

HISTORIC AND DESIGN REVIEW COMMISSION

June 29, 2022

HDRC CASE NO: 2022-353
ADDRESS: 1722 S ST MARYS ST
LEGAL DESCRIPTION: NCB 2979 BLK LOT W 42.8 FT OF S 22 FT OF 10
ZONING: IDZ-3, HL
CITY COUNCIL DIST.: 1
LANDMARK NAME: Individual Landmark
APPLICANT: Peter DeWitt/Adapt
OWNER: SANDERS SCOTT S/413 QUEEN ANNE CT
TYPE OF WORK: Fenestration changes, balcony removal, awning installation
APPLICATION RECEIVED: June 8, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Jessica Anderson

REQUEST:

The applicant requests a Certificate of Appropriateness for approval to:

1. Infill two windows on the east elevation and one window on the north elevation.
2. Replace two doors on the south elevation with windows salvaged from the east elevation.
3. Add one door with canopy to the east elevation.
4. Remove and replace the existing west canopy.
5. Convert the existing south balcony to a canopy.
6. Add a 3' wood partition to the east elevation.

APPLICABLE CITATIONS:

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.

- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. *Security bars*—Install security bars only on the interior of windows and doors.
- ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. *Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the facade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. *Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

11. Canopies and Awnings

A. MAINTENANCE (PRESERVATION)

- i. *Existing canopies and awnings*—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.
- B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)**
- i. *Replacement canopies and awnings*—Replace canopies and awnings in-kind whenever possible.
 - ii. *New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).
 - iii. *Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.
 - iv. *Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.
 - v. *Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings.
 - vi. *Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

Standard Specifications for Replacement Windows

Consistent with the Historic Design Guidelines, the following recommendations are made for replacement windows:

- **MATERIALS:** If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.
- **SASHES:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- **TRIM:** Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- **GLAZING:** Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- **COLOR:** Replacement windows should feature a painted finish. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- **INSTALLATION:** Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.

FINDINGS:

- a. The property at 1722 S St Mary's St is a two-story stucco-clad commercial structure built c. 1931. It first appears on the 1931 Sanborn Fire Insurance map as a corner store with a one-story wraparound porch. The flat roof has a stepped parapet on the south side. The building has one-over-one wood sash windows and modern 15-lite doors. The building is an individual landmark located in a River Improvement Overlay (RIO-4).
- b. **ADMINISTRATIVE APPROVAL:** The applicant requests approval to add a 3' wood partition to the east elevation. This scope of work is eligible for administrative approval and does not require review by the HDRC.
- c. **FENESTRATION CHANGES:** The applicant requests approval to infill two windows on the east elevation and one window on the north elevation, replace two doors on the south elevation with windows salvaged from the east elevation, and add one door to the east elevation salvaged from the south elevation. Per Historic Design Guidelines Chapter 2, 6.A.i, existing opening should be preserved. Staff finds these requests do not conform to guidelines.
- d. **WINDOWS:** The applicant requests approval to infill two windows on the east elevation and one on the north elevation and replace two doors on the south elevation with one-over-one windows. Per Historic Design

Guidelines Chapter 2, 6.A.i, existing openings should be preserved. Should the HDRC approve fenestration changes in finding c, staff finds the salvage and onsite reuse of windows appropriate.

- e. **DOORS:** The applicant requests approval to replace two doors on the south elevation with windows and salvage one of the doors for a new door introduced on the first floor of the east elevation. Per Historic Design Guidelines Chapter 2, 6.A.i, existing openings should be preserved. Should the HDRC approve replacing existing south doors per finding c, staff finds salvage and reuse of a door on the east elevation appropriate. Should HDRC deny the request for fenestration changes, staff finds the addition of a new door on the east elevation generally appropriate since it appears at the rear of the structure. The new door should conform to Historic Design Guidelines Chapter 2, 6.B.i, which states that new doors should match existing doors in size, material, and profile. The new canopy should be based on architectural style of the building and be proportionate in shape and size to the scale of the building, per Historic Design Guidelines Chapter 2, 11.B.ii.
- f. **WEST CANOPY:** The applicant requests approval to remove and replace the existing west canopy and convert the existing south balcony to a canopy. Historic Design Guidelines Chapter 2, 10.A.i, suggests that character-defining features of historic buildings be preserved, and 10.A.iii suggests that missing features should be replaced in-kind based on evidence. The 1931 Sanborn Fire Insurance map, the first map on which the structure appears, shows a two-story store with one-story wraparound porch. Staff finds removal and replacement of the existing west canopy appropriate since it is not an historic feature.
- g. **SOUTH BALCONY:** The applicant requests to convert the existing south balcony to a canopy and remove the west end of the existing balcony. The 1931 Sanborn Fire Insurance map, the first map on which the structure appears, shows a two-story store with one-story wraparound porch. Staff finds removing part of the existing south porch and altering its function to a canopy does not conform to guidelines.

RECOMMENDATION:

Staff does not recommend approval of item 1, infilling two windows on the east elevation and one window on the north elevation, based on finding c.

Staff does not recommend approval of item 2, replacing two doors on the south elevation with windows salvaged from the east elevation, based on findings d.

Staff recommends approval of item 3, adding one door with canopy to the east elevation, based on finding e, with the following stipulations:

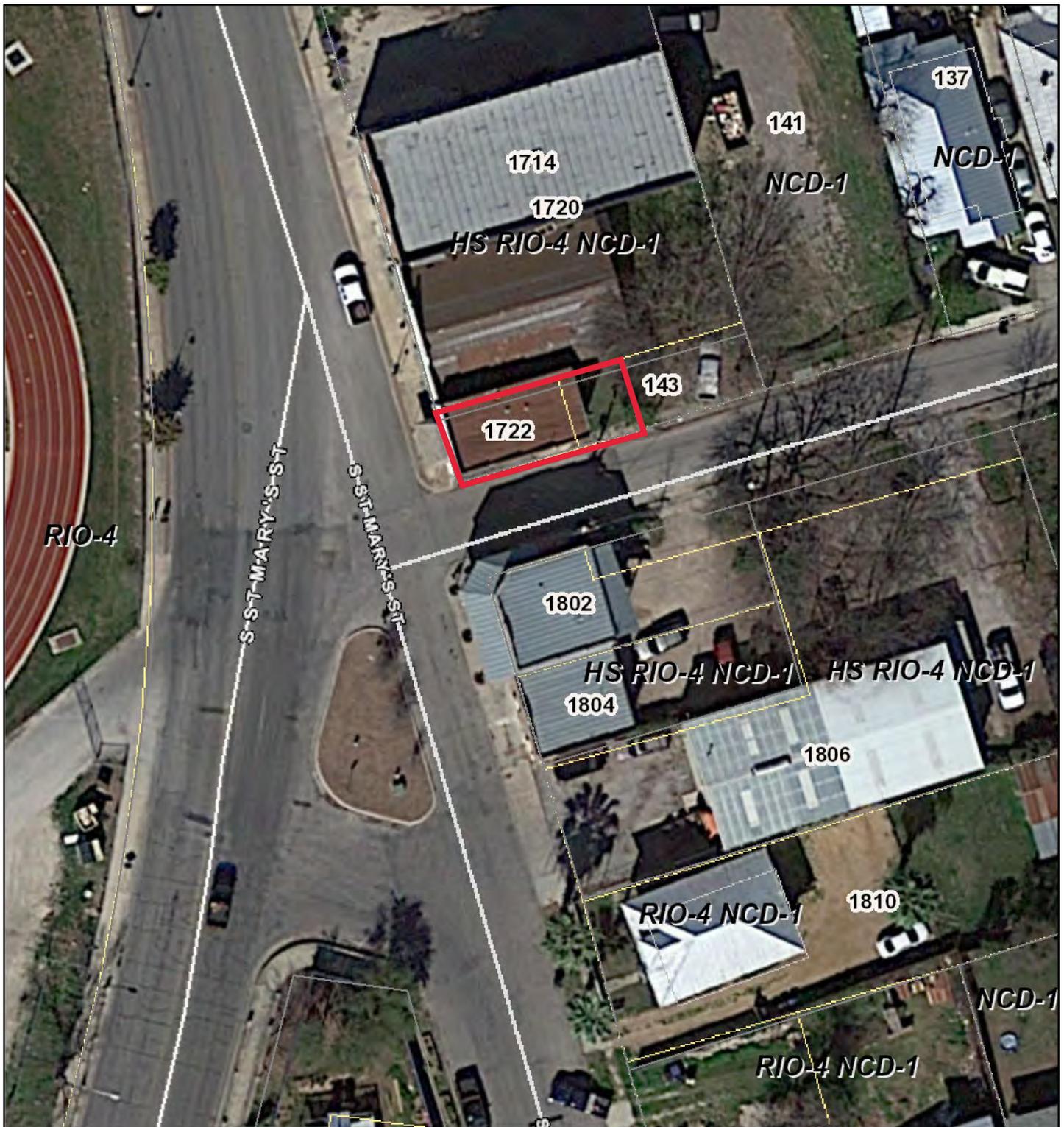
- i. That the new door match existing doors in size, material, and profile.
- ii. That the new canopy be based on architectural style of the building and be proportionate in shape and size to the scale of the building.

Staff recommends approval of item 4, removal and replacement of west canopy, based on finding f, with the following stipulation:

- i. That the new canopy be based on architectural style of the building and be proportionate in shape and size to the scale of the building.

Staff does not recommend approval of item 5, conversion of the existing south balcony to a canopy, based on finding g.

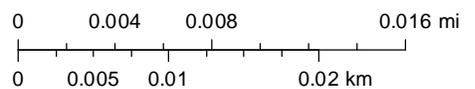
City of San Antonio One Stop



June 23, 2022

1:500

- CoSA Addresses
- Community Service Centers
- Pre-K Sites
- CoSA Parcels
- BCAD Parcels
- Zoning Overlay Label
- COSA City Limit Boundary





363

MARNE AV. (DITTMAR)

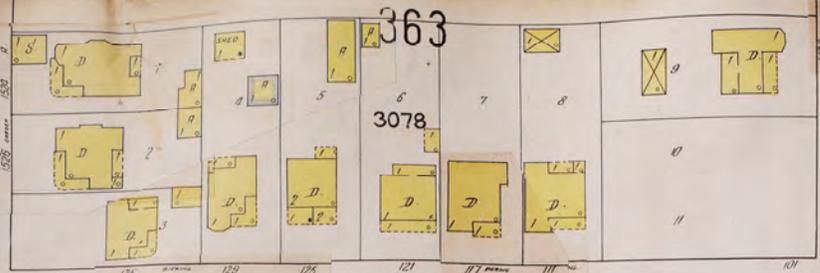
GEO. W. BRACKENRIDGE HIGH SCHOOL

40

A-69

RAY & COTTON WARE HD.

2830



363

3078

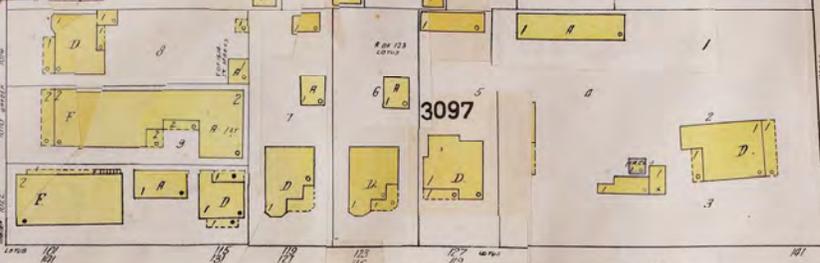
BIERING AV. NOT PAVED



3078

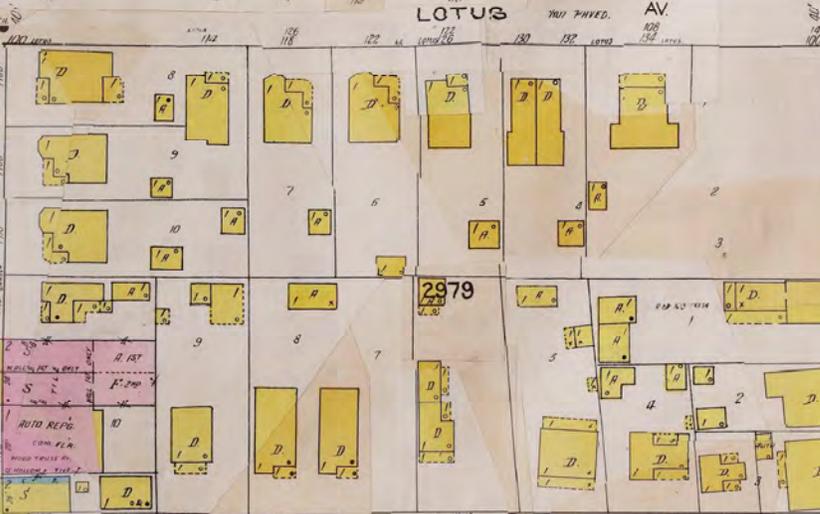
3097

LOTUS AV. NOT PAVED



2979

JACOBS AV. NOT PAVED



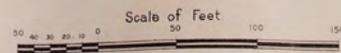
3075

VITRA MACADAMIZED PL



2979

365



364

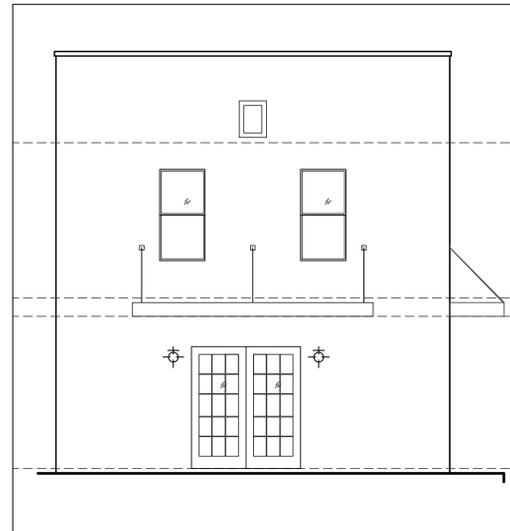
KEARNEY ST.

S. PRESA

LOTUS AV.

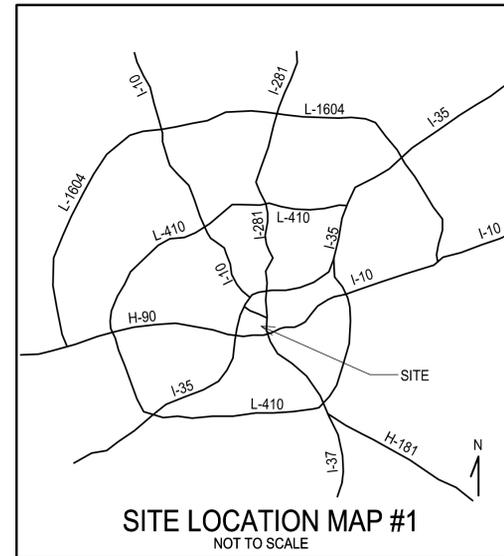
DENTON

1722 S ST. MARY'S ST., SAN ANTONIO, TX 78210



GENERAL NOTES:

1. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE, ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL DRAWINGS OR SPECIFICATIONS, ADDENDUM, BULLETIN, OR OTHER DOCUMENT, SHALL BE AS BINDING AS IF REQUIRED BY ALL. CONTRACTOR SHALL USE ONLY COMPLETE SETS OF CONTRACT DOCUMENTS FOR EACH AND EVERY ITEM OF WORK.
2. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODE, ORDINANCES, A.D.A. T.A.S., AND REGULATIONS OF ALL GOVERNING BODIES.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES THAT HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS PER THESE PLANS AND SPECIFICATIONS IN THIS LOCALITY.
5. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT.
6. WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY AND COORDINATE HIS WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR AND ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION DUE TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
7. ALL TRAFFIC CONTROLS ON THIS PROJECT SHALL ADHERE TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
8. THE OWNER SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
9. THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE CONSENT OF THE OWNER OF THE OTHER PROPERTY.
10. THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION PROPERLY AND PROVIDE ALL SUITABLE FILL MATERIAL AS APPROVED BY THE SOILS ENGINEER, AND THE COST SHALL BE INCLUDED IN THE PRICE BID FOR THE RELATED ITEMS.
11. EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND/OR STATE REQUIREMENTS. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT OR DEBRIS ONTO PUBLIC OR ADJACENT PROPERTY. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY.
12. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS AND IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THAT THE CONTRACTOR SHALL REPLACE OR REPAIR ANY WORK OR MATERIAL FOUND TO BE DEFECTIVE.
13. CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE IS USING ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHER SHALL VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED BY ALL APPLICABLE PERMIT-ISSUING AGENCIES.
14. SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
15. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED, IF EXISTING UTILITY CONSTRUCTION CONFLICTS WITH REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
16. INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, EXCEPT THAT THE SPECIFICATIONS, WHERE MORE STRINGENT, SHALL GOVERN.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TAPS, EXTENSIONS, WATER, AND ELECTRICITY FOR ALL PROJECT FUNCTIONS, OFFICE, STORAGE, ETC.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN TELEPHONE, TOILET, VALVES, OR OTHER DEVICES NECESSARY TO RUN POWER TOOLS AND EQUIPMENT. SUCH MODIFICATIONS TO EXISTING UTILITIES SHALL BE REMOVED AT COMPLETION OF THE PROJECT.
19. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT IN A TIMELY MANNER THAT WILL ALLOW NOT LESS THAN 10 DAYS FOR REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT CORRECT NUMBER REQUIRED, BUT NOT LESS THAN 4 COPIES.
20. THE GENERAL CONTRACTOR SHALL PROVIDE STREET NUMBERING ON THE BUILDING IN COMPLIANCE WITH LOCAL AUTHORITY.
21. ALL PENETRATIONS THRU WALLS SHALL BE SEALED AIR/WATER TIGHT AND CAULKED WITH 2 PART SEALANT EACH SIDE.
22. THE GENERAL CONTRACTOR SHALL PROVIDE (1) COPY OF AS-BUILT DRAWINGS TO THE OWNER AT THE COMPLETION OF THE PROJECT. AS-BUILT DRAWINGS SHALL BE KEPT ON THE JOB AT ALL TIMES AND UPDATED THROUGHOUT THE CONSTRUCTION PHASE.
23. UNLESS NOTED OTHERWISE, SITE PLAN DIMENSIONS ARE TO FACE OF CURB. FLOOR PLAN DIMENSIONS ARE TO FACE OF STUDS, FRAMING, MASONRY, CONCRETE WALL PANELS, OR FOUNDATION WALLS.



SHEET INDEX

A0.00	COVER
A1.00	SITE PLAN / ROOF PLAN
A1.10	SURVEY
A1.11	TREE AERIAL
A1.20	FIRST FLOOR DEMO PLAN
A1.30	SECOND FLOOR DEMO PLAN
A2.00	FIRST FLOOR PLAN
A2.10	SECOND FLOOR PLAN
A3.10	DEMO EXTERIOR ELEVATIONS
A3.20	EXTERIOR ELEVATIONS
A3.30	SECTIONS
A4.00	INTERIOR ELEVATIONS
A4.10	INTERIOR ELEVATIONS
A4.20	INTERIOR ELEVATIONS
A4.30	INTERIOR ELEVATIONS
A4.40	INTERIOR ELEVATIONS
A4.50	INTERIOR ELEVATIONS
A5.00	FIRST FLOOR ELECTRICAL PLAN
A5.10	SECOND FLOOR ELECTRICAL PLAN
A7.00	SCHEDULES
A8.00	EXISTING CONDITIONS

adapt

ARCHITECTURE+
CONSTRUCTION

ADAPT
Architecture + Construction
1826 McCullough Ave.
San Antonio, TX 78212
210.844.1687
210.267.7787
www.adapttx.com

DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210



© 2022 ADAPT ARCHITECTURE AND CONSTRUCTION LLC (AAC) All Rights Reserved. This drawing and its reproductions are the property of AAC. It may not be reproduced, published, or used in any way without the written permission of AAC.

NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

COVER

OF --

DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210

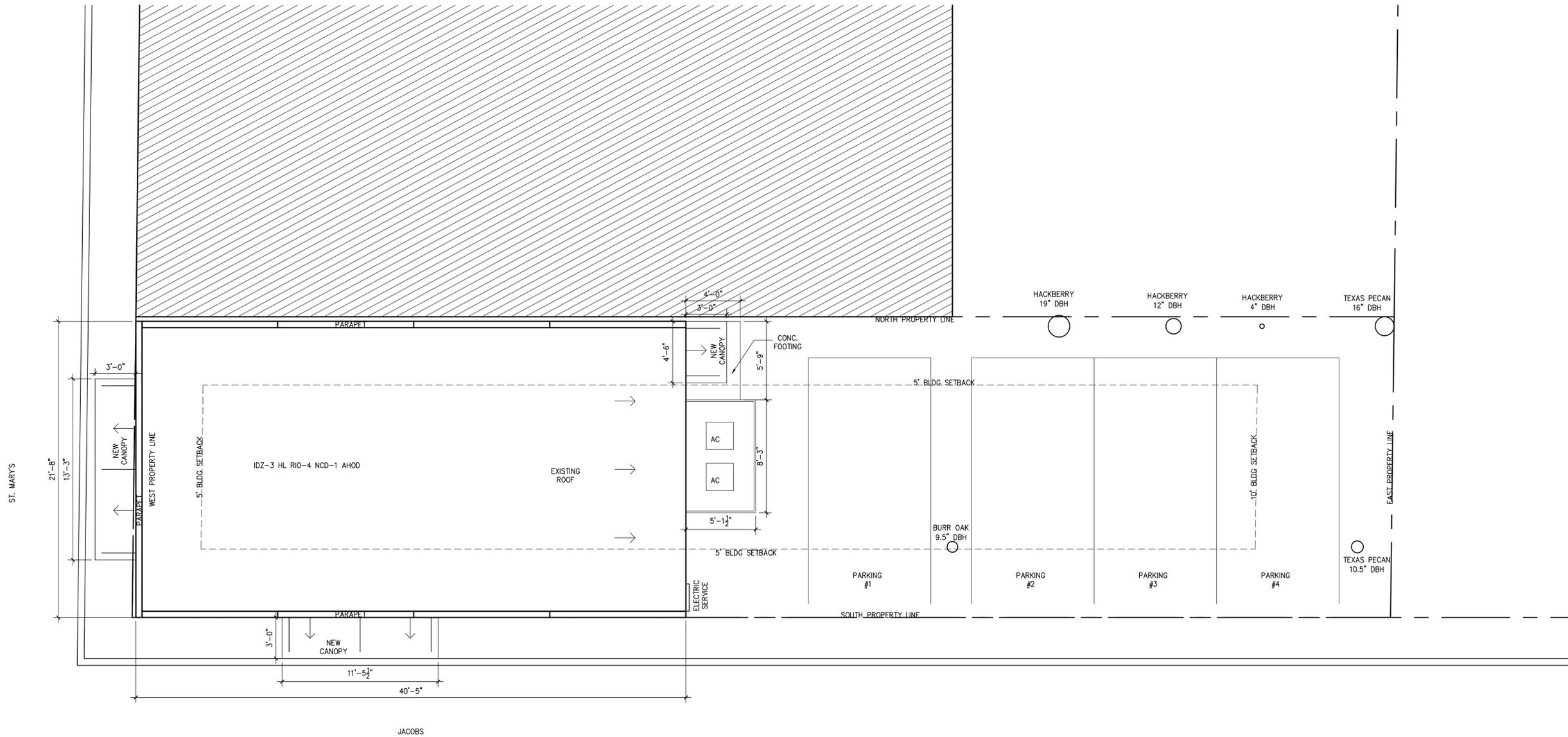


© 2022 ADAPT ARCHITECTURE AND CONSTRUCTION, LLC (AAC). All Rights Reserved. This drawing and its reproductions are the property of AAC. It may not be reproduced, published, or used in any way without the written permission of AAC.

NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

SITE PLAN

A1.00
OF --



1 SITE PLAN
SCALE: 1/4"=1'-0"



DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210

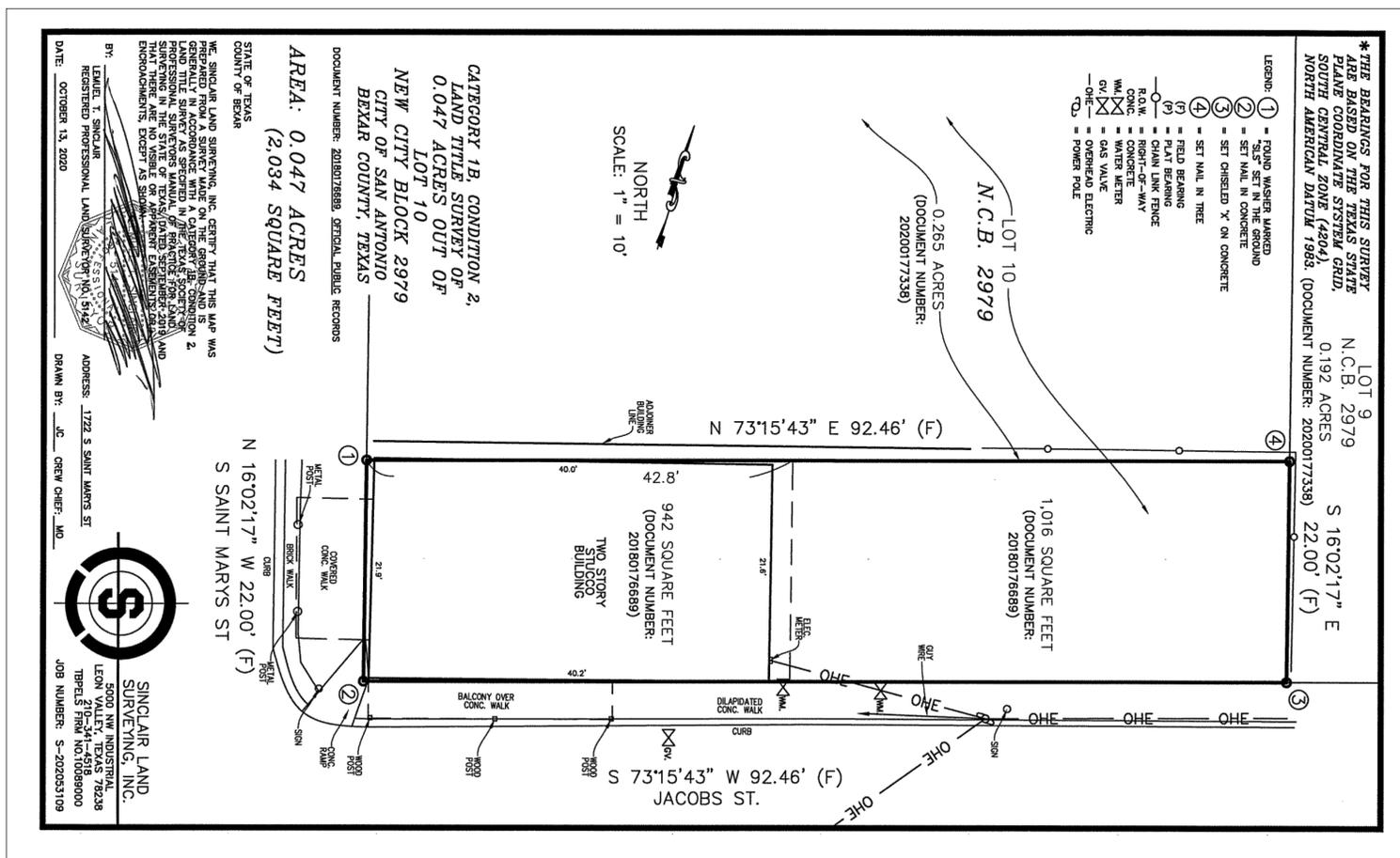


© 2022 ADAPT ARCHITECTURE AND CONSTRUCTION, LLC (AAC). All Rights Reserved. This drawing and its reproductions are the property of AAC. It may not be reproduced, published, or used in any way without the written permission of AAC.

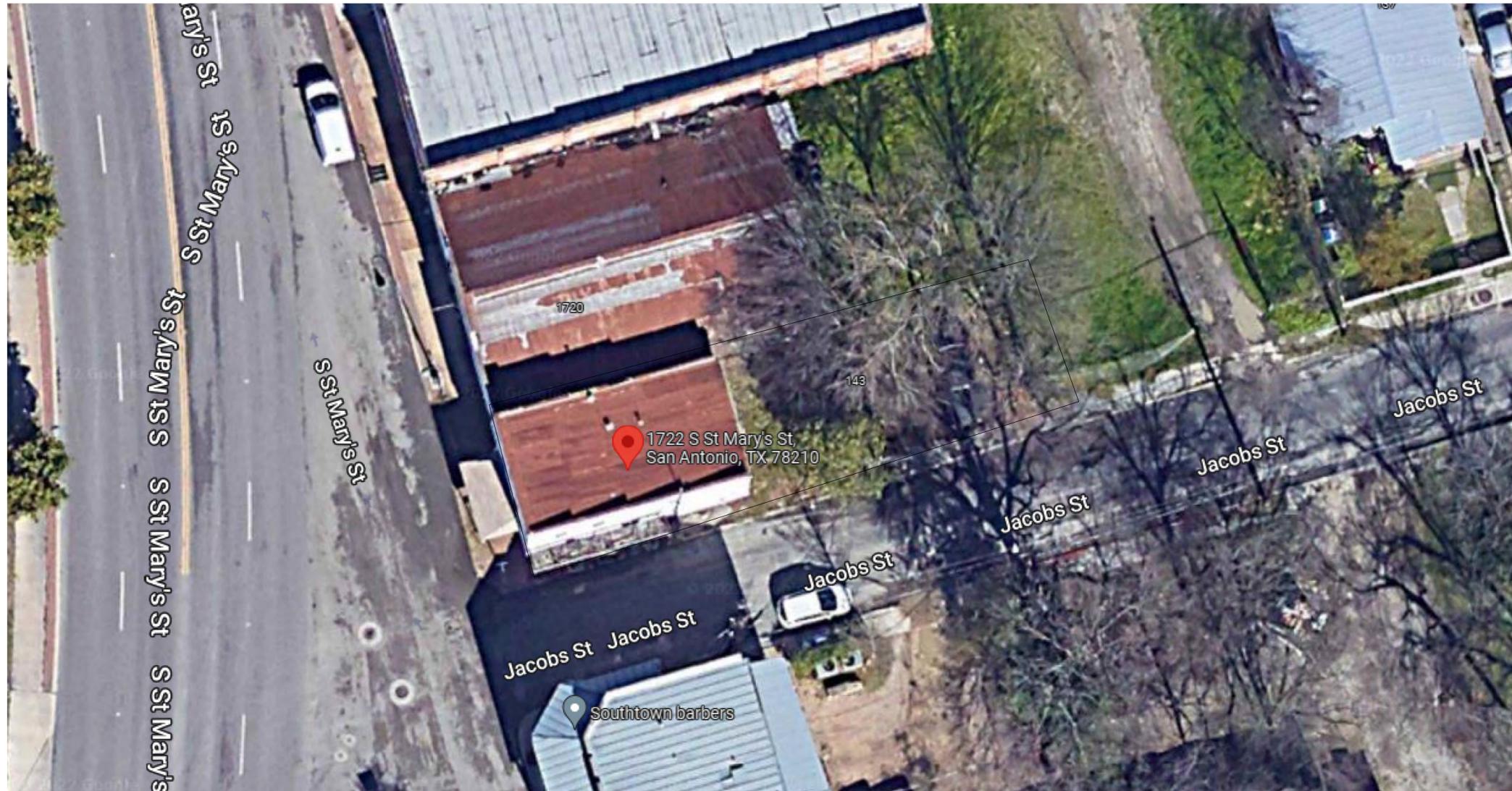
NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

SURVEY

A1.10
OF --



1 SURVEY
SCALE: 1/8"=1'-0"



1 TREE AERIAL
SCALE:

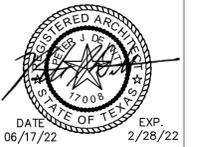
adapt

ARCHITECTURE+
CONSTRUCTION

ADAPT
Architecture + Construction
1826 McCullough Ave.
San Antonio, TX 78212
210.844.1687
210.267.7787
www.adapttx.com

DENTON

1722 S. ST MARY'S ST,
SAN ANTONIO, TX
78210



© 2022 ADAPT ARCHITECTURE
AND CONSTRUCTION, LLC (AAC). All
Rights Reserved. This drawing and
its reproductions are the property
of AAC. It may not be reproduced,
published, or used in any way
without the written permission of
AAC.

NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

TREE AERIAL

A1.11
OF --

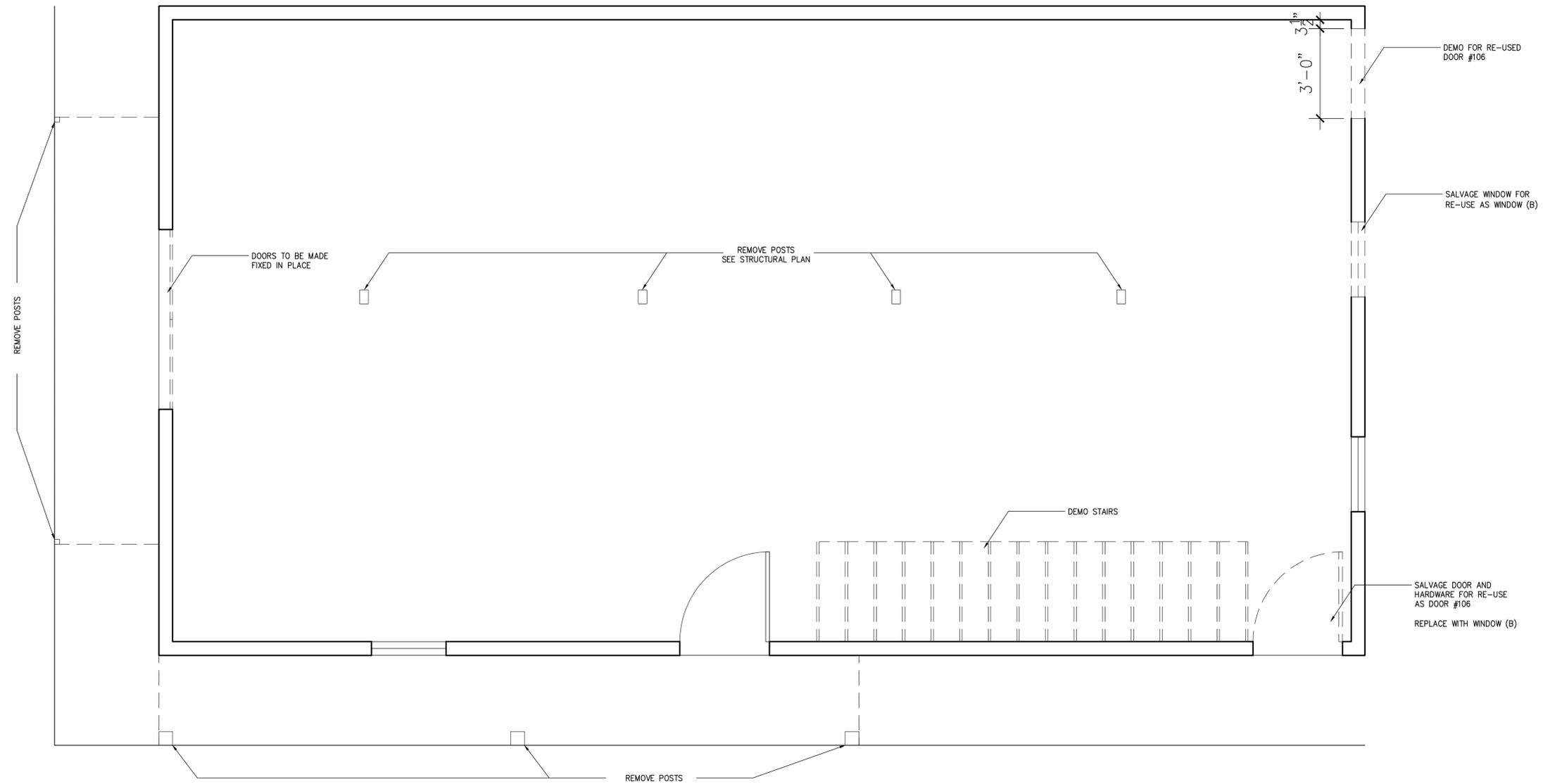
DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210



© 2022 ADAPT ARCHITECTURE AND CONSTRUCTION, LLC (AAC). All Rights Reserved. This drawing and its reproductions are the property of AAC. It may not be reproduced, published, or used in any way without the written permission of AAC.

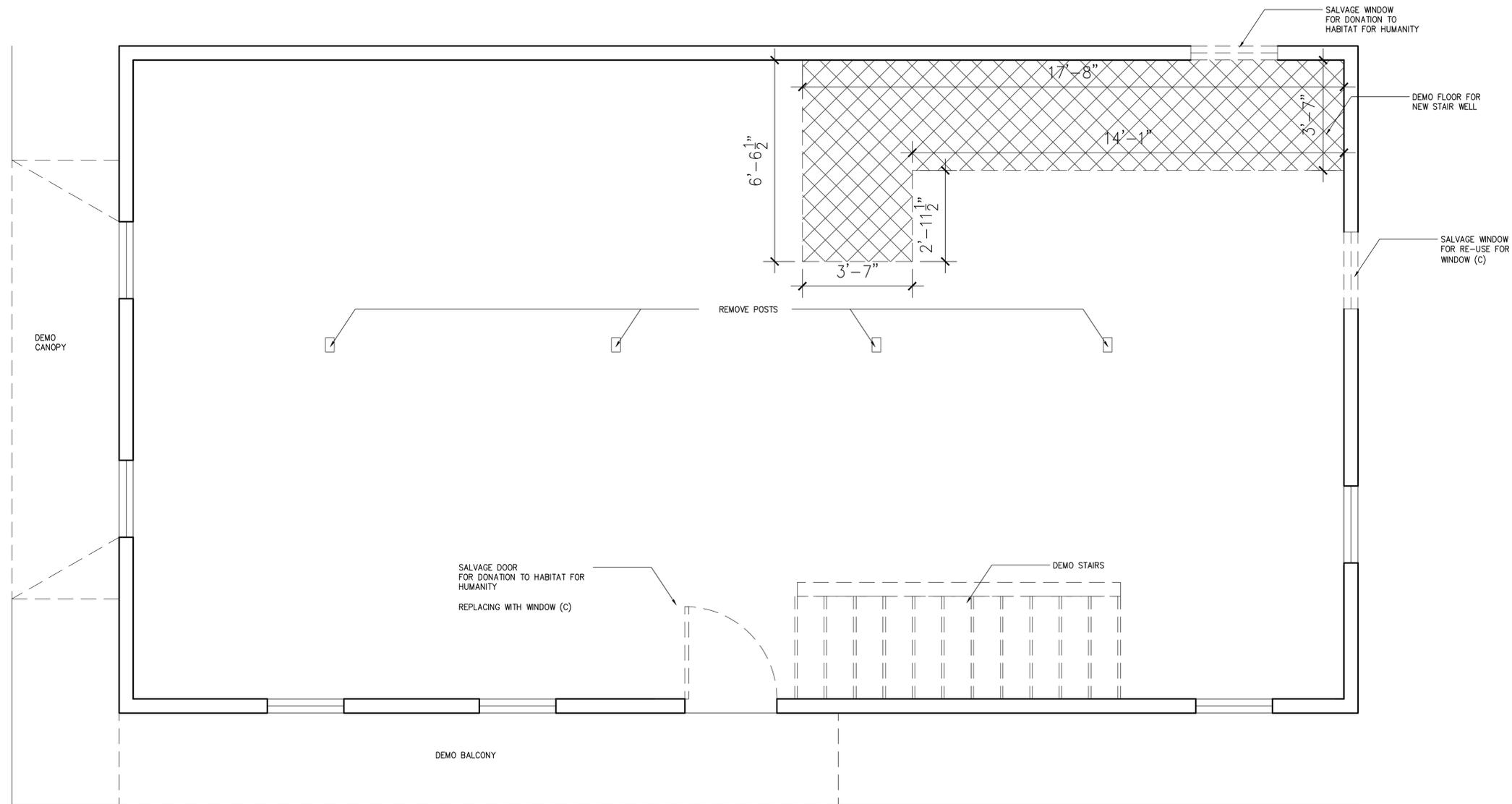
NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.



1 FIRST FLOOR DEMO PLAN
SCALE: 1/2"=1'-0"



SHUT OFF ELEC, WATER
AND GAS BEFORE
COMMENCING ANY WORK



1 SECOND FLOOR DEMO PLAN
SCALE: 1/2"=1'-0"



SHUT OFF ELEC, WATER
AND GAS BEFORE
COMMENCING ANY WORK

adapt

ARCHITECTURE+
CONSTRUCTION

ADAPT
Architecture + Construction
1826 McCullough Ave.
San Antonio, TX 78212
210.844.1687
210.267.7787
www.adapttx.com

DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210

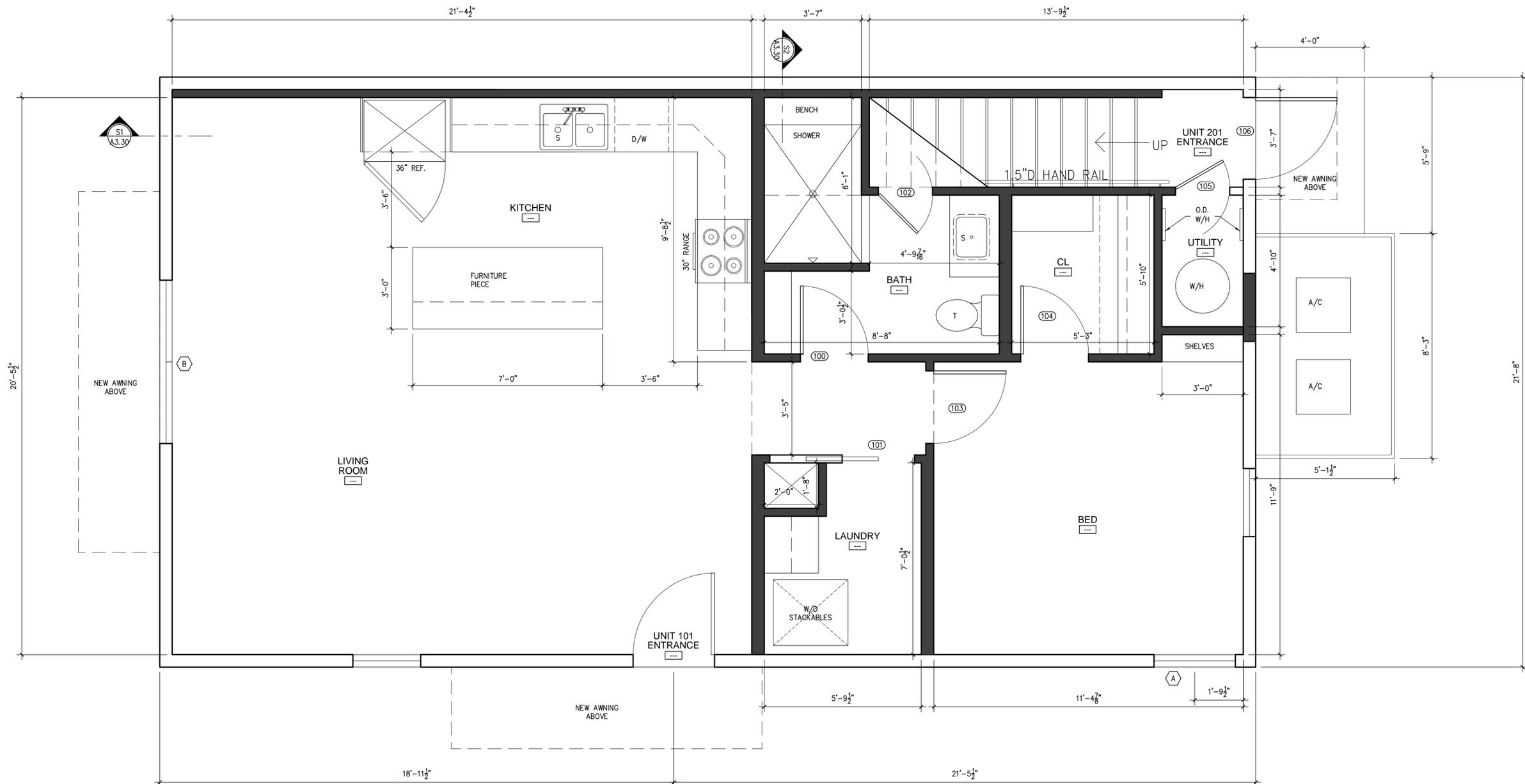


© 2022 ADAPT ARCHITECTURE
AND CONSTRUCTION, LLC (AAC). All
Rights Reserved. This drawing and
its reproductions are the property
of AAC. It may not be reproduced,
published, or used in any way
without the written permission of
AAC.

NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

2ND FLOOR DEMO
PLAN

A1.30
OF --



1 FIRST FLOOR, UNIT A
SCALE: 1/2"=1'-0"

AG SPACE SF
UNIT 101 = 807 SF
UNIT 201 = 892 SF



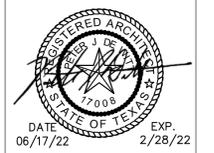
adapt

ARCHITECTURE +
CONSTRUCTION

ADAPT
Architecture + Construction
1826 McCullough Ave.
San Antonio, TX 78212
210.844.1687
210.267.7787
www.adapttx.com

DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210

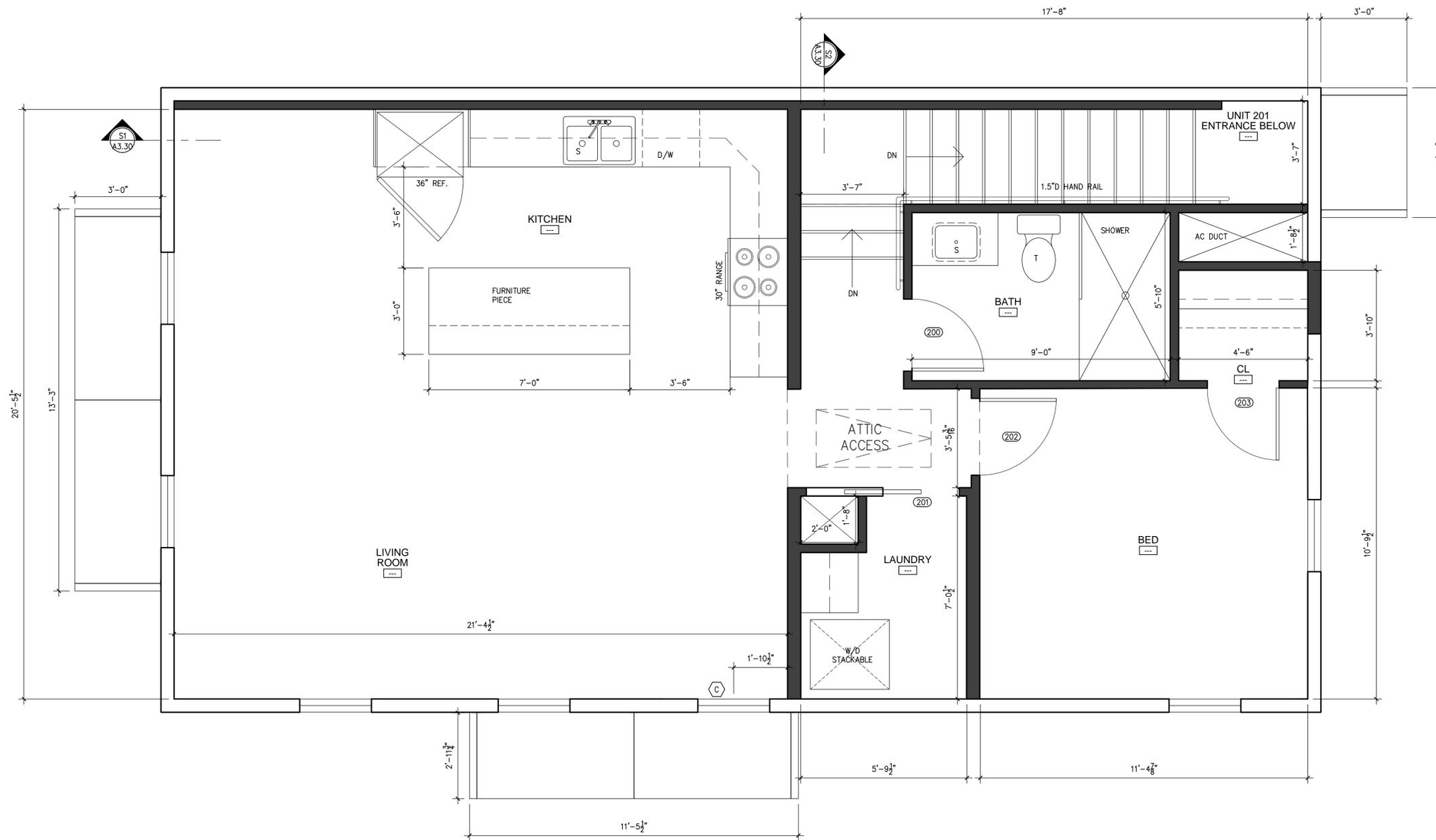


© 2022 ADAPT ARCHITECTURE
AND CONSTRUCTION, LLC (AAC). All
Rights Reserved. This drawing and
its reproductions are the property
of AAC. It may not be reproduced,
published, or used in any way
without the written permission of
AAC.

NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

1ST FLOOR PLAN

A2.00
OF --



1 SECOND FLOOR, UNIT B

SCALE: 1/2"=1'-0"

AG SPACE SF

UNIT 101 = 807 SF
UNIT 201 = 892 SF



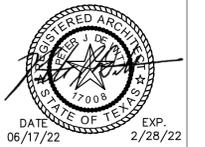
adapt

ARCHITECTURE+
CONSTRUCTION

ADAPT
Architecture + Construction
1826 McCullough Ave.
San Antonio, TX 78212
210.844.1687
210.267.7787
www.adapttx.com

DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210



© 2022 ADAPT ARCHITECTURE
AND CONSTRUCTION, LLC (AAC). All
Rights Reserved. This drawing and
its reproductions are the property
of AAC. It may not be reproduced,
published, or used in any way
without the written permission of
AAC.

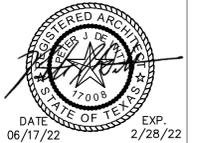
NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

2ND FLOOR PLAN

A2.10
OF --

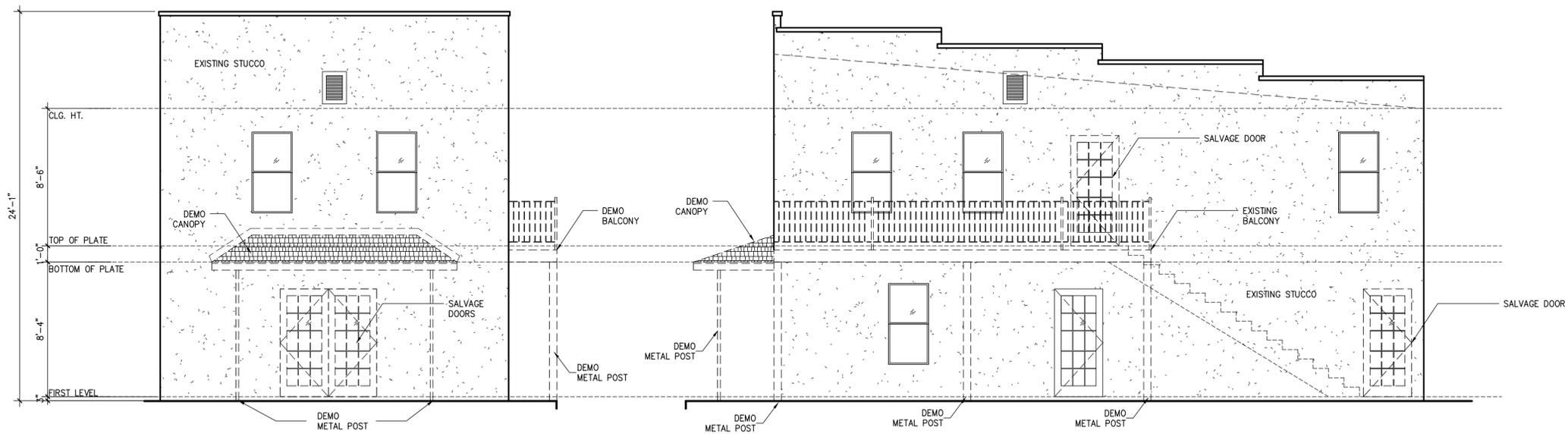
DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210



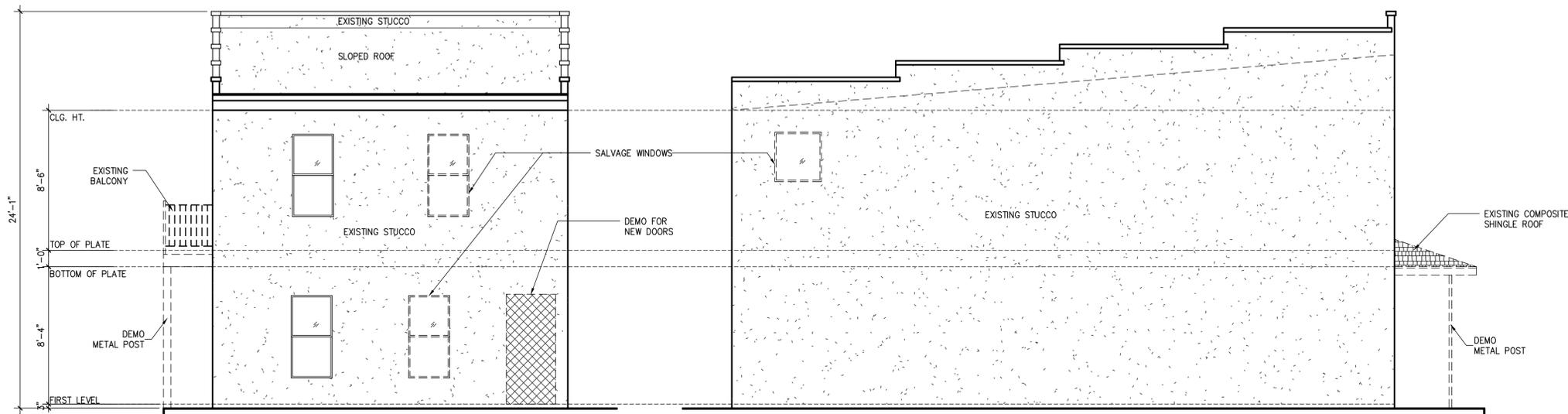
© 2022 ADAPT ARCHITECTURE AND CONSTRUCTION LLC (AAC) All Rights Reserved. This drawing and its reproductions are the property of AAC. It may not be reproduced, published, or used in any way without the written permission of AAC.

NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.



1 WEST EXISTING EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

2 SOUTH EXISTING EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



3 EAST EXISTING EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

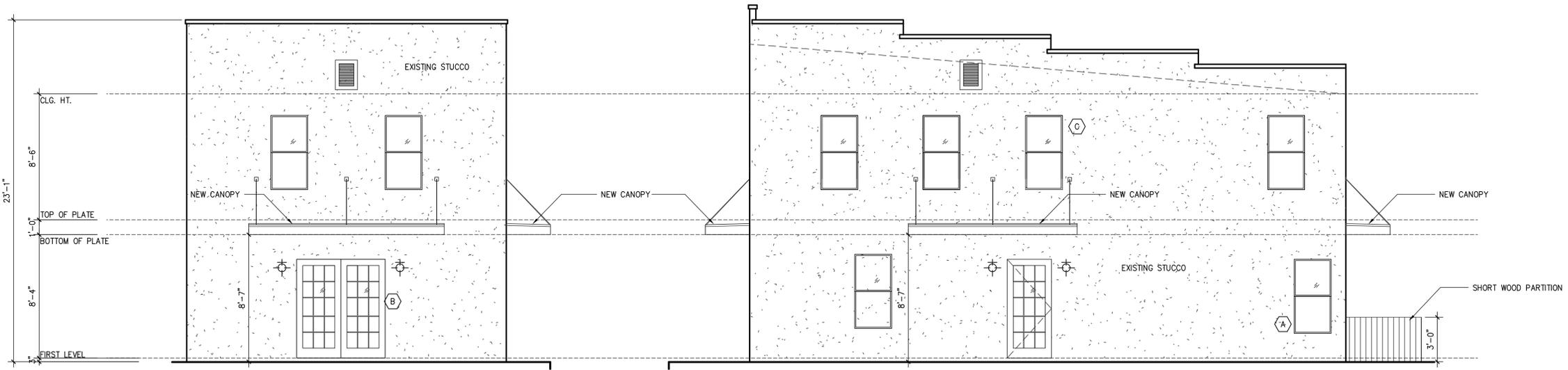
4 NORTH EXISTING EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

ENTIRE EXTERIOR WALL DEMO
AND WINDOW/DOOR REMOVAL
134 SF
5% OF TOTAL



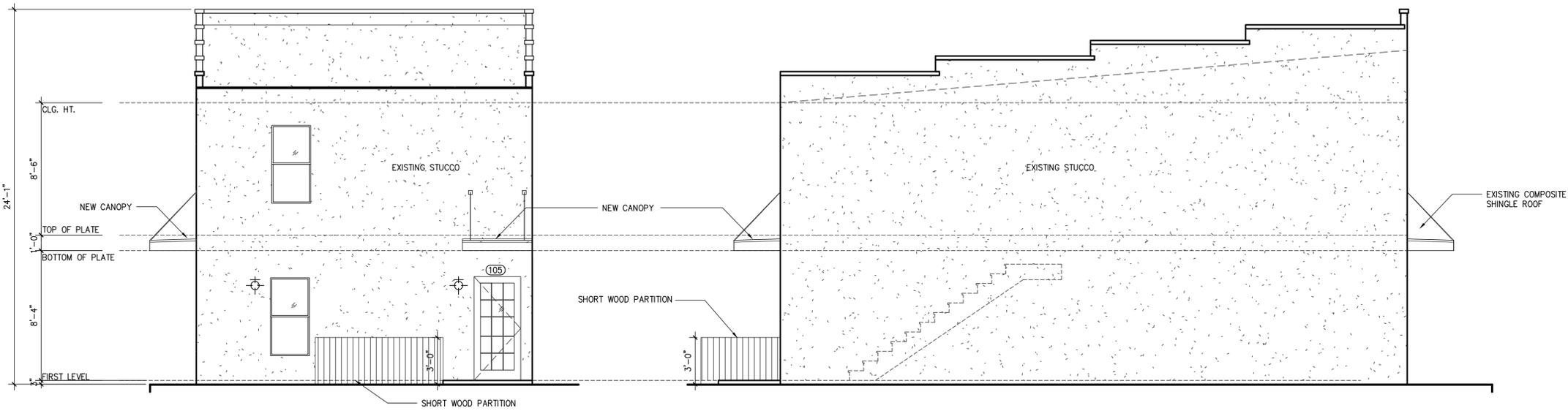
DEMO EXT
ELEVATIONS

A3.10
OF --



1 WEST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

2 SOUTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



3 EAST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

4 NORTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

adapt

ARCHITECTURE+
CONSTRUCTION

ADAPT
Architecture + Construction
1826 McCullough Ave.
San Antonio, TX 78212
210.844.1687
210.267.7787
www.adapttx.com

DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210

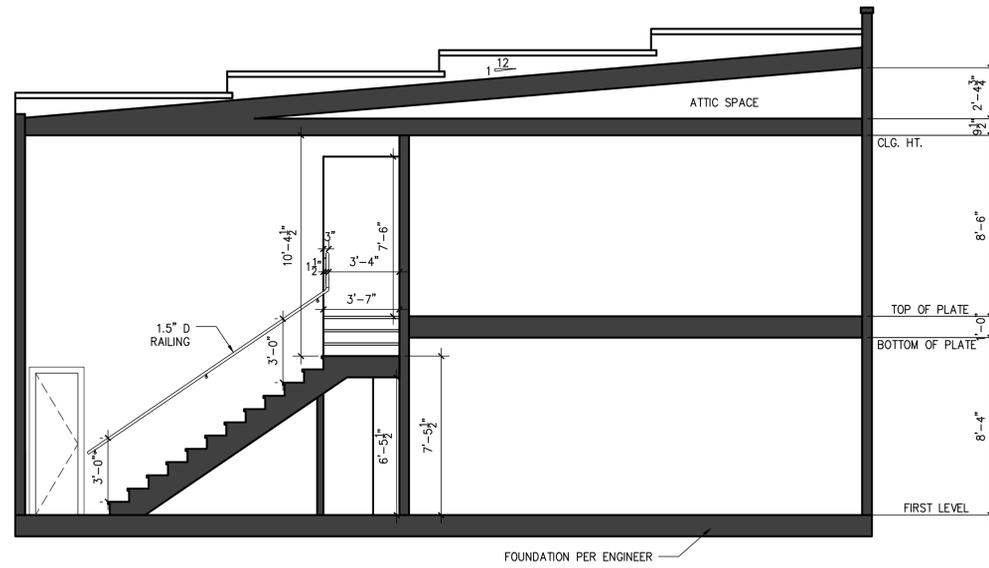


© 2022 ADAPT ARCHITECTURE AND CONSTRUCTION LLC (AAC) All Rights Reserved. This drawing and its reproductions are the property of AAC. It may not be reproduced, published, or used in any way without the written permission of AAC.

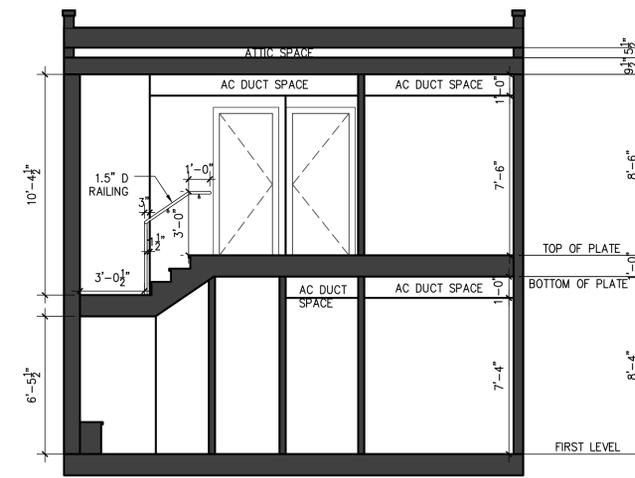
NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

EXT ELEVATIONS

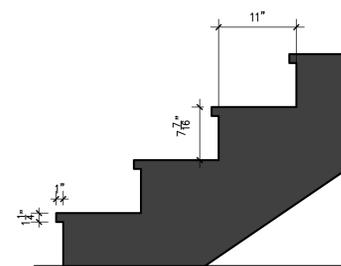
A3.20
OF --



1 SECTION, S1
SCALE: 1/4"=1'-0"



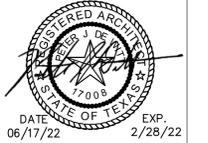
2 SECTION, S2
SCALE: 1/4"=1'-0"



3 STAIR DETAIL
SCALE: 1"=1'-0"

DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210



© 2022 ADAPT ARCHITECTURE AND CONSTRUCTION LLC (AAC) All Rights Reserved. This drawing and its reproductions are the property of AAC. It may not be reproduced, published, or used in any way without the written permission of AAC.

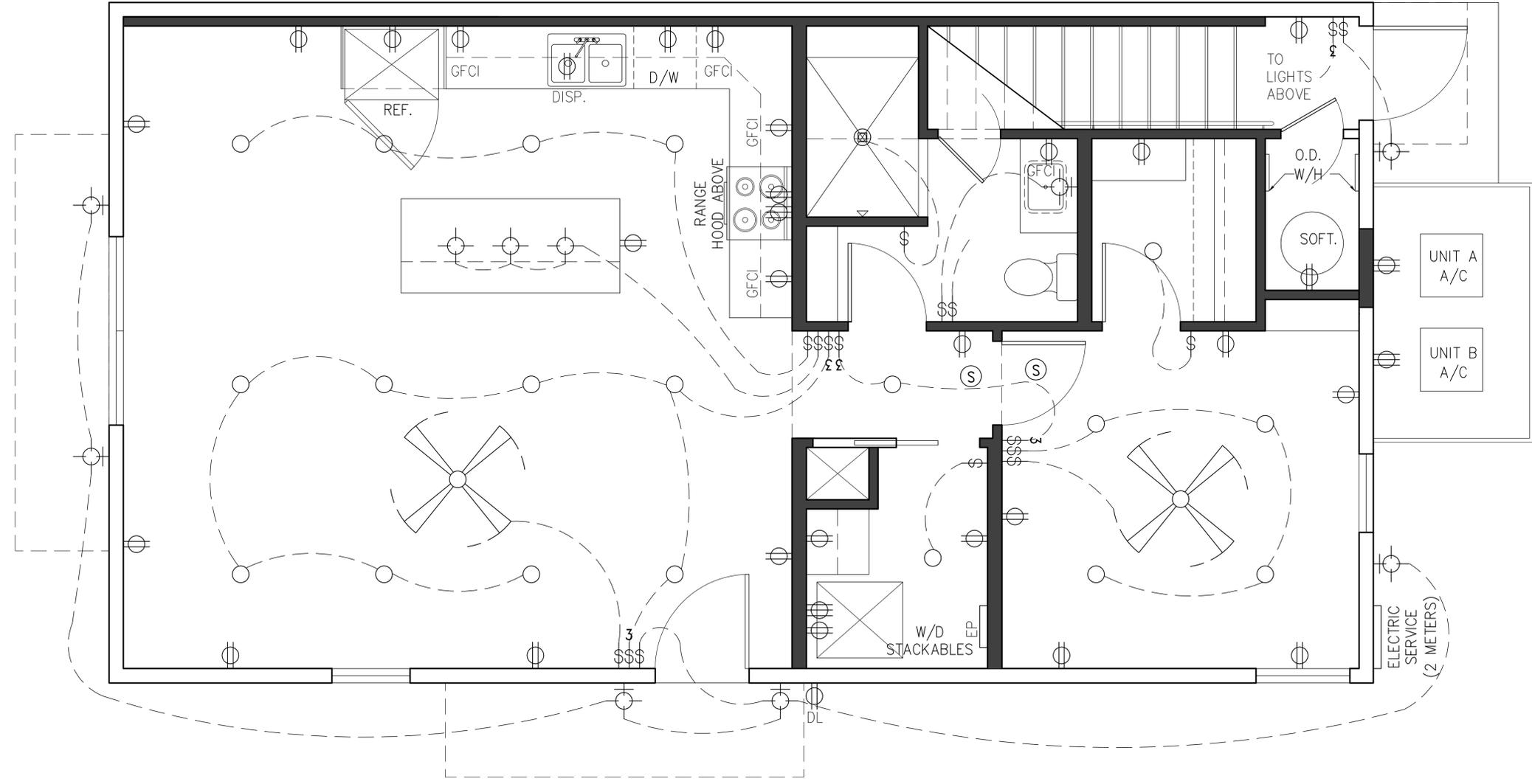
NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

SECTIONS AND
DETAILS

A3.30
OF --

ELECTRIC PLAN SYMBOLS

-  CEILING FAN W/ LIGHT
-  CEILING FAN W/O LIGHT
-  T.V./CABLE OUTLET
-  SINGLE POLE SWITCH
-  EXHAUST & HEAT FAN UNIT
-  DIMMER SWITCH
-  DOOR JAMB SWITCH
-  THREE-WAY SWITCH
-  FOUR-WAY SWITCH
-  FAN CONTROL / LIGHT SWITCH
-  CEILING MOUNT FIXTURE
-  4" LED RECESSED CAN DOWNLIGHT
-  5" LED RECESSED CAN DOWNLIGHT
-  WALL MOUNT FIXTURE
-  LOW VOLTAGE SPEAKERS
-  120v DUPLEX OUTLET
-  120v DUPLEX OUTLET AT WALL-MOUNT TV HEIGHT
-  DAMP LOCATION
-  GFI
-  4 WAY 120v OUTLET
-  220V OULET
-  DIRECTIONAL CAN LIGHT
-  CEILING MOUNT EXTERIOR DIRECTIONAL UTILITY FLOOD WITH MOTION SENSOR
-  SMOKE DETECTORS
-  CAN LIGHT WITH VENT
-  SHOWER CAN LIGHT
-  2'-0" FLUORESCENT (INSTALL ABOVE DOOR)
-  UNDERCABINET LIGHTING
-  LED PUCK LIGHT
-  * REFER TO INTERIOR ELEVATIONS FOR FIXTURE HEIGHT
-  4'-0" FLUORESCENT



1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/2"=1'-0"



adapt
ARCHITECTURE+
CONSTRUCTION
ADAPT
Architecture + Construction
1826 McCullough Ave.
San Antonio, TX 78212
210.844.1687
210.267.7787
www.adapttx.com

DENTON
1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210

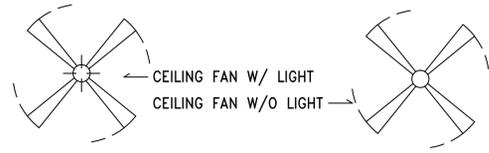


© 2022 ADAPT ARCHITECTURE AND CONSTRUCTION LLC (AAC) All Rights Reserved. This drawing and its reproductions are the property of AAC. It may not be reproduced, published, or used in any way without the written permission of AAC.

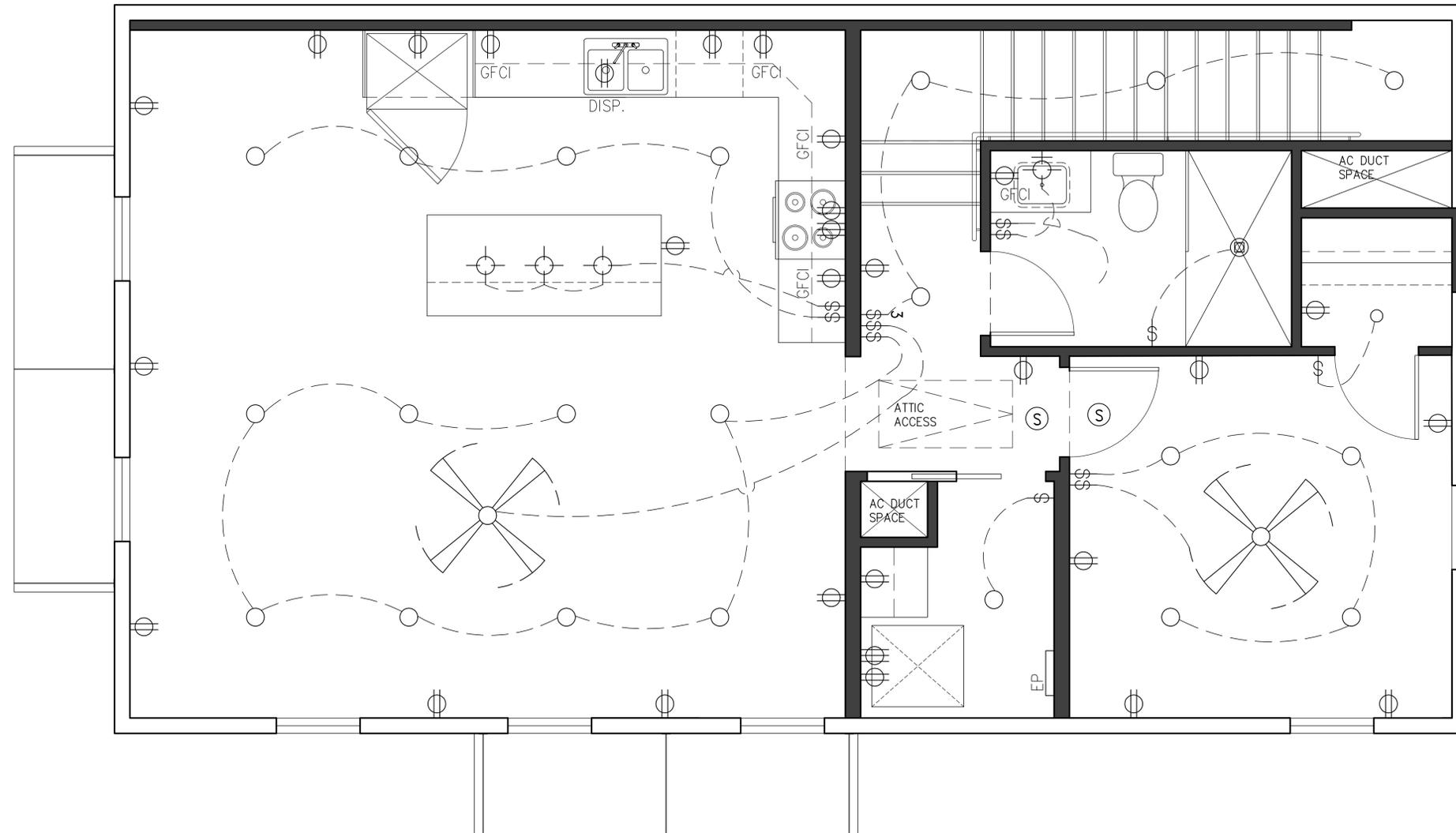
NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

FIRST FLOOR
ELECTRICAL PLAN
A5.00
OF --

ELECTRIC PLAN SYMBOLS



- T.V./CABLE OUTLET
- SINGLE POLE SWITCH
- EXHAUST & HEAT FAN UNIT
- DIMMER SWITCH
- DOOR JAMB SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- FAN CONTROL / LIGHT SWITCH
- CEILING MOUNT FIXTURE
- 4" LED RECESSED CAN DOWNLIGHT
- 5" LED RECESSED CAN DOWNLIGHT
- WALL MOUNT FIXTURE
- LOW VOLTAGE SPEAKERS
- 120v DUPLEX OUTLET
- 120v DUPLEX OUTLET AT WALL-MOUNT TV HEIGHT
- DAMP LOCATION
- GROUND FAULT INT. OUTLET
- 4 WAY 120v OUTLET
- 220V OULET
- DIRECTIONAL CAN LIGHT
- CEILING MOUNT EXTERIOR DIRECTIONAL UTILITY FLOOD WITH MOTION SENSOR
- SMOKE DETECTORS
- CAN LIGHT WITH VENT
- SHOWER CAN LIGHT
- 2'-0" FLUORESCENT (INSTALL ABOVE DOOR)
- UNDERCABINET LIGHTING
- LED PUCK LIGHT
- REFER TO INTERIOR ELEVATIONS FOR FIXTURE HEIGHT
- 4'-0" FLUORESCENT



1 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/2"=1'-0"



ADAPT
Architecture + Construction
1826 McCullough Ave.
San Antonio, TX 78212
210.844.1687
210.267.7787
www.adapttx.com

DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210



© 2022 ADAPT ARCHITECTURE AND CONSTRUCTION LLC (AAC) All Rights Reserved. This drawing and its reproductions are the property of AAC. It may not be reproduced, published, or used in any way without the written permission of AAC.

NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

SECOND FLOOR ELECTRICAL PLAN

A5.10
OF --

WINDOW SCHEDULE															
MARK	SIZE (WXH)	TYPE	TEMPERED	OPERABLE	MATERIAL	INT. FINISH	EXT. FINISH	HARDWARE	HT. AT SILL	HEADER HT.	U-fact	SHGC	MANUFACTURER	LOCATION	NOTES
FIRST FLOOR															
A	2'-6" X 5'-0"	SINGLE HUNG	NO	YES	VINYL	WHITE	WHITE	NICKEL	1'-8"	6'-8"	TBD	TBD	TBD	LIVING	RE-USE
B	6'-0" X 6'-8"	FIXED	YES	NO	VINYL	WHITE	WHITE	NICKEL	0	6'-8"	TBD	TBD	TBD	LIVING	FIXED DOORS
SECOND FLOOR															
C	2'-6" X 5'-0"	SINGLE HUNG	NO	YES	VINYL	WHITE	WHITE	NICKEL	2'-5"	7'-5"	TBD	TBD	TBD	BED	RE-USE

DOOR SCHEDULE															
MARK	SIZE (WXH)	INT.	EXT.	PANEL TYPE	MANUFACTURER	MATERIAL	INT. FINISH	EXT. FINISH	SWING	HARDWARE	HW FINISH	U-FACT	SHGC	LOCATION	NOTES
UNIT 101															
100	2'-6" X 6'-8"	X		TBD	TBD	WOOD	WHITE	WHITE	LEFT	PRIVACY	SATIN NICK.	-	-	BATH	
101	2'-0" X 4'-0"	X		TBD	TBD	WOOD	WHITE	WHITE	LEFT	PASSAGE	SATIN NICK.	-	-	BATH	
102	2'-8" X 6'-8"	X		TBD	TBD	WOOD	WHITE	WHITE	POCKET	PASSAGE	SATIN NICK.	-	-	LAUNDRY	
103	2'-8" X 6'-8"	X		TBD	TBD	WOOD	WHITE	WHITE	LEFT	PRIVACY	SATIN NICK.	-	-	BED	
104	2'-6" X 6'-8"	X		TBD	TBD	WOOD	WHITE	WHITE	LEFT	PASSAGE	SATIN NICK.	-	-	CL	
105	2'-0" X 6'-8"	X		TBD	TBD	WOOD	WHITE	WHITE	-	KEYED	SATIN NICK.	-	-	UTILITY	
UNIT 201															
106	3'-0" X 6'-8"		X	FULL LITE	TBD	WOOD	WHITE	WHITE	LEFT	PASS/DBOLT	SATIN NICK.	-	-	UNIT 201 ENTRANCE	RE-USE
200	2'-6" X 6'-8"	X		TBD	TBD	WOOD	WHITE	WHITE	RIGHT	PRIVACY	SATIN NICK.	-	-	BATH	
201	2'-8" X 6'-8"	X		TBD	TBD	WOOD	WHITE	WHITE	POCKET	PASSAGE	SATIN NICK.	-	-	LAUNDRY	
202	2'-8" X 6'-8"	X		TBD	TBD	WOOD	WHITE	WHITE	LEFT	PRIVACY	SATIN NICK.	-	-	BED	
203	2'-6" X 6'-8"	X		TBD	TBD	WOOD	WHITE	WHITE	LEFT	PASSAGE	SATIN NICK.	-	-	CL	

DOOR SCHEDULE GENERAL NOTES:

- 1 VERIFY ALL HARDWARE AND LOCKING REQUIREMENTS BEFORE ORDERING AND BORING DOORS
- 2 RE-USE AS MANY ORIGINAL DOORS AS POSSIBLE

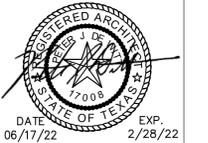
adapt

ARCHITECTURE +
CONSTRUCTION

ADAPT
Architecture + Construction
1826 McCullough Ave.
San Antonio, TX 78212
210.844.1687
210.267.7787
www.adapttx.com

DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210



© 2022 ADAPT ARCHITECTURE AND CONSTRUCTION, LLC (AAC). All Rights Reserved. This drawing and its reproductions are the property of AAC. It may not be reproduced, published, or used in any way without the written permission of AAC.

NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

SCHEDULES

A7.00
OF --



1 FRONT FACADE
SCALE:



2 FRONT CORNER
SCALE:



3 REAR CORNER
SCALE:



4 REAR FACADE
SCALE:



5 BETWEEN BUILDINGS
SCALE:



6 INTERIOR
SCALE:

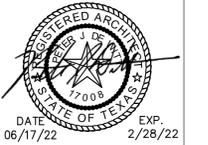
adapt

ARCHITECTURE+
CONSTRUCTION

ADAPT
Architecture + Construction
1826 McCullough Ave.
San Antonio, TX 78212
210.844.1687
210.267.7787
www.adapttx.com

DENTON

1722 S. ST MARY'S ST.
SAN ANTONIO, TX
78210



© 2022 ADAPT ARCHITECTURE
AND CONSTRUCTION, LLC (AAC). All
Rights Reserved. This drawing and
its reproductions are the property
of AAC. It may not be reproduced,
published, or used in any way
without the written permission of
AAC.

NO.	DATE	ISSUED FOR:
1	11/10/21	DESIGN REVIEW
2	12/21/21	DESIGN REVIEW
3	01/27/22	DESIGN REVIEW
4	01/31/22	DESIGN REVIEW
5	05/17/22	PERMIT/CONS.
6	06/01/22	REVISION
7	06/06/22	PERMIT/CONS.
8	06/17/22	PERMIT/CONS.

EXISTING
CONDITIONS

A8.00
OF --