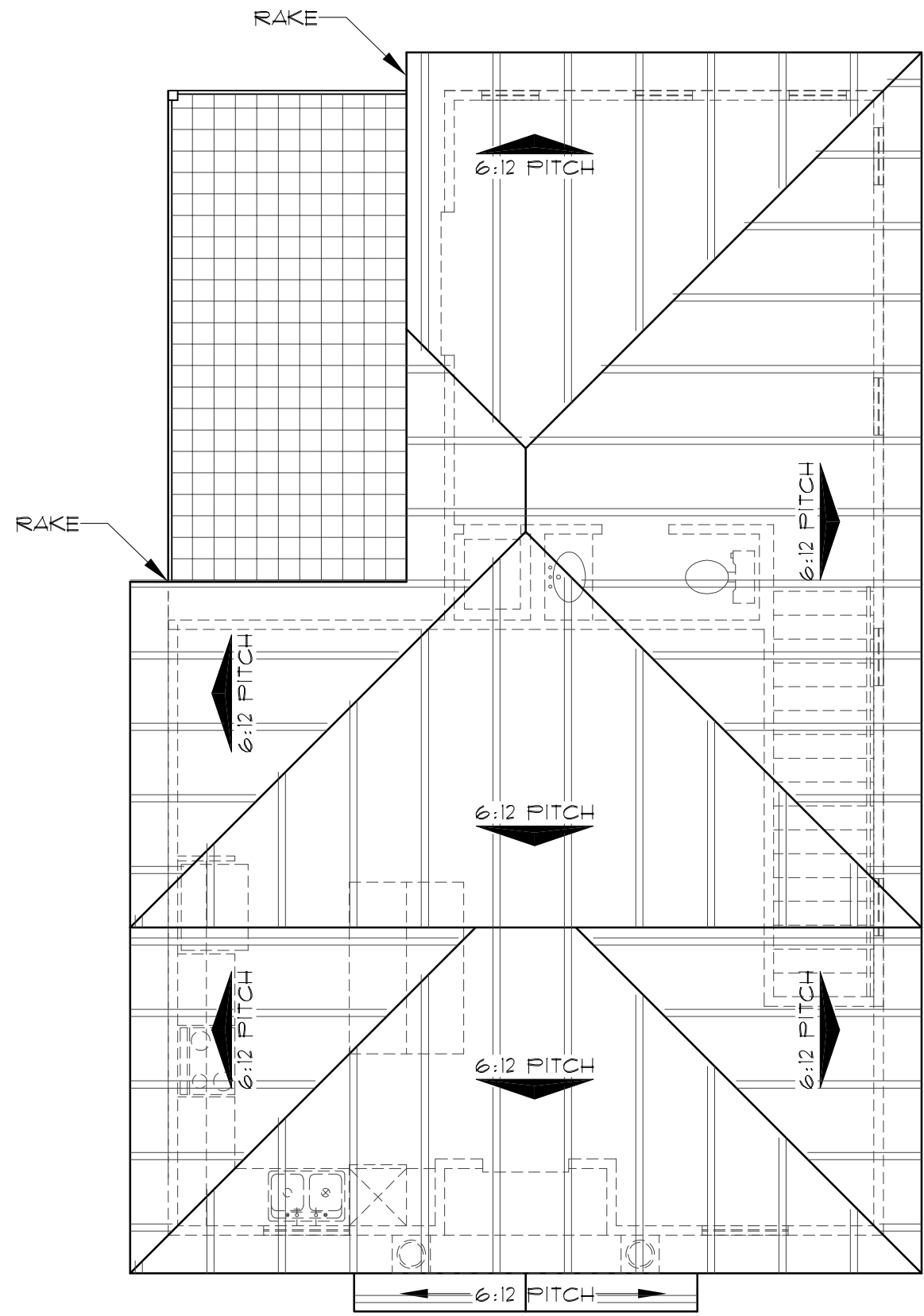
4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

**A NEW RESIDENCE**

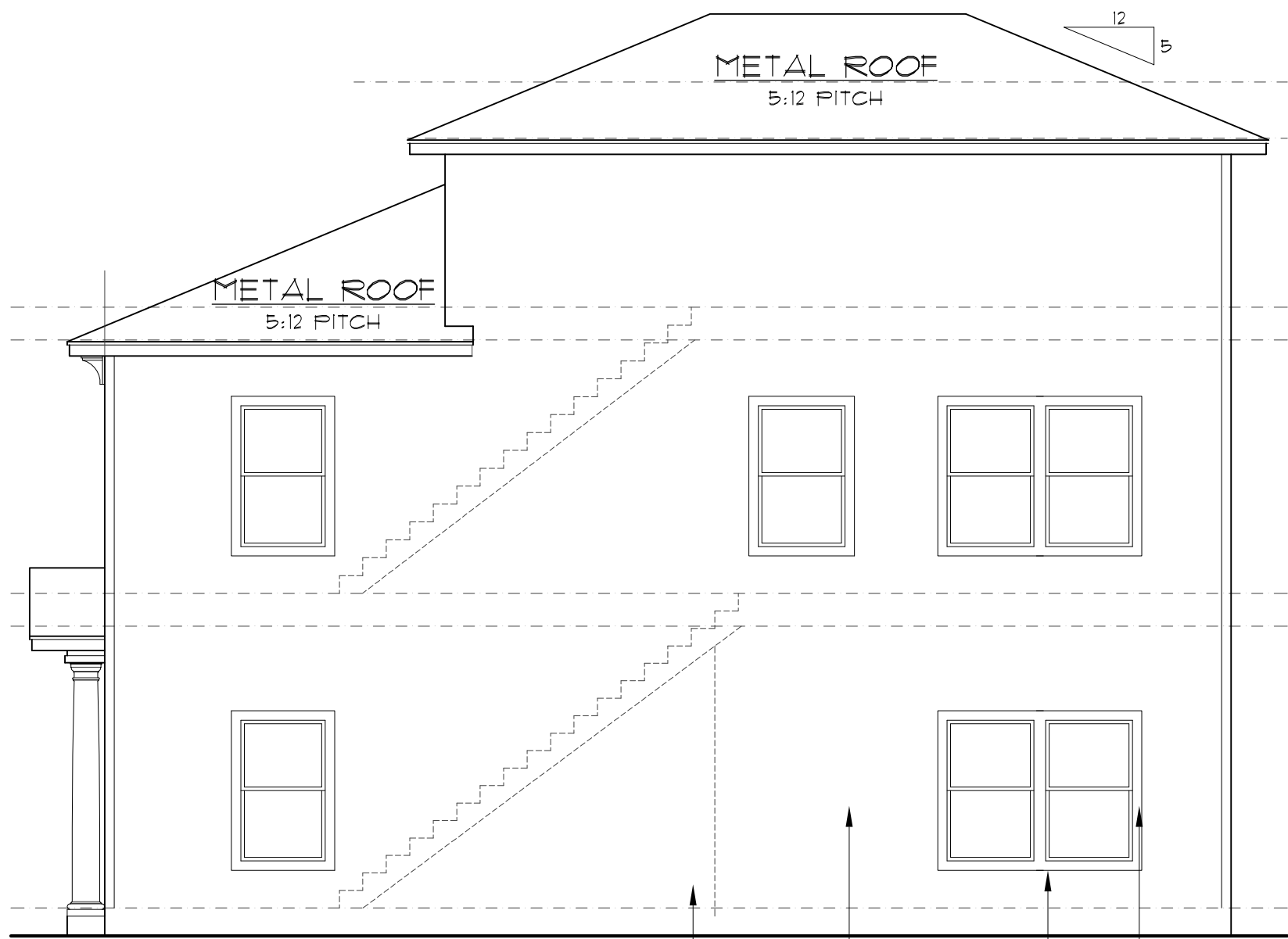
EAST 42.5 OF W. 108.32' LOT 10, BLOCK 17, NCB. 568,  
111 BROWN ST.  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

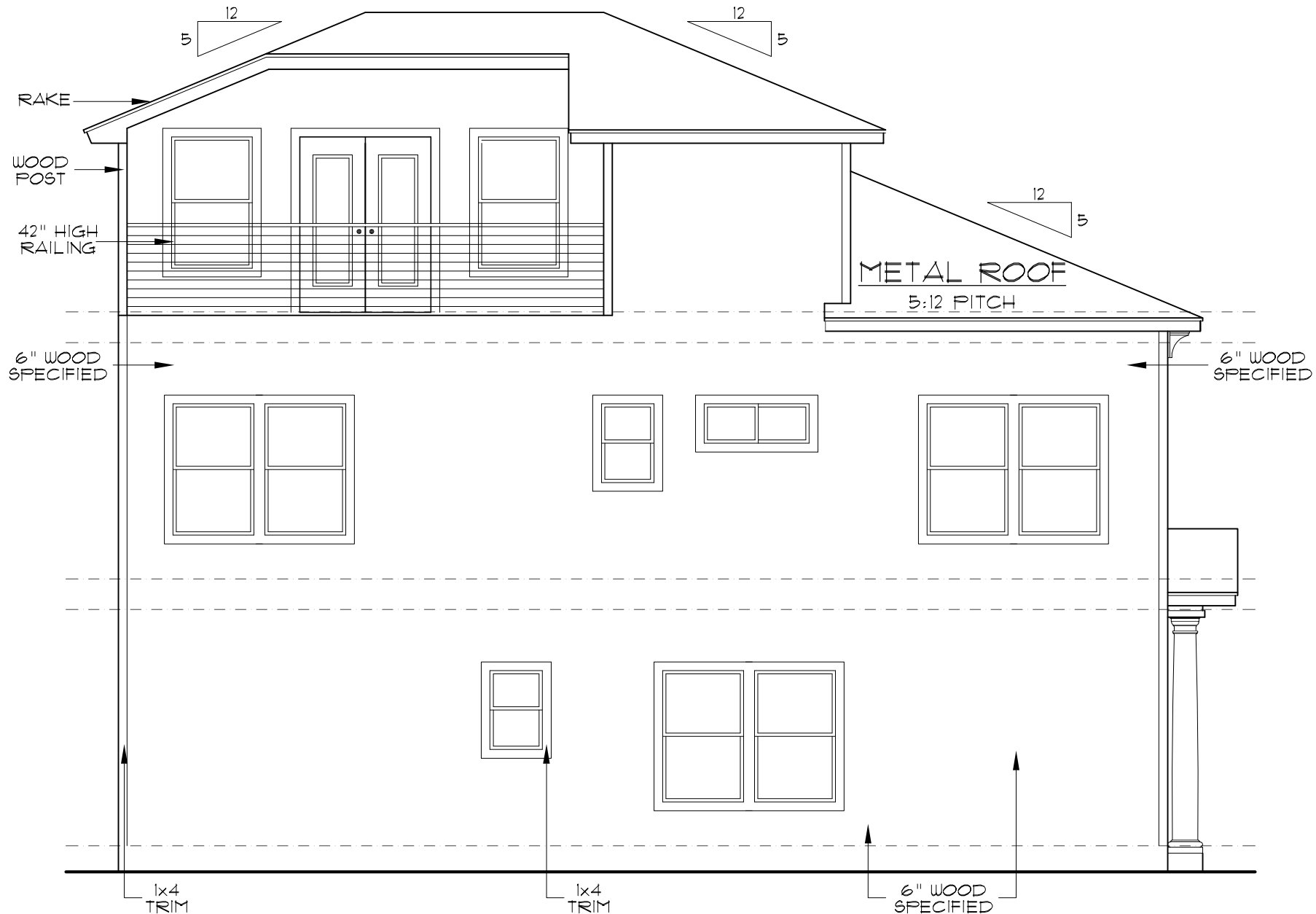
DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: ---
	PROJECT No:
SHEET 3 of	5



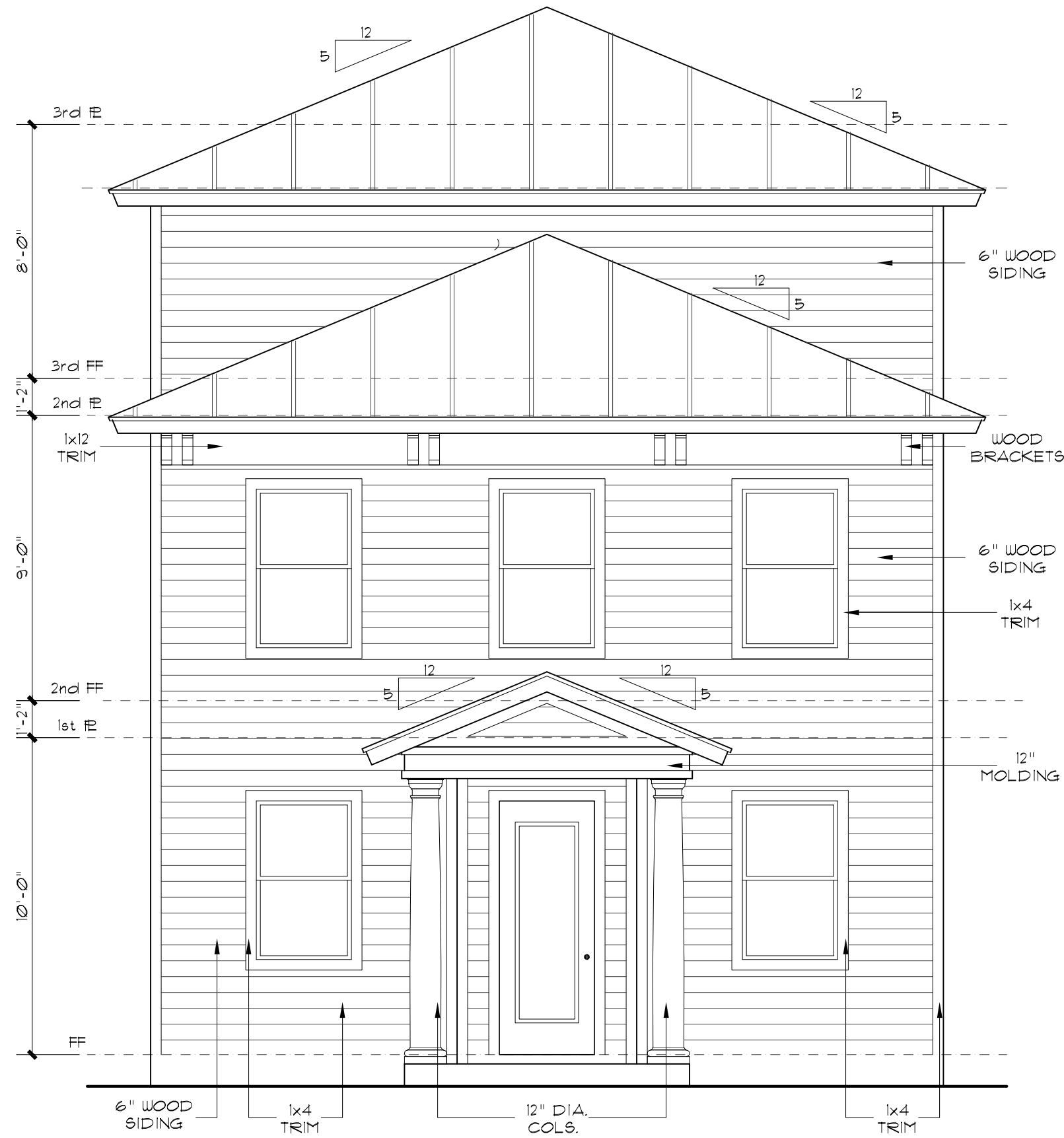
ROOF PLAN



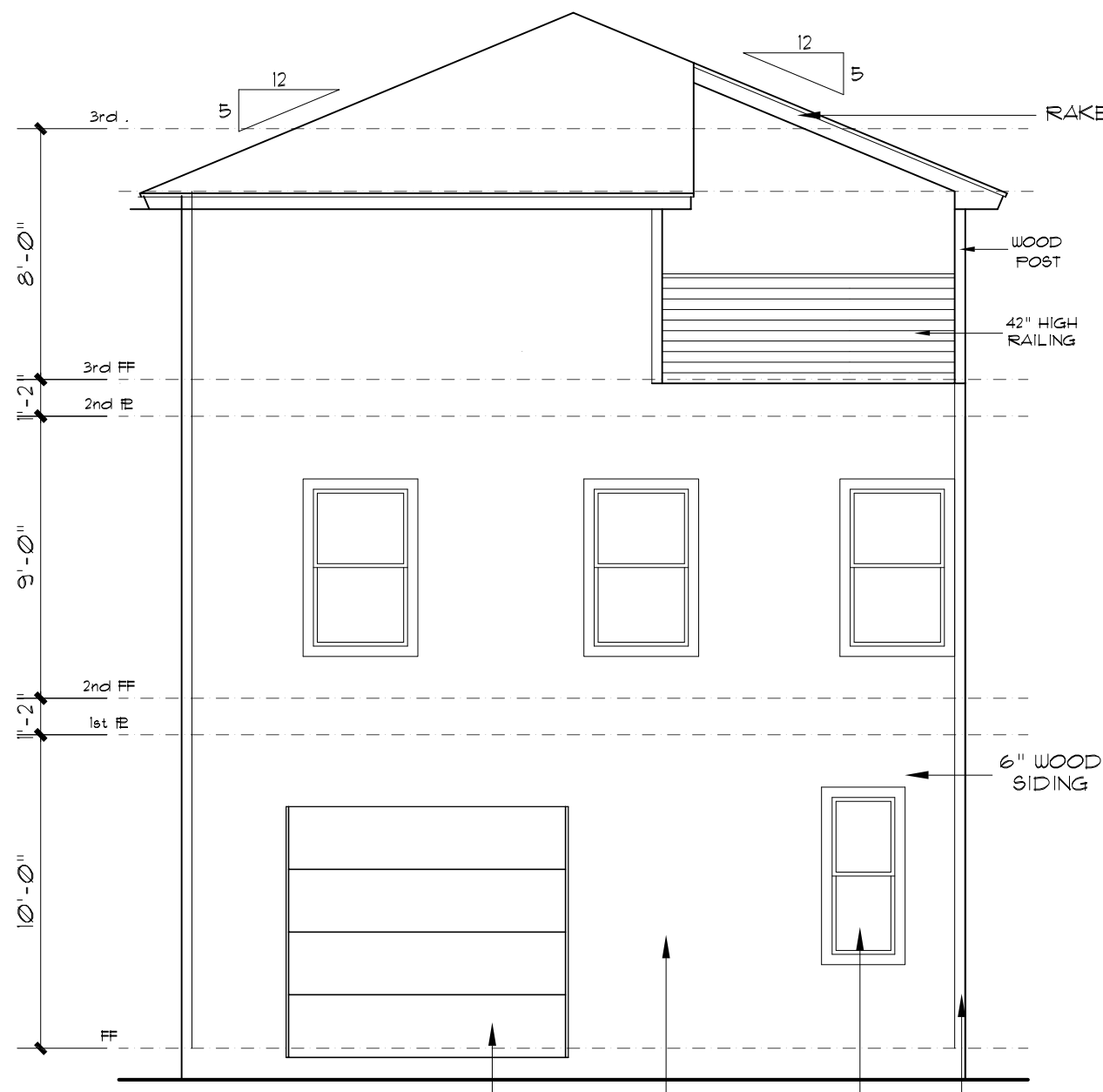
RIGHT ELEVATION  
SCALE: 3/16" = 1'-0"



LEFT ELEVATION  
SCALE: 3/16" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"





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VERGEL  
CONSTRUCTIONS  
4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

A NEW RESIDENCE  
WEST 30' OF EAST 100' OF LOT 10, BLOCK 17, NCB. 568,  
113 BROWN ST.  
SAN ANTONIO, TEXAS

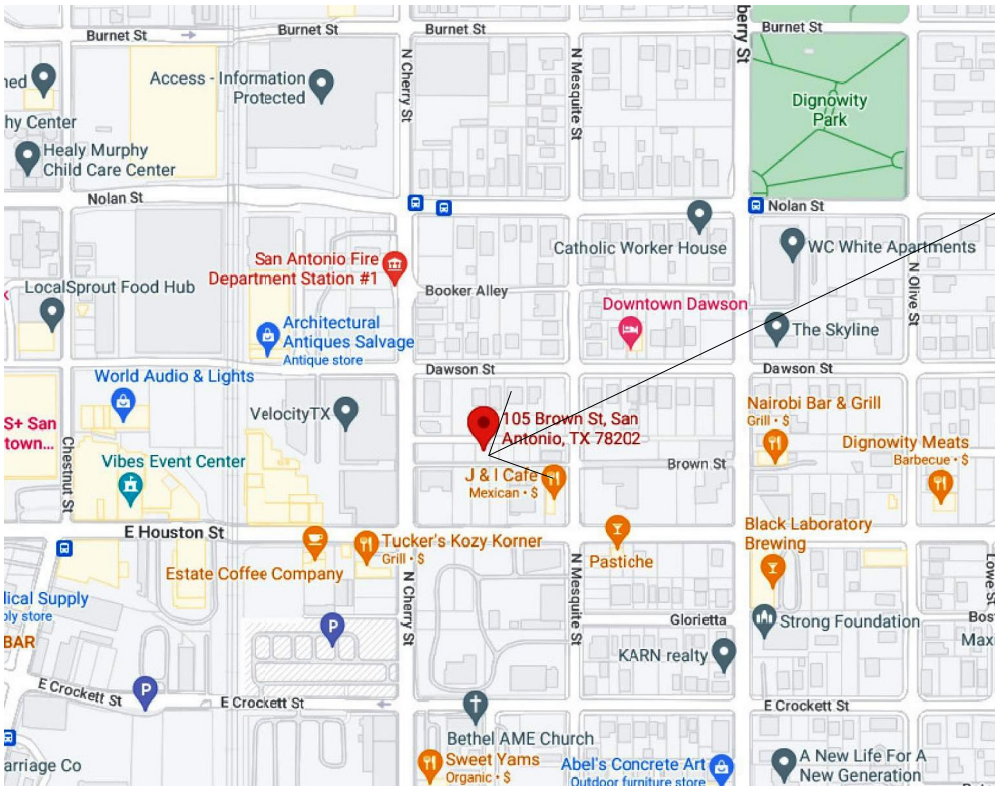
REVISIONS:	
DATE	ITEM

DRAWN BY: RAMC	SCALED: AS NOTED
CHCKD BY: RAMC	DATE: ----
	PROJECT No:
SHEET 1 of	5

# A NEW RESIDENCE

## WEST 30' OF EAST 100' OF LOT 10, BLOCK 17, NCB. 568, 113 BROWN ST. SAN ANTONIO, TEXAS

NCB. 568,  
113 BROWN ST.  
SAN ANTONIO, TEXAS



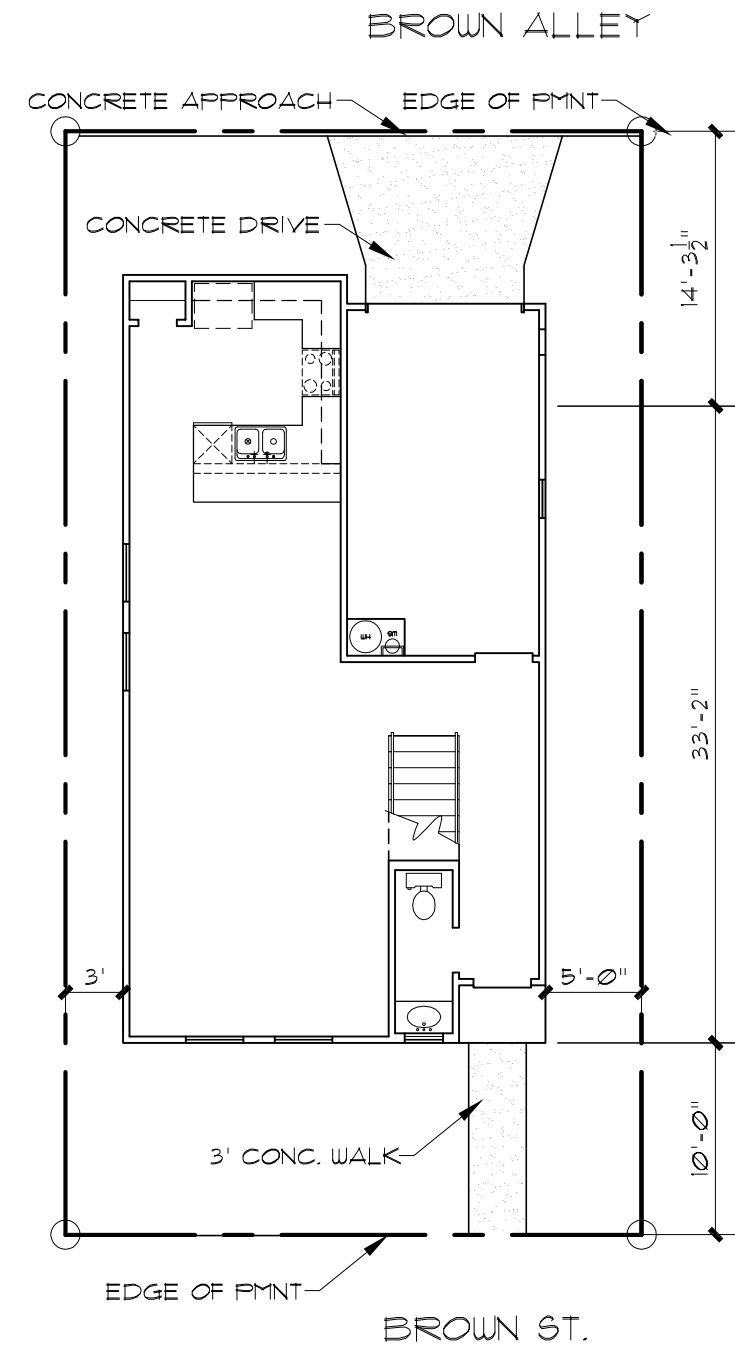
LOCATION MAP

N.T.S.



LOCATION MAP

N.T.S.



SITE PLAN

SCALE: 1" = 10'-0"

APPLICABLE CODES:  
2022 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL CITY AMENDMENTS  
UNIFIED DEVELOPMENT CODE  
2022 NATIONAL ELECTRICAL CODE WITH LOCAL CITY AMENDMENTS  
2022 NATIONAL ELECTRICAL CODE CITY CODE CHAPTER 10  
(ELECTRICAL)  
2022 UNIFORM PLUMBING CODE WITH LOCAL CITY AMENDMENTS  
2022 INTERNATIONAL ENERGY CONSERVATION CODE.

#### CONTRACTOR NOTES:

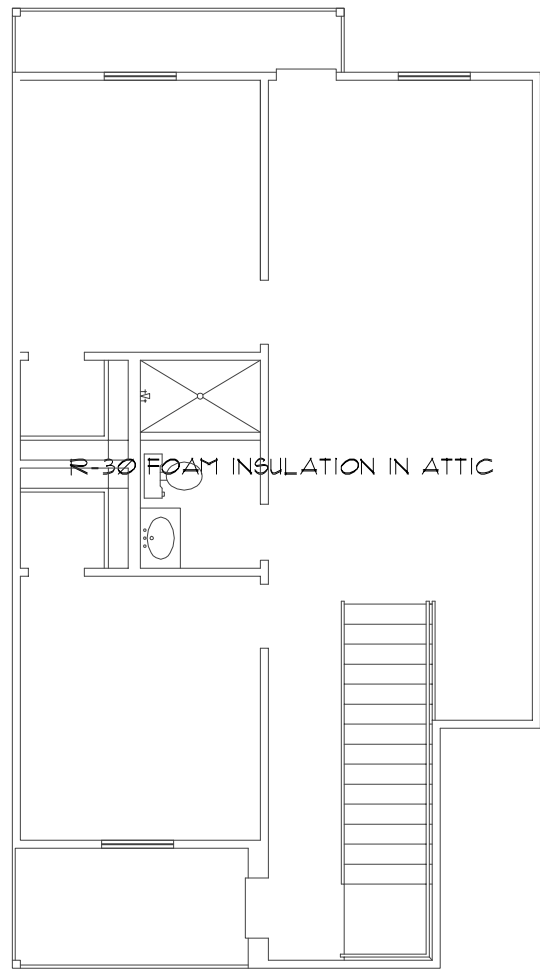
WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING MATERIALS. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS AND DETAILS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES OR OMISSIONS FROM THE WORKING DRAWINGS, DETAILS AND DRAWINGS ARE BUILDER'S TYPE AND THE DESIGNER OF THIS SET OF PLANS, HERBY NOTIFIED BOTH OWNER AND CONTRACTOR THAT THE "DESIGNER" RELIEVES HIMSELF OF LIABILITIES TO SAID WORKING DRAWINGS. ALL OF THE DESIGN CONCEPTS, WORKING DRAWINGS AND DETAILED PLANS CONTAIN HEREIN REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF RICARDO MCCULLOUGH WHO EXPRESSLY RESERVES AND RETAINS THE RIGHT TO DUPLICATE CONSTRUCTION OF THIS PLANS IN WHOLE OR IN PART TO IT'S SOLE DISCRETION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT THE CONSTRUCTION OF THIS PROJECT MEETS ALL LOCAL CODES.

#### NOTES:

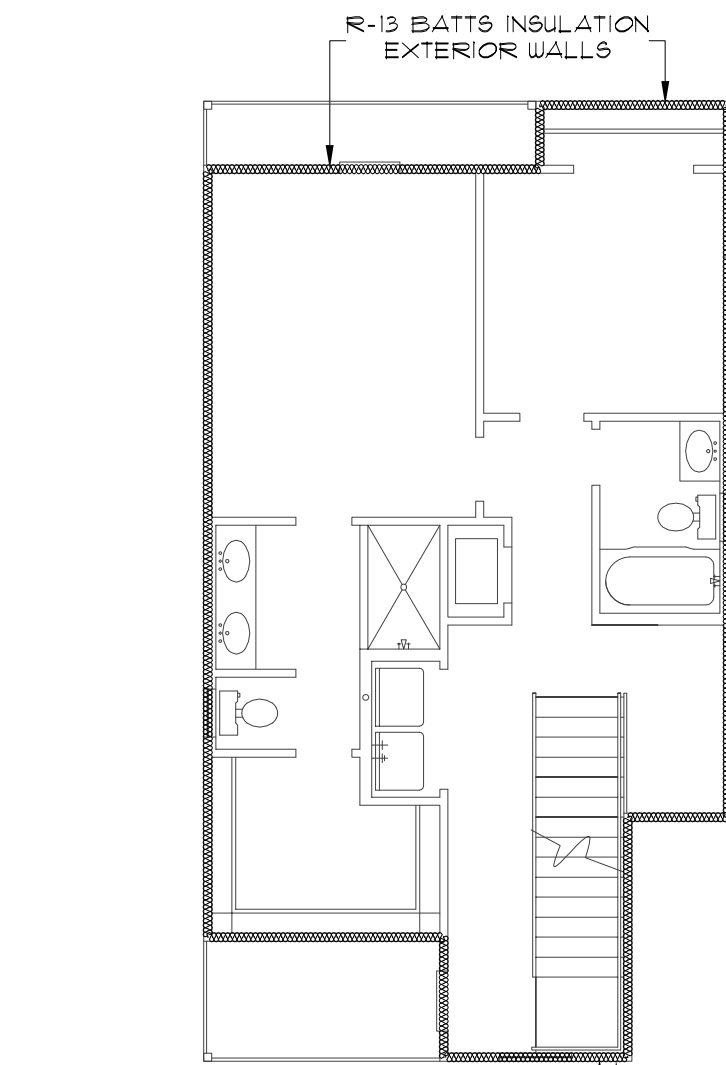
- 1st FLOOR PLATE AT 10'-0" AFF. 2nd AT 9'-0" AFF. 3rd AT 8'-0" AFF.
- 1st FLOOR WINDOW HEADER HT. AT 8'-0" AFF. 2nd AND 3rd AT 6'-8" AFF. UNLESS OTHERWISE NOTED.

#### MECHANICAL NOTES:

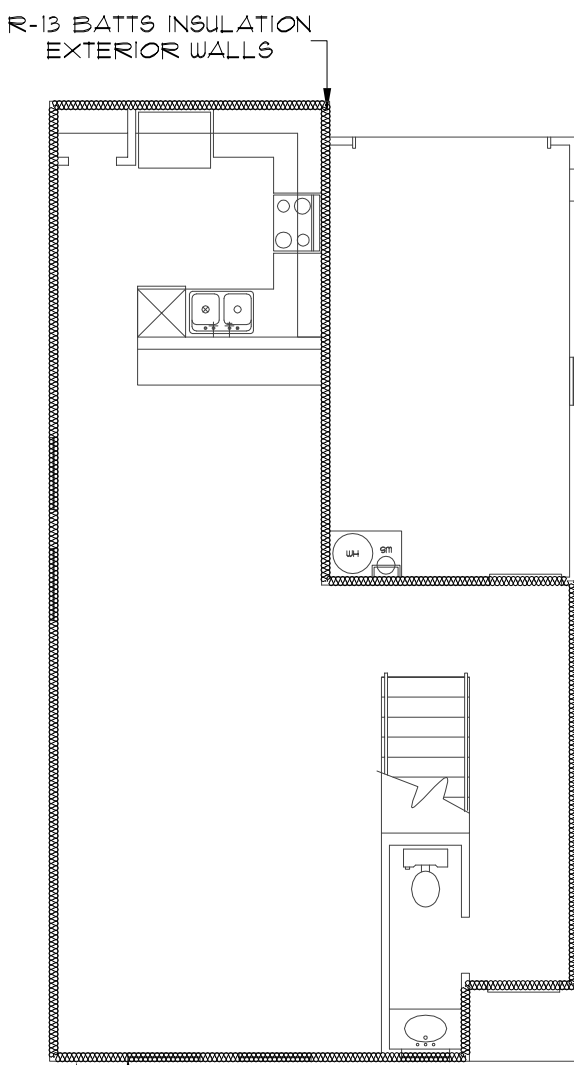
1. CLIMATE ZONE: 2
2. GLAZED FENESTRATION: SHGC: 0.30



CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATES SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED.  
EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER WALLS SHALL BE SEALED. SERVICE PENETRATIONS ARE SEALED AND AIR SEALING IS IN PLACE BEHIND OR AROUND SHOWER/TUB ENCLOSURES, ELECTRICAL BOXES, SWITCHES AND OUTLETS ON EXTERIOR WALLS.  
SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING IS SEALED.



R-13 BATT'S INSULATION EXTERIOR WALLS  
TYVEK AIR BARRIER AROUND EXTERIOR WALL PER R 402.4.1



R-13 BATT'S INSULATION EXTERIOR WALLS  
TYVEK AIR BARRIER AROUND EXTERIOR WALL PER R 402.4.1

INSULATION ENVELOPE

N.T.S.





McCULLOUGH  
DESIGN  
ASSOCIATES

84 N. E. LOOP 410,  
SUITE 217,  
SAN ANTONIO, TX 78216  
P.H. 843-1632

ricardo@mcculloughda.com  
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HOUSE FROM THIS PLAN, CONDITIONED ON  
THE TIMELY PAYMENT OF ALL SUMS DUE.

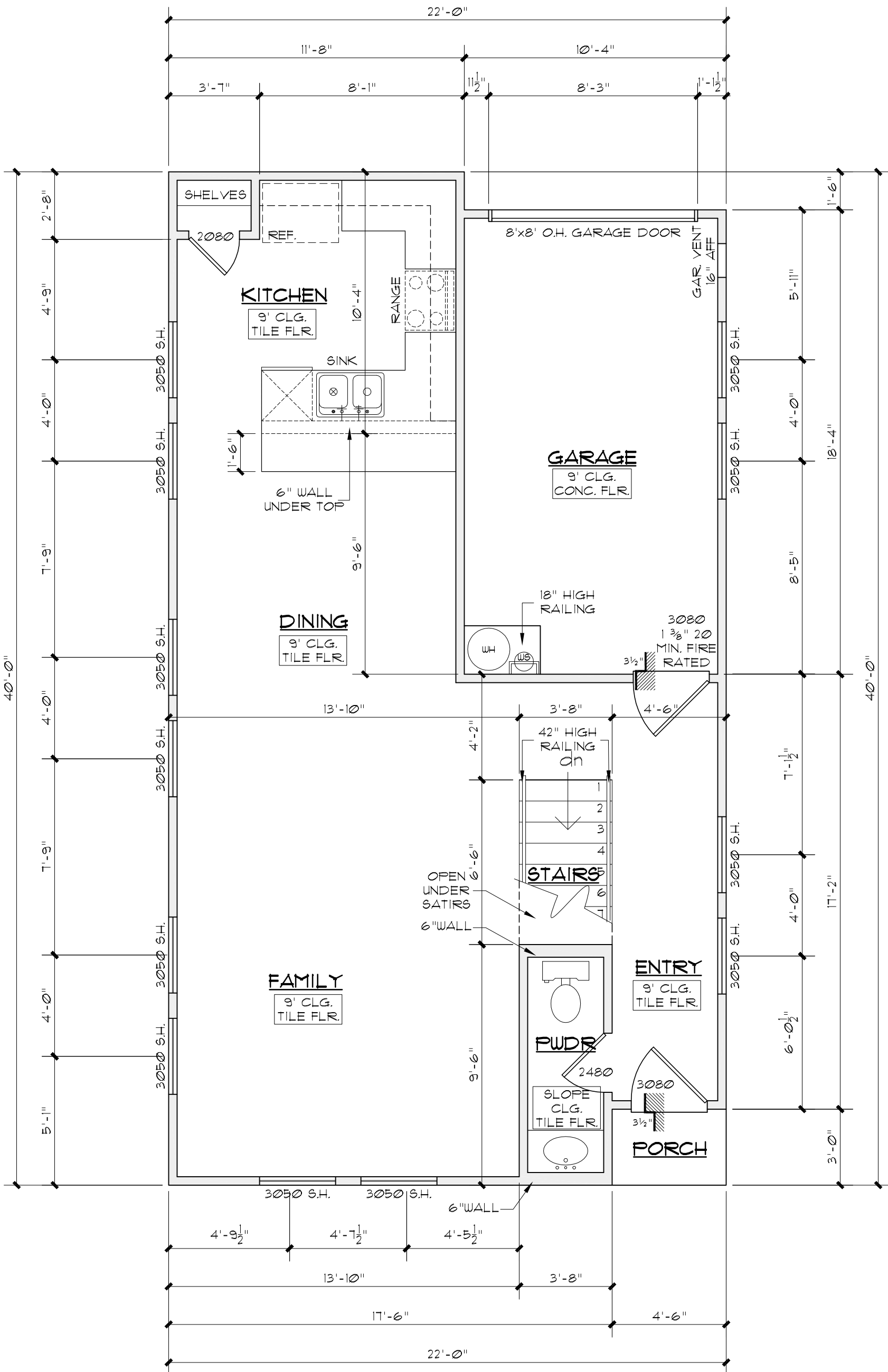
  
**VERGEL**  
CONSTRUCTIONS  
4040 BROADWAY STE. 240  
SAN ANTONIO, TX. 78209.

**A NEW RESIDENCE**  
WEST 30' OF EAST 100' OF LOT 10, BLOCK 17, NCB. 568,  
113 BROWN ST.  
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

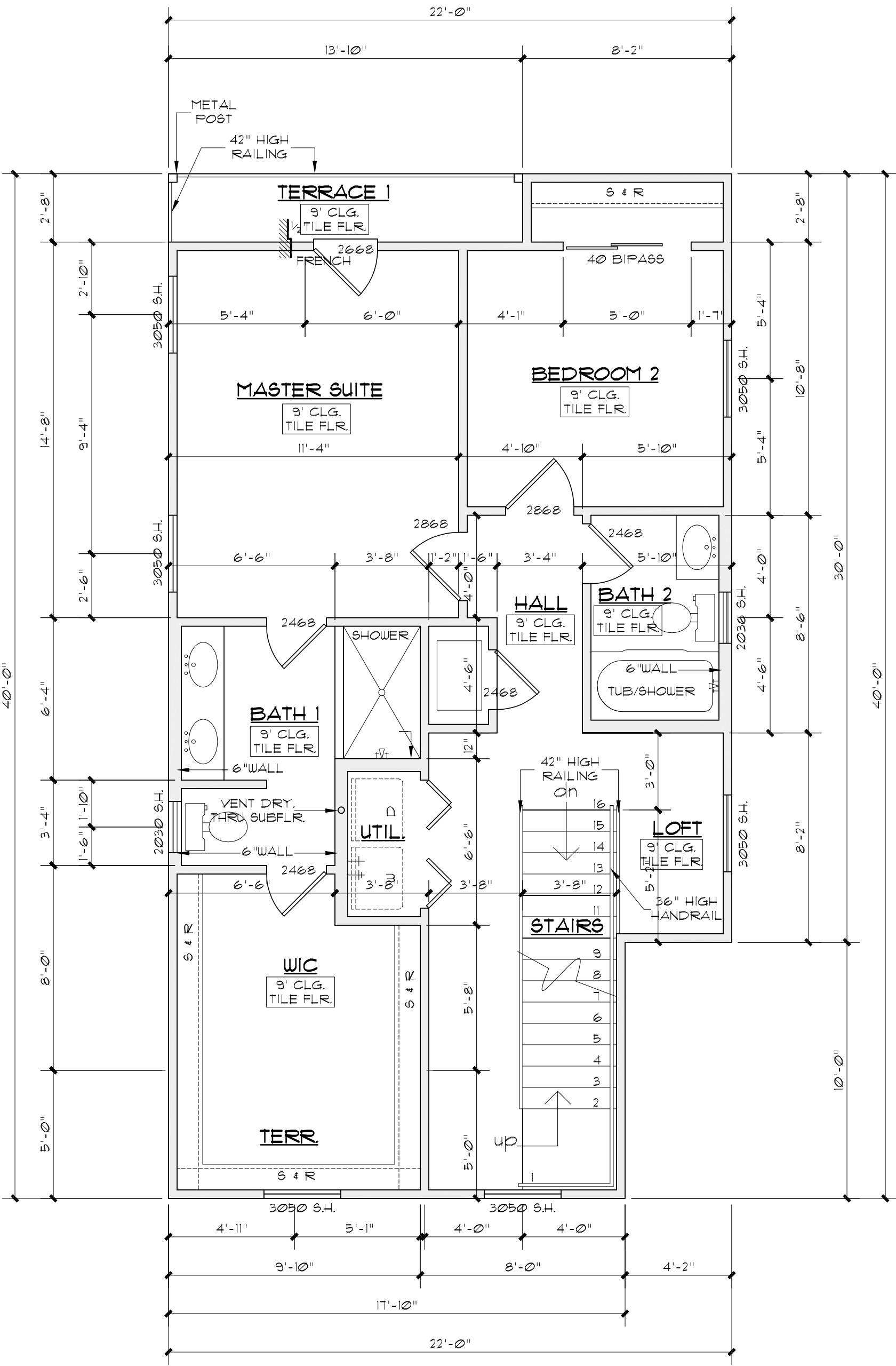
DRAWN BY: RAMC	SCALED: AS NOTED
CHCKD BY: RAMC	DATE: ----
	PROJECT No:
SHEET 2 of	5

AREAS	
1st FLOOR	662#
2nd FLOOR	131#
2nd FLOOR	124#
TOTAL LIVING	2,123#
PORCH	189#
GARAGE	14#
TERRACE 1	37#
TERRACE 2	37#
TOTAL BUILDING	2,400#
TOTAL SLAB	865#



1st FLOOR PLAN

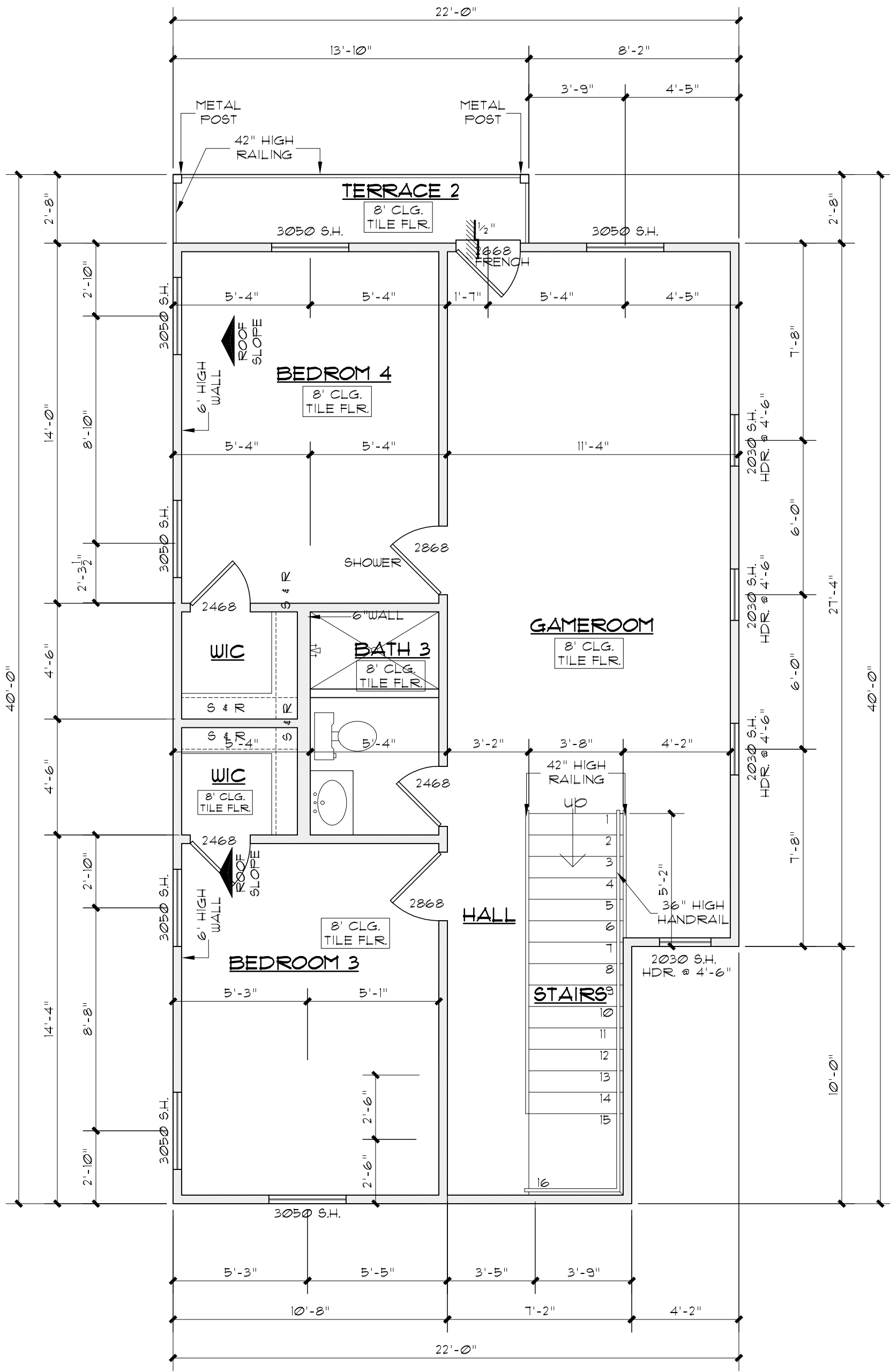
SCALE: 1/8" = 1'-0"



2nd FLOOR PLAN

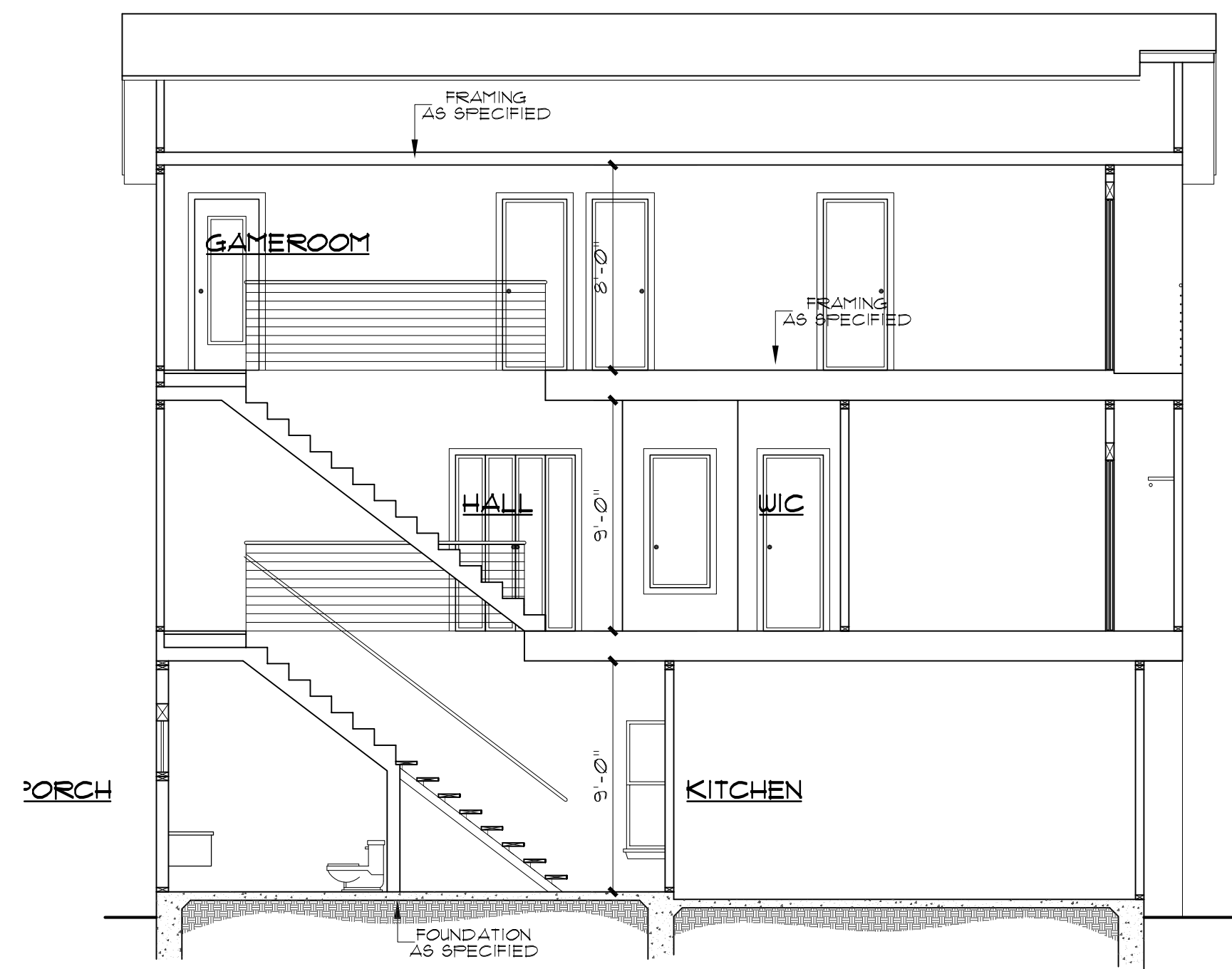
SCALE: 1/8" = 1'-0"

TOTAL LIVING: 2014#



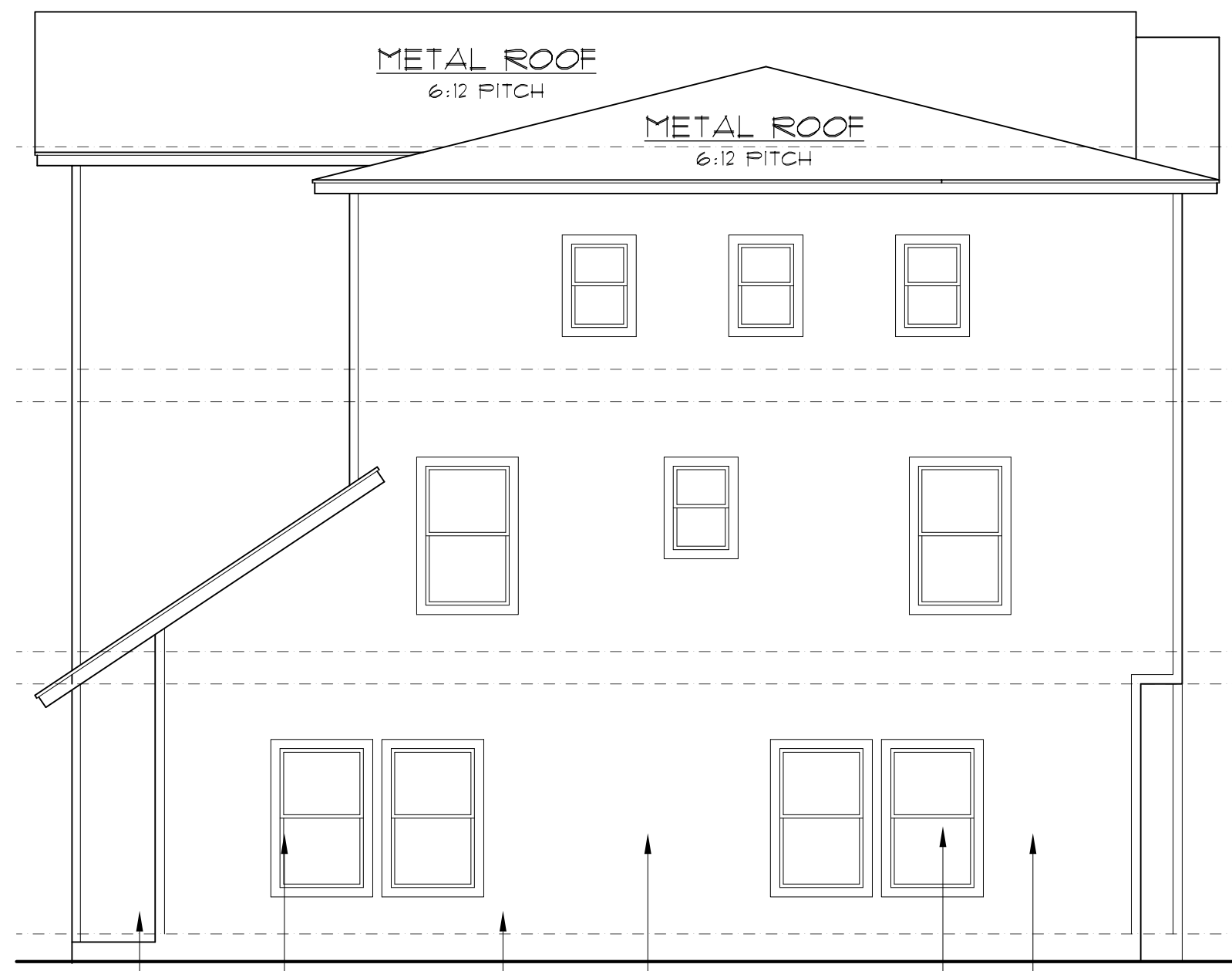
3rd FLOOR PLAN

SCALE: 1/8" = 1'-0"



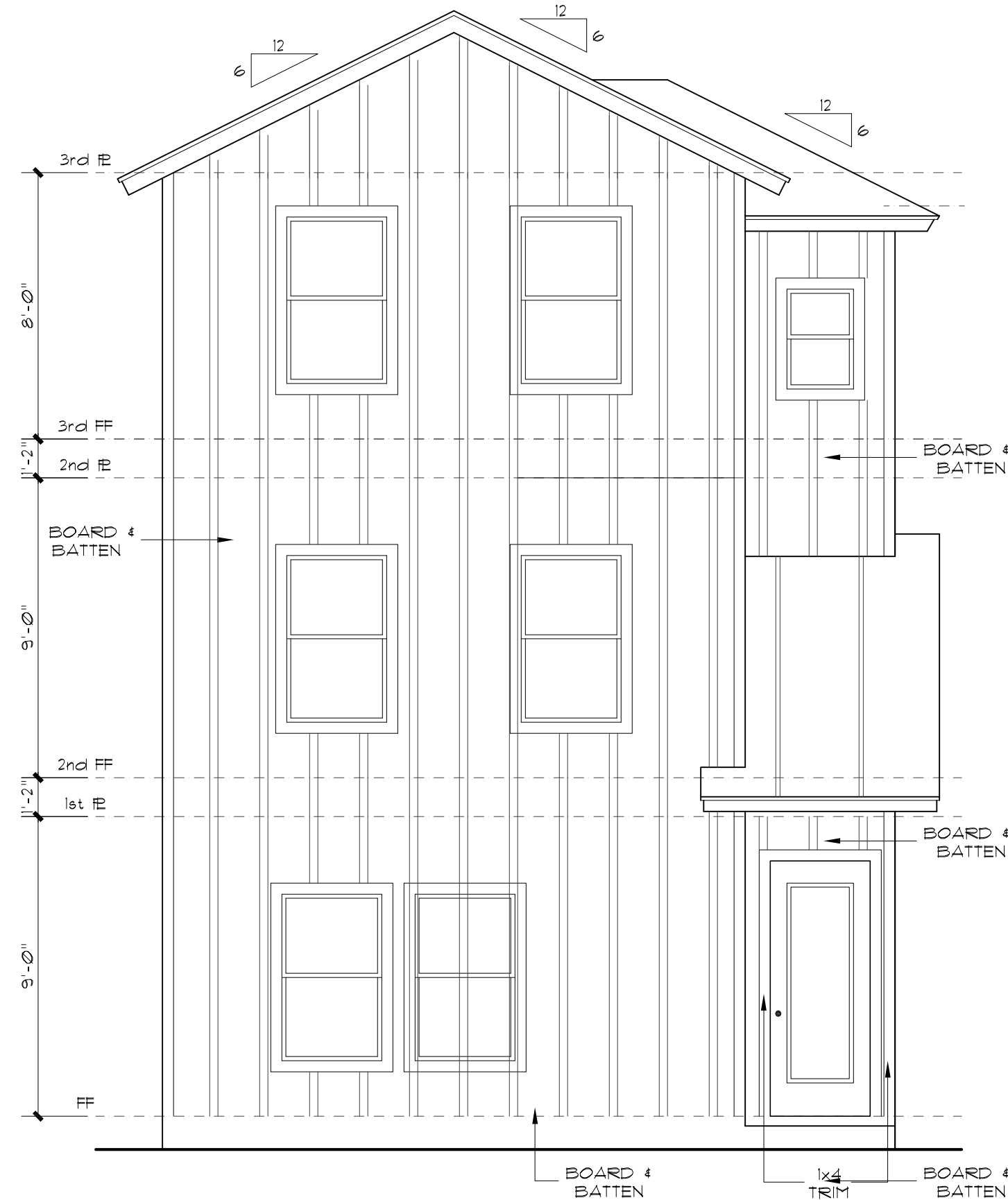
SECTION A-A

SCALE: 3/16" = 1'-0"



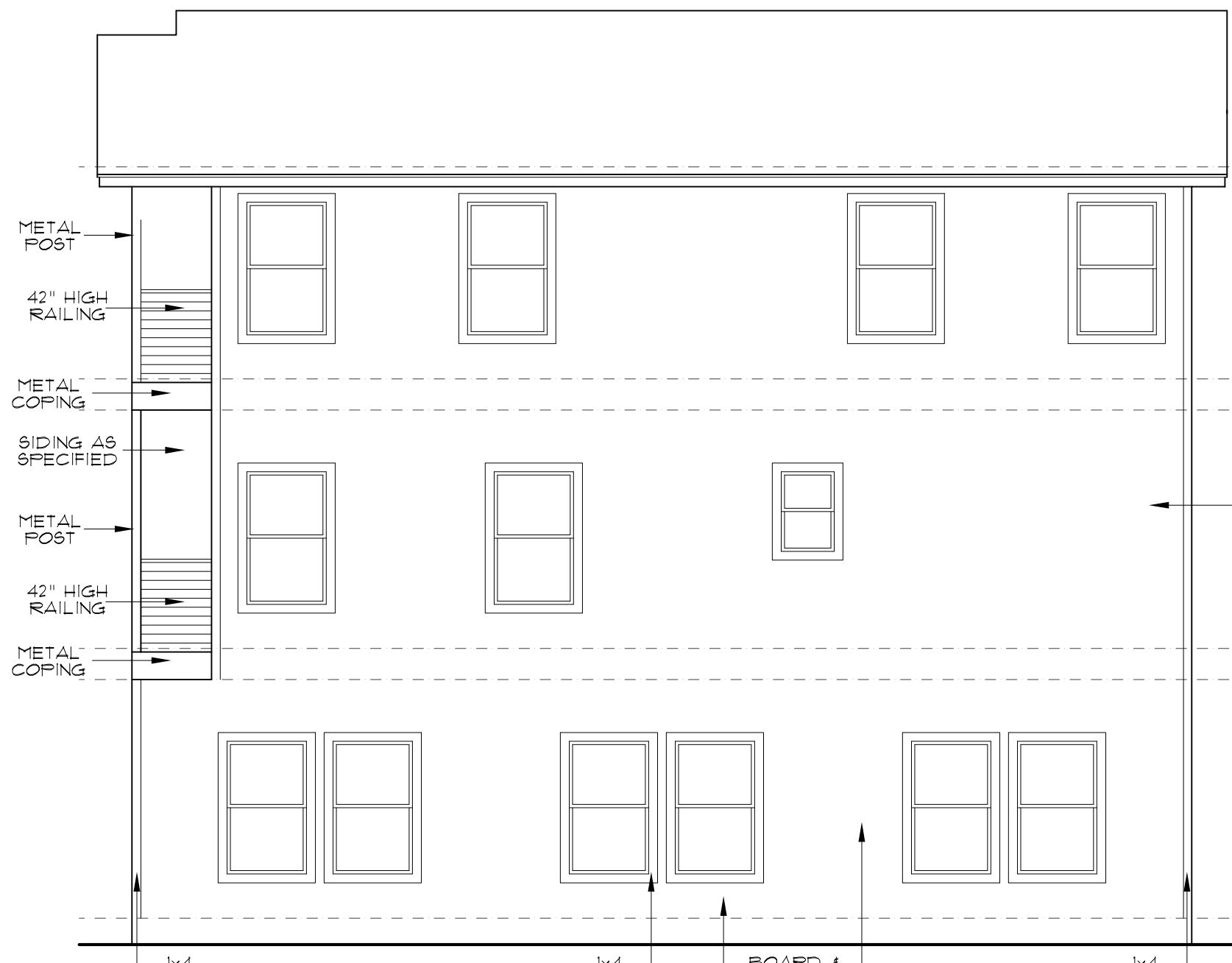
RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



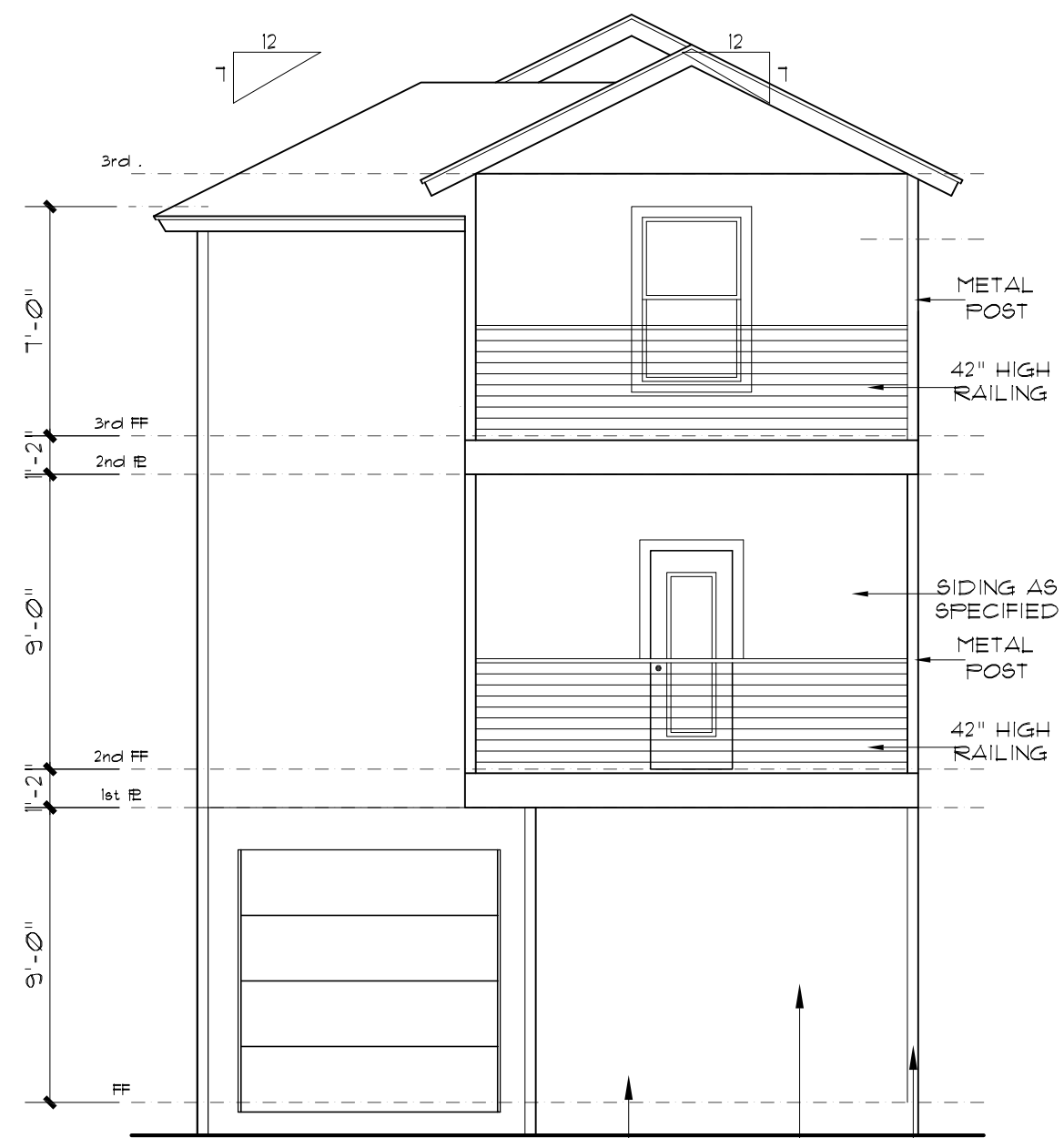
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



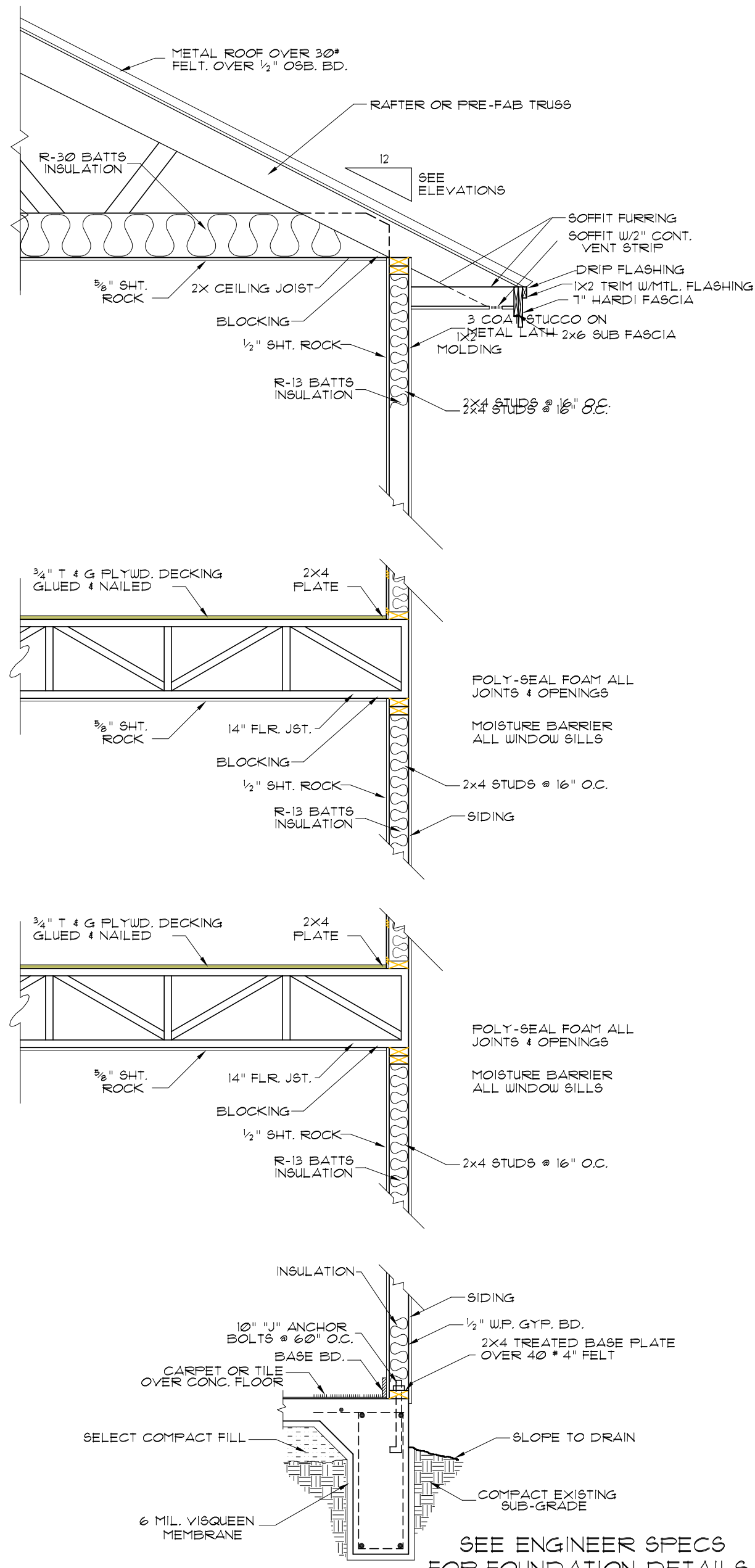
LEFT ELEVATION

SCALE: 3/16" = 1'-0"



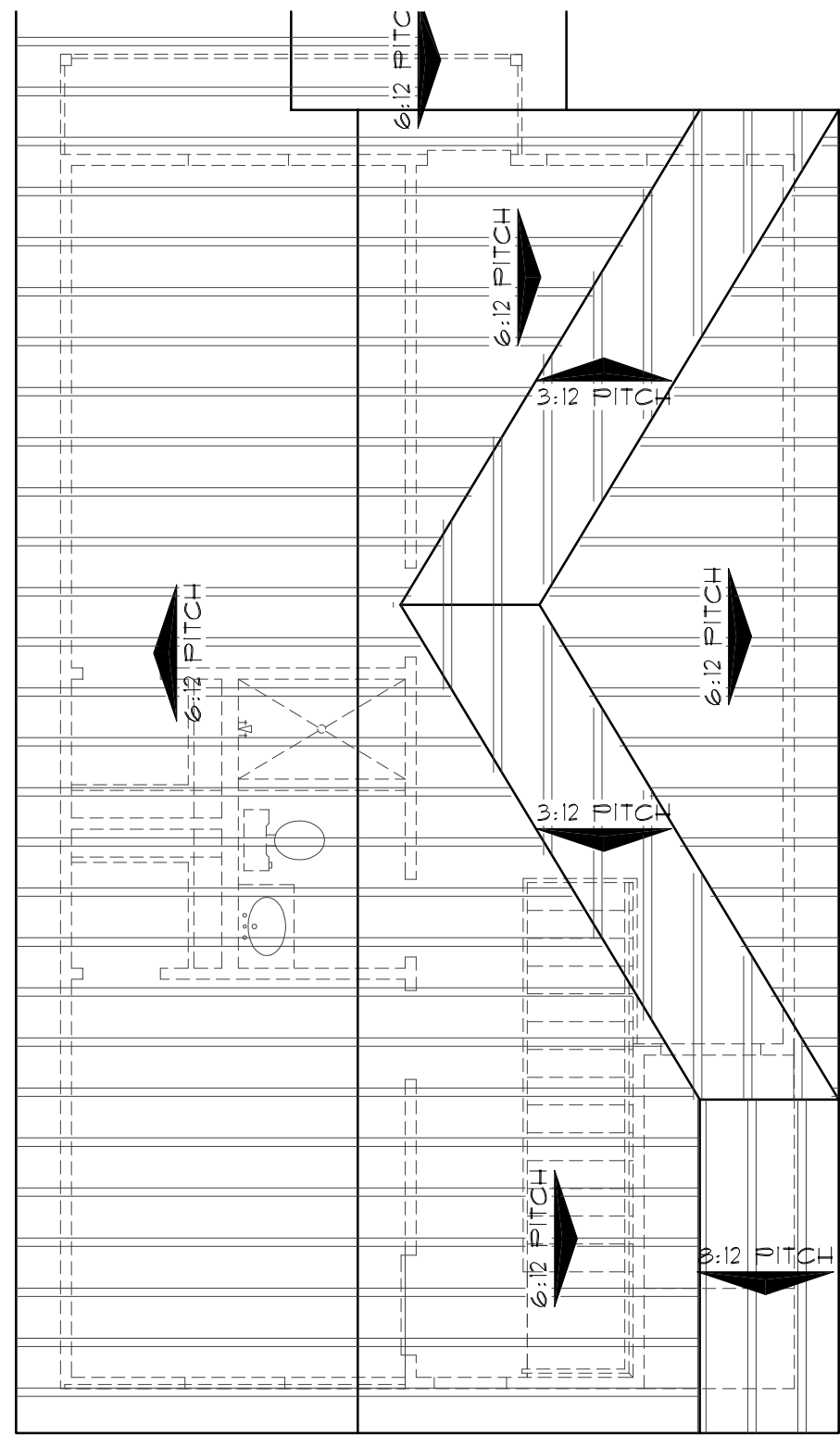
REAR ELEVATION

SCALE: 1/4" = 1'-0"



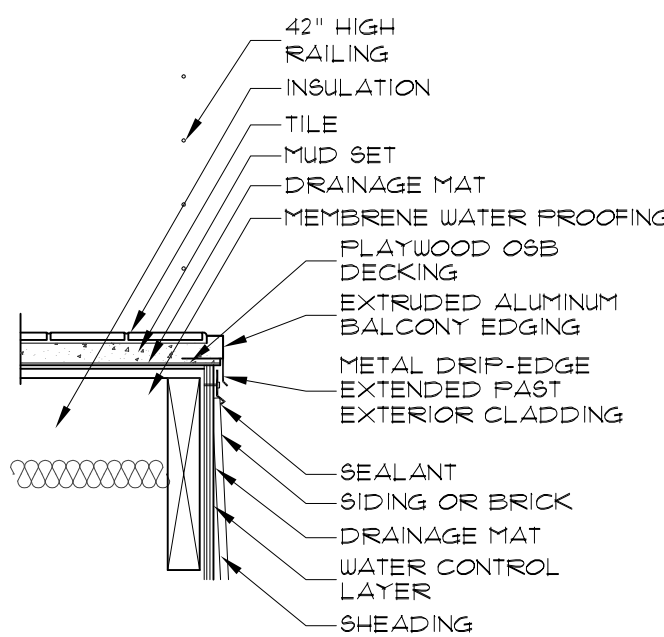
3 STORY STUCCO WALL SECTION

SCALE: 1/2" = 1'-0"



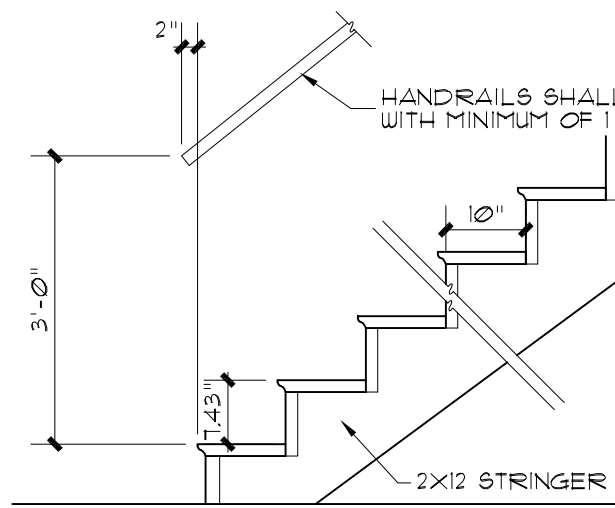
ROOF PLAN

SCALE: 1/8" = 1'-0"



TERRACE DRAIN DETAIL

SCALE: 1" = 1'-0"



STAIR DETAILS

SCALE: 1/2" = 1'-0"



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SHEET 3 of	5