

HISTORIC AND DESIGN REVIEW COMMISSION

June 29, 2022

HDRC CASE NO: 2022-314
COMMON NAME: 1123 AVENUE B
ADDRESS: 1135 AVENUE B
1127 AVENUE B
1119 AVENUE B
LEGAL DESCRIPTION: NCB 465 BLK 45 LOT 4 THRU 11 & P-100
ZONING: FBZ T6-2, RIO-3
CITY COUNCIL DIST.: 1
APPLICANT: Clay Hagendorf/Beaty Palmer Architects Inc.
OWNER: CITY OF SAN ANTONIO
TYPE OF WORK: Site modifications, construction of retail structures, signage
APPLICATION RECEIVED: May 27, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Perform site and landscaping modifications to include the installation of artificial turf, outdoor patio areas, on site concrete paving, low-impact development features, the removal of non-heritage trees and a concrete ramp and walk connection to the right of way at the River Walk.
2. Install a dog park area located to the north of the proposed building site and south of the existing parking lot to feature a five (5) foot tall vinyl fence.
3. Install shipping container structures to house a bar, kitchen, coffee shop, restrooms and a walk-in cooler. The proposed containers will be clad with wood slats and corten metal panels.
4. Install signage on site to include both business signage and incidental signage.

APPLICABLE CITATIONS:

UDC Section 35-672. – Neighborhood Wide Design Standards

(a) Pedestrian Circulation. Pedestrian access shall be provided among properties to integrate neighborhoods.

(1) Provide sidewalks that link with existing sidewalks on adjoining properties. If no sidewalk currently exists on an adjoining property, the applicant will have discretion in the placement of the sidewalk provided the following criteria are met:

- A. Provide a sidewalk connection from one (1) side of the applicant's property to the other, parallel to the public right-of way, on the street sides of the property in all river improvement overlay districts
- B. Provide a connection from the street level sidewalk to the Riverwalk at cross streets and bridges and other designated access points. This requirement may be waived if there is already a public connection from the street level to the Riverwalk.
- C. In order to preserve the rural character of "RIO-6," the HPO, in coordination with the development services department, may waive the requirement of sidewalks.
 - In "RIO-3," the width of the pathway along the river shall match those widths established in the historic Hugman drawings. If there are no sidewalks in the Hugman drawings, the path will not exceed eight (8) feet in width.

(2) Link the various functions and spaces on a site with sidewalks in a coordinated system.

Provide pedestrian sidewalks between buildings, parking areas and built features such as outdoor plazas and courtyards.

(3) Paving materials. Paving materials for pedestrian pathways shall use visually and texturally different materials than those used for parking spaces and automobile traffic.

- A. Paving materials for pedestrian pathways shall be either:
 - i. Broom-finished, scored, sandblasted or dyed concrete;
 - ii. Rough or honed finished stone;
 - iii. Brick or concrete pavers; or

iv. Other materials that meet the performance standards of the above materials.

B. Asphalt is permitted for pedestrian pathways that also are designated as multi-use paths by the City of San Antonio. The public works department will maintain the designated multi-use path locations.

(4) Street Connections to River. Retain the interesting and unique situations where streets dead-end at the river, creating both visual and physical access to the river for the public.

(5) Pedestrian Access Along the Riverwalk Pathway Shall Not Be Blocked.

A. Queuing is prohibited on the Riverwalk pathway.

B. Hostess stations shall be located away from the Riverwalk pathway so as to not inhibit pedestrian flow on the Riverwalk pathway. That is, the hostess station shall not be located in such a manner to cause a patron who has stopped at the hostess stand to be standing on the Riverwalk pathway. Pedestrian flow shall be considered "inhibited" if a pedestrian walking along the pathway has to swerve, dodge, change direction or come to a complete stop to avoid a patron engaged at the hostess stand.

C. Tables and chairs shall be located a sufficient distance from the Riverwalk pathway so that normal dining and service shall not inhibit the flow of pedestrian traffic. See inhibited definition in subsection B. above.

(b) Automobile Access and Parking. Automobile circulation should be efficient, and conflicts with pedestrians minimized. Entry points for automobiles should be clearly defined and connections to auto circulation on adjoining properties are encouraged to facilitate access and reduce traffic on abutting public streets.

(1) Curb Cuts.

A. Limit curb cuts to two (2) on parking areas or structures facing only one (1) street, and one (1) for each additional street face. The prohibition of additional curb cuts may be waived by the HDRC where the intent of the standards are clearly met and specific site circulation patterns require an additional curb cut, such as on long parcels or at nodes.

B. Curb cuts may be no larger than twenty-five (25) feet zero (0) inches. Continuous curb cuts are prohibited.

C. Sharing curb cuts between adjacent properties, such as providing cross property access easements, is permitted.

(2) Location of Parking Areas. Automobile parking in new developments must be balanced with the requirements of active environments. Large expanses of surface parking lots have a negative impact on street activity and the pedestrian experience. New commercial and residential structures can accommodate parking needs and contribute to a pedestrian-friendly streetscape.

A. Locate parking areas, that is any off-street, ground level surface used to park cars or any parking structure, toward the interior of the site or to the side or rear of a building.

B. The extent of parking area that may be located along the street edge or riverside shall be limited to a percentage of the lot line as per Table 672-1 as measured in a lineal direction parallel to the lot line. All parking within a thirty-foot setback from the above mentioned lot line shall comply with the requirements of the table. Where parking is located on corner sites only one (1) lot line has to meet the requirements of the table.

C. Parking lots should be avoided as a primary land use. Parking lots as a primary use are prohibited in RIO-3 and for all properties that fall within one hundred (100) feet of the river right-of-way in all RIO districts.

(3) Screen or Buffer Parking Areas From View of Public Streets, the River or Adjacent Residential Uses. (see Figure 672-2). Parking lots shall be screened with a landscape buffer as per the illustrations of bufferyards and Table 510-2 if the parking area meets one (1) of the following conditions:

A. Within a fifty-foot setback from the edge of the river ROW use, at a minimum, type E; or

B. Within a twenty-foot setback from a property line adjacent to a street use, at a minimum, type B; or

C. Within a twenty-foot setback of commercial or industrial property that abuts a residential property use, at a minimum, type C.

(4) Parking Structures Shall Be Compatible With Buildings in the Surrounding Area. Parking garages should have retail space on the ground floor of a parking structure provided the retail space has at least fifty (50) percent of its linear street frontage as display windows. Parking structures may be made visually appealing with a mural or public art component approved by the HDRC on the parking structure. A parking garage will be considered compatible if:

A. It does not vary in height by more than thirty (30) percent from another building on the same block face; and

B. It uses materials that can be found on other buildings within the block face, or in the block face across the street.

(5) Parking Structures Shall Provide Clearly Defined Pedestrian Access. Pedestrian entrances and exits shall be accentuated with directional signage, lighting or architectural features so that pedestrians can readily discern the appropriate path of travel to avoid pedestrian/auto conflicts.

(6) Parking lots, structures, and hardscape shall not drain directly into the river without installation of appropriate water quality best management practices (WQ BMPs). Acequias shall not be used for any type of drainage.

(c) Views. The river's course (both natural and manmade), and San Antonio's street pattern, creates unique views of certain properties from the public ROW. These properties often occur at prominent curves in the river or where a street changes direction and a property appears to be a terminus at the end of a street.

(1) Architectural Focal Point. When a property is situated in such a manner as to appear to be the terminus at the end of the street or at a prominent curve in the river, the building shall incorporate into its design an architectural feature that will provide a focal point at the end of the view. (see Figure 672-3) An architectural feature will be considered to be a focal point through any of the following methods, but not limited to:

- A. Additional height.
 - B. Creation of a tower.
 - C. Variation in roof shape.
 - D. Change of color or materials.
 - E. Addition of a design enhancement feature such as:
 - i. Embellished entrance areas.
 - ii. Articulated corners, especially when entrance is at corner, rounded or chamfered corners ease the transitions from one street facade to the adjoining facade.
 - iii. Recessed or projecting balconies and entrances.
- Billboards, advertising and signage are expressly prohibited as appropriate focal points.

UDC Section 35-673. – Site Design Standards

(a) Solar Access. The intent of providing and maintaining solar access to the San Antonio River is to protect the river's specific ecoclimate. The river has a special microclimate of natural and planted vegetation that requires certain levels and balanced amounts of sunlight, space and water. Development must be designed to respect and protect those natural requirements, keeping them in balance and not crowding or altering them so that vegetation does not receive more or less space and water, but particularly sunlight, than is required for normal expected growth.

(1) Building Massing to Provide Solar Access to the River. Building massing shall be so designed as to provide direct sunlight to vegetation in the river channel as defined:

- A. The area to be measured for solar access shall be a thirty-foot setback from the river's edge or from the river's edge to the building face, which ever is lesser, parallel to the river for the length of the property.
- B. The solar calculations shall be measured exclusive to the applicant's property; that is, shades and shadows of other buildings shall not be included in the calculations. The solar calculations shall only measure the impact of new construction and additions. The shading impact of historic buildings on the site may be excluded from the calculations.
- C. The defined area shall receive a minimum of 5.5 hours of direct sunlight, measured at the winter solstice, and 7.5 hours of direct sunlight, measured at the summer solstice.
- D. Those properties located on the south side of the river (whose north face is adjacent to the river) shall only be required to measure the sunlight in the 30-foot setback on the opposite bank of the river.
- E. Those properties within the river improvement overlay district not directly adjacent to the river are still subject to the provisions of this section. To determine the solar access effect of these buildings on the river the applicant must measure the nearest point to the river of an area defined by a thirty-foot setback from the river's edge, parallel to the river for the length of their property that would be affected by their building. For those buildings on the south side of the river, the 30-foot setback shall be measured only on the opposite bank.
- F. However, in those cases where the above conditions cannot be met due to the natural configuration of the river, existing street patterns, or existing buildings, the HDRC may approve a buildings mass and height as allowed by table 674-2.
- G. If there is a conflict with this section and another section of this chapter this section shall prevail.

(2) Prohibition of Structures, Buildings, Roofs or Skywalks Over the River Channel. No structure, building, roof or skywalk may be constructed over the river channel, or by-pass channel with the exception of structures for flood control purposes, open air pedestrian bridges at ground or river level, and street bridges. The river channel is the natural course of the river as modified for flood control purposes and the Pershing-Catalpa ditch.

(b) Building Orientation. Buildings should be sited to help define active spaces for area users, provide pedestrian connections between sites, help animate the street scene and define street edges. Consideration to both the street and riverside should be given. The placement of a building on a site should therefore be considered within the context of the block, as well as how the structure will support the broader design goals for the area.

(1) Two or More Buildings on a Site.

- A. Cluster buildings to create active open spaces such as courtyards along the street and river edges. Site plazas and courtyards, if possible, so that they are shaded in the summer and are sunny in the winter.

(2) Primary and Secondary Entrances

- A. Orient a building's primary entrance toward the street with subordinate entrances located on the riverside and/or the interior of the property. On a major thoroughfare street it is acceptable to provide the primary entrance through a common courtyard and then to a street.

- B. The primary entrance shall be distinguished by architectural features such as, but not limited to: an entry portal; change in material or color; change in scale of other openings; addition of columns, lintels or canopies.
- C. Secondary entrances shall have architectural features that are subordinate to the primary entrance in scale and detail. For purposes of this division subordinate means that the entrance is smaller in height and width, and has fewer or simpler architectural elements.

(c) Topography and Drainage. The natural contours of occasional hillsides and riverbanks contribute to the distinct character of the San Antonio River and shall be considered in site designs for new development. Site plans shall minimize the need for cut and fill. It should be considered as an opportunity for positive enhancements through the creative use of terraces and retaining walls.

- (1) Visual Impacts of Cut and Fill. Divide a grade change of more than ten (10) vertical feet into a series of benches and terraces. Terrace steep slopes following site contours. When creating site benches, using sloped "transitional areas" as part of the required landscaping is appropriate.
- (2) Minimize the Potential for Erosion at the Riverbank. Grade slopes at a stable angle not to exceed four to one (4:1) and provide plant material that will stabilize the soil such as vigorous ground covers, vines or turf planting that are native and noninvasive species as found on the permissible plant list maintained by the parks and recreation department. Use of stabilizing materials such as geo-web or geo-grid is permitted as long as plant material is used to conceal the grid.
Use of terraced walls is permitted when there is a slope of more than four to one (4:1).
- (3) Retaining Walls. Limit the height of a retaining wall to less than six (6) feet. If the retaining wall must exceed six (6) feet, a series of six-foot terrace walls is acceptable. Walls at dams and locks are excluded from this requirement. If in the opinion of the historic preservation officer a higher wall is consistent with the adopted conceptual plan of the river, a higher wall (not to exceed twelve (12) feet) is allowed. Materials used for the walls may include limestone, stucco, brick, clay, tile, timber, or textured concrete. (see Figure 673-2)
- (4) Enhance or Incorporate Acequias Into The Landscape Design and Drainage Scheme of the Site. Where archeological evidence indicates a site contains or has contained a Spanish colonial acequia, incorporate the original path of the acequia as a natural drainageway or a landscape feature of the site by including it as part of the open space plan, and a feature of the landscape design.
- (5) Design of Stormwater Management Facilities to be a Landscape Amenity. Where above ground stormwater management facilities are required, such facilities shall be multi-purpose amenities. For example, water quality features can be included as part of the site landscaping and detention facilities can be included as part of a hardscape patio. Using an open concrete basin as a detention pond is prohibited.
- (6) Walls and Fences at Detention Areas.

- A. When the topography of the site exceeds a four to one (4:1) slope and it becomes necessary to use a masonry wall as part of the detention area, use a textured surface and incorporate plant materials, from the plant list maintained by the parks department, that will drape over the edge to soften the appearance of the structure.
- B. The use of solid board or chain link fence with or without slats is prohibited. A welded wire, tubular steel, wrought iron or garden loop is permitted.

(7) Roof Drainage into the River.

- A. All roof drainage and other run-off drainage shall conform to public works department standards so that they \ drain into sewer and storm drains rather than the river. Drainage of this type shall not be piped into the river unless the outlet is below the normal waterline of the river at normal flow rates.
- B. All downspouts or gutters draining water from roofs or parapets shall be extended underground under walks and patios to the San Antonio River's edge or stormwater detention facility so that such drainage will not erode or otherwise damage the Riverwalk, landscaping or river retaining walls.
- C. All piping and air-conditioning wastewater systems shall be kept in good repair. Water to be drained purposely from these systems, after being tested and adjudged free from pollution, shall be drained in the same manner prescribed in subsection (7)A. above.

(d) Riverside Setbacks. Riverside setbacks for both buildings and accessory structures are established to reinforce the defined character of the specific river improvement overlay district and help to define an edge at the river pathway that is varied according to the relationship of the river and the street. In the more urban areas, buildings should align closer to the river edge, while in more rural areas the buildings should be set farther away.

(1) Minimum setback requirements are per the following Table 673-1.

Description	RIO-1	RIO-2	RIO-3	RIO-4	RIO-5	RIO-6
Riverside Setback	20 FT	15 FT	0 FT	20 FT	50 ft	100 FT

(2) Designation of a development node district provides for a minimum riverside setback of zero (0) feet.

(e) Landscape Design. Lush and varied landscapes are part of the tradition of the San Antonio River. These design standards apply to landscaping within an individual site. Additional standards follow that provide more specific standards for the public pathway along the river and street edges.

(1) Provide Variety in Landscape Design. Provide variety in the landscape experience along the river by varying landscape designs between properties. No more than seventy-five (75) percent of the landscape materials, including plants, shall be the same as those on adjacent properties. (see Figure 673-4).

(2) Planting Requirements in Open Space Abutting the River. On publicly-owned land leased by the adjoining property owner, if applicable, and/or within privately owned setbacks adjacent to the river, a minimum percentage of the open space, excluding building footprint, lease space under bridges and parking requirements, are required to be planted according to Table 673-2.

A. Planting requirements in RIO-4, RIO-5, and RIO-6 should continue the restoration landscape efforts along the river banks. Planting in these RIO districts is to be less formal so as to maintain the rural setting of the river.

B. In "RIO-3," if existing conditions don't meet the standards as set out in Table 673-2, the owner or lessee will not have to remove paving to add landscaping in order to meet the standards until there is a substantial remodeling of the outdoor area. Substantial remodeling will include replacement of seventy-five (75) percent of the paving materials, or replacement of balcony and stair structures.

(f) Plant Materials. A number of soil conditions converge in the San Antonio area to create unique vegetation ecosystems. Along the route of the San Antonio River, the soil conditions vary greatly from the northern boundary near Hildebrand to the city limits near Mission San Francisco de la Espada (Mission Espada) and therefore native and indigenous plants will vary accordingly. Landscaping should reflect the unique soil characteristics of the specific site.

(1) Incorporate Existing Vegetation. Extend the use of landscape materials, including plants, shrubs and trees that are used in the public areas of the river onto adjacent private areas to form a cohesive design.

(2) Use indigenous and noninvasive species characteristic of the specific site as found on the permissible plant list maintained by the parks and recreation department or the Unified Development Code Plant List found in Appendix E. In "RIO-3," plantings of tropical and semi-tropical plants with perennial background is permitted.

(3) Install Trees to Provide Shade and to Separate Pedestrians From Automobile Traffic. Install street trees along the property line or in the ROW abutting all streets according to minimum requirement standards established in subsection 35-512(b), except where this conflicts with existing downtown Tri-Party improvements in "RIO-3." In "RIO-3" the owner has the option of placing trees at the property line, or along the street edge.

(g) Paving Materials. An important San Antonio landscape tradition is the use of decorative surfaces for paving and other landscape structures. Paving materials and patterns should be carefully chosen to preserve and enhance the pedestrian experience.

(1) Vary Walkway, Patio and Courtyard Paving to Add Visual Interest on the Riverside of Properties Abutting the River. Pervious paving is encouraged where feasible and appropriate to the site.

A. A maximum of six hundred (600) square feet is allowed for a single paving material before the paving material must be divided or separated with a paving material that is different in texture, pattern, color or material. A separation using a different material must be a minimum of twenty-four (24) inches wide, the full width of the pathway.

B. A maximum of one hundred (100) lineal feet is allowed in a walkway before the pattern must change in districts "RIO-2," "RIO-3," and "RIO-4." A maximum of five hundred twenty-eight (528) lineal feet is allowed before the pattern must change in districts "RIO-1," "RIO-5" and "RIO-6." The change of material at five hundred twenty-eight (528) lineal feet will define and delineate one-tenth-mile markers.

C. In "RIO-3," the Riverwalk pathway shall be delineated by using a separate material that is clearly distinguished from the adjacent patio paving materials. If the historic Hugman drawings indicate a sidewalk width and pattern on the site, that paving pattern and material shall be replicated.

(h) Site Walls and Fences. Site walls and fences are used to help divide spaces, screen unsightly objects and provide privacy. However, the character of the San Antonio River is such that walls shall not be erected in such a way as to block views of the river from public spaces.

(1) Use of Site Walls to Define Outdoor Spaces.

A. Use of low scale walls (twenty-four (24) inches to forty-eight (48) inches) to divide space, create a variety in landscaping and define edges is permitted.

B. Solid walls (up to seventy-two (72) inches) are permitted to: screen mechanical equipment, garbage receptacles and other unsightly areas; and provide privacy at the back of lots up to the front building face.

(2) Site Wall and Fence Materials.

A. On properties abutting the river, site walls and fence materials may be constructed of: stone, block, tile, stucco, wrought iron, tubular steel, welded wire or a combination of masonry and metal, cedar posts and welded wire or garden loop or other materials having similar characteristics. All other properties, not abutting the river may use the above listed materials plus wood fencing.

B. All chain link fences are prohibited for properties abutting the river. For properties that do not abut the river

chain link is only allowed in the rear yard if not readily visible from the right-of-way. Barbed wire, razor wire, and concertina are prohibited in all RIO districts.

(i) Street Furnishings. Street furnishings are exterior amenities, including but not limited to, tables, chairs, umbrellas, landscape pots, wait stations, valet stations, bicycle racks, planters, benches, bus shelters, kiosks, waste receptacles and similar items that help to define pedestrian use areas. Handcrafted street furnishings are particularly important in San Antonio, and therefore this tradition of craftsmanship and of providing street furniture is encouraged.

(1) Prohibited Street Furnishings in Riverwalk Area. The following street furnishings are prohibited within the publicly owned portion of the Riverwalk area, whether or not the property is leased, and on the exterior of the riverside of buildings directly adjacent to the publicly owned portion of the river:

- A. Vending machines.
- B. Automatic teller machines.
- C. Pay phones.
- D. Photo booths.
- E. Automated machines such as, but not limited to, penny crunching machines, blood pressure machines, fortune-telling machines, video games, animated characters and other machines that are internally illuminated, or have moving parts, or make noise, or have flashing lights.
- F. Inanimate figures such as horses, kangaroos, bears, gorillas, mannequins or any such animal, cartoon or human figure. This section does not affect public art as defined in Appendix "A" of this chapter.
- G. Monitors (i.e., television screens, computer screens).
- H. Speakers.

(2) Street Furnishing Materials.

- A. Street furnishings shall be made of wood, metal, stone, terra cotta, cast stone, hand-sculpted concrete, or solid surfacing material, such as Corian or Surell.
- B. Inexpensive plastic resin furnishings are prohibited.

(3) Advertising on Street Furnishings.

- A. No commercial logos, trademarks, decals, product names whether specific or generic, or names of businesses and organizations shall be allowed on street furnishings.
- B. Product or business advertising is prohibited on all street furnishings.
- C. Notwithstanding the restrictions above, applications may be approved for purposes of donor or non-profit recognition.

(4) Street furnishings, such as tables and chairs may not be stored (other than overnight storage) in such a way as to be visible from the river pathway.

(j) Lighting. Site lighting should be considered an integral element of the landscape design of a property. It should help define activity areas and provide interest at night. At the same time, lighting should facilitate safe and convenient circulation for pedestrians, bicyclists and motorists. Overspill of light and light pollution should be avoided.

(1) Site Lighting. Site lighting shall be shielded by permanent attachments to light fixtures so that the light sources are not visible from a public way and any offsite glare is prevented.

- A. Site lighting shall include illumination of parking areas, buildings, pedestrian routes, dining areas, design features and public ways.
- B. Outdoor spaces adjoining and visible from the river right-of-way shall have average ambient light levels of between one (1) and three (3) foot-candles with a minimum of 0.5-foot candles and a maximum of six (6) foot-candles at any point measured on the ground plane. Interior spaces visible from the river right-of-way on the river level and ground floor level shall use light sources with no more than the equivalent lumens of a one hundred-watt incandescent bulb. Exterior balconies, porches and canopies adjoining and visible from the river right-of-way shall use light sources with the equivalent lumens of a sixty-watt incandescent bulb with average ambient light levels no greater than the lumen output of a one hundred-watt incandescent light bulb as long as average foot candle standards are not exceeded. Accent lighting of landscape or building features including specimen plants, gates, entries, water features, art work, stairs, and ramps may exceed these standards by a multiple of 2.5. Recreational fields and activity areas that require higher light levels shall be screened from the river hike and bike pathways with a landscape buffer.
- C. Exterior light fixtures that use the equivalent of more than one hundred-watt incandescent bulbs shall not emit a significant amount of the fixture's total output above a vertical cut-off angle of ninety (90) degrees. Any structural part of the fixture providing this cut-off angle must be permanently affixed.
- D. Lighting spillover to the publicly owned areas of the river or across property lines shall not exceed one-half (½) of one (1) foot-candle measured at any point ten (10) feet beyond the property line.
 - (2) Provide Lighting for Pedestrian Ways That is Low Scaled for Walking. The position of a lamp in a pedestrian-way light shall not exceed fifteen (15) feet in height above the ground.
 - (3) Light Temperature and Color.
 - A. Light temperature and color shall be between 2500° K and 3500° K with a color rendition index (CRI) of

eighty (80) or higher, respectively. This restriction is limited to all outdoor spaces adjoining and visible from the river right-of-way and from the interior spaces adjoining the river right-of-way on the river level and ground floor level. Levels shall be determined by product specifications.

(4) Minimize the Visual Impacts of Exterior Building Lighting.

A. All security lighting shall be shielded so that the light sources are not visible from a public way.

B. Lighting (uplighting and downlighting) that is positioned to highlight a building or outdoor artwork shall be aimed at the object to be illuminated, not pointed into the sky.

C. Fixtures shall not distract from, or obscure important architectural features of the building. Lighting fixtures shall be a subordinate feature on the building unless they are incorporated into the over-all design scheme of the building.

(5) Prohibited Lighting on the Riverside of Properties Abutting the River.

A. Flashing lights.

B. Rotating lights.

C. Chaser lights.

D. Exposed neon.

E. Seasonal decorating lights such as festoon, string or rope lights, except between November 20 and January 10.

F. Flood lamps.

(6) Minimize the visual impacts of lighting in parking areas in order to enhance the perception of the nighttime sky and to prevent glare onto adjacent properties. Parking lot light poles are limited to thirty (30) feet in height, shall have a 90° cutoff angle so as to not emit light above the horizontal plane.

(k) Curbs and Gutters.

(1) Construct Curb and Gutter Along the Street Edge of a Property.

A. Install curbs and gutter along the street edge at the time of improving a parcel.

B. In order to preserve the rural character of RIO-5 and RIO-6, the HPO in coordination with public works and the development services department may waive the requirement of curbs and gutters.

(l) Access to Public Pathway Along the River. These requirements are specifically for those properties adjacent to the river to provide a connection to the publicly owned pathway along the river. The connections are to stimulate and enhance urban activity, provide path connections in an urban context, enliven street activity, and protect the ambiance and character of the river area.

(1) A stair, ramp or elevator connecting the publicly owned pathway at the river to private property along the river is allowed by right at the following locations:

A. At all street and vehicular bridge crossings over the river.

B. Where publicly owned streets dead end into the river.

C. Where the pedestrian pathway in the Riverwalk area is located at the top of bank and there is a two-foot or less grade change between the private property and the pathway.

(2) If there is a grade change greater than two (2) feet between the private property and the publicly owned pathway at the river then the following conditions apply:

A. Access to the publicly owned pathway is limited to one (1) connection per property, with the exception that connections are always allowed at street and vehicular bridge crossings. For example if one (1) property extends the entire block face from street crossing to street crossing the owner would be allowed three (3) access points if the distance requirements were met.

B. The minimum distance between access points shall be ninety-five (95) feet. Only street and vehicular bridge connections are exempted. Mid-block access points must meet this requirement.

C. Reciprocal access agreements between property owners are permitted.

(3) Clearly define a key pedestrian gateway into the site from the publicly owned pathway at the river with distinctive architectural or landscape elements.

A. The primary gateway from a development to the publicly owned pathway at the river shall be defined by an architectural or landscape element made of stone, brick, tile, metal, rough hewn cedar or hand-formed concrete or through the use of distinctive plantings or planting beds.

(m) Buffering and Screening. The manner in which screening and buffering elements are designed on a site greatly affects the character of the river districts. In general, service areas shall be screened or buffered. "Buffers" are considered to be landscaped berms, planters or planting beds; whereas, more solid "screens" include fences and walls. When site development creates an unavoidable negative visual impact on abutting properties or to the public right-of-way, it shall be mitigated with a landscape design that will buffer or screen it.

(1) Landscape Buffers Shall be Used in the Following Circumstances: To buffer the edges of a parking lot from pedestrian ways and outdoor use areas, (such as patios, and courtyards), and as an option to screening in order to buffer service areas, garbage disposal areas, mechanical equipment, storage areas, maintenance yards, equipment storage areas and other similar activities that by their nature create unsightly views from pedestrian ways, streets,

public ROWs and adjoining property.

(2) Screening Elements Shall be Used in the Following Circumstances: To screen service areas, storage areas, or garbage areas from pedestrian ways.

(3) Exceptions for Site Constraints. Due to site constraints, in all RIOs and specifically for "RIO-3" where there is less than ten (10) feet to provide for the minimum landscape berm, a screen may be used in conjunction with plantings to meet the intent of these standards. For example a low site wall may be combined with plant materials to create a buffer with a lesser cross sectional width.

(4) Applicable Bufferyard Types. Table 510-2 establishes minimum plant materials required for each bufferyard type. For purposes of this section, type C shall be the acceptable minimum type.

(5) Applicable Screening Fence and Wall Types. Screening fences and walls shall be subject to conditions of subsection 35-673(h), Walls and Fences.

(n) Service Areas and Mechanical Equipment. Service areas and mechanical equipment should be visually unobtrusive and should be integrated with the design of the site and building. Noise generated from mechanical equipment shall not exceed city noise regulations.

(1) Locate service entrances, waste disposal areas and other similar uses adjacent to service lanes and away from major streets and the river.

A. Position utility boxes so that they cannot be seen from the public Riverwalk path, or from major streets, by locating them on the sides of buildings and away from pedestrian and vehicular routes. Locating them within interior building corners, at building offsets or other similar locations where the building mass acts as a shield from public view is preferred.

B. Orient the door to a trash enclosure to face away from the street when feasible.

C. Air intake and exhaust systems, or other mechanical equipment that generates noise, smoke or odors, shall not be located at the pedestrian level.

(2) Screening of service entrance shall be compatible with the buildings on the block face.

A. When it would be visible from a public way, a service area shall be visually compatible with the buildings on the block face.

B. A wall will be considered compatible if it uses the same material as other buildings on the block, or is painted a neutral color such as beige, gray or dark green or if it is in keeping with the color scheme of the adjacent building.

(o) Bicycle Parking. On-site bicycle parking helps promote a long term sustainable strategy for development in RIO districts. Bicycle parking shall be placed in a well lit and accessible area. UDC bicycle parking requirements in UDC 35-526 can be met through indoor bicycle storage facilities in lieu of outdoor bike rack fixtures.

Sec. 35-674. Building Design Principles

(a) Architectural Character. A basic objective for architectural design in the river improvement overlay districts is to encourage the reuse of existing buildings and construction of new, innovative designs that enhance the area, and help to establish distinct identities for each of the zone districts. At the same time, these new buildings should reinforce established building traditions and respect the contexts of neighborhoods.

When a new building is constructed, it shall be designed in a manner that reinforces the basic character-defining features of the area. Such features include the way in which a building is located on its site, the manner in which it faces the street and its orientation to the river. When these design variables are arranged in a new building to be similar to those seen traditionally, visual compatibility results.

(b) Mass and Scale. A building shall appear to have a "human scale." In general, this scale can be accomplished by using familiar forms and elements interpreted in human dimensions. Exterior wall designs shall help pedestrians establish a sense of scale with relation to each building. Articulating the number of floors in a building can help to establish a building's scale, for example, and prevent larger buildings from dwarfing the pedestrian.

(1) Express facade components in ways that will help to establish building scale.

A. Treatment of architectural facades shall contain a discernible pattern of mass to void, or windows and doors to solid mass. Openings shall appear in a regular pattern, or be clustered to form a cohesive design. Architectural elements such as columns, lintels, sills, canopies, windows and doors should align with other architectural features on the adjacent facades.

(2) Align horizontal building elements with others in the blockface to establish building scale.

A. Align at least one (1) horizontal building element with another horizontal building element on the same block face. It will be considered to be within alignment if it is within three (3) feet, measured vertically, of the existing architectural element.

(3) Express the distinction between upper and lower floors.

A. Develop the first floor as primarily transparent. The building facade facing a major street shall have at least fifty (50) percent of the street level facade area devoted to display windows and/or windows affording some

view into the interior areas. Multi-family residential buildings with no retail or office space are exempt from this requirement.

(4) Where a building facade faces the street or river and exceeds the maximum facade length allowed in Table 674-1 divide the facade of building into modules that express traditional dimensions.

A. The maximum length of an individual wall plane that faces a street or the river shall be as shown in Table 674-1.

Table 674-1

Description	RIO-1	RIO-2	RIO-3	RIO-4	RIO-5	RIO-6
Maximum Facade Length	50 ft.	50 ft.	30 ft.	75 ft.	75 ft.	50 ft.

B. If a building wall plane facing the street or river and exceeds the length allowed in Table 674-1, employ at least two (2) of the following techniques to reduce the perceived mass:

- Change materials with each building module to reduce its perceived mass; or
- Change the height with each building module of a wall plane. The change in height shall be at least ten (10) percent of the vertical height; or
- Change the roof form of each building module to help express the different modules of the building mass; or
- Change the arrangement of windows and other facade articulation features, such as, columns, pilasters or strap work, which divides large planes into smaller components.

(5) Organize the Mass of a Building to Provide Solar Access to the River.

A. One (1) method of doing so is to step the building down toward the river to meet the solar access requirements of subsection 35-673(a).

B. Another method is to set the building back from the river a distance sufficient to meet the solar access requirements of subsection 35-673(a).

(c) Height. Building heights vary along the river corridor, from one-story houses to high-rise hotels and apartments. This diversity of building heights is expected to continue. However, within each zone, a general similarity in building heights should be encouraged in order to help establish a sense of visual continuity. In addition, building heights shall be configured such that a comfortable human scale is established along the edges of properties and views to the river and other significant landmarks are provided while allowing the appropriate density for an area.

(1) The maximum building height shall be as defined in Table 674-2.

A. Solar access standards subsection 35-673(a), and massing standards subsection 35-674(b) also will affect building heights.

Table 674-2

Description	RIO-1	RIO-2	RIO-3	RIO-4	RIO-5	RIO-6
Maximum # of Stories	5	10	None	7	5	4
Maximum Height in Feet	60 ft.	120 ft.	None	84 ft.	60 ft.	50 ft.

(3) On the street-side, the building facade shall appear similar in height to those of other buildings found traditionally in the area.

If fifty (50) percent of the building facades within a block face are predominantly lower than the maximum height allowed, the new building facade on the street-side shall align with the average height of those lower buildings within the block face, or with a particular building that falls within the fifty (50) percent range. However, the remainder of the building may obtain its maximum height by stepping back fifteen (15) feet from the building face.

(4) Designation of a development node provides for the ability to increase the building height by fifty (50) percent from the requirements set out in article VI.

(d) Materials and Finishes. Masonry materials are well established as primary features along the river corridor and their use should be continued. Stucco that is detailed to provide a texture and pattern, which conveys a human scale, is also part of the tradition. In general, materials and finishes that provide a sense of human scale, reduce the perceived mass of a building and appear to blend with the natural setting of the river shall be used, especially on major structures.

(1) Use indigenous materials and traditional building materials for primary wall surfaces. A minimum of seventy-five (75) percent of walls (excluding window fenestrations) shall be composed of the following:

- A. Modular masonry materials including brick, stone, and rusticated masonry block, tile, terra-cotta, structural clay tile and cast stone. Concrete masonry units (CMU) are not allowed.
- B. Other new materials that convey the texture, scale, and finish similar to traditional building materials.
- C. Stucco and painted concrete when detailed to express visual interest and convey a sense of scale.

D. Painted or stained wood in a lap or shingle pattern.

(2) The following materials are not permitted as primary building materials and may be used as a secondary material only:

A. Large expanses of high gloss or shiny metal panels.

B. Mirror glass panels. Glass curtain wall buildings are allowed in RIO-3 as long as the river and street levels comply with 35-674(d)(1) above.

(3) Paint or Finish Colors.

A. Use natural colors of indigenous building materials for properties that abut the Riverwalk area.

B. Use matte finishes instead of high glossy finishes on wall surfaces. Wood trim and metal trim may be painted with gloss enamel.

C. Bright colors may highlight entrances or architectural features.

(e) Facade Composition. Traditionally, many commercial and multi-family buildings in the core of San Antonio have had facade designs that are organized into three (3) distinct segments: First, a "base" exists, which establishes a scale at the street level; second a "mid-section," or shaft is used, which may include several floors. Finally a "cap" finishes the composition. The cap may take the form of an ornamental roof form or decorative molding and may also include the top floors of the building. This organization helps to give a sense of scale to a building and its use should be encouraged.

In order to maintain the sense of scale, buildings should have the same setback as surrounding buildings so as to maintain the street-wall pattern, if clearly established.

In contrast, the traditional treatment of facades along the riverside has been more modest. This treatment is largely a result of the fact that the riverside was a utilitarian edge and was not oriented to the public. Today, even though orienting buildings to the river is a high priority objective, it is appropriate that these river-oriented facades be simpler in character than those facing the street.

(1) Street Facade. Buildings that are taller than the street-wall (sixty (60) feet) shall be articulated at the stop of the street wall or stepped back in order to maintain the rhythm of the street wall. Buildings should be composed to include a base, a middle and a cap.

A. High rise buildings, more than one hundred (100) feet tall, shall terminate with a distinctive top or cap. This can be accomplished by:

i. Reducing the bulk of the top twenty (20) percent of the building by ten (10) percent.

ii. By stepping back the top twenty (20) percent of the building.

iii. Changing the material of the cap.

B. Roof forms shall be used to conceal all mechanical equipment and to add architectural interest to the structure.

C. Roof surfaces should include strategies to reduce heat island effects such as use of green roofs, photo voltaic panels, and/or the use of roof materials with high solar reflectivity.

(2) Fenestration. Windows help provide a human scale and so shall be proportioned accordingly.

D. Curtain wall systems shall be designed with modulating features such as projecting horizontal and/or vertical mullions.

(3) Entrances. Entrances shall be easy to find, be a special feature of the building, and be appropriately scaled.

A. Entrances shall be the most prominent on the street side and less prominent on the river side.

B. Entrances shall be placed so as to be highly visible.

C. The scale of the entrance is determined by the prominence of the function and or the amount of use.

D. Entrances shall have a change in material and/or wall plane.

E. Entrances should not use excessive storefront systems.

(4) Riverside facade. The riverside facade of a building shall have simpler detailing and composition than the street facade.

A. Architectural details such as cornices, sills, lintels, door surrounds, water tables and other similar details should use simple curves and handcrafted detailing.

B. Stone detailing shall be rough hewn, and chiseled faced. Smooth faced stone is not permitted as the primary building material, but can be used as accent pieces.

C. Facades on the riverside shall be asymmetrical, pedestrian scale, and give the appearance of the back of a building. That is, in traditional building along the river, the backs of building were designed with simpler details, and appear less formal than the street facades.

(g) Awnings, Canopies and Arcades. (See Figure 674-2) The tradition of sheltering sidewalks with awnings, canopies and arcades on commercial and multi-family buildings is well established in San Antonio and is a practice that should be continued. They offer shade from the hot summer sun and shelter from rainstorms, thereby facilitating pedestrian activity. They also establish a sense of scale for a building, especially at the ground level. Awnings and canopies are appropriate locations for signage. Awnings with signage shall comply with any master signage plan on file with the historic preservation officer for the property. Awnings and canopies installed at street level within the public right-of-way require licensing with the city's capital improvements management services (CIMS) department. Canopies, balconies and awnings installed at river level within the public right-of-way require licensing with the city's downtown operations department.

(1) If awnings, arcades and canopies are to be used they should accentuate the character-defining features of a building.

- A. The awning, arcade or canopy shall be located in relationship to the openings of a building. That is, if there are a series of awnings or canopies, they shall be located at the window or door openings. However awnings, canopies and arcades may extend the length of building to provide shade at the first floor for the pedestrian.
- B. Awnings, arcades and canopies shall be mounted to highlight architectural features such as moldings that may be found above the storefront.
- C. They should match the shape of the opening.
- D. Simple shed shapes are appropriate for rectangular openings.
- E. Odd shapes and bubble awnings are prohibited except where the shape of an opening requires a bubble awning, or historic precedent shows they have been previously used on the building.
- F. Canopies, awnings and arcades shall not conflict with the building's proportions or with the shape of the openings that the awning or canopy covers.
- G. Historic canopies shall be repaired or replaced with in-kind materials.

(2) Materials and Color.

- A. Awnings and canopies may be constructed of metal, wood or fabric. Certain vinyl is allowed if it has the appearance of natural fiber as approved by the HDRC.
- B. Awning color shall coordinate with the building. Natural and earth tone colors are encouraged. Fluorescent colors are not allowed. When used for signage it is appropriate to choose a dark color for the canopy and use light lettering for signage.

(3) Incorporating lighting into the design of a canopy is appropriate.

- A. Lights that illuminate the pedestrian way beneath the awning are appropriate.
- B. Lights that illuminate the storefront are appropriate.
- C. Internally illuminated awnings that glow are prohibited.

UDC Section. 35-675. Archaeology.

When an HDRC application is submitted for commercial development projects within a river improvement overlay district the city archeologist shall review the project application to determine if there is potential of containing intact archaeological deposits utilizing the following documents/methods:

- (1) The Texas Sites Atlas for known/recorded sites, site data in the files of the Texas Archeological Research Laboratory and the Texas Historical Commission;
- (2) USGS maps;
- (3) Soil Survey maps;
- (4) Distance to water;
- (5) Topographical data;
- (6) Predictive settlement patterns;
- (7) Archival research and historic maps;
- (8) Data on file at the office of historic preservation.

If after review the city archeologist determines there is potential of containing intact archaeological deposits, an archaeological survey report shall be prepared and submitted. If, after review by the city archeologist, a determination is made that the site has little to no potential of containing intact archaeological deposits, the requirement for an archaeological survey report may be waived.

Upon completion of a survey, owners of property containing inventoried archaeological sites are encouraged to educate the public regarding archaeological components of the site and shall coordinate any efforts with the office of historic preservation.

Sec. 35-678. - Signs and Billboards in the RIO.

(a) General Provisions.

- (1) This section governs all exterior signs and all interior signs hung within ten (10) feet of an exterior fenestration, or those signs intended to be read by exterior patrons.
 - A. All signage within an RIO district shall conform to all city codes and must have approval of the historic preservation officer prior to installation.
 - B. Permits must be obtained following approval of a certificate of appropriateness.

- C. No sign shall be painted, constructed, erected, remodeled, refaced, relocated, expanded or otherwise altered until it has been approved and a permit has been obtained from the development services department in accordance with the provisions of this section and applicable city code.
 - D. Signs, visual displays or graphics shall advertise only the business on the premises unless otherwise allowed in this section.
 - E. Temporary displays for permitted events are authorized if in accordance with chapter 28 of the City Code of San Antonio, Texas.
- (2) When reviewing applications for signage the historic preservation officer and the historic and design review commission shall consider the visual impact on nearby historic resources.
 - A. Signs should respect and respond to the environment and landmark or district character in which constructed.
 - B. Signs should respect and respond to the river improvement overlay districts character and the historic Riverwalk.
 - C. The content or advertising message carried by permitted signs shall pertain to the business located on the same premises as the sign or to any otherwise lawful noncommercial message that does not direct attention to a business operated for profit, or to a commodity or service for sale, provided that signs erected on buildings with multiple businesses within shall pertain to any such business within.
 - (3) For signs with changeable message panels, the changeable message area of the sign shall not exceed twenty-five (25) percent of the total sign area, except for gasoline price signs which shall not exceed seventy-five (75) percent of the total sign area. Electronic changeable message boards shall be prohibited.
 - (4) The name of a business may be changed through the administrative approval process if the sign conforms to the provisions of this section, and if the color, size, and style of lettering, and illumination of the sign remain the same.
 - (5) Provisions under this section shall comply with chapter 28 of the City Code of San Antonio, Texas. In cases where provisions under this section are stricter or a sign is designated as a contributing structure, then this section shall control.
 - (6) Special consideration should be given to the character of the sign itself proposed in the application, and whether the proposed sign has inherently historic characteristics which may fall outside of the guidelines presented below but which would contribute to the historic district, landmark or area for which it is being proposed. Additionally, when reviewing applications for signage the historic preservation officer and the historic and design review commission shall consider the visual impact on nearby historic resources.
 - (7) Memorials, markers, naming rights of public property, and recognition of charitable donations given to the City of San Antonio shall be additionally governed by any formal action passed by city council.
- (b) Sign Definitions. For signage definitions, refer to subsection 35-612(b) and chapter 28 of the City Code.
 - (c) Standards for Sign Design and Placement. In considering whether to recommend approval or disapproval of an application to construct or alter signage on a building, object, site, or structure in a river improvement overlay district, review shall be guided by the following standards in addition to any specific design guidelines approved by city council.
 - (1) Primary sign design considerations shall be identification and legibility. Size, scale, height, color and location of signs shall be harmonious with, and properly related to, the overall character of the district and structure. Sign materials shall be compatible with that of the building facade. Highly reflective materials that will be difficult to read are not permitted.
 - (2) Signs which describe, point, or direct the reader to a specific place or along a specific course, such as "entrance," "exit," and "disabled persons access," as well as government signs, shall be reviewed but shall not be included in total allowable signage area. Emergency signs shall be exempt from historic and design review commission approval.
 - (3) All graphic elements shall reinforce the architectural integrity of any building. Signs shall not disfigure, damage, mar, alter, or conceal architectural features or details and shall be limited to sizes that are in scale with the architecture and the streetscape. Emblems and symbols of identification used as principal structural or architectural design elements on a facade shall not be included in the total allowable signage per facade per structure when approved. Review shall be guided by the building's proportion and scale when such elements are incorporated.
 - (4) Graphics and signage may be illuminated by indirect, internal, or bare-bulb sources, providing that glare is not produced; by indirect light sources concealed by a hood or diffuser; by internal illumination with standard opal glass or other translucent material or with an equal or smaller light transmission factor. All illumination shall be steady and stationary. Neon lighting shall be permitted when used as an integral architectural element or

artwork appropriate to the site. For purposes of this subsection, "Glare" shall mean an illumination level of six (6) Lux or greater at the property boundary. If internal illumination is used, it shall be designed to be subordinate to the overall building composition. Light fixtures should reflect the design period of the building on which they are placed. The use of ambient light from storefront or streetlights is encouraged.

- (5) Signage requests for multi-tenant buildings must complement existing signage with regards to size, number, placement and design, unless such existing signage is not in conformity with regulations in this article. It is recommended that the building owner or their agent develop a master signage plan or signage guidelines for the total building or property. If a property has an approved master signage plan on file with the historic preservation officer, then applications for signage may be approved administratively at the discretion of the historic preservation officer provided that they comply with such master signage plan. Notwithstanding the above, signs may not exceed the maximum size and height limitation of signage contained in chapter 28, article 9.
- (d) Proportion of Signs. For all signage, signage width and height must be in proportion to the facade, respecting the size, scale and mass of the facade, building height, and rhythms and sizes of window and door openings. The building facade shall be considered as part of an overall sign program but the sign shall be subordinate to the overall building composition. Additionally, signs shall respect and respond to the character and/or period of the area in which they are being placed.
- (e) Number and Size of Signs.
 - (1) Number and Size. The historic and design review commission shall be guided in its decisions by the total number of businesses or services per building and the percentage of visible storefront occupied by each business or service. Applicants may apply for up to three (3) signs total. Total signage for all applicants shall not exceed fifty (50) square feet unless additional signs and/or additional total footage is approved. Additional square footage may be approved provided that the additional signage is in conformity with, and does not interfere with, the pedestrian experience on the Riverwalk. The additional square footage shall be based upon the size and scope of the site. Signs should reflect the type and speed of traffic they are meant to attract. Signs designed for pedestrians and drivers of slow moving cars should not be the same size as signs designed for highway traffic.
 - (2) Sign Area. The sign area shall be determined in the following manner:
 - A. Sign Areas. The area of a sign shall be computed on the actual area of the sign. Sign area shall be calculated as the area within a parallelogram, triangle, circle, semicircle or other regular geometric figure including all letters, figures, graphics or other elements of the sign, together with the framework or background of the sign. The supporting framework of the sign shall not be included in determining sign area unless such supporting framework forms an integral part of the sign display, as determined by the historic preservation officer. If the sign is located on a decorative fence or wall, when such fence or wall otherwise meets these or other ordinances or regulations and is clearly incidental to the display itself, the fence or wall shall not be included in the sign area. In the cases of signs with more than one (1) sign face, including but not restricted to double-faced signs, back-to-back signs, overhanging signs, and projecting signs, each side of the sign shall be included in total allowable signage area.
 - B. Channel Letter Signs. For channel letter signs, the sign area shall be the smallest rectangle that will encompass the limits of the writing, including spaces between the letters. Each advertising message shall be considered separately.
 - (3) Building Identification Signs. An additional building identification sign may be placed on a building with multiple tenants, if the building name is not the same as the business(s) housed within and such sign is recommended for approval by the historic and design review commission. This type of sign is to identify a building as a destination, shall not exceed thirty-two (32) square feet, shall not be included in the total allowable signage area, and shall not include names of individual businesses.
 - (4) Freestanding Signs. Freestanding signs are allowed provided the sign does not interfere with pedestrian or vehicular traffic. Freestanding signs shall be perpendicular to the street, two-sided and no taller than six (6) feet. Freestanding signs shall not be located in the right-of-way.
 - A. Projecting Arm Signs. Signs hung from poles are allowed. Pole height shall not exceed six (6) feet and the pole diameter shall not exceed three (3) inches. Blade signs are not allowed to project over a sidewalk or other right-of-way.
- (f) Allowable Signs Not Included in the Total Signage Area.
 - (1) Parking lot signs identifying entrances and exits to a parking lot or driveway, but only when there is one-way traffic flow. No more than one (1) sign shall be permitted for each driveway entrance or exit, and no corporate or business logos shall be permitted. Additionally, parking lot signs to identify divisions of the parking lot into sections and to control vehicular traffic and pedestrian traffic within the lot provided that no corporate or

business logos shall be permitted. Signs approved under this category shall not be included in the total allowable signage per structure.

- (2) Dates of erection, monumental citations, commemorative tablets, insignia of local, state or federal government, and like when carved into stone, concrete or similar material or made of bronze, aluminum or other permanent type construction and made an integral part of the structure. Signs approved under this category shall not be included in the total allowable signage per structure.
 - (3) Information signs of a public or quasi-public nature identifying or locating a hospital, public building, college, publicly-owned parking area, historic area, major tourist attraction or similar public or quasi-public activity; and also including signs identifying restrooms or other facilities relating to such places or activities. Signs approved under this category shall not be included in the total allowable signage per structure.
 - (4) Incidental signs, including signs designating business hours, street numbers, credit card acceptance and the like provided that the signs are not freestanding, the total of all such signs shall not exceed four (4) square feet for each business, and the signs are non-illuminated. Incidental signs shall not be included in the total allowable signage per structure.
 - (5) Real estate signs, advertising the sale, rental or lease of the premises or part of the premises on which the signs are displayed. The maximum sign area shall be eight (8) square feet. Only one (1) sign will be permitted for each building for sale or lease that is adjacent to the Riverwalk. The sign is permitted to remain only while that particular building is for sale or the lease space is available.
- (g) Pedestrian Menu Boards.
- (1) Pedestrian menu boards shall not exceed two (2) square feet.
 - (2) Permanently displayed menus may be properly installed inside the business' window or in an approved wall-mounted or freestanding display case adjacent to the business entrance.
 - (3) The name of the establishment may not be displayed on the menu board if the business has other signage installed on the premises. It is permissible for the name of the restaurant to be placed on the actual menu. The established logo of a business is considered a sign.
 - (4) All items listed on a menu board must be placed within the border of the menu board or within the display case.
 - (5) There may be no more than one (1) pedestrian menu board per establishment unless there are two (2) primary entrances to a building on different facades, in which case a pedestrian menu board for each entrance may be approved.
- (h) Sandwich Boards. Notwithstanding provisions of chapter 28-17, sandwich boards are permitted in river improvement overlay districts as on-premises signs provided permitting requirements of chapter 28, section 28-17 are met. A sandwich board shall:
- (1) Mean an A-frame or single panel double sided design for placement in front of the place of business.
 - (2) Be no larger than two (2) feet wide and three (3) feet tall when extended.
 - (3) Be prohibited on the pedestrian Riverwalk pathway
 - (4) Count towards overall signage and must be included in any signage requests
- (i) Noncommercial Speech Signs. Noncommercial speech signs including but not limited to public service announcements may be erected in river improvement overlay districts following approval provided all regulations in this article are met. The maximum size of a noncommercial speech sign shall be eight (8) square feet, and shall not be illuminated. However, political signs, and the regulation thereof, shall not violate Section 216.903 (Regulation of Political Signs by Municipality) of the Texas Local Government Code.
- (j) Allowable Temporary Signs. If approved, the area of temporary signs shall not be included in the general allowable area for the specified property. No more than one (1) temporary sign will be allowed at any given time. Temporary signs may be approved administratively, shall be non-illuminated, and limited to the following types:
- (1) Construction signs, including those which identify the architects, engineers, contractors and other individuals or firms involved with the construction. Such signs shall be removed upon issuance of a certificate of occupancy. The maximum area of such signs shall be thirty-two (32) square feet, and no more than one (1) sign shall be permitted for each street frontage.
 - (2) Political campaign signs announcing the candidates seeking public political office and other information pertinent thereto.
 - (3) Signs advertising only the name, time, and place of any fair, festival, bazaar, education seminar or similar event, when conducted by a public agency or for the benefit of any civic, fraternal, religious or charitable cause provided that all such signs shall be removed within twenty-four (24) hours after the last day of the event to which they pertain. The maximum sign area shall be thirty-two (32) square feet.

- (4) Grand opening signs shall be permitted provided that such signs shall not be displayed for more than ten (10) days and the maximum size shall not exceed thirty-two (32) square feet.
 - (5) Seasonal decorations displayed between November 20 and January 10, and during the official designated Fiesta time period. Such decorations shall not display the name of a business or shopping center, nor the words "open," "sale," "vacancy" or other similar words or phrases related to the business activity on the premises.
 - (6) Change of business name banners/hoods/covers over existing building mounted and freestanding signs while new signs are being manufactured, provided that such sign or signs shall not be displayed for more than eight (8) weeks and shall not exceed the sign area that they are replacing or covering.
 - (7) Yard sale signs in a residential district provided that such signs shall be displayed only on the day of the event and on the property holding the event. The maximum sign area shall be eight (8) square feet.
 - (8) Special exhibition signs for museums and art galleries provided that the signs are limited to one (1) sign for each building used primarily as a museum or art gallery, the sign shall be placed on the building no earlier than seven (7) days before and removed within twenty-four (24) hours after the last day of the exhibition to which it pertains. Additionally, the maximum signage area per building shall be two hundred (200) square feet, unless additional square footage is approved.
 - (9) Promotional signs not exceeding six (6) square feet advertising special events or promotions provided that the signs are properly placed on the property or on the inside of windows and such signs are removed within twenty-four (24) hours after the promoted event is over. Promotional signs may be approved for up to five (5) events per calendar year, with no more than thirty (30) days a year total approved for all qualifying signs or events per property.
 - (10) Any special purpose sign not covered above provided that it is removed within thirty (30) days from the date of approval unless otherwise specified. If within the specified period the applicant feels there is a continued need for the special purpose sign the applicant may file a new application to request additional display time. Non-governmental banners and flags, excluding flags included as elements of an overall streetscape or design plan, are considered special purpose signs under the provisions of this section and are appropriate for advertising and decoration only during special events or celebrations. No permanent advertising may be handled in this way.
 - (11) The director of downtown operations may provide written authorization for one (1) approved symbol, logo, or sign to be temporarily placed on chartered watercraft for special events. The sign shall not exceed eight (8) square feet.
 - (12) Temporary construction screening shall provide for safe pedestrian access along exposed construction sites. These screens can be temporary art and use graphics to enhance the screen. Such screens shall not use chain link in RIO-3. Temporary construction screens shall contain a project sign which shall not exceed thirty-two (32) square feet. Such project sign shall include the project name, project architect, consultants, general contractor, principal use, and project start and end time.
 - (13) Temporary displays are authorized if in accordance with chapter 28 of the City Code of San Antonio, Texas.
- (k) Prohibited Signs. The following signs are prohibited:
- (1) Billboards, junior billboards, portable signs, and advertising benches;
 - (2) Any sign placed upon a building, object, site, or structure in any manner so as to disfigure, damage, or conceal any window opening, door, or significant architectural feature or detail of any building;
 - (3) Any sign or sign spinner which advertises commercial off-premises businesses, products, activities, services, or events unless otherwise allowed in this article;
 - (4) Any sign which does not identify a business or service within the river improvement overlay district unless otherwise allowed in this article;
 - (5) Any non-contributing sign which is abandoned or damaged beyond fifty (50) percent of its replacement value, including parts of old or unused signs. All remnants such as supports, brackets and braces must also be removed;
 - (6) Any attachment to an already affixed sign which does not meet the provisions of the City Code;
 - (7) Roof mounted signs, except in the cases of landmark signs or unless approved in accordance with standards set forth in subsections (b) and (c) of this section. Contributing roof mounted signs may be resurfaced with an approved certificate of appropriateness. The square footage of roof mounted signs shall be included in the total allowable signage for the building;
 - (8) Pole-mounted cabinet signs and pylon signs;
 - (9) Digital displays, digital and/or LED lighted signs, not to include LED light sources that do not meet the definition of a sign, with or without rotating, flashing lettering, icons or images.
- Except as provided below:

- A. A public transportation agency may incorporate transit information signage into transit shelters, utilizing LED or digital technology, provided the signage is contained within or under the transit shelter, and is limited to five (5) square feet of signage area, and one (1) sign per thirty (30) linear feet of pedestrian shelter.
 - B. A public transportation agency may incorporate transit information signage into a monument sign at transit stops, utilizing LED or digital technology, provided it is limited to five (5) square feet of signage area.
 - C. A public transportation agency may incorporate transit information signage into a monument sign at transit facilities (other than transit stops), utilizing LED or digital technology, provided it is limited to seven (7) square feet of signage area.
 - D. The historic preservation officer may impose additional restrictions on illumination to ensure that the character of signs are harmonious with the character of the structures on which they are to be placed and designated landmarks or districts in the area, provided that such restrictions are reasonably related to other conforming signs and conforming structures in the area, do not unreasonably restrict the amount of signage allowed by this section, and are in keeping with the intent of this section. Among other things, consideration shall be given to the location and illumination of the sign in relation to the surrounding buildings, the use of appropriate materials, the size and style of lettering and graphics, and the type of lighting proposed.
 - E. Digital displays, digital and/or LED lighted signs are authorized in conjunction with a temporary display for a permitted event if in accordance with chapter 28 of the City Code of San Antonio, Texas.
- (10) Revolving signs or signs with a moving component.
 - (11) Any sandwich board which conflicts with the Americans with Disabilities Act, or which disrupts or interferes with pedestrian or other traffic.
 - (12) Any sign that obscures a sign display by a public authority for the purpose of giving instructions or directions or other public information.
 - (13) Any sign which consists of pennants, ribbons, spinners or other similar moving devices.
 - (14) Any sign, except official notices and advertisements, which is nailed, tacked, posted or in any other manner attached to any utility pole or structure or supporting wire, cable, or pipe; or to any tree on any street or sidewalk or to public property of any description.
 - (15) Moored balloons, wind jammers or other floating or inflated signs that are tethered to the ground or to a structure.
 - (16) Any permanent or temporary sign affixed to, painted on, or placed in or upon any parked vehicle, parked trailer or other parked device capable of being towed, which is parked so as to advertise the business to the passing motorist or pedestrian; and whose primary purpose is to provide additional on-site signage or is to serve the function of an outdoor advertising sign. Excluded from this are vehicles or equipment that are in operating condition, currently registered and licensed to operate on public streets with a valid inspection sticker, and actively used in the daily function of the business to which such signs relate; vehicles/equipment engaged in active construction projects; vehicles or equipment offered for rent to the general public and stored on-premises and otherwise allowed under applicable city ordinance.

Notwithstanding the above, signs designated as a contributing sign or structure by the historic preservation officer shall not be prohibited unless or until such designation is revoked.

- (l) Installation. Signs, posters, decals or advertisements may not be affixed, tacked, nailed, pasted, or taped to any portion of a building, object, site or structure in a manner that will cause irreversible damage or loss, or is considered inappropriate under any applicable guidelines utilized by the office of historic preservation. Signs installed on masonry structures shall be installed in the mortar, not in the masonry unit.
- (m) Hardship Cases.
 - (1) Whenever the location, topography or configuration of any lot is such as will cause a hardship by the limitations placed on the signs permitted by this article due to sight distances, existing vegetation, location of buildings on adjacent lots, and/or the topography of the parcel, approval may be granted to either allow additional signage, or to increase the amount of building mounted sign area by not more than twenty-five (25) percent.
 - (2) No additional signage shall be approved unless it is found that approval of the proposed application will not be of substantial detriment to adjacent property and that the character of the area will not be changed by the granting of additional signage.
 - (3) Any additional signage approval shall be limited to the applicant only, and shall not apply to any future tenant or business.
- (n) Nonconforming Status. Any legally erected sign that, by reason of revisions to this chapter, no longer complies with its provisions, shall be awarded nonconforming status upon review by all necessary city departments.

- (o) Performing Arts Center Signs. Notwithstanding any other provision of this chapter or chapter 28 of the City Code of the City of San Antonio, a wall sign that is a digital display monitor meeting the following parameters may be allowed in the "RIO-3" River Improvement Overlay District-3 by the city council with a specific use authorization provided that such digital display monitor meets the following standards:
1. The monitor must be situated on a performing arts center premises.
 2. The monitor may only be utilized during ticketed events, either indoor or outdoor, of the performing arts center.
 3. The monitor shall not be used for on-premise or off-premise advertising.
 4. Sound associated with the monitor must be in compliance with the noise ordinance in the City Code.
 5. The light intensity of the monitor shall not exceed:
 - (a) One thousand (1,000) nits during the day; and
 - (b) Five hundred (500) nits at night, measured from sunset until sunrise.
 6. The monitor must automatically adjust the monitor's light intensity according to ambient light conditions.
 7. The size of the monitor must be in compliance with the provisions of subsection 35-678(d).
 8. The monitor must comply with all condition(s) imposed by the city council as part of the specific use authorization.
- (p) Violations in River Improvement Overlay Districts and on the Riverwalk.
- (1) In those instances where a sign is erected or maintained in violation of the aforementioned restrictions, the historic preservation officer, the department of development services, park police or code compliance shall notify the sign's owner, agent, operator, or lessee. If the owner, agent, operator, or lessee of the sign fails to remove the sign within three (3) days after notification, the department of development services or historic preservation officer may file an action in municipal court as outlined in section 28-15 of the City Code of San Antonio, Texas. In addition, nothing herein shall prevent the city attorney from seeking civil remedies.
 - (2) Dilapidated Signs - All signs shall be maintained in good working condition so as to present a neat and orderly appearance. All signs and components thereof shall be maintained in good repair, free of rust, peeling, flaking, fading, broken or cracked panels, and broken or missing letters. All signs, components, supports and their surroundings shall be kept free of all sign materials, weeds, debris, trash, and other refuse. The historic preservation officer, the code compliance department, department of development services or park police may give written notice to remove or repair, within thirty (30) days, any sign which shows gross neglect or which is dilapidated. Failure to comply shall be considered a violation of this chapter, and the sign shall be removed at the owner's expense. Additionally, whether the sign has been designated a contributing structure shall be taken into account when evaluating the condition of the sign.
 - (3) Abandoned Signs - A sign, including its supporting structure or brackets, shall be removed by the owner or lessee of the premises upon which the sign is located when the business which it advertises is no longer on the premises and such sign has been determined to be abandoned under the provisions of chapter 28. Such sign, if not removed within thirty (30) days from the determination of abandonment by such business shall be considered to be in violation of this chapter, and shall be removed at the owner's expense. This does not include signs that are approved as contributing structures.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to perform site and landscaping modifications and install shipping container structures on site at 1119 through 1123 Avenue B, located within the River Improvement Overlay, District 3.
- b. EXISTING SITE CONDITIONS – The proposed site is bounded by Avenue B to the east, 12th street to the north and the San Antonio River to the west. The lot currently features existing surface paving and parking lots. This site is located in an area that features buildings of varying heights, ages and architectural styles.
- c. SAN ANTONIO RIVER AUTHORITY COORDINATION – Per the UDC Section 35-672(c)8, consultation with the San Antonio River Authority regarding direct access to the San Antonio River, landscaping and maintenance boundaries and storm water control measures prior to the submission for a Certificate of Appropriateness. The applicant is responsible for complying with this section of the UDC.
- d. SITE & LANDSCAPING – The applicant has proposed to perform site and landscaping modifications to include the installation of artificial turf, outdoor patio areas, on site concrete paving, low-impact development features, the removal of non-heritage trees and a concrete ramp and walk connection to the right of way at the River Walk. Generally, staff finds the proposed scope of work to be appropriate; however, the applicant is responsible for coordination with the San Antonio River Authority, as noted in finding c.

- e. LANDSCAPING MATERIALS – The applicant has proposed landscaping materials that include low impact development features, shadow stone, wood mulch, artificial turf. Staff finds the proposed materials to be appropriate; however, staff finds that the proposed artificial turf should be replaced with a natural material. The applicant is responsible for coordinating all site and landscaping elements with Public Works Department.
- f. DOG PARK – Between the existing surface parking lot and the proposed building site, the applicant has proposed to install a dog park. The applicant has noted that the proposed dog park will be enclosed by a five (5) foot tall vinyl fence. Staff finds the installation of a dog park at this location to be appropriate; however, the applicant should submit a fencing detail to OHP staff for review and approval. Additionally, the applicant should coordinate drainage from the dog park with the Public Works Department and the San Antonio River Authority.
- g. SITE BUILDINGS – The applicant has proposed to install shipping container structures to house a bar, kitchen, coffee shop, restrooms and a walk-in cooler. The proposed containers will be clad with wood slats and corten metal panels. Generally, staff finds the installation, placement, and proposed exterior materials to be appropriate and consistent with the UDC.
- h. SITE BUILDINGS (Windows) – The applicant has noted the creation of various window and door openings within the proposed structures, and has proposed to install aluminum windows. Staff finds that the applicant should ensure that windows with dark colored frames are installed and that windows are recessed within openings, or are installed in a manner that creates a recessed appearance; such as wood slats being installed as a façade material.
- i. SITE BUILDINGS (Architectural Details) – The applicant has proposed a cladding system, awnings and façade arrangement that separate the facades of the proposed buildings and create human scaled elements. Staff finds this to be appropriate and consistent with the UDC.
- j. SIGNAGE – The applicant has proposed signage to include a large sign to read “Hops/Hounds”, a small circular sign on the Avenue B elevation, and signage within the site for restrooms and food/drink ordering and pickup locations. The signage within the site is incidental and appropriate per the UDC. The UDC Section 35-678 notes that each application shall not exceed one major and two minor signs that total fifty (50) square feet, unless otherwise approved by the HDRC. Generally, staff finds the proposed signage to be appropriate in size and placement; however, the applicant should submit detailed signage documents to OHP staff for review and approval. At this time the applicant has not proposed signage facing the River Walk or at the River Walk level/connection. If signage is proposed at this location, it is to be submitted for review and approval.
- k. ARCHAEOLOGY – The project area is within a River Improvement Overlay District. In addition, the project area is in close proximity to the historical alignment of the San Antonio River, an area known to contain significant historic and prehistoric archaeological deposits. The project area is also in close proximity to several previously recorded archaeological sites, including 41BX2309. The property may contain sites, some of which may be significant. Therefore, an archaeological investigation is required. The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

RECOMMENDATION:

1. Staff recommends approval of item #1, site and landscaping modifications based on findings d and e with the following stipulations:
 - i. That the applicant coordinate with the San Antonio River Authority in regards to regarding direct access to the San Antonio River, landscaping and maintenance boundaries and storm water control measures.
 - ii. That the applicant coordinate with the Public Works Department regarding site development, flood plain coordination, low impact development features, the development of a dog park and site drainage.
 - iii. That the applicant propose an alternative landscaping/ground cover material other than artificial turf.
2. Staff recommends approval of item #2, the installation of a dog park based on finding f with the following stipulation:
 - i. That a fence detail be submitted to OHP staff for review and approval prior to the issuance of a Certificate of Appropriateness.
3. Staff recommends approval of item #3, the installation of shipping containers on site to act as site buildings based on findings g through i with the following stipulations:
 - i. That the applicant install windows that feature dark colored frames and are installed in a manner that that creates a recessed appearance; such as wood slats being installed as a façade material.
4. Staff recommends approval of item #4, the installation of signage with the following stipulations:

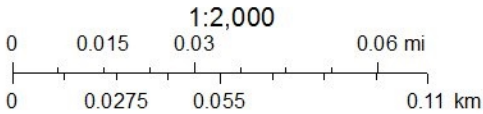
- i. That the applicant submit detailed signage documents to OHP staff for review and approval. All signage should be consistent with the UDC Section 35-678.

ARCHAEOLOGY – An archaeological investigation is required. The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

City of San Antonio One Stop



June 23, 2022



DOG FRIENDLY OUTDOOR RESTAURANT AND BAR

1123 AVENUE B
SAN ANTONIO, TEXAS 78215



CONSTRUCTION DRAWINGS ORGANIZATION

A. **ARCHITECTURAL DRAWINGS ORGANIZATION:** ARCHITECTURAL DRAWINGS OCCUR FIRST IN THE DOCUMENTS PACKAGE AND ARE ORGANIZED INTO SECTIONS, GENERALLY ACCORDING TO THE PARTICULAR ASPECT OF WORK ON THE PROJECT. EACH SECTION IS NUMBERED SEQUENTIALLY, AS FOLLOWS:

- A1. GENERAL INFORMATION
- A2. SITE
- A3. FLOOR PLAN/S
- A4. EXTERIOR ELEVATIONS
- A5. SECTIONS, DETAILS
- A6. SPECIFICATIONS

REFER TO THE INDEX OF DRAWINGS FOR SPECIFIC ORGANIZATION DETAILS FOR THIS SET OF DOCUMENTS.

B. **CONSULTANT DRAWINGS ORGANIZATION:** DRAWINGS PREPARED BY SEPARATE CONSULTANTS OCCUR AFTER THE ARCHITECTURAL DRAWINGS IN THE FOLLOWING SEQUENCE, IF AND AS APPLICABLE:

- L. LANDSCAPE
- IR. LANDSCAPE IRRIGATION
- C. CIVIL
- S. STRUCTURAL
- M. MECHANICAL
- E. ELECTRICAL
- P. PLUMBING

REFER TO EACH INDIVIDUAL CONSULTANT'S DOCUMENT PACKAGE FOR INFORMATION REGARDING THE INTERNAL ORGANIZATION, KEYING AND SYMBOL SYSTEMS FOR EACH CONSULTANTS DOCUMENTS.

C. **ARCHITECTURAL DRAWINGS SHEET NUMBERING:** ARCHITECTURAL DRAWINGS ARE NUMBERED IN THE LOWER RIGHT HAND CORNER OF EACH SHEET, FIRST BY SECTION, THEN BY SHEET NUMBER WITHIN THE SECTION:

A2.5

(INDICATES THE 5TH SHEET IN SECTION A2).

D. **ARCHITECTURAL DRAWING NUMBERING:** ARCHITECTURAL DRAWINGS ARE NUMBERED SEQUENTIALLY (1,2,3, ETC.)ON EACH SHEET WITHIN THE SECTION:

26 SECTION DETAIL

3/4" = 1'-0"

(INDICATES THE 26TH DRAWING ON THIS SHEET).

E. **ARCHITECTURAL DRAWING KEYS:** ARCHITECTURAL DRAWINGS ARE KEYED BY NUMBER AND SHEET, AS FOLLOWS:

2/A3.4 (INDICATES THE 2ND DRAWING ON SHEET A3.4.)

THE FOLLOWING KEYING SYMBOLS MAY BE USED:

2/A3.4

THIS SYMBOL IS A KEY TO AN ELEVATION DRAWING. THE ARROW POINTS IN THE DIRECTION OF THE VIEW FOR THE ELEVATION.

2/A3.4

THIS SYMBOL IS A KEY TO A SECTION TAKEN ALONG THE STRAIGHT LINE OF THE SYMBOL. THE ARROW POINTS IN THE DIRECTION OF THE VIEW FOR THE SYMBOL.

2/A3.4

THIS SYMBOL IS A KEY TO A DETAIL OF THE AREA WITHIN THE CALLOUT.

F. **ARCHITECTURAL ROOM KEYS:** INDIVIDUAL SPACES IN THE FLOOR PLAN/S ARE KEYED SEQUENTIALLY ON THE PLAN DRAWING/S, FIRST BY FLOOR, THEN BY ROOM NUMBER, AS IN THE EXAMPLE BELOW:

ROOM NAME
202

G. **ARCHITECTURAL DOOR KEYS:** DOORS ARE KEYED ON THE FLOOR PLANS WITH A PREFIX "D" FOLLOWED BY THE ADJOINING ROOM NUMBER. IF MULTIPLE DOORS OCCUR IN A SINGLE ROOM, EACH ADDITIONAL DOOR KEY CONTAINS AN ALPHABETICAL SUFFIX (A, B, C, ETC.) AFTER THE ROOM NUMBER, AS IN THE EXAMPLE BELOW:

D101

H. **ARCHITECTURAL GLAZING/WINDOW KEYS:** WINDOWS/GLAZING ARE KEYED BY TYPE ON THE FLOOR PLANS WITH A PRE-FIX "W" FOLLOWED BY A NUMERICAL SUFFIX (1, 2, 3, ETC.), AS IN THE EXAMPLE BELOW:

W4

I. **ARCHITECTURAL PARTITION KEYS:** PARTITIONS ARE KEYED BY TYPE ON THE FLOOR PLANS ALPHABETICALLY [A, B, C, ETC.], AS IN THE EXAMPLE BELOW:

B1

J. **ARCHITECTURAL "NORTH ARROW" SYMBOLS:** TWO NORTH ARROW SYMBOLS MAY BE UTILIZED ON ARCHITECTURAL DRAWINGS.



THIS SYMBOL DENOTES "TRUE" (MAGNETIC) NORTH



THIS SYMBOL DENOTES "PROJECT" NORTH. THE ARROW POINTS IN THE DIRECTION CLOSEST TO TRUE NORTH THAT IS PARALLEL/PERPENDICULAR TO THE BUILDING/PROJECT.

K. **ARCHITECTURAL GRADE ELEVATION SYMBOLS:** TWO GRADE ELEVATION SYMBOLS MAY BE UTILIZED ON ARCHITECTURAL DRAWINGS.

100'-0"

THIS SYMBOL DENOTES AN EXISTING SPOT ELEVATION TO REMAIN.

100'-0"

THIS SYMBOL DENOTES AN EXISTING SPOT ELEVATION THAT WILL CHANGE WITH NEW CONSTRUCTION.

100'-0"

THIS SYMBOL INDICATES A NEW SPOT ELEVATION.

L. **ARCHITECTURAL NOTES:** THREE TYPES OF NOTATION MAY BE UTILIZED ON ARCHITECTURAL DRAWINGS.

GENERAL NOTES DESCRIBE GENERAL INFORMATION REGARDING THE PROJECT WORK RELATED TO THE DRAWINGS OF A PARTICULAR SHEET. GENERAL NOTES ARE LABELED ALPHABETICALLY (A, B, C, ETC.) ON EACH SHEET.

KEYNOTES DESCRIBE SPECIFIC ITEMS ON THE DRAWINGS OF A PARTICULAR SHEET. KEYNOTES ARE LISTED NUMERICALLY (1, 2, 3, ETC.) IN A COLUMN AND CORRESPOND TO KEYED SYMBOLS ON THE APPROPRIATE DRAWING OF A PARTICULAR SHEET, AS IN THE EXAMPLE BELOW. KEYNOTE NUMBERING IS SPECIFIC TO EACH SHEET; A GIVEN KEYNOTE NUMBER MAY OR MAY NOT REFERENCE THE SAME ITEM ON DIFFERENT SHEETS.

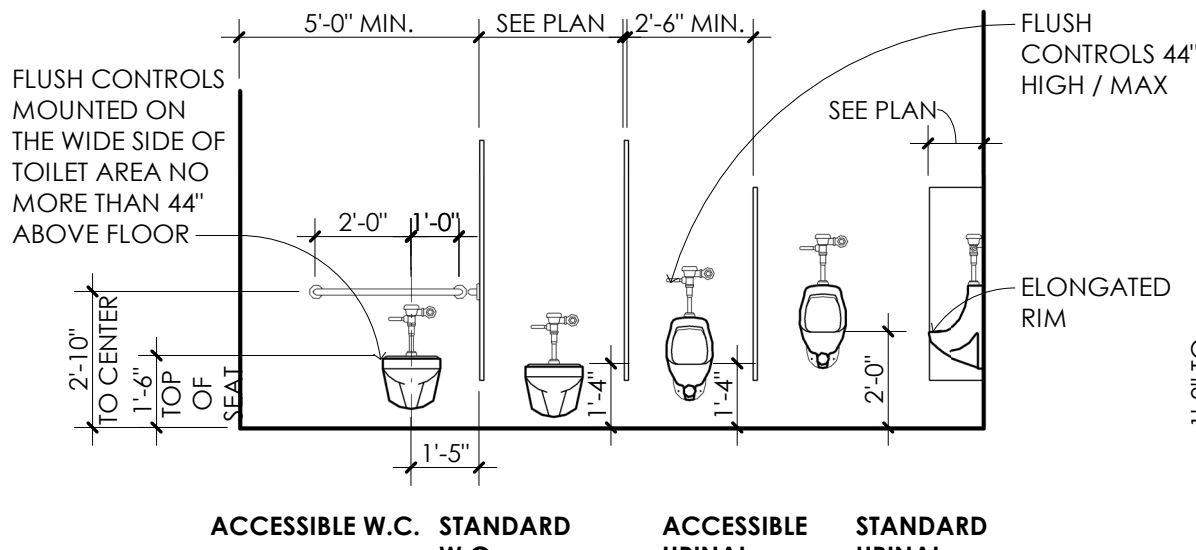
PLASTIC LAMINATE

DRAWING NOTES DESCRIBE SPECIFIC ITEMS ON A SPECIFIC DRAWING, AS IN THE EXAMPLE BELOW, AND MAY BE UTILIZED IN COMBINATION WITH OR IN LIEU OF KEYNOTES.

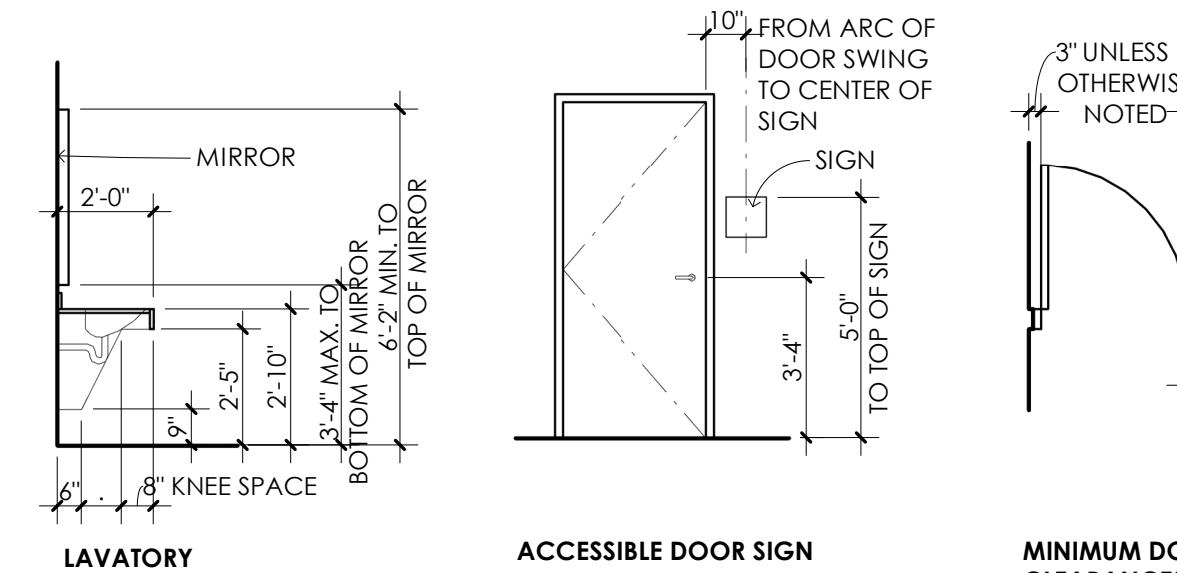
M. **DIMENSIONS:**
1. PLAN DIMENSIONS ARE TO FACE OF WALL FINISH OR FACE OF MASONRY, UNLESS SPECIFICALLY NOTED OTHERWISE.
2. SECTION/DETAIL/CABINETWORK DIMENSIONS ARE ACTUAL FINISH DIMENSIONS, UNLESS SPECIFICALLY NOTED OTHERWISE.
3. INTERIOR ELEVATION DIMENSIONS ARE NOMINAL AND ASSUME A LEVEL FLOOR CONDITION. RUN ALL HORIZONTAL REVEALS AND TRIM LEVEL AND ALL VERTICAL REVEALS PLUMB.

ACCESSIBILITY STANDARDS

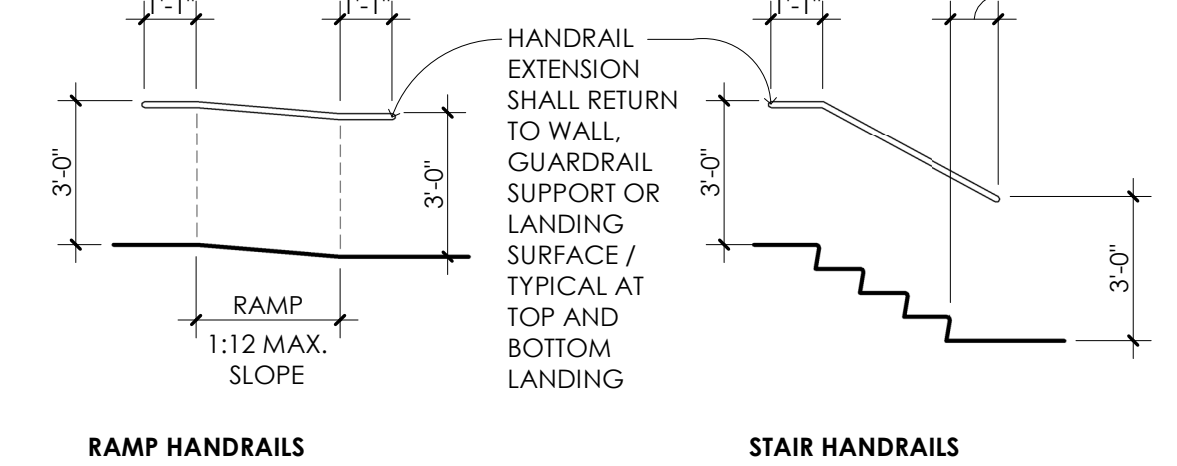
ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE TEXAS ACCESSIBILITY STANDARDS OF THE ELIMINATION OF ARCHITECTURAL BARRIERS TEXAS GOVERNMENT CODE, CHAPTER 469, ADMINISTERED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION EFFECTIVE MARCH 15, 2012, INCLUDING BUT NOT LIMITED TO THE FOLLOWING



ACCESSIBLE W.C. STANDARD W.C. ACCESSIBLE URINAL STANDARD URINAL

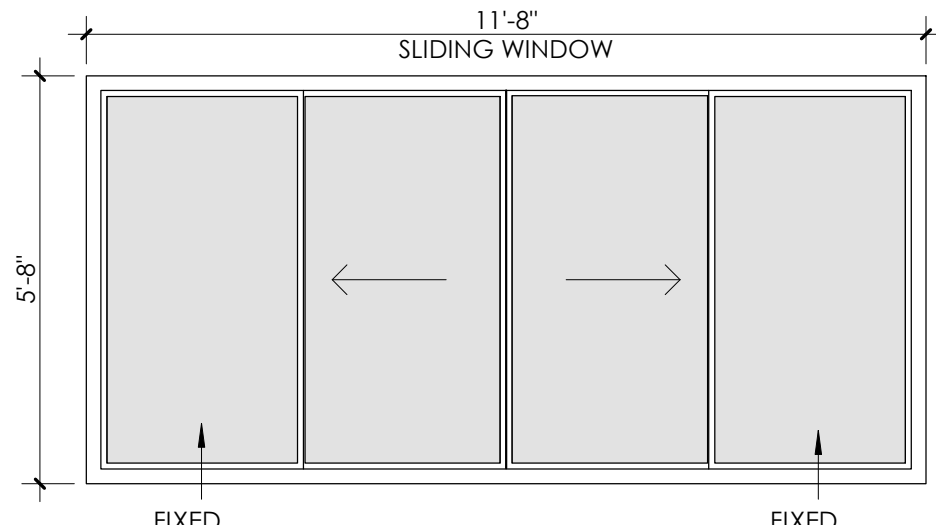


LAVATORY ACCESSIBLE DOOR SIGN MINIMUM DOOR CLEARANCES



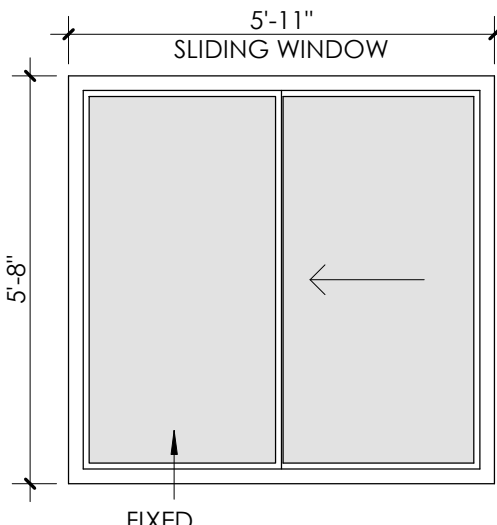
RAMP HANDRAILS STAIR HANDRAILS

WINDOW TYPES



W1

QUANTITY: 3
TYPE: EXTERIOR
SLIDING



W2

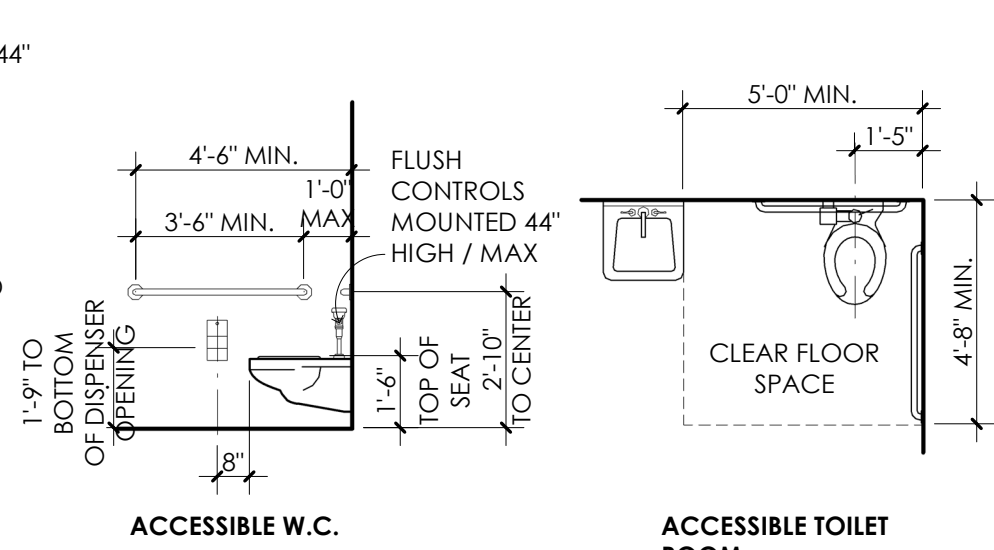
QUANTITY: 2
TYPE: EXTERIOR
SLIDING

WINDOW NOTES:

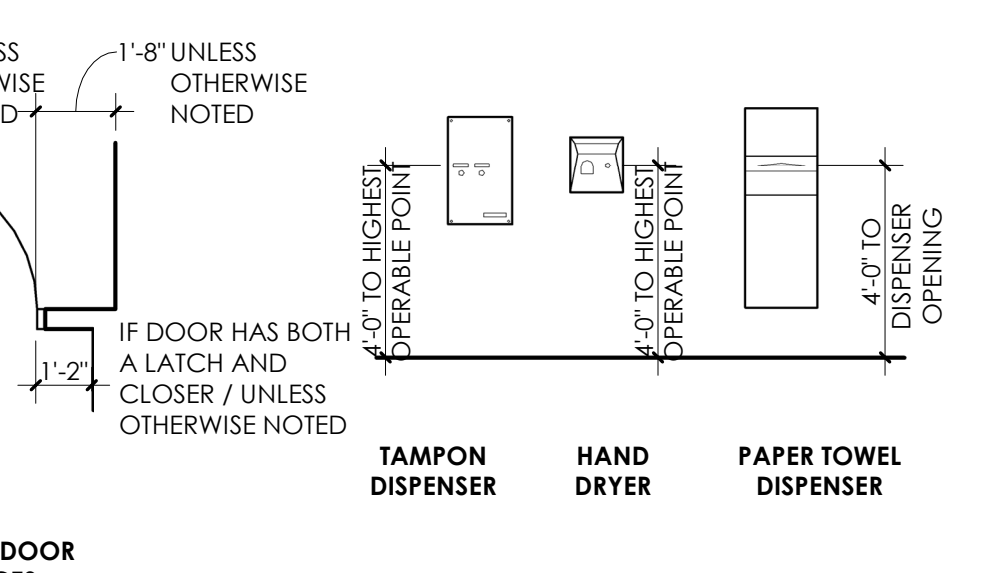
PLYGEM 4720 SERIES SLIDING WINDOWS
OPERATION: SLIDING
SIZE: SEE WINDOW TYPES
COLOR/FINISH: BRONZE
CONFIGURATION: SEE WINDOW TYPES
HARDWARE: STANDARD
NAILING FIN: NONE
DIVITED LITES: NONE
GLAZING: 3/4 LOW E / WARM EDGE
PERFORMANCE: UFACTOR: 0.56 / SHGC: 0.24
PURCHASE FROM: HOME DEPOT

ACCESSIBILITY STANDARDS GENERAL NOTES

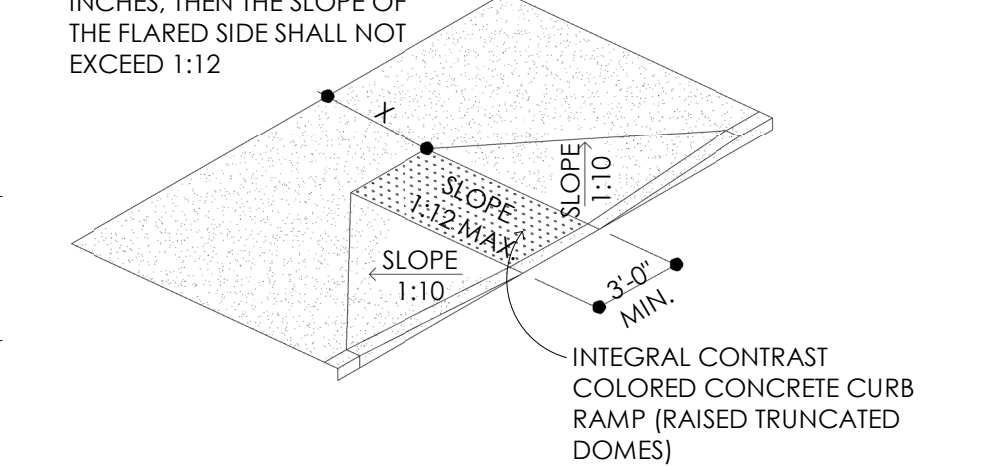
1. ALL EXPOSED PIPES AND SURFACES MUST BE INSULATED
2. ALL DOOR HARDWARE & LAVATORY FAUCETS MUST BE LEVERS / NO ROUND KNOBS
3. ALL HANDRAILS, GRAB BARS, AND TUB OR SHOWER SEATS MUST HOLD 250 LBS
4. ALL DOOR CLOSERS SHALL BE ADJUSTED TO A MINIMUM OF 5 SECONDS
5. ALL DOOR OPENING FORCE FOR INTERIOR DOORS SHALL BE ADJUSTED TO 5 LBS MAX.



ACCESSIBLE W.C. ACCESSIBLE TOILET ROOM

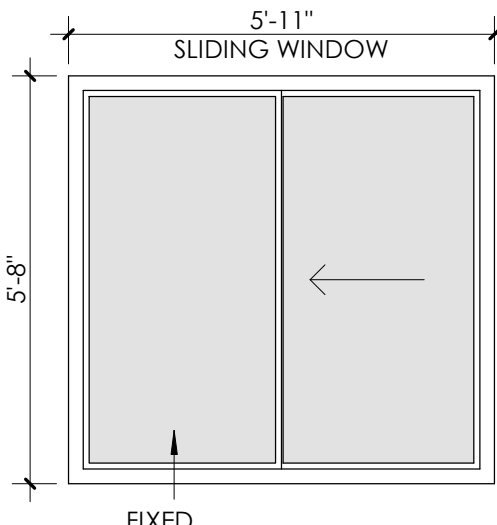


LAVATORY ACCESSIBLE DOOR SIGN MINIMUM DOOR CLEARANCES



RAMP HANDRAILS STAIR HANDRAILS

WINDOW TYPES



W2

QUANTITY: 2
TYPE: EXTERIOR
SLIDING

WINDOW NOTES:

PLYGEM 4720 SERIES SLIDING WINDOWS
OPERATION: SLIDING
SIZE: SEE WINDOW TYPES
COLOR/FINISH: BRONZE
CONFIGURATION: SEE WINDOW TYPES
HARDWARE: STANDARD
NAILING FIN: NONE
DIVITED LITES: NONE
GLAZING: 3/4 LOW E / WARM EDGE
PERFORMANCE: UFACTOR: 0.56 / SHGC: 0.24
PURCHASE FROM: HOME DEPOT

CODE REVIEW

PROJECT ADDRESS
1123 AVENUE B
SAN ANTONIO, TEXAS 78215

LOCAL ORDINANCES

ADOPTED BUILDING CODE EDITIONS
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2017 NATIONAL ELECTRIC CODE
2012 TEXAS ACCESSIBILITY STANDARDS

OCCUPANCY CLASSIFICATION
A2

TYPE OF CONSTRUCTION
V-8

NO. OF STORIES
1

PROPOSED FLOOR AREA / GROSS AREA
1,280 SF

OCCUPANT LOAD (OF BUILDINGS)
FUNCTION OF SPACE: UNCONCENTRATED ASSEMBLY
LOAD FACTOR : 15 NET

RESTROOM 1: 11 OCCUPANTS
RESTROOM 2: 11 OCCUPANTS
BAR: 22 OCCUPANTS
KITCHEN: 33 OCCUPANTS
COFFEE: 11 OCCUPANTS
TOTAL: 88

FIRE RESISTIVE REQUIREMENTS (CHAPTER 6 AND 7)
STRUCTURAL FRAME (TABLE 601): 0
FLOOR-CEILING (TABLE 601): 0
ROOF-CEILING (TABLE 601): 0
EXTERIOR DOORS & WINDOWS: 0
EXTERIOR WALLS FOR FIRE SEPARATION (TABLE 705.8): GREATER THAN 10' FROM PROPERTY LINE: 0 (NOTE: BUILDINGS ON SAME LOT SHALL BE CONSIDERED PORTION OF 1 BUILDING PER EXCEPTION 1 TO 705.3) SHAFT ENCLOSURES (SECTION 713): 0

UDC ZONING DESIGNATION
FB2 T6-2
RIO-2
LID FEATURED REQUIRED BY SAN ANTONIO RIVER AUTHORITY

DESIGN REVIEW
PUBLIC PROJECT REQUIRING HDRC REVIEW: YES - RIO-2
IS IT LOCATED IN HISTORIC DISTRICT OR SITE (HYPERLINK
"https://qagis.sanantonio.gov/ohpsearch/view/view.html?SAN ANTONIO HISTORIC DISTRICT MAP): RIO-2
SUBDIVISION/NEIGHBORHOOD REVIEW REQUIRED: YES FB2
SUBDIVISION/NEIGHBORHOOD DESIGN GUIDELINES: YES FB2

INTERNATIONAL ENERGY CODE

CLIMATE ZONE (FIGURE C301.1):
2

COMPLIANCE PATH (SECTION C401.2):
PRESCRIPTIVE:C402.1.5 COMPONENT PERFORMANCE ALTERNATIVE METHOD (COMCHECK)

FB2 T6 REQUIREMENTS:

UDC FB2 -ZONING REQUIREMENTS
FRONT SETBACK: 0'-12" (NOTE: THERE IS A 14' CPS EASEMENT ON SITE. PROJECT MEETS THE EXCEPTION TO THE SETBACK REQUIREMENT FROM 35-209 (E)(2) A8.
8.SETBACKS FOR PRINCIPAL BUILDINGS SHALL BE AS SHOWN IN TABLE 209-18. NOTWITHSTANDING THE PRECEDING, IF ONE (1) OR MORE OF THE FOLLOWING CONDITIONS IS PRESENT, THEN THE MAXIMUM SETBACKS FOR PRINCIPAL BUILDINGS SHALL BE INCREASED TO THE EXTENT NECESSARY TO ACCOMMODATE SUCH EXISTING EASEMENT(S) OR TO COMPLY WITH SUCH CONFLICTING GOVERNMENTAL LAW(S), RULE(S), ORDINANCE(S) OR POLICY: A.RECORDED EASEMENT HELD BY THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS DEPARTMENT OF TRANSPORTATION, CITY PUBLIC SERVICE ENERGY, SAN ANTONIO WATER SYSTEM OR OTHER UTILITY PROVIDER (INCLUDING TELEPHONE OR CABLE TELEVISION) IS PRESENT AND WOULD PREVENT COMPLIANCE WITH THE SETBACK REQUIREMENTS HEREUNDER.)

BUILDING HEIGHT: 2 STORY MIN / 8 STORY MAX (NOTE: PROJECT MEETS THE EXCEPTION IN THE CODE SINCE ALL OF THESE APPLY:
3.WHERE MINIMUM STORIES OF TWO (2) OR MORE ARE PRESCRIBED BY TABLE 209-18, SINGLE-STORY BUILDINGS ARE PERMITTED IF THEY CONFORM TO ALL OF THE FOLLOWING REQUIREMENTS:
A.THE SINGLE-STORY BUILDINGS ARE NO MORE THAN FORTY (40) PERCENT OF A LINEAR BLOCK FACE
B.THE SINGLE-STORY BUILDINGS ARE NOT LOCATED WITHIN SIXTY (60) FEET FROM A STREET INTERSECTION
C.THE BUILDING IS REPLACING A SINGLE-STORY BUILDING THAT IS BEING DEMOLISHED IN CONNECTION WITH THE DEVELOPMENT OF THE NEW BUILDING.)

BUILDING CONFIGURATION: COURTYARD (NOTE: ALL CONTAINERS MAKE UP ONE PRINCIPAL BUILDING WITH ONE PRINCIPAL ENTRANCE / THERE ARE NO OUTBUILDINGS OR BACK BUILDINGS ON THIS SITE)

FRONTAGE REQUIREMENT: 80% MINIMUM FRONTAGE

BUILDING FUNCTION: RETAIL / RESTAURANT

PARKING: EXEMPTIONS FROM REQUIRED PARKING: A.NONRESIDENTIAL. THE FIRST ONE THOUSAND FIVE HUNDRED (1,500) SQUARE FEET OF NONRESIDENTIAL SPACE SHALL BE EXEMPT FROM REQUIRED PARKING CALCULATION.

RIVER SETBACK: 15' FROM TOP OF BANK

SIDE SETBACK: 0'-12'

REAR SETBACK: NA

LOT COVERAGE: 85% MAX

LID FEATURE
POROUS PAVING GRID

BMP SIZING CALCULATION (METHOD 1):
IMPERVIOUS COVER AREA: 10,080 SF
DEPTH OF GRAVEL: .5'

WQV = C * (PX/12) * A
WQV = 0.97 * (1.18)^1/2 (" /FT) * 10,080 SF = 962 CF
REQUIRED VOLUME

SF GRID REQUIRED= WQV/REQUIRED/PROPOSED
DEPTH =
962 CF / 0.5' = 1924 SF OF GRID REQUIRED

90% CONSTRUCTION DOCUMENTS

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PRELIMINARY DRAWING

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CLAYTON BARRETT HAGENDORF #23948

DOG FRIENDLY
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A1.0

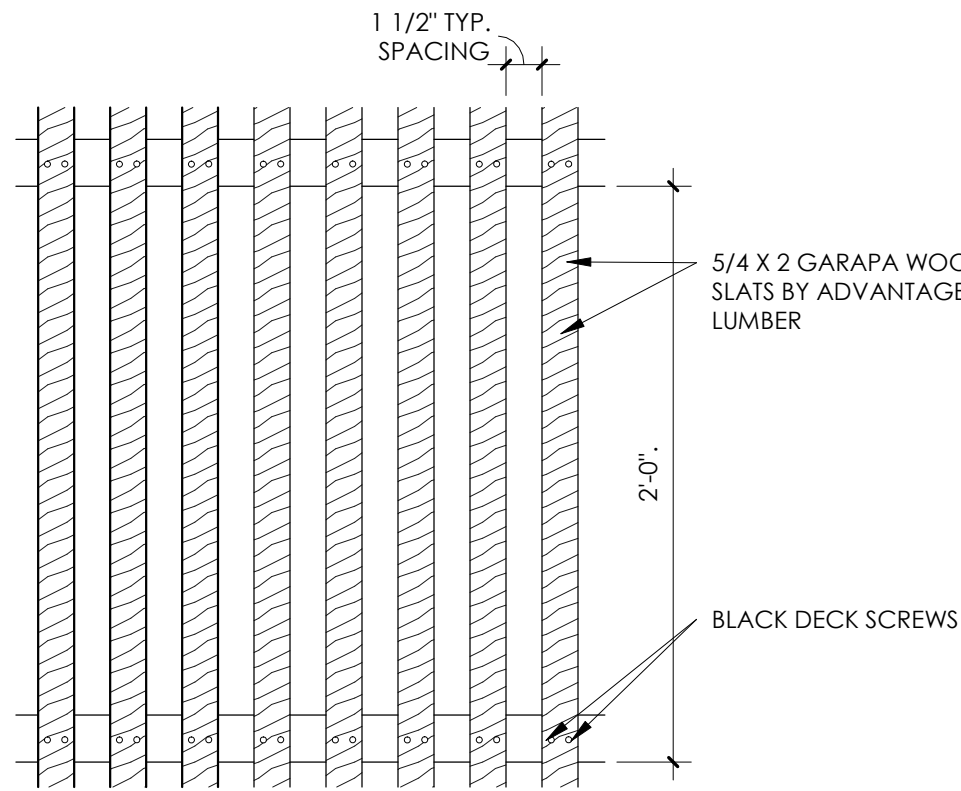
WOOD SCREENING

ALL WOOD SCREENING SHALL BE NOMINAL 5/4" THICK X 2" WIDE GARAPA WOOD BOARDS BY ADVANTAGE LUMBER. REFER TO ELEVATIONS FOR LOCATION OF JOINTS AND SEAMS. THERE ARE TO BE NO OTHER SEAMS OF JOINTS OTHER THAN THE ONES SHOWN ON THE ELEVATIONS. ALL BOARDS TO BE SQUARE AND PLUMB.

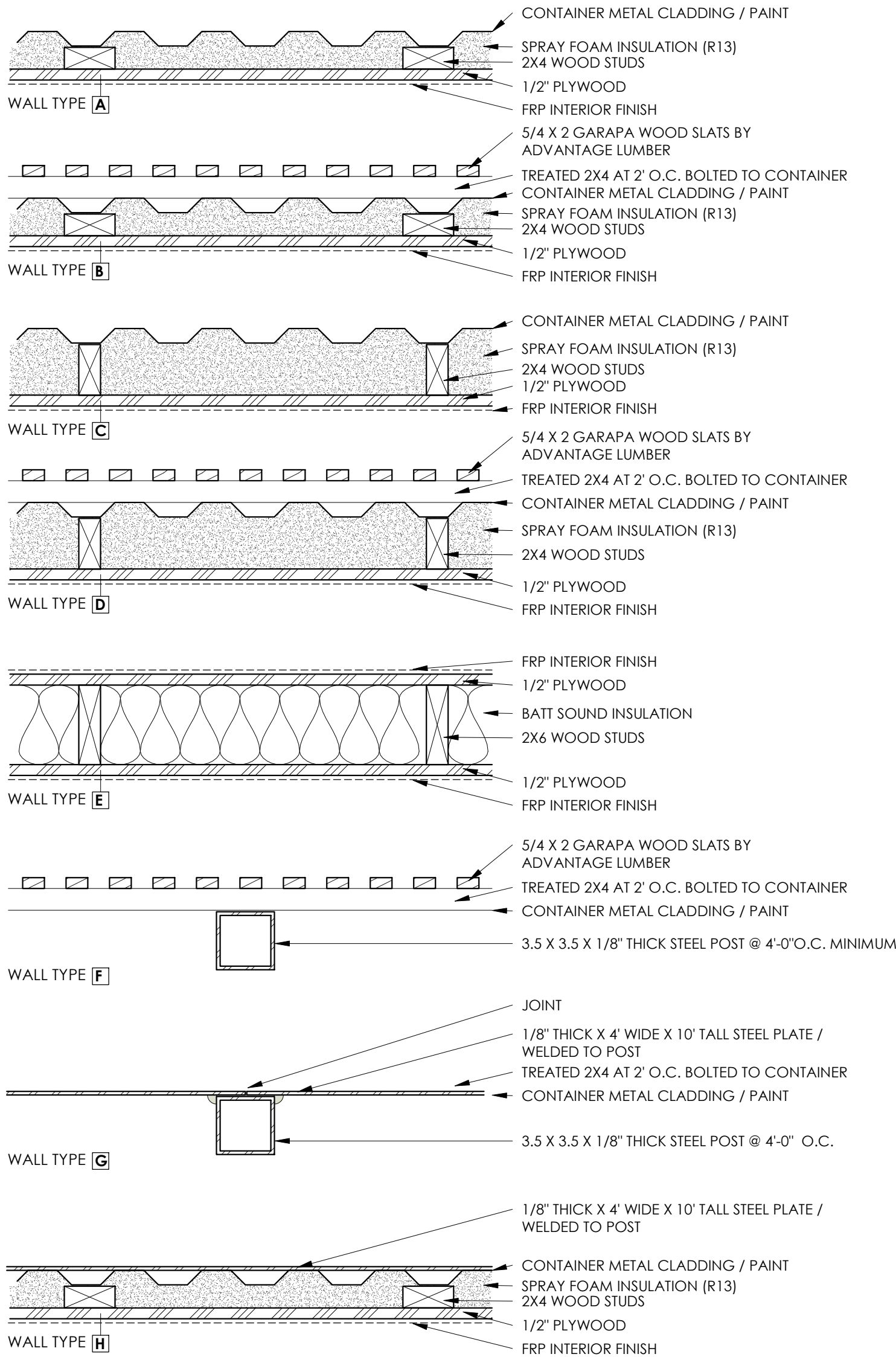
ALL WOOD SCREENING AND DECKING SHALL BE SECURED WITH #8X 2" DECKWISE STAINLESS STEEL SCREWS. COLOR OF SCREWS TO BE SHADOWLINE BLACK. PROVIDE 2 SCREWS AT EACH SUPPORT. PRE-DRILL ALL HOLES IN WOOD WITH JIG PRIOR TO SECURING TO METAL FRAME. ALL SCREWS TO INSTALLED CONSISTANTLY.

SEAL WOOD ENDS ON SITE WITH IPE SEAL - HARDWOOD END GRAIN SEALER FROM ADVANTAGE LUMBER

SEAL FRONT BACK AND SIDES OF WOOD WITH IPE OIL™ HARDWOOD DECK OIL FROM ADVANTAGE LUMBER



TYPICAL ELEVATION



1 WALL TYPES

1 1/2" = 1'-0" ±

SPECIFICATIONS

DIVISION 0- GENERAL CONDITIONS

"THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ISSUED BY THE AMERICAN INSTITUTE OF ARCHITECTS, LATEST EDITION, IS MADE A PART OF THIS CONTRACT AS IF INCORPORATED HEREIN.

THE CONTRACTOR SHALL PREPARE A SCHEDULE OF VALUES FOR THE VARIOUS PORTIONS OF THE WORK FOR OWNER'S APPROVAL. THE APPROVED SCHEDULE OF VALUES SHALL BE THE BASIS FOR THE CONTRACTOR'S MONTHLY APPLICATIONS FOR PAYMENT. TEN PERCENT (10%) RETAINAGE SHALL BE HELD BY THE OWNER UNTIL COMPLETION OF THE WORK.

OWNER-CONTRACTOR CONSTRUCTION CONTRACT SHALL BE BASED IN SUBSTANCE ON AIA STANDARD OWNER CONTRACTOR AGREEMENT, STIPULATED SUM CONTRACT.

DIVISION 1- GENERAL REQUIREMENTS

SUMMARY OF THE WORK: THE WORK INCLUDES SITE WORK, UTILITY EXTENSIONS AND CONNECTIONS, GENERAL CONSTRUCTION, HEATING/VENTILATING/AIR CONDITIONING, PLUMBING, AND ELECTRICAL WORK SHOWN OR REASONABLY IMPLIED ON THE DRAWINGS AND/OR SPECIFICATIONS TO PRODUCE A COMPLETE, WEATHERTIGHT, PROPERLY FUNCTIONING STRUCTURES, INCLUDING APPLICABLE PERMITS, FEES, AND TAXES.

WORK BY OTHERS: COORDINATE THE USE OF THE PREMISES WITH INDEPENDENT SEPARATE CONTRACTORS PERFORMING WORK ABOUT THE PROJECT IF AND AS DIRECTED BY THE OWNER.

OWNER FURNISHED ITEMS INSTALLED BY CONTRACTOR: OWNER FURNISHED ITEMS SHALL BE PURCHASED AND DELIVERED TO THE JOB SITE BY THE OWNER OR OTHERS ON THE OWNER'S BEHALF. CONTRACTOR SHALL RECEIVE, UNCRATE, AND INSTALL ITEMS, INCLUDING PROVIDING NECESSARY ASSOCIATED MATERIALS AND CONSTRUCTION FOR A COMPLETE INSTALLATION. ITEMS INCLUDE BUT ARE NOT NECESSARILY LIMITED TO:

1. LIGHT FIXTURES,
2. PLUMBING FIXTURES & FAUCET SETS
3. COUNTERTOPS
4. SHOWER ENCLOSURE
5. FINISH HARDWARE

EXISTING BUILT AND NATURAL FEATURES: CAREFULLY PROTECT EXISTING CONSTRUCTION AND NATURAL FEATURES TO REMAIN ON OR ADJOINING THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO EXISTING STRUCTURES, TREES AND OTHER NATURAL VEGETATION, ROADWAYS AND FENCING, LEVEES AND EMBANKMENTS.

TEMPORARY UTILITIES: EXISTING UTILITIES MAY BE USED DURING CONSTRUCTION. DURING CONSTRUCTION, CONTRACTOR SHALL EXERCISE CARE TO MINIMIZE USE OF EXISTING UTILITIES. PROVIDE TEMPORARY LIGHTING LEVEL COMMENSURATE WITH THE NATURE OF INTERIOR WORK BEING PERFORMED. PROTECT ALL UTILITIES FROM DAMAGE.

TEMPORARY SANITARY FACILITIES: PROVIDE AND MAINTAIN IN A CLEAN AND ORDERLY CONDITION TEMPORARY SANITARY FACILITIES FOR THOSE EMPLOYED ABOUT THE PROJECT. LOCATE AS APPROVED BY OWNER.

JOB SITE STORAGE: STORE CONSTRUCTION MATERIALS IN LOCATIONS APPROVED BY THE OWNER, AND MAINTAIN STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES. ACCEPT RESPONSIBILITY FOR ALL MATERIALS STORED ON SITE INCLUDING FIRE, THEFT, VANDALISM, AND DETERIORATION. STORE ALL MATERIALS IN ACCORD WITH MANUFACTURER'S PRINTED INSTRUCTIONS, WITH SEALS AND LABELS INTACT.

TEMPORARY CONTROL: CONTINUOUSLY MONITOR AND MANAGE TEMPORARY NUISANCES ARISING FROM CONSTRUCTION ACTIVITIES SUCH AS NOISE, DUST POLLUTION, SILTATION, AND DEBRIS. PROVIDE CONTAINMENT FOR REFUSE; EMPTY NOT LESS THAN WEEKLY AND MORE OFTEN AS REQUIRED FOR CLEANLINESS.

SUBMITTALS: SUBMITTALS AND/OR SAMPLES SHALL BE PROVIDED TO THE OWNER PER THE REQUIREMENTS OF INDIVIDUAL SPECIFICATION SECTIONS.

SUBSTITUTIONS: REQUESTS FOR SUBSTITUTION OF ANY ITEM SPECIFIED SHALL BE SUBMITTED TO THE OWNER IN ADVANCE OF ORDERING. IF THE OWNER DOES NOT APPROVE THE PROPOSED SUBSTITUTION, PROVIDE THE ITEM SPECIFIED.

CODE REQUIREMENTS: ALL CONSTRUCTION WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES, LAWS, AND ORDINANCES AS WELL AS REQUIREMENTS OF ANY UTILITY OR SERVICE PROVIDER ENTITY WHICH APPLY TO ANY ASPECT OF THE WORK.

SAFETY: THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SAFETY OF ALL WORKERS ON THE JOB SITE. HAZARDOUS CONDITIONS SHALL BE AVOIDED AT ALL TIMES AND, IF DISCOVERED, SHALL BE IMMEDIATELY CORRECTED.

PROJECT CLEAN-UP: UPON COMPLETION OF THE WORK, THE ENTIRE BUILDING COMPLEX AND SITE SHALL BE THOROUGHLY AND PROFESSIONALLY CLEANED OF CONSTRUCTION DEBRIS AND DUST. DAMP MOP FLOORS, CLEAN CASEWORK INSIDE AND OUTSIDE, AND CLEAN ALL GLASS INSIDE AND OUTSIDE.

WARRANTY: THE PROJECT IN ITS ENTIRETY SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION, AND GREATER LENGTH OF TIME AS REQUIRED BY INDIVIDUAL SPECIFICATION SECTIONS.

DIVISION 2- SITE WORK

LAYOUT: STAKE OUT ALL NEW BUILDINGS AND ADDITIONS FOR OWNER'S REVIEW PRIOR TO EXCAVATION OR CONSTRUCTION WORK.

UTILITIES: COORDINATE THE INSTALLATION OR EXTENSION OF UTILITIES. PROVIDE ALL MATERIALS AND LABOR WHICH ARE NOT PROVIDED BY THE APPROPRIATE UTILITY SUPPLIER AS REQUIRED FOR THE COMPLETE INSTALLATION. OR EXTENSION OF DOMESTIC WATER, IRRIGATION WATER, SANITARY SEWER, AND ELECTRICAL SERVICES.

EXCAVATION, FILLING, AND GRADING: PROVIDE POSITIVE DRAINAGE ON SITE

COMPACTION OF SUBSOIL: REFERENCE STRUCTURAL BY OTHERS.

EXCAVATION DRAINAGE: DO NOT PERMIT WATER TO ACCUMULATE IN EXCAVATED AREAS.

SHADOW STONE: PROVIDE GRADED 57 SHADOW STONE / SUBMITTALS REQUIRED – PRODUCT DATA AND SAMPLE FOR OWNER REVIEW.

POROUS PLASTIC GRID: GRAVALOCK PERMEABLE PAVER PLASTIC SLIM GRID / 1" DEEP

SIDEWALK BOX: SEE DETAILS

DIVISION 3- CONCRETE

FORMS: REFERENCE STRUCTURAL.

REINFORCING: REFERENCE STRUCTURAL.

CONCRETE: ALL FLATWORK TO HAVE 1/8" SAWCUT JOINTS CUT WITHIN 48 HOURS OF CONCRETE POUR. ALL EXPOSED FLATWORK TO HAVE BROOM FINISH. REFERENCE STRUCTURAL. NOTIFY OWNER A MINIMUM OF 24 HOURS BEFORE ANY CONCRETE IS PLACED.

DIVISION 5- METALS

STEEL FRAMING: REFERENCE STRUCTURAL BY OTHERS. PAINT ALL EXPOSED STEEL

DIVISION 6- WOOD AND PLASTICS

FRAMING: ALL WOOD FRAMING SHALL BE PLUMB AND SQUARE.

INTERIOR PLYWOOD: 1/2" THICK GRADE BC PLYWOOD. SUBMITTALS REQUIRED – PRODUCT DATA SAMPLE AND MOCK-UP FOR OWNER REVIEW

EXTERIOR WOOD SCREEN: AS INDICATED ON WOOD SCREENING AND DECKING NOTES / SUBMITTALS REQUIRED – PRODUCT DATA, SAMPLE, AND MOCK-UP FOR OWNER REVIEW

EXTERIOR SIDING: 1X4 TONGUE AND GROOVE GARAPA SIDING BY ADVANTAGE LUMBER / CONCEAL FASTENERS IN BOARD JOINT / SET V GROOVE ON BACK SIDE OF PANEL / SUBMITTALS REQUIRED – PRODUCT DATA, SAMPLE, AND MOCK-UP FOR OWNER REVIEW

DIVISION 7- THERMAL AND MOISTURE PROTECTION

OPEN-CELL INSULATION: PROVIDE SPRAYED OPEN-CELL FOAM INSULATION FULL THICK BETWEEN WALL AND CEILING FRAMING MEMBERS WHERE INDICATED IN THE DRAWINGS PROVIDE DATA ON R-VALUES TO BE ACHIEVED BY THIS INSTALLATION FOR OWNER REVIEW AND APPROVAL.

SEALANTS: APPLY SEALANT OF COLOR, BRAND, AND TYPE AS APPROVED BY ARCHITECT.
TYPE I: MASTERSEAL NP 1 FOR CONCRETE CONCRETE TO METAL/DISSIMILAR MATERIAL. PERIMETER OF EXTERIOR WINDOW OPENINGS AND CURTAINWALL EDGES.
TYPE II: MASTERSEAL SL 100. COLOR TO MATCH ARCHITECT'S SAMPLE. FOR HORIZONTAL EXTERIOR PAVEMENT AND ISOLATION JOINTS.
TYPE III: INTERIOR FIRE CAULK TO BE DETERMINED.
TYPE IV: INTERIOR ACOUSTICAL SEALANT/CAULK TO BE DETERMINED
TYPE V: SILICON SEALANT TO BE DETERMINED FOR ALUMINUM AND GLASS STOREFRONT AND CURTAINWALL JOINERY.
APPLY SEALANT UNDER ALL EXTERIOR THRESHOLDS, AND SILLS, AROUND ALL EXTERIOR EXPOSED JOINTS AND CLOSURES AND AS OTHERWISE MAY BE NECESSARY FOR A WATERTIGHT STRUCTURE.

DIVISION 8- DOORS, WINDOWS, AND GLASS

OVERHEAD DOOR: SEE OVERHEAD DOOR NOTES. SUBMITTALS REQUIRED – PRODUCT DATA FOR OWNER REVIEW

HOLLOW METAL DOOR: 36"X 84" X 1 3/4" THICK HEAVY DUTY HOLLOW METAL DOOR FRAME: HOLLOW METAL PRIMED KD HEAVY DUTY; 16-GAUGE COLD ROLLED STEEL - MEETS THE REQUIREMENTS OF ANSI A250.8-2014 (SDI 100) WITH 2-INCH JAMB AND HEAD FACES AND EXACT FIT DIE-MITERED CORNER CONNECTIONS

ALUMINUM WINDOWS: AS INDICATED IN WINDOW NOTES. INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS. SUBMITTALS REQUIRED – PRODUCT DATA FOR OWNER REVIEW

FINISH HARDWARE: SEE HARDWARE SETS NOTES. INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS. SUBMITTALS REQUIRED – PRODUCT DATA FOR OWNER REVIEW

DIVISION 9- FINISHES

FLOORING: PROVIDE 1/8" THICK DIAMOND PLATE OVER EXISTING CONTAINER FLOOR

PAINTING: PAINT EXISTING CONTAINER AND ALL METAL WORK WITH 1 COAT OF PRIMER AND 1 FINISH COAT WITH COLOR AS SELECTED BY OWNER AND PRODUCT SUITABLE FOR METAL SUBSTRATES. PREPARE SUBSTRATE AND PAINT STRUCTURE IN STRICT ACCORDANCE WITH MANUFACTURERS GUIDELINES. PAINTING WORK SHALL BE APPLIED IN SMOOTH, EVEN COATS, WITHOUT HOLIDAYS OR BRUSH MARKS. SUBMITTALS REQUIRED – SAMPLES AND MOCK-UP OF EACH FINISH/COLOR.

DIVISION 10- SPECIALTIES

CONTAINERS: SUPPLY TWO 40' LONG HIGH CUBE CONTAINERS WITH CONTAINER DOORS ON 1 SIDE. CONTAINER TO BE "1 TRIP" CONTAINERS. CONTRACTOR TO ALLOW OWNER TO REVIEW CONTAINER PRIOR TO PURCHASE.

SUPPLY FOUR 20' LONG HIGH CUBE CONTAINERS WITH CONTAINER DOORS ON 1 SIDE. CONTAINER TO BE "1 TRIP" CONTAINERS. CONTRACTOR TO ALLOW OWNER TO REVIEW CONTAINER PRIOR TO PURCHASE.

DOG PARK REAR FENCING: 60" TALL CHAINLINK FENCE. VINYL COATED BLACK OR RAW STEEL WITH 1" MESH TT GU KNUCKLE. PROVIDE POST AT 8' O.C. SET IN CONCRETE. PROVIDE SWING GATES WHERE INDICATED

BATH ACCESSORIES: BATH ACCESSORIES SHALL BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR IN LOCATIONS AS DIRECTED BY THE OWNER.

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CLAYTON BARRETT HAGENDORF #23948	

DOG FRIENDLY
OUTDOOR
RESTAURANT AND
BAR

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HIXON PROPERTIES

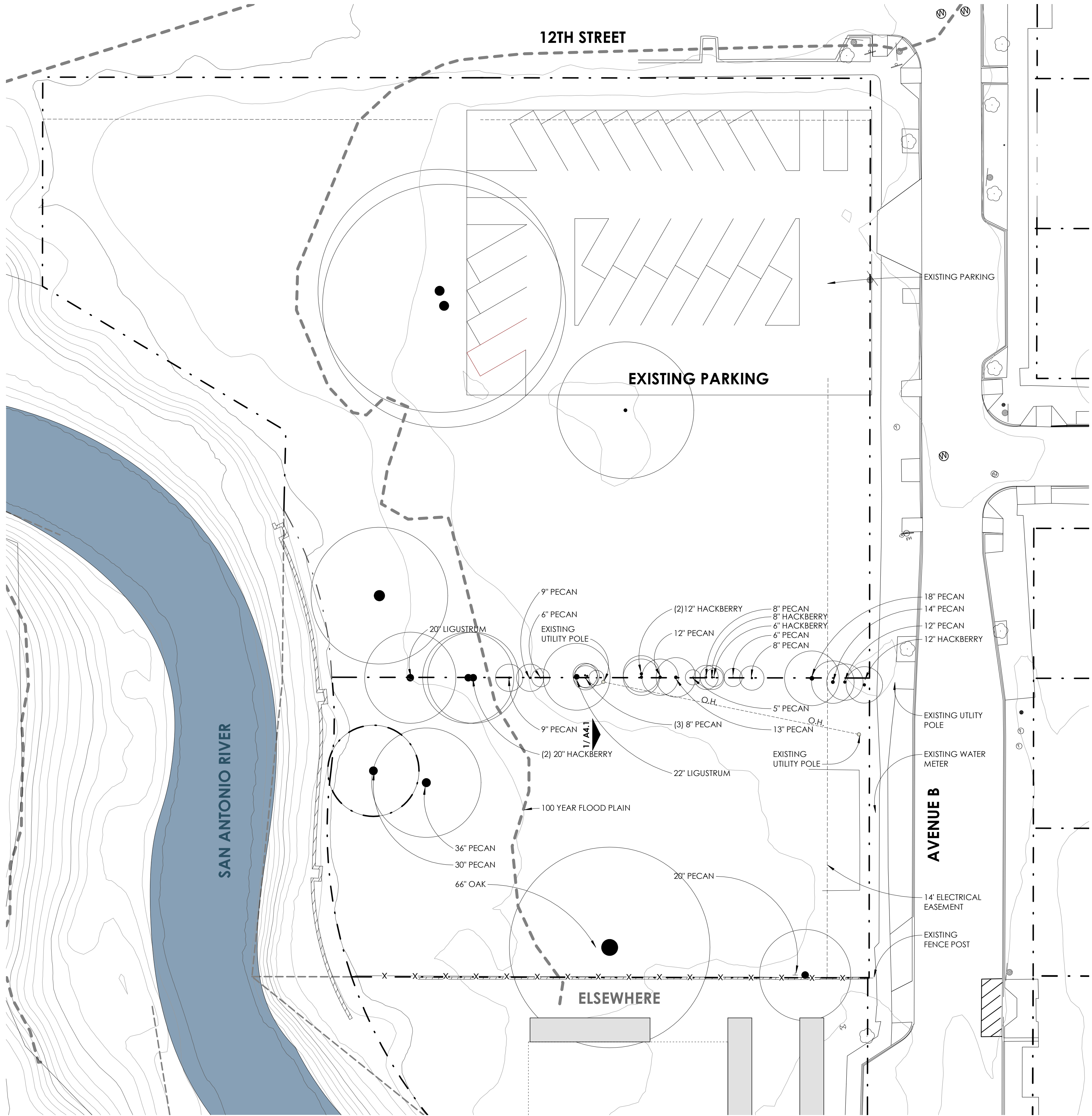
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A1.1



1 EXISTING SITE PLAN
1" = 20'-0"

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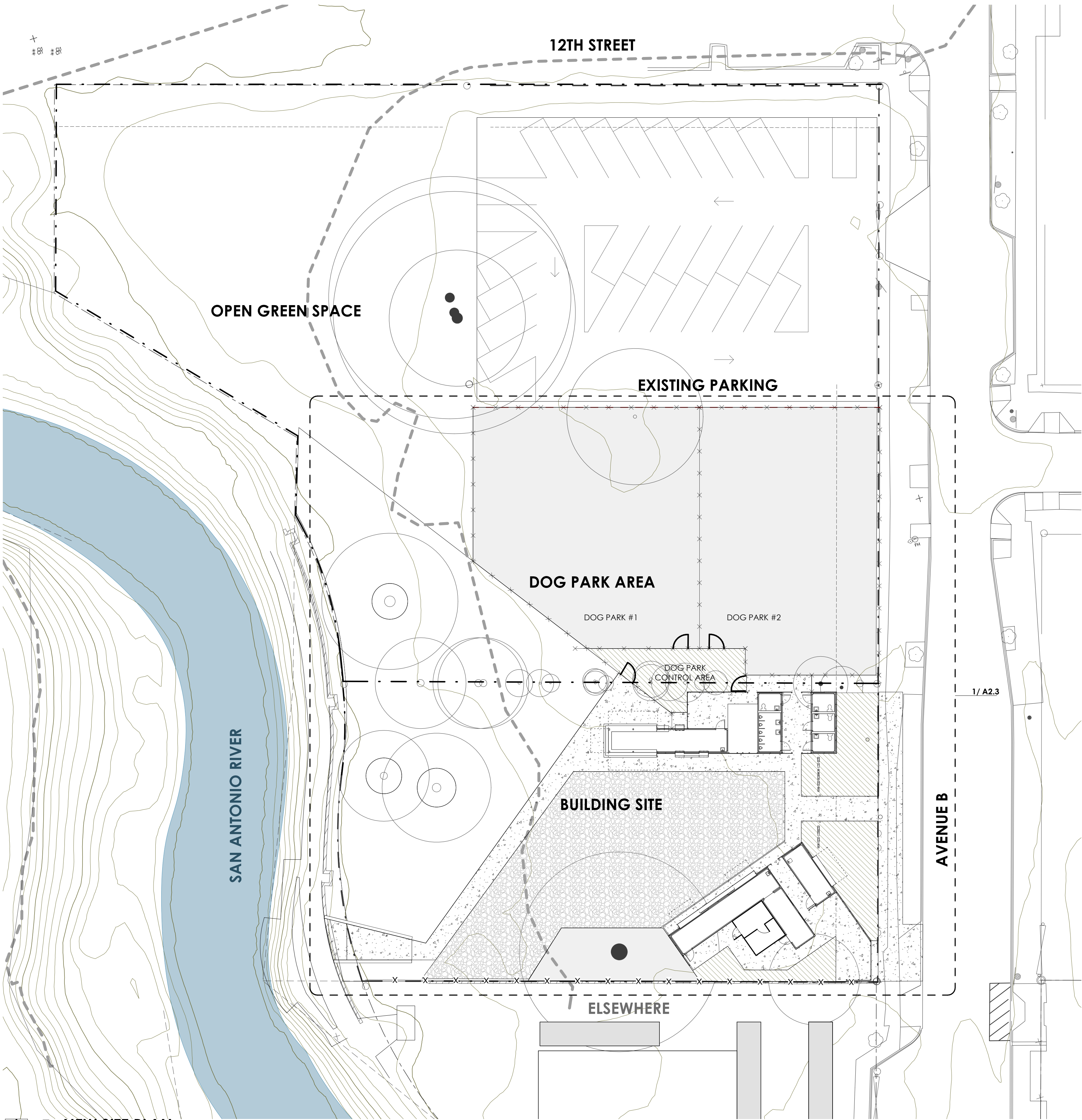
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BEATY PALMER ARCHITECTS

A2.1



SITE LEGEND

- CONCRETE SIDEWALK
- LOW IMPACT DESIGN FEATURE / 6" THICK GRADED 57 SHADOW STONE WITH PLASTIC 1" GRID / 1924 SF
- WOOD MULCH
- TURF
- SHADOW STONE

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SITE LEGEND

- CONCRETE SIDEWALK
- LOW IMPACT DESIGN FEATURE / 6" THICK GRADED 57 SHADOW STONE WITH PLASTIC 1" GRID / 1924 SF
- WOOD MULCH
- TURF
- SHADOW STONE

LEGEND

- 4" INTERIOR DOWN LIGHT
- 4" EXTERIOR BULLET LIGHTS
- WALL SCONCE
- UP LIGHTS
- FLOOD LIGHTS

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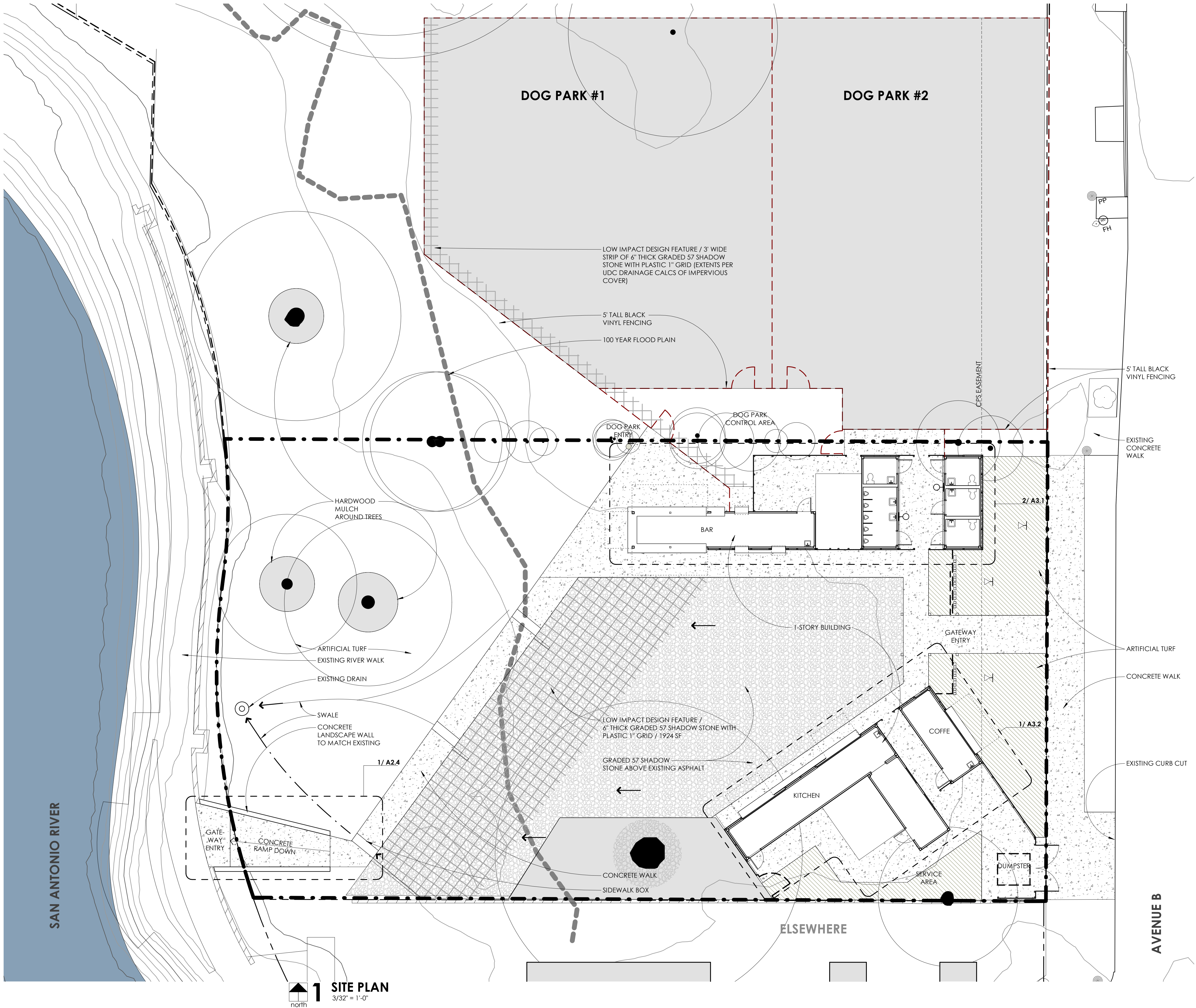
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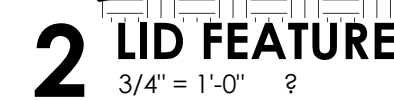
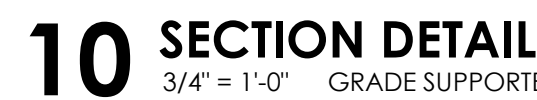
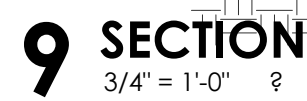
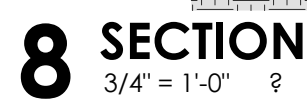
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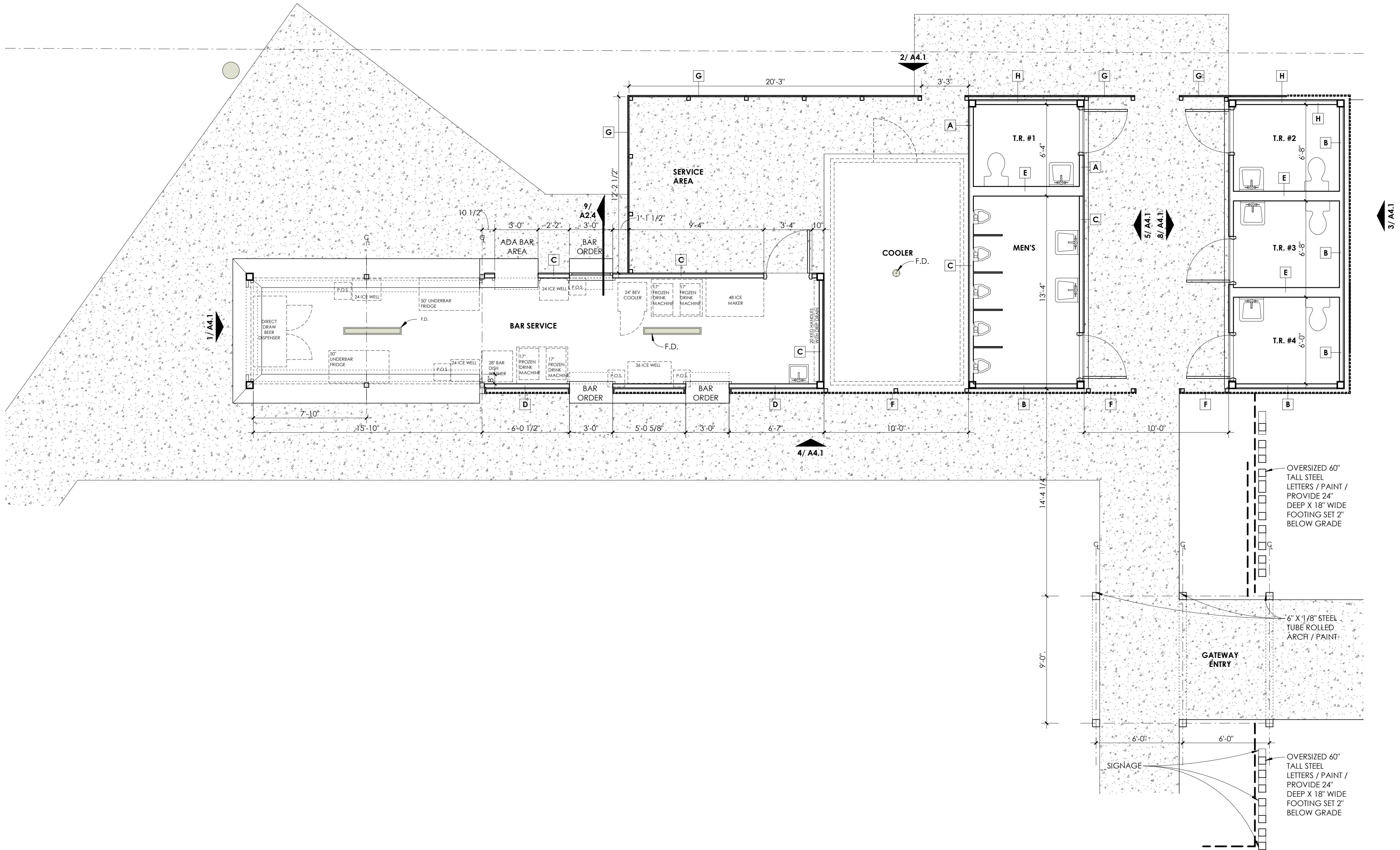
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A2.4



2 FLOOR PLAN
1/4" = 1'-0" BAR / RESTROOM ROOMS

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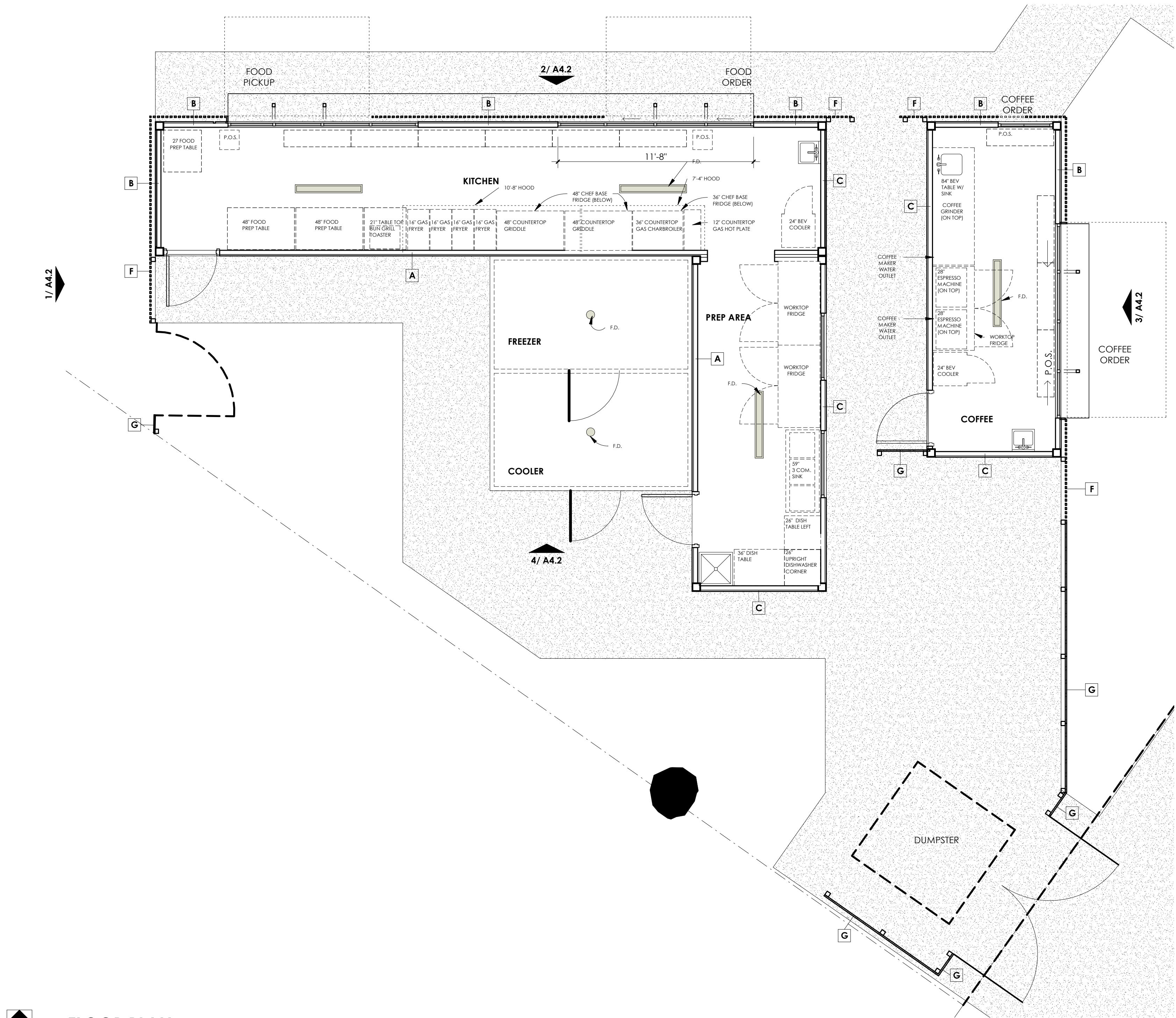
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BEATY PALMER ARCHITECTS

A3.1



1 FLOOR PLAN
1/4" = 1'-0" KITCHEN

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PRELIMINARY DRAWING

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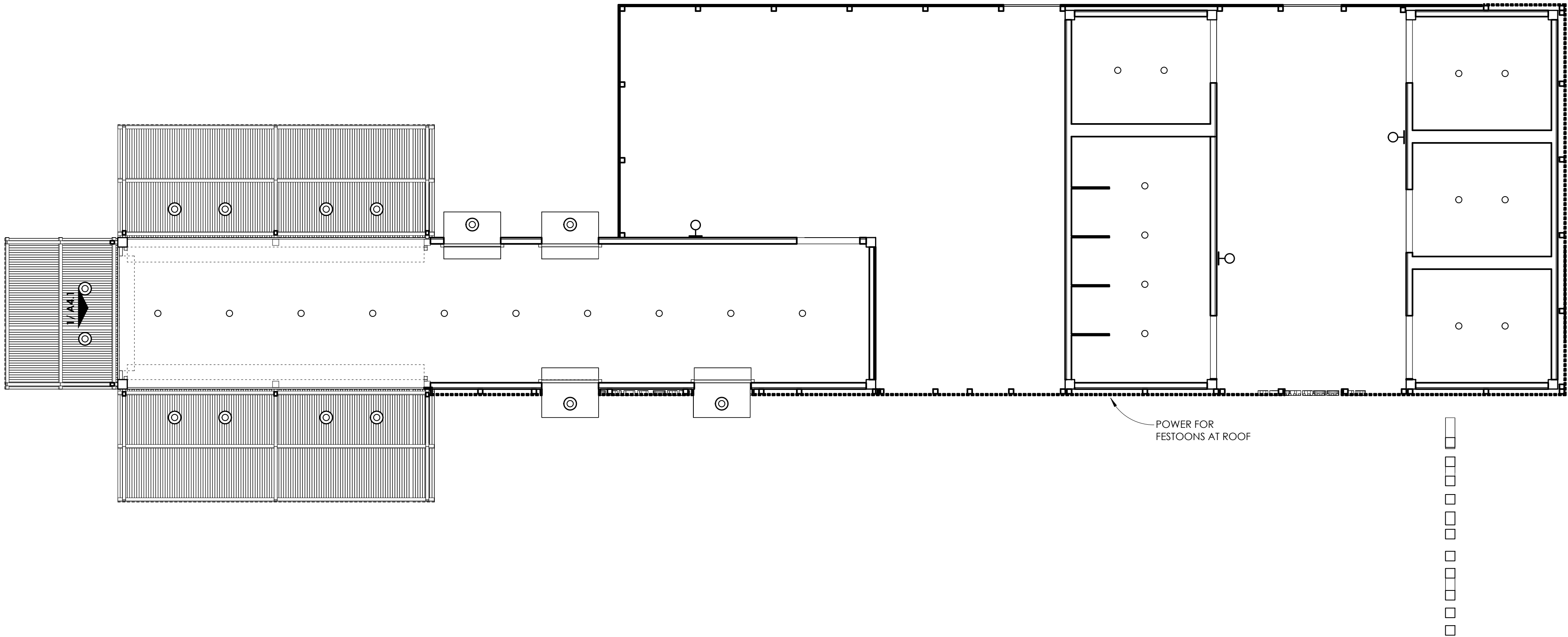
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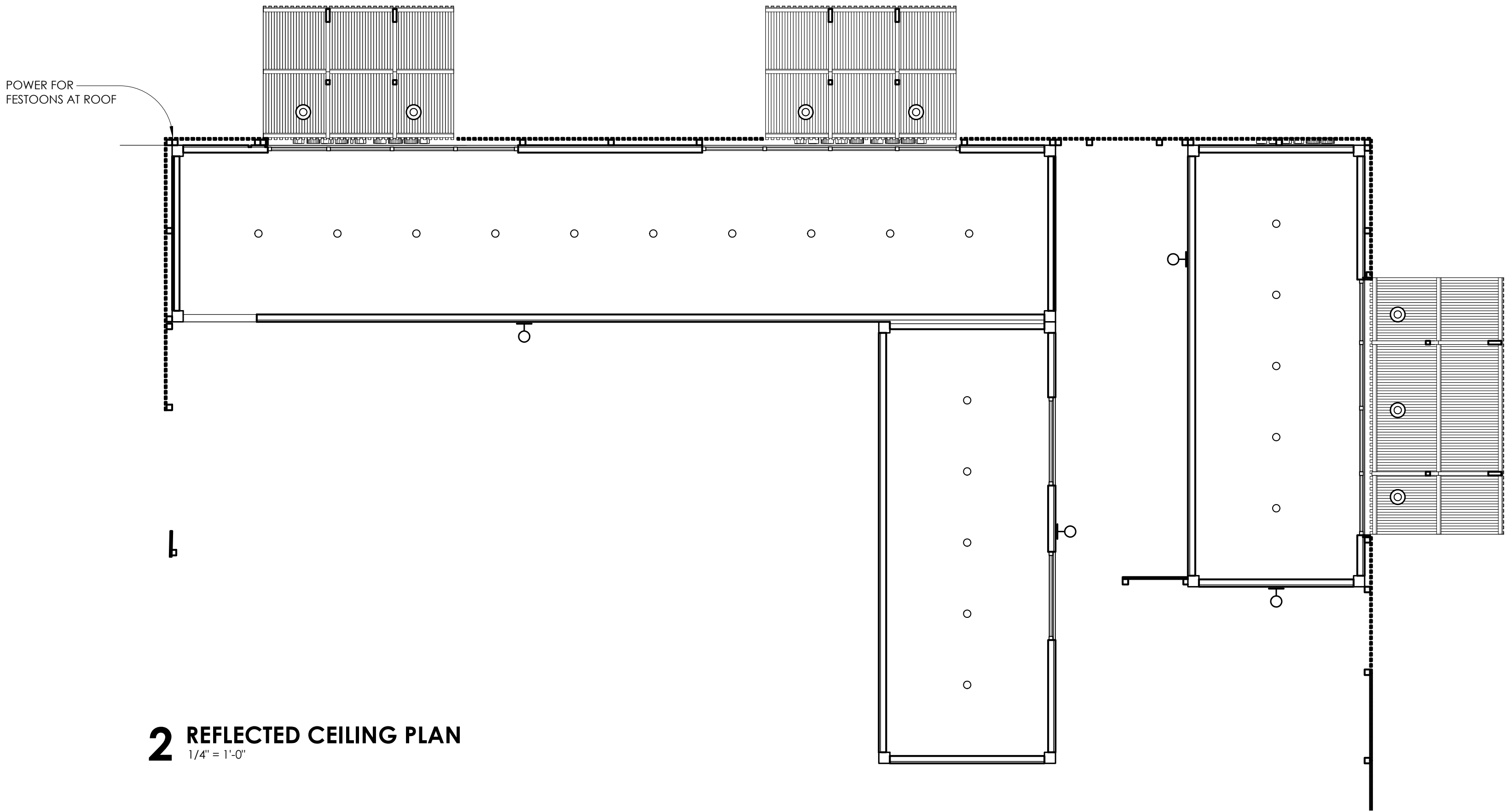
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BEATY PALMER ARCHITECTS

A3.2



1 REFLECTED CEILING PLAN
1/4" = 1'-0"



2 REFLECTED CEILING PLAN
1/4" = 1'-0"

LEGEND

- 4" INTERIOR DOWN LIGHT
- ⊙ 4" EXTERIOR BULLET LIGHTS
- ⌞ WALL SCONCE

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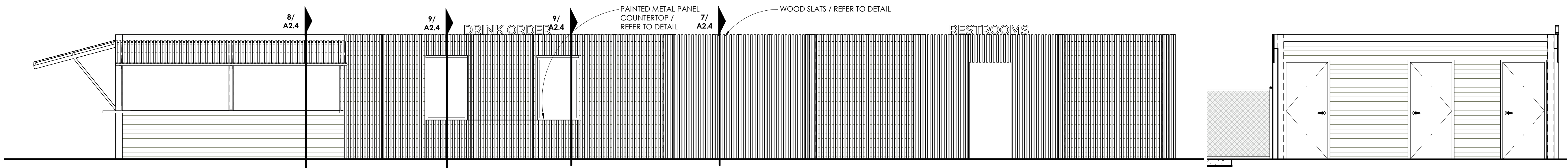
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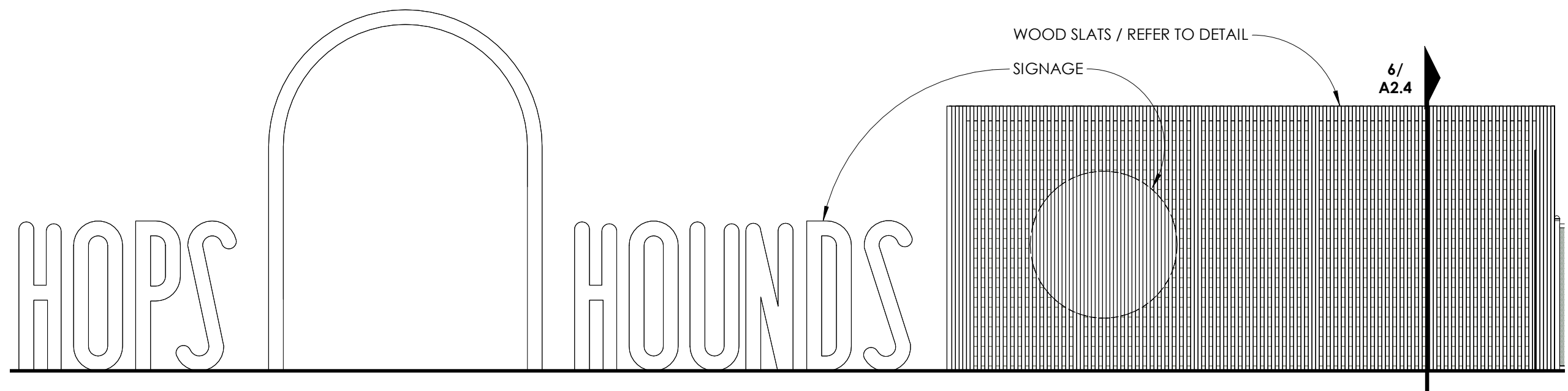
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A3.3

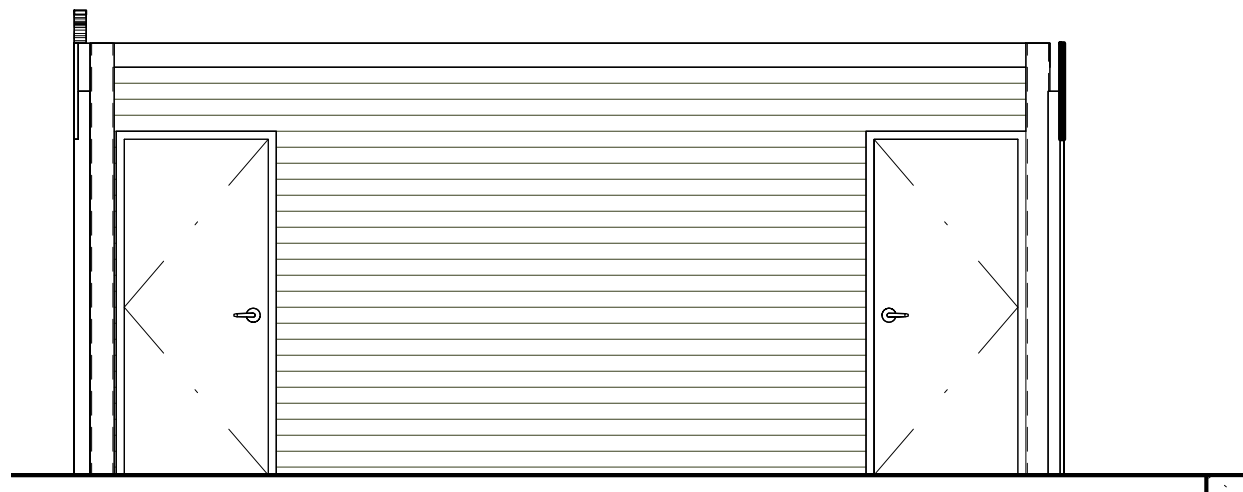


4 EXTERIOR ELEVATION
1/4" = 1'-0"

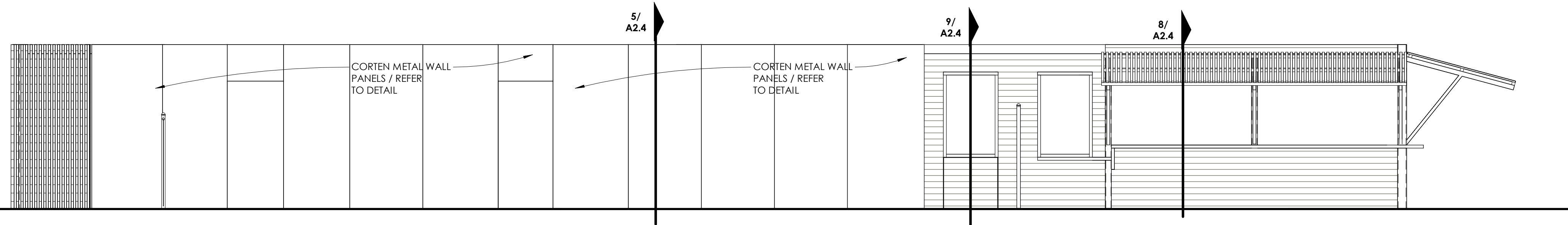
8 WEST ELEVATION
1/4" = 1'-0"



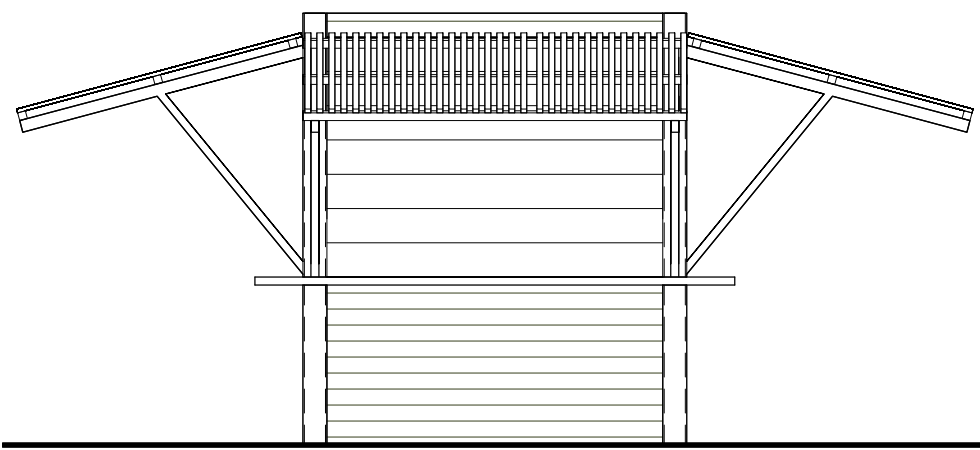
3 EXTERIOR ELEVATION
1/4" = 1'-0"



5 EAST ELEVATION
1/4" = 1'-0"



2 EXTERIOR ELEVATION
1/4" = 1'-0"



1 EXTERIOR ELEVATION
1/4" = 1'-0"

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PRELIMINARY DRAWING

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CLAYTON BARRETT HAGENDORF #23968

DOG FRIENDLY OUTDOOR RESTAURANT AND BAR

1123 AVENUE B
SAN ANTONIO, TEXAS 78215
HIXON PROPERTIES

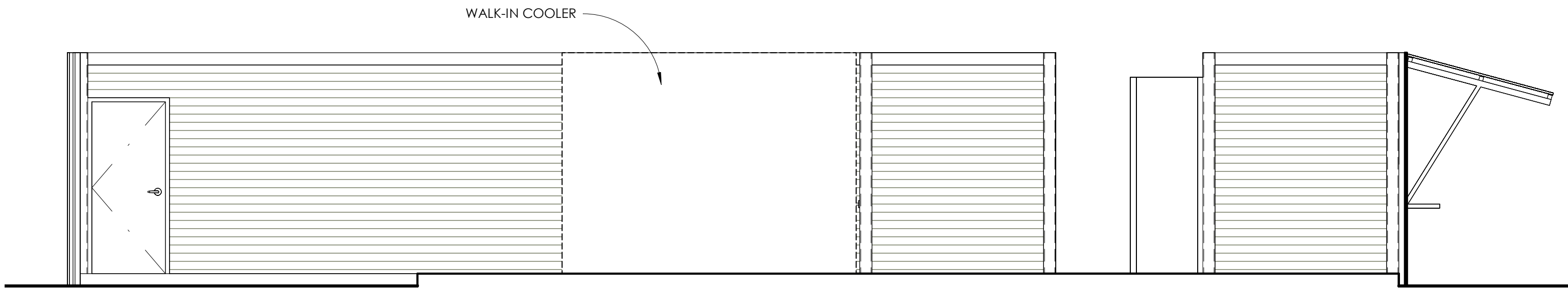
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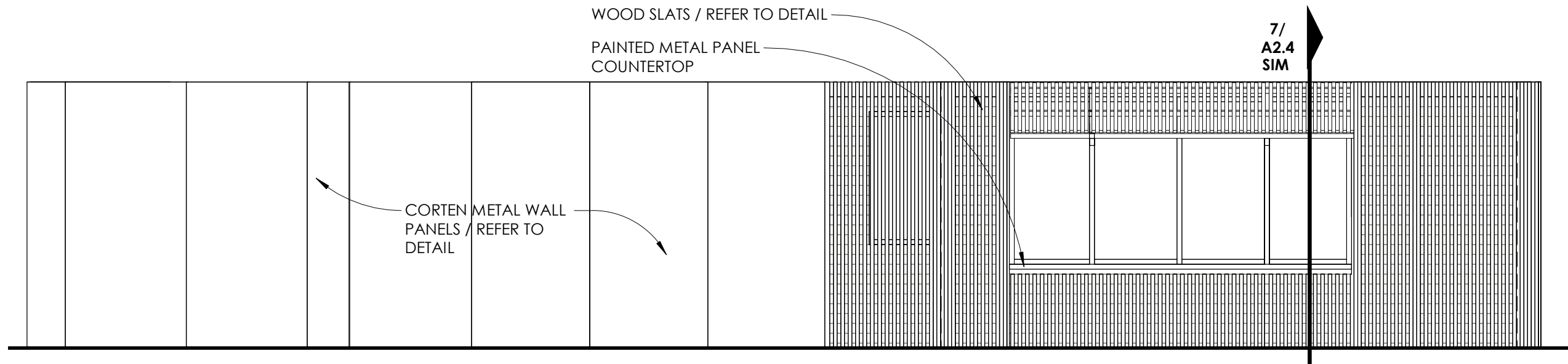
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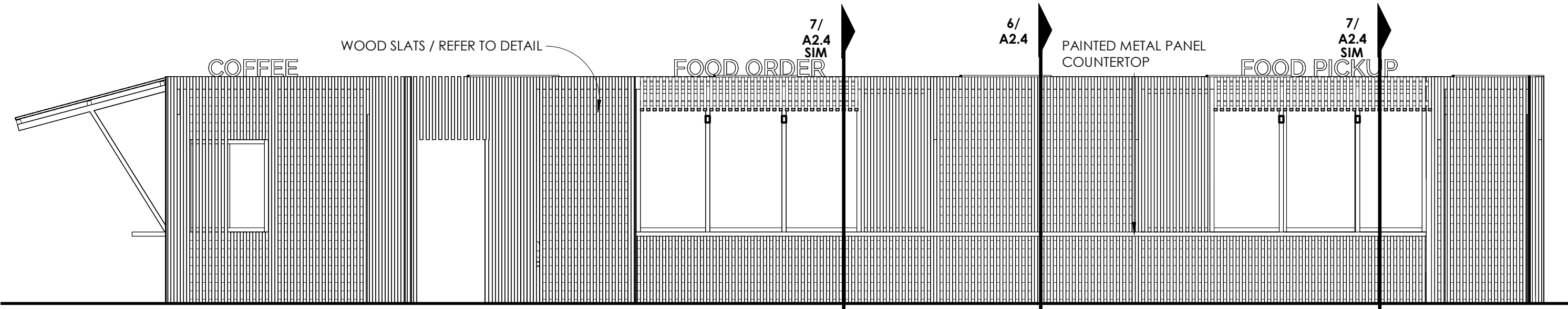
A4.1



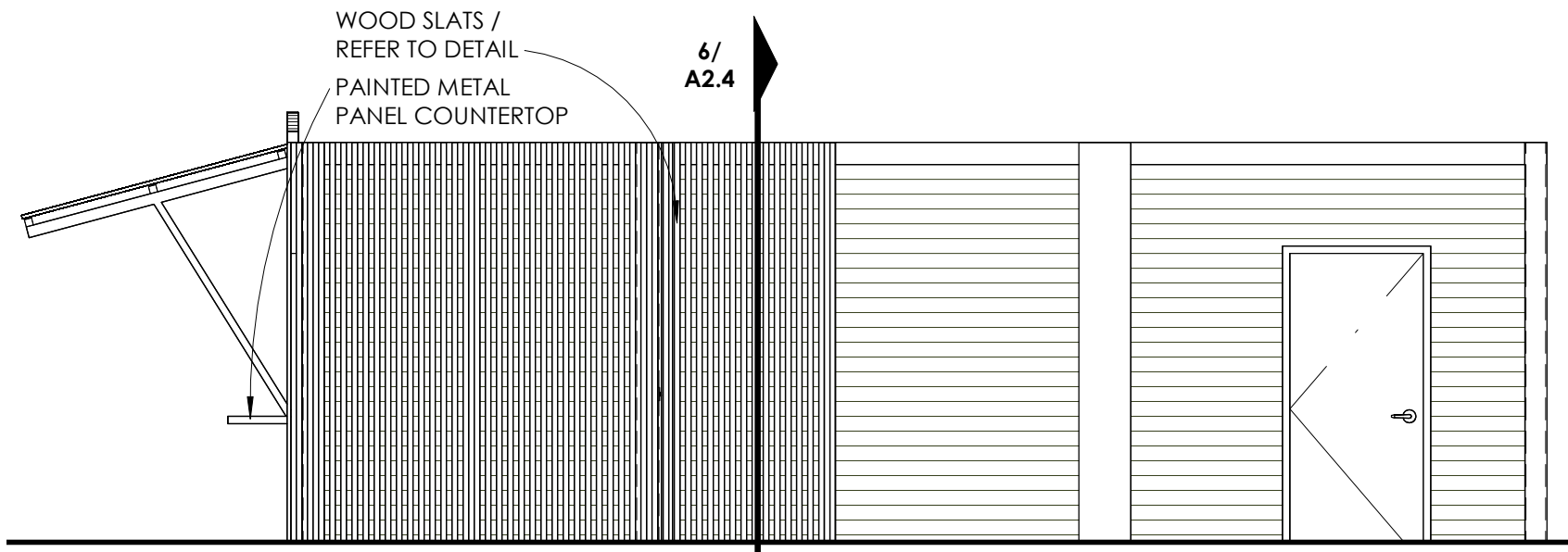
4 SOUTHEAST ELEVATION
1/4" = 1'-0" KITCHEN



3 NORTHEAST ELEVATION
1/4" = 1'-0" ENTRY



2 NORTHWEST ELEVATION
1/4" = 1'-0" KITCHEN



1 SOUTHWEST ELEVATION
1/4" = 1'-0" KITCHEN

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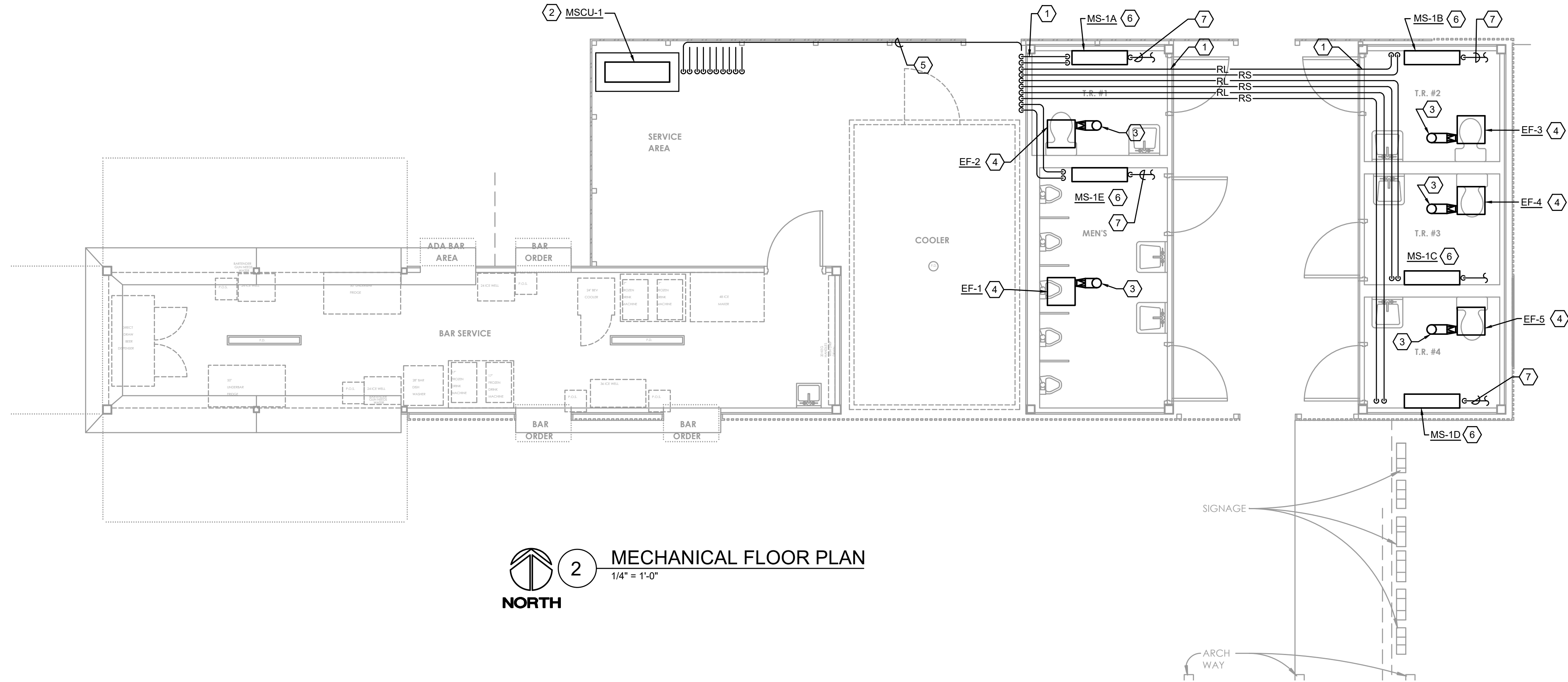
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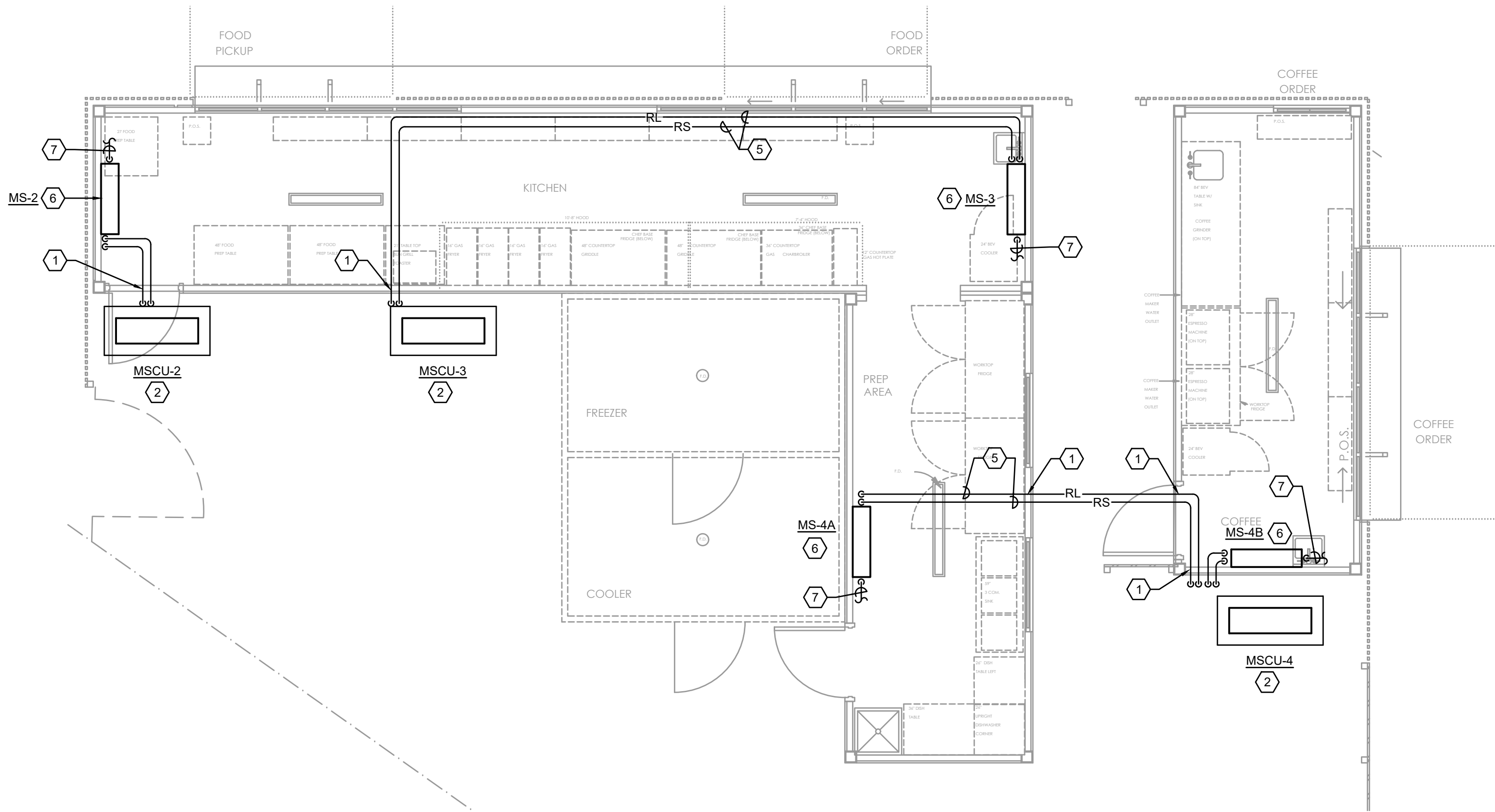
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A4.2



 **2** MECHANICAL FLOOR PLAN
1/4" = 1'-0"



 **1** MECHANICAL FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES:

- REFER TO SHEET M0.0 & M0.1 FOR GENERAL MECHANICAL NOTES, SYMBOLS, ABBREVIATIONS AND ADDITIONAL INFORMATION.
- PROVIDE FLEXIBLE CONNECTIONS AT ALL EQUIPMENT INLET AND OUTLET DUCT CONNECTIONS.

KEYED NOTES:

- PENETRATE CONTAINER WALLS AS HIGH AS POSSIBLE. REFRIGERANT PIPING SHALL BE ROUTED TIGHT TO CEILING WITHIN CONTAINER.
- CONDENSING UNIT. PROVIDE NOMINAL 4" HIGH CONCRETE HOUSE KEEPING PAD.
- TERMINATE 6" DIA. EXHAUST DUCT THROUGH ROOF. PROVIDE ROOF CAP. CUT AND PATCH ROOF AS REQUIRED.
- CABINET EXHAUST FAN. MOUNT AS HIGH AS POSSIBLE
- ROUTE REFRIGERANT PIPING AS HIGH AS POSSIBLE. ALL PIPING SHALL BE SIZED AS PER MANUFACTURERS RECOMMENDATIONS.
- WALL MOUNTED FAN / COIL UNIT. MOUNT AS HIGH AS POSSIBLE.
- 3/4" CONDENSATE DRAIN FROM FAN COIL UNIT. REFER TO PLUMBING FOR CONTINUATION.

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drawn by
JAE
checked by
RWM

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DX SPLIT HEAT PUMP SYSTEM SCHEDULE												
INDOOR UNIT	TAG		MS-1A	MS-1B	MS-1C	MS-1D	MS-1E	MS-2	MS-3	MS-4A	MS-4B	
	GENERAL	MANUFACTURER	MITSUBISHI /TRANE	MITSUBISHI /TRANE	MITSUBISHI /TRANE	MITSUBISHI /TRANE	MITSUBISHI /TRANE	MITSUBISHI /TRANE	MITSUBISHI /TRANE	MITSUBISHI /TRANE	MITSUBISHI /TRANE	MITSUBISHI /TRANE
		MODEL	NTXWPH06B112AA	NTXWPH06B112AA	NTXWPH06B112AA	NTXWPH06B112AA	NTXWPH06B112AA	NTXWPH06B112AA	NTXWST36B112AA	NTXWST36B112AA	MSZ-GL18NA	MSZ-GL18NA
		TYPE	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED
		SERVICE	RESTROOM	RESTROOM	RESTROOM	RESTROOM	RESTROOM	RESTROOM	KITCHEN	KITCHEN	PREP AREA	PREP AREA
		TOTAL AIRFLOW (CFM)	437	437	437	437	437	437	915	915	400	400
		UNIT WEIGHT (LBS)	29	29	29	29	29	29	45	45	28	28
	FILTER	TYPE	ELECTRO STATIC	ELECTRO STATIC	ELECTRO STATIC	ELECTRO STATIC	ELECTRO STATIC	ELECTRO STATIC	ELECTRO STATIC	ELECTRO STATIC	ELECTRO STATIC	ELECTRO STATIC
		MEDIA	PANEL	PANEL	PANEL	PANEL	PANEL	PANEL	PANEL	PANEL	PANEL	PANEL
		FINAL PRESSURE DROP (IN. W.C.)	0.2	0.2	0.2	0.2	0.2	0.2	0.2	0.2	0.2	0.2
	COOLING COIL	ENTERING AIR (DB)	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0	80.0
		ENTERING AIR (WB)	67.0	67.0	67.0	67.0	67.0	67.0	67.0	67.0	67.0	67.0
		TOTAL CAPACITY (MBH)	6.0	6.0	6.0	6.0	6.0	6.0	33.2	33.2	18.0	18.0
	SUPPLY FAN	TYPE	FC	FC	FC	FC	FC	FC	FC	FC	FC	FC
		DRIVE	DIRECT	DIRECT	DIRECT	DIRECT	DIRECT	DIRECT	DIRECT	DIRECT	DIRECT	DIRECT
		MOTOR TYPE	ECM	ECM	ECM	ECM	ECM	ECM	ECM	ECM	ECM	ECM
MOTOR HP (W)		40	40	40	40	40	40	56	56	30	30	
ELECTRICAL	VOLTS	24 DC	24 DC	24 DC	24 DC	24 DC	24 DC	24 DC	24 DC	24 DC	24 DC	
OUTDOOR UNIT	TAG		MSCU-1	--	--	--	--	MSCU-2	MSCU-3	MSCU-4	--	
	GENERAL	MAKE	MITSUBISHI /TRANE	--	--	--	--	--	MITSUBISHI /TRANE	MITSUBISHI /TRANE	MITSUBISHI /TRANE	--
		MODEL	NTXMMX42A152BA	--	--	--	--	--	NTXSST36B112AA	NTXSST36B112AA	NTXMMX30A132BA	--
		SERVICE	MS-1A ,1B, 1C, 1D, 1E	--	--	--	--	--	MS-2	MS-3	MS-4A ,4B	--
		TYPE	INVERTER HEAT PUMP	--	--	--	--	--	INVERTER HEAT PUMP	INVERTER HEAT PUMP	INVERTER HEAT PUMP	--
		NOMINAL TONS (ARI STD. COND.)	3.5	--	--	--	--	--	3.0	3.0	2.5	--
		MIN. # OF COMPRESSOR STAGES	VARIABLE	--	--	--	--	--	VARIABLE	VARIABLE	VARIABLE	--
		MIN. EFFICIENCY RATING (SEER)	20	--	--	--	--	--	16.2	16.2	17.6	--
		COOLING AMBIENT AIR (DB)	95.0	--	--	--	--	--	95.0	95.0	95.0	--
		HEATING CAPACITY (MBH)	45.0	--	--	--	--	--	35.2	35.2	28.6	--
		HEATING AMBIENT AIR (DB)	22.9	--	--	--	--	--	22.9	22.9	22.9	--
		UNIT WEIGHT (LBS)	189	--	--	--	--	--	121	121	137	--
	ELECTRICAL DATA	VOLTS / PHASE	208/1	--	--	--	--	--	208/1	208/1	208-1	--
		MIN. CIRCUIT AMPS	32.5	--	--	--	--	--	19.0	19.0	22.1	--
		MAX. OVERCURRENT PROTECTION	40	--	--	--	--	--	20	20	25	--
	NOTES:											
1. PROVIDE THE MAKE AND MODEL SPECIFIED OR AN ENGINEER APPROVED EQUAL.												
2. THE TOTAL AND SENSIBLE COOLING COIL CAPACITIES ARE TO BE BASED UPON THE SCHEDULED EVAPORATOR ENTERING AND LEAVING AIR CONDITIONS AND CONDENSER ENTERING AIR CONDITION.												
3. INDOOR UNITS ARE POWERED THROUGH THE OUTDOOR UNIT.												
4. PROVIDE DX SPLIT SYSTEMS WITH CONTROLS INCLUDING WALL MOUNTED ELECTRONIC, 7-DAY PROGRAMMABLE THERMOSTATS WITH AUTOMATIC HEAT/COOL SWITCH-OVER CAPABILITY.												
5. PROVIDE ALL INDOOR AND OUTDOOR UNITS WITH SINGLE POINT ELECTRICAL CONNECTION.												
6. PROVIDE ALL UNITS WITH STANDARD SIZE (LOCALLY STOCKED) FILTERS. FILTERS WITH CUSTOM DIMENSIONS ARE NOT ACCEPTABLE.												
7. PROVIDE OUTDOOR CONDENSING UNITS WITH LOW AMBIENT CONTROLS TO ALLOW COOLING OPERATION AT 0 DEG. F AND WITH HAIL GUARDS.												
8. THE MECHANICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL REFRIGERATION PIPING IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND REQUIREMENTS, INCLUDING DISTANCE AND ELEVATION LIMITS. 1" CLOSED-CELL FOAM INSULATION FOR SUCTION LINE (BOTH LINES FOR HEAT PUMP SYSTEMS); 1-1/2" FOR HOT GAS HEAT RECOVERY. ARMACELL AP/ARMAFLEX OR EQUAL.												
9. ALL MOTORS SHALL BE PREMIUM HIGH EFFICIENCY RATING.												
10. MOTORS 1HP AND LESS SHALL BE ECM. ALL MOTORS SHALL HAVE THE MEANS TO ADJUST FAN SPEED FOR BALANCING OR REMOTE CONTROL.												
11. POWER FOR ANY BRANCH BOX REQUIRED SHALL BE THROUGH CONDENSING UNIT.												

FAN SCHEDULE						
GENERAL	TAG	EF-1	EF-2	EF-3	EF-4	EF-5
	MANUFACTURER	GREENHECK	GREENHECK	GREENHECK	GREENHECK	GREENHECK
	MODEL	CSP-A410	CSP-A250	CSP-A250	CSP-A250	CSP-A250
	TYPE	CABINET	CABINET	CABINET	CABINET	CABINET
	SERVICE	RESTROOM	RESTROOM	RESTROOM	RESTROOM	RESTROOM
PERFORMANCE	UNIT WEIGHT (LBS)	36	23	23	23	23
	TOTAL AIRFLOW (CFM)	200	100	100	100	100
	STATIC PRESSURE (IN. W.C.)	0.30	0.30	0.30	0.30	0.30
	MAX SPHERICAL SONES	0.5	0.3	0.3	0.3	0.3
MOTOR	POWER (WATTS)	58	17	17	17	17
	SPEED (RPM)	804	667	667	667	667
	V / PH	115/1	115/1	115/1	115/1	115/1
	DRIVE TYPE	DIRECT	DIRECT	DIRECT	DIRECT	DIRECT
	MOTOR TYPE	ECM	ECM	ECM	ECM	ECM
NOTES:						
1. PROVIDE MAKE AND MODEL SPECIFIED OR ENGINEER APPROVED EQUAL.						
2. REFER TO THE DRAWING FOR UNIT CONFIGURATION.						
3. PROVIDE FANS WITH THE FOLLOWING OPTIONS:						
A. PROVIDE BACKDRAFT DAMPER						
B. BIRD SCREEN						
4. FURNISH ALL FANS WITH FACTORY SUPPLIED AND MOUNTED NEMA 1 (3R) DISCONNECT SWITCH.						
5. FURNISH AND INSTALL FLEXIBLE DUCT CONNECTION AT THE CONNECTIONS TO THE UNIT. TRANSITION DUCTWORK FROM FULL SIZE UNIT OPENING TO THE DUCTWORK DIMENSIONS SHOWN ON THE PLANS.						
6. ALL MOTORS SHALL BE PREMIUM HIGH EFFICIENCY RATING.						
7. MOTORS 1HP AND LESS SHALL BE ECM OR HAVE MINIMUM EFFICIENCY OF 70%. ALL MOTORS SHALL HAVE THE MEANS TO ADJUST (LOCALLY OR REMOTELY, FIELD SWAPPABLE) FAN SPEED FOR BALANCING OR REMOTE CONTROL.						
8. INVERTER DUTY MOTORS SHALL BE EQUIPPED WITH A CONDUCTIVE SHAFT GROUNDING RING.						

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CLAYTON BARRETT HAGENDORF #23948

DOG FRIENDLY
OUTDOOR
RESTAURANT AND
BAR

1123 AVENUE B
SAN ANTONIO, TEXAS

HIXON PROPERTIES

project number
20-32
date
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drawn by
JAE
checked by
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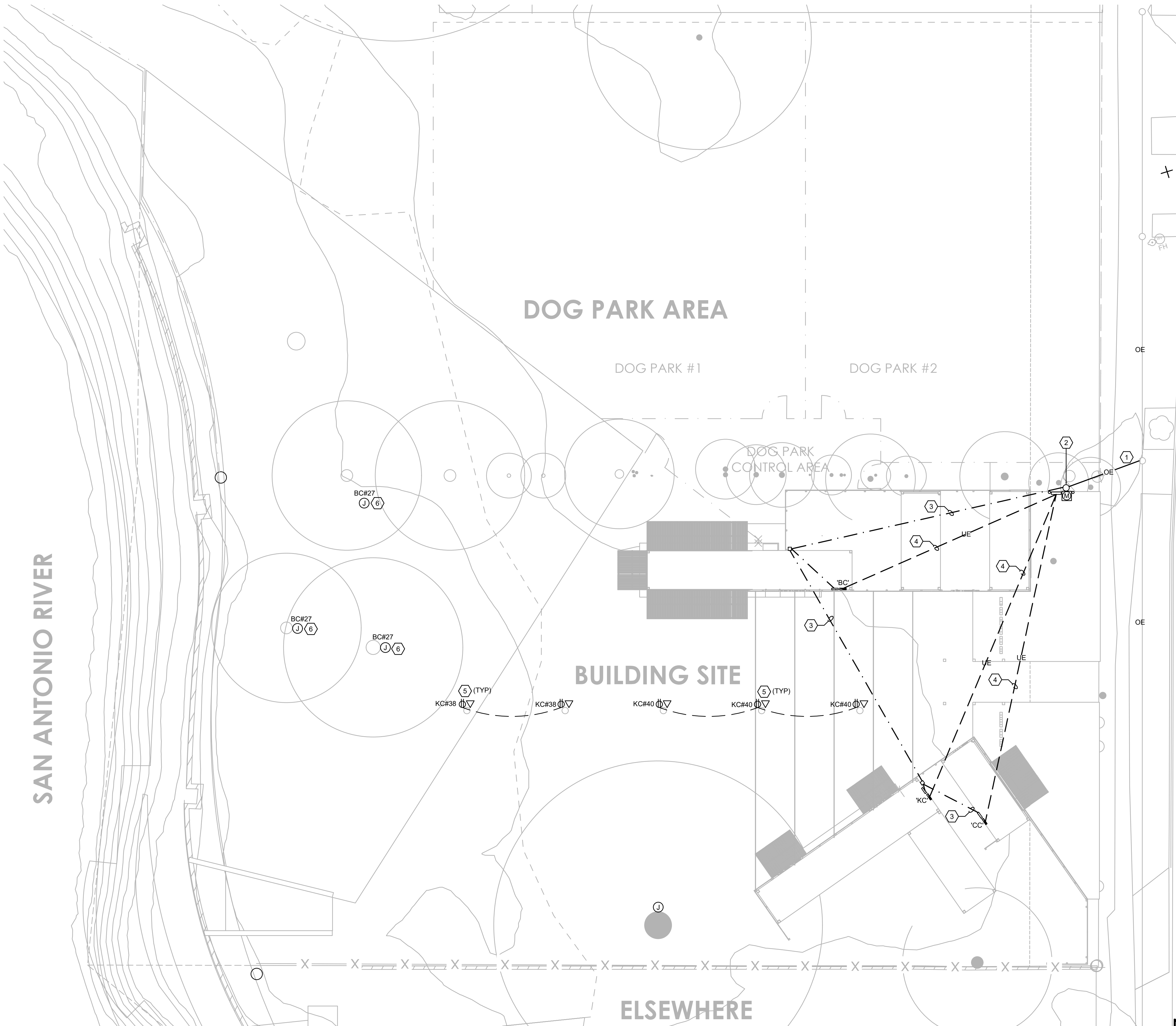
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BEATY PALMER ARCHITECTS



GENERAL NOTES:

- REFER TO SPECIFICATIONS, SCHEDULES, DETAILS AND GENERAL NOTES SHEET FOR ADDITIONAL SITE REQUIREMENTS.
- BURIED CONDUIT SHALL BE INSTALLED AT 24" BELOW FINISHED GRADE, UNO. 18" MAY BE USED AT LOCATIONS NOT SUBJECT TO VEHICLE OR EQUIPMENT LOADING, BUT ONLY WITH ENGINEER APPROVAL.
- SITE ELECTRICAL CONDUIT ROUTING IS DIAGRAMMATIC. ELECTRICAL CONTRACTOR MAY ADJUST PATHS AS REQUIRED PER SITE CONDITIONS AND WITHIN THE FOLLOWING LIMITATIONS: DO NOT ROUTE EXPOSED. DO NOT ROUTE UNDER EXISTING, NEW, OR FUTURE BUILDINGS OR STRUCTURES. ONLY ROUTE UNDER SIDEWALKS OR WITHIN THE DRIP LINE OF TREES WHERE UNAVOIDABLE.
- VERIFY EXISTING BURIED UTILITY LOCATIONS PRIOR TO TRENCHING FOR CONDUIT OR BORING FOR LIGHT POLE FOUNDATIONS. USE GROUND PENETRATING RADAR SCAN.
- VERIFY NEW BURIED UTILITY LOCATIONS AND COORDINATE INSTALLATION WITH UTILITIES THAT REQUIRE A SPECIFIC SLOPE (DRAIN LINES, ETC.). EC SHALL BE RESPONSIBLE FOR COORDINATING WITH OTHER TRADES.
- REFER TO ONE LINE DIAGRAM AND PANEL SCHEDULES FOR CONDUIT AND CONDUCTOR SIZES NOT SHOWN.
- PRIOR TO INSTALLATION OF ANY CONDUIT FOR ELECTRICAL SERVICE OR TELECOM. SERVICE OBTAIN WRITTEN APPROVAL OF LOCATION AND INSTALLATION DETAILS FROM ONCOR ELECTRIC DELIVERY COMPANY, AT&T COMMUNICATIONS AND TIME-WARNER COMMUNICATIONS.
- COORDINATE THE ROUTING OF TELECOMMUNICATIONS SERVICE CONDUIT AND CONDUIT INSTALLATION REQUIREMENTS WITH AT&T. THE ELECTRICAL CONTRACTOR SHALL VERIFY (AND INCLUDE IN BID) ALL TELEPHONE COMPANY FEES ASSOCIATED WITH THE INSTALLATION OF NEW UNDERGROUND COMMUNICATIONS.
- COORDINATE ROUTING OF CABLE TELEVISION SERVICE CONDUIT INSTALLATION REQUIREMENTS WITH SPECTRUM. THE ELECTRICAL CONTRACTOR SHALL VERIFY (AND INCLUDE IN BID) ALL CABLE TELEVISION COMPANY FEES ASSOCIATED WITH THE INSTALLATION OF NEW UNDERGROUND CABLE TELEVISION CONDUITS.
- FOR ALL UNDERGROUND CONDUIT INDICATED, UTILIZE SCHEDULE 40 PVC CONDUIT BELOW GRADE WITH RIGID GALVANIZED STEEL CONDUIT (RGS) ELBOWS AND RGS CONDUIT INSTALLED VERTICALLY FROM THE RGS BELOW TO ABOVE GRADE. THERE SHALL BE NO EXPOSED PVC CONDUIT. ALL RIGID STEEL CONDUIT (RGS) SHALL BE COATED OR TAPE WRAPPED WHERE INSTALLED IN DIRECT CONTACT WITH SOIL OR CONCRETE. UTILIZE 36" RADIUS BENDS AND PROVIDE PULL STRINGS FOR ALL UTILITY PRIMARY AND COMMUNICATIONS CONDUITS.

KEYED NOTES: #

- APPROXIMATE LOCATION OF EXISTING CPS ENERGY POWER POLE WITH NEW OVERHEAD SECONDARY DROP TO NEW RISER POLE. COORDINATE EXACT LOCATION WITH CIVIL DRAWINGS AND CPS ENERGY.
- METER AND MAIN SERVICE PANEL ON FREE STANDING SUPPORTS. REFER TO ONE-LINE DIAGRAM.
- TWO 3" PHONE AND TV CONDUITS FROM UTILITY COMPANY DEMARC AT SERVICE POLE AND ROUTED TO EACH CONTAINER. COORDINATE WITH UTILITY COMPANY AND WITH OWNER FOR TERMINATION LOCATION.
- UNDERGROUND SERVICE FEEDS FROM MAIN PANEL TO EACH CONTAINER. REFER TO ONE-LINE DIAGRAM FOR SIZE.
- PROVIDE A WEATHERPROOF DUPLEX OUTLET AND WEATHERPROOF J-BOX FOR TV AT 84" ON OWNER PROVIDE POLE. EXTEND 3/4" CONDUIT FOR CABLE TV TO ADJACENT CONTAINER. COORDINATE WITH OWNER.
- PROVIDE A WEATHERPROOF IN-GRADE J-BOX FOR OWNER PROVIDE LANDSCAPE LIGHTING. ROUTE THRU LIGHTING CONTACTOR.



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project number	drawn by
20-32	IEG
date	checked by
04.07.22	SAH

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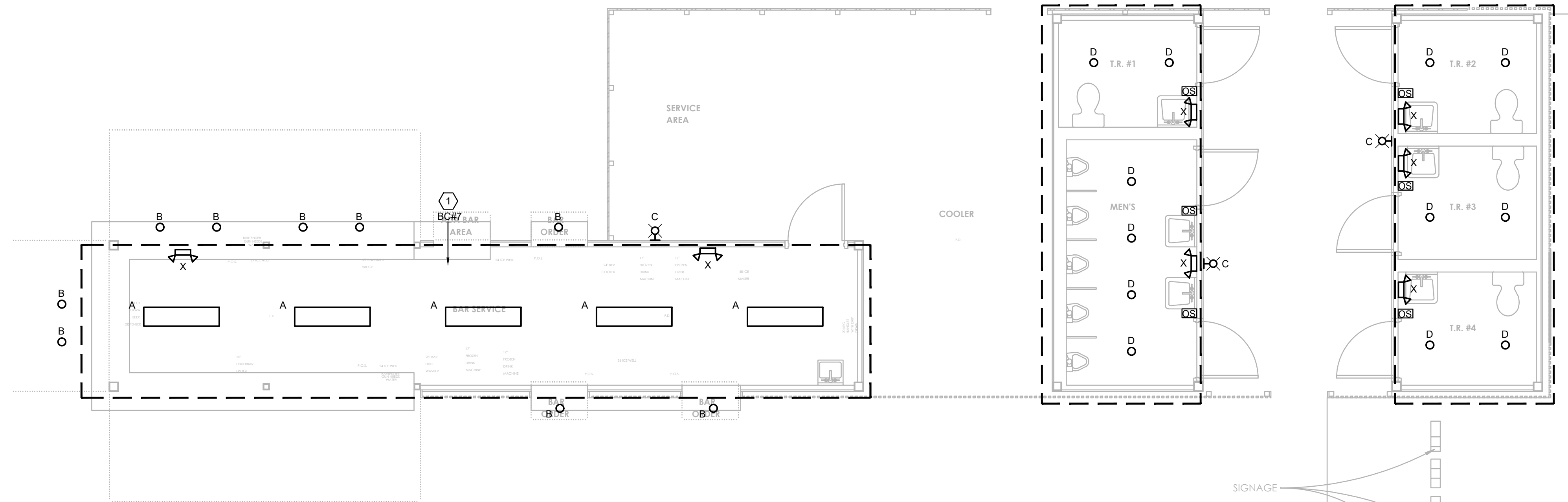
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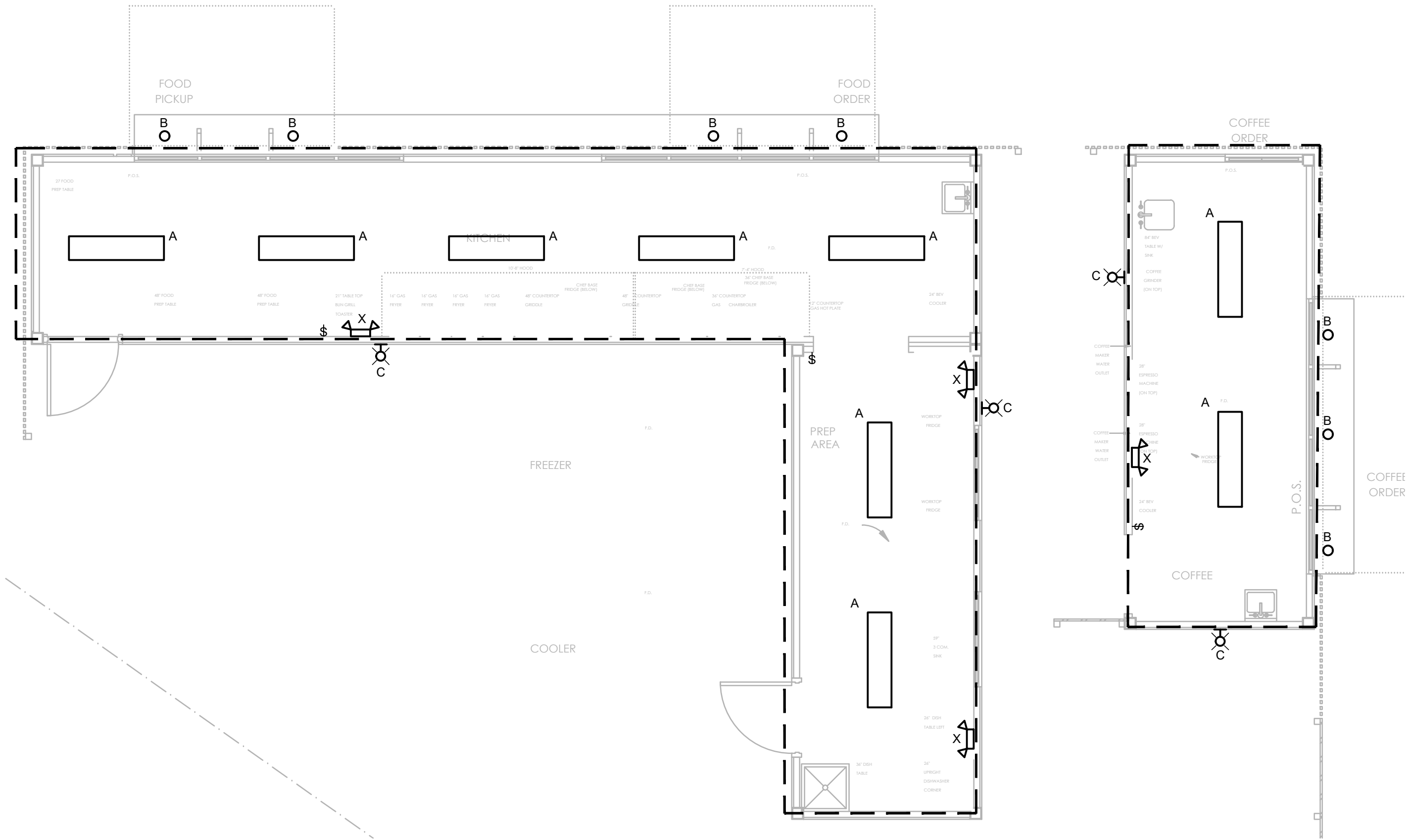
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1 ELECTRICAL SITE PLAN
3/32" = 1'-0"



2 LIGHTING FLOOR PLAN
1/4" = 1'-0"



1 LIGHTING FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- REFER TO SPECIFICATIONS, SCHEDULES, DETAILS AND GENERAL NOTES SHEET FOR ADDITIONAL LIGHTING INSTALLATION REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE LUMINAIRE LOCATIONS WITH THE ARCHITECTURAL ELEVATIONS AND RCP PRIOR TO INSTALLATION. VERIFY LOCATIONS AND MOUNTING METHODS AND MATERIALS THAT ARE UNCLEAR PRIOR TO INSTALLING LUMINAIRES.
- LIGHTING CONTROLS SHALL MEET THE REQUIREMENTS OF THE 2018 IECC.
- CIRCUIT EXIT SIGNS (UNSWITCHED) WITH THE ADJACENT LIGHTING IN THE ROOM.
- PROVIDE EMERGENCY EGRESS AS REQUIRED BY LOCAL CODES. PROVIDE UL924 RELAY, MYERS EPC 2 D, FOR AUTO ON 100% UPON LOSS OF POWER.

KEYED NOTES (X)

- UNLESS OTHERWISE NOTED, LUMINAIRES IN THIS AREA SHALL BE CONNECTED TO BRANCH CIRCUIT AS INDICATED.
- NEW BIG ASS FAN SHOWN FOR COORDINATION WITH LIGHTS. REFER TO SHEET E3 FOR CONNECTIONS.
- TYPE 'D' LUMINAIRES IN THE HORIZONTAL POSITION ARE TO BE MOUNTED ON UNDERSIDE OF MEZZANINE PLATFORM.



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CLAYTON BARRETT HAGEDENDORF #23948

DOG FRIENDLY OUTDOOR RESTAURANT AND BAR

1123 AVENUE B
SAN ANTONIO, TEXAS
HIXON PROPERTIES

project number
20-32
date
04.07.22

drawn by
IEG
checked by
SAH

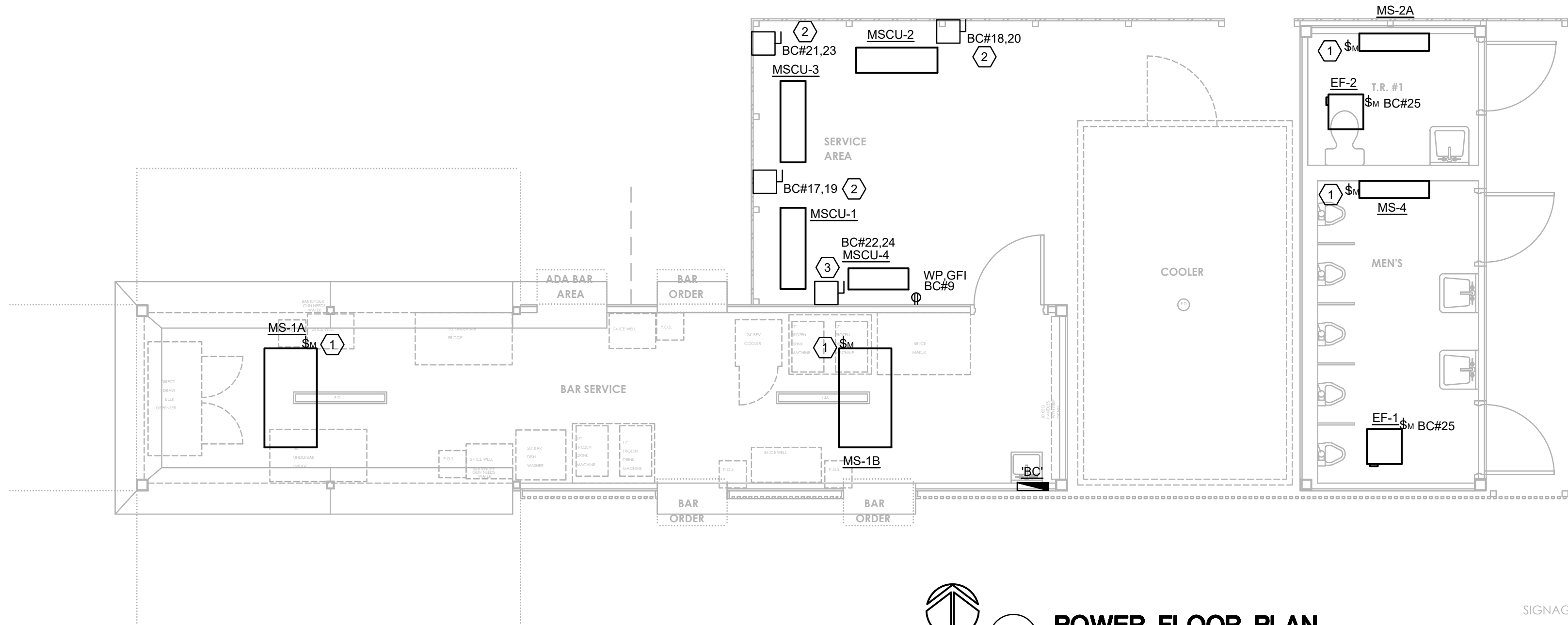
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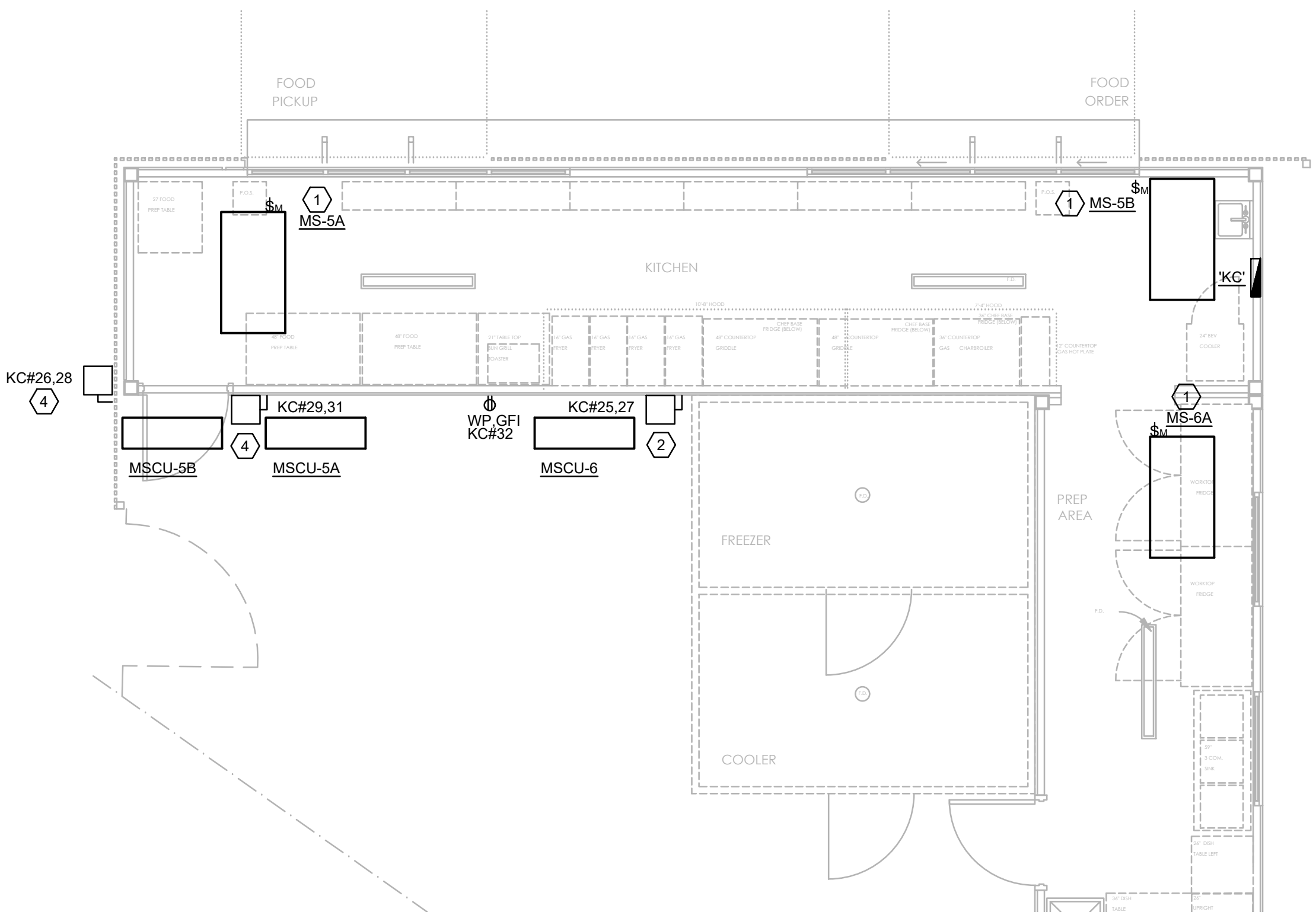
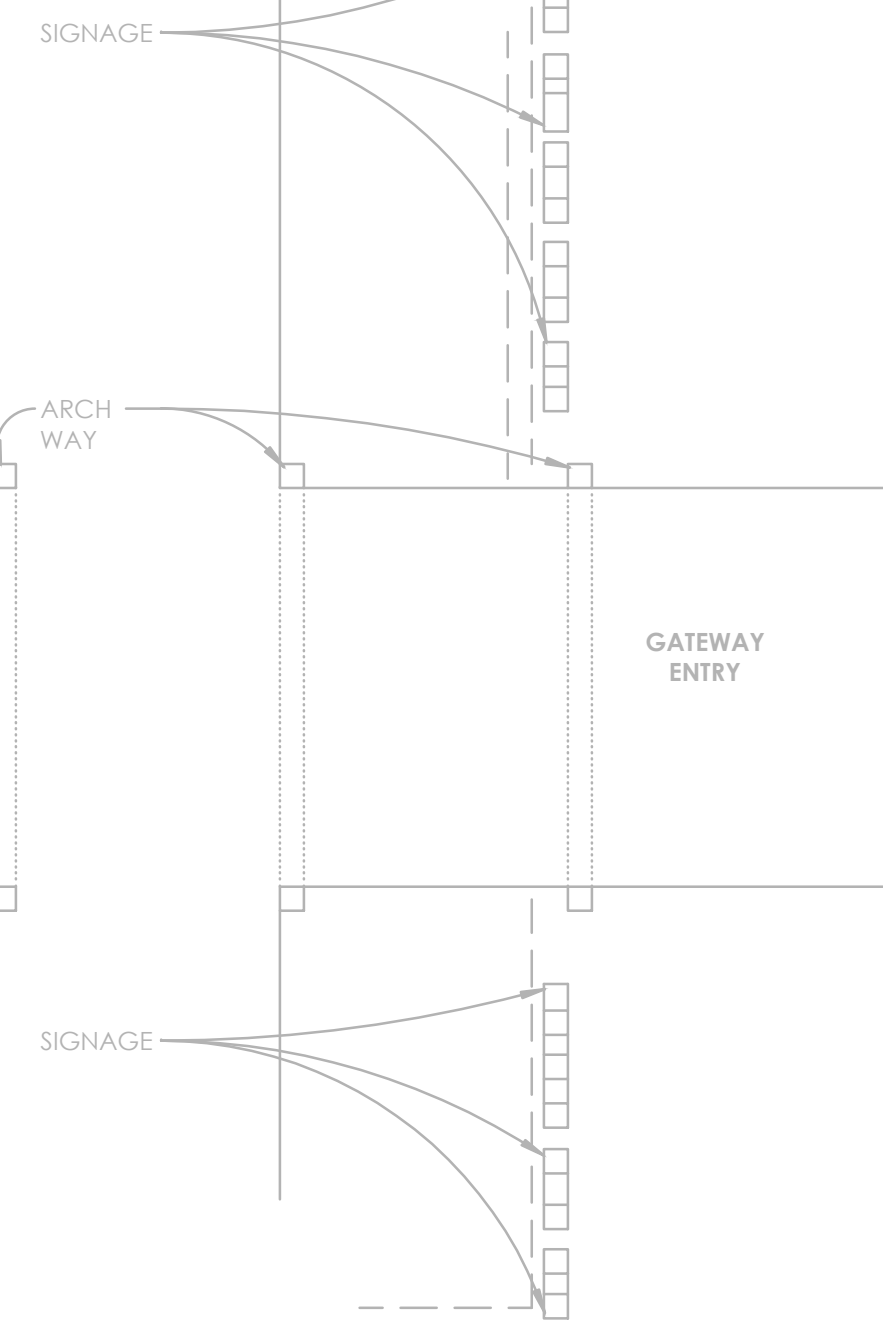
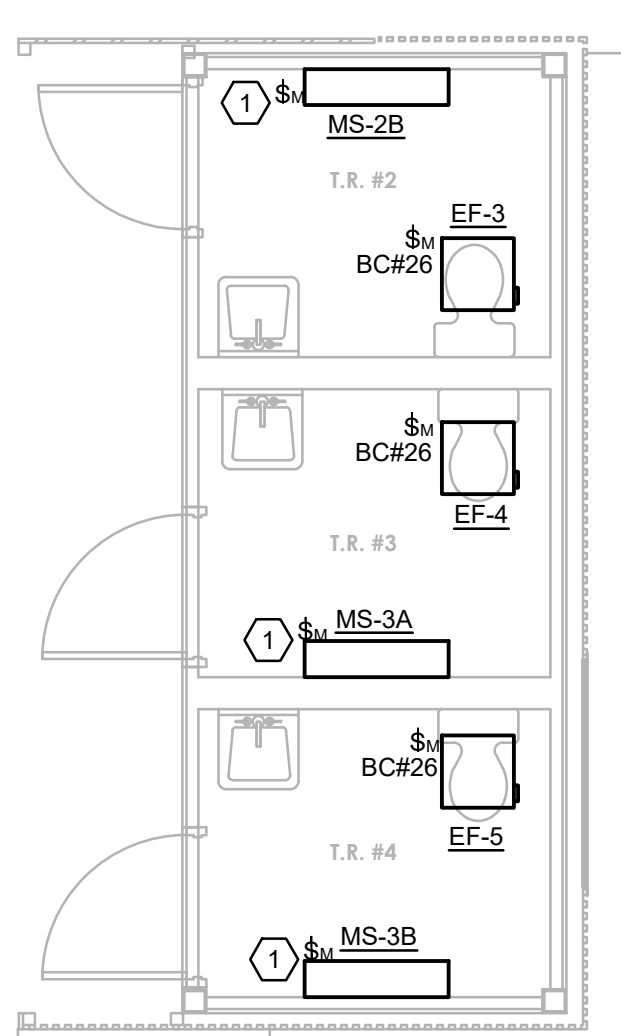
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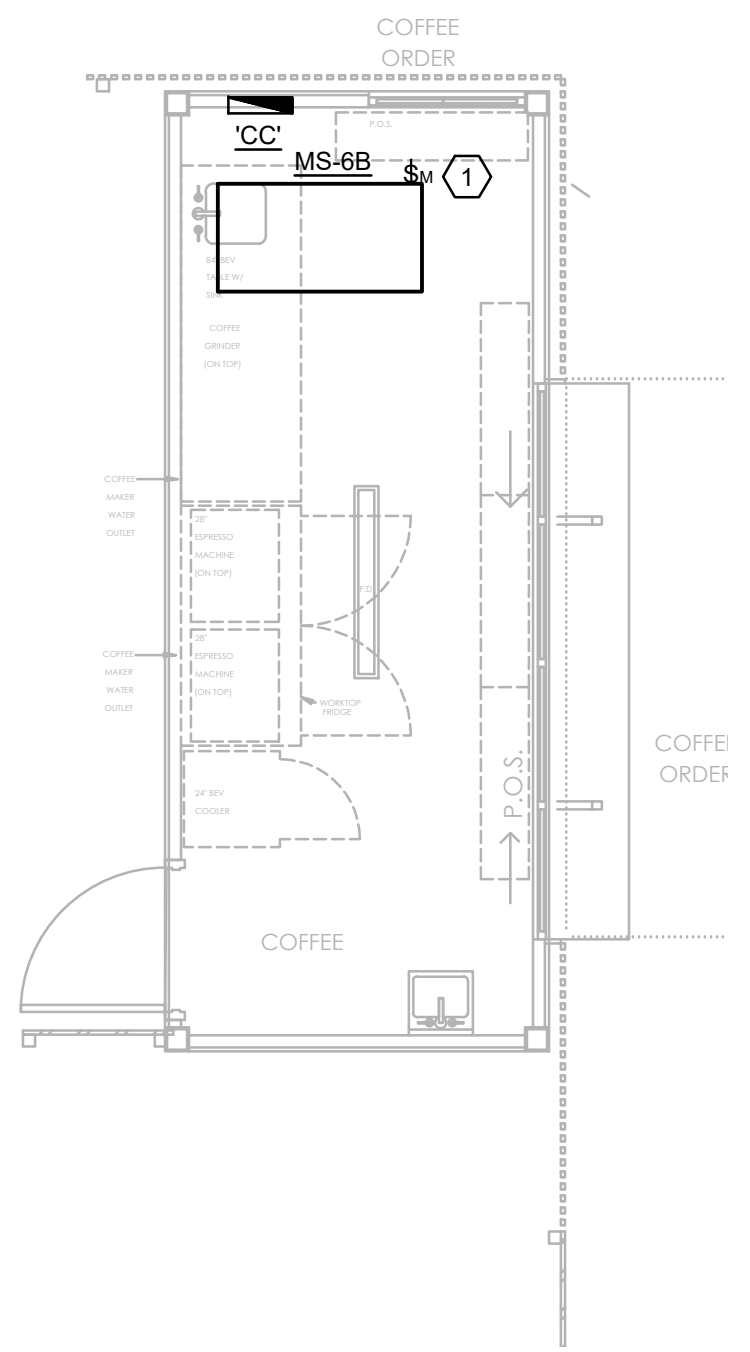
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POWER FLOOR PLAN
1/4" = 1'-0"



POWER FLOOR PLAN
1/4" = 1'-0"



GENERAL NOTES

1. REFER TO SPECIFICATIONS, SCHEDULES, DETAILS AND GENERAL NOTES SHEET FOR ADDITIONAL ELECTRICAL EQUIPMENT AND SYSTEM INSTALLATION REQUIREMENTS.
2. SPECIAL REQUIREMENTS SUCH AS MOUNTING ABOVE COUNTER (AC), GROUND FAULT CIRCUIT INTERRUPTERS (GFI), AND WEATHERPROOF ENCLOSURES (WP) ARE NOTED ADJACENT TO RECEPTACLES.
3. CONTRACTOR SHALL PROVIDE POWER TO ALL ITEMS SHOWN FROM THE PANEL AND CIRCUIT NUMBERS THAT ARE SHOWN ADJACENT TO THE LOAD (RECEPTACLE, DISCONNECT, JBOX, EQUIPMENT CONNECTION POINT, ETC). SIZE CIRCUIT PER PANEL SCHEDULE. PROVIDE NEUTRAL AND GROUND, U.N.O.
4. ALL JUNCTION BOXES SHALL BE LABELED WITH THE BRANCH CIRCUIT NUMBERS AND THEIR PANEL ORIGINATIONS.
5. ALL OUTLETS, INCLUDING RECEPTACLES AND SWITCHES SHALL BE LABELED WITH THE BRANCH CIRCUIT NUMBERS AND THEIR PANEL.
6. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT OF ALL DEVICES AND OUTLETS WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGH-IN.

KEYED NOTES

1. INDOOR UNIT IS POWERED BY OUTDOOR UNIT. EXTEND CONDUIT AND WIRING AND MAKE CONNECTIONS.
2. 60A/2P/2W/250V/N3R/NFS. 1" C., 2 #6, 1 #10 G.
3. 30A/2P/2W/250V/N3R/NFS. 3/4" C., 2 #12, 1 #12 G.
4. 30A/2P/2W/250V/N3R/NFS. 3/4" C., 2 #10, 1 #10 G.



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CLAYTON BARRETT HAGEDORF #23948

DOG FRIENDLY OUTDOOR RESTAURANT AND BAR

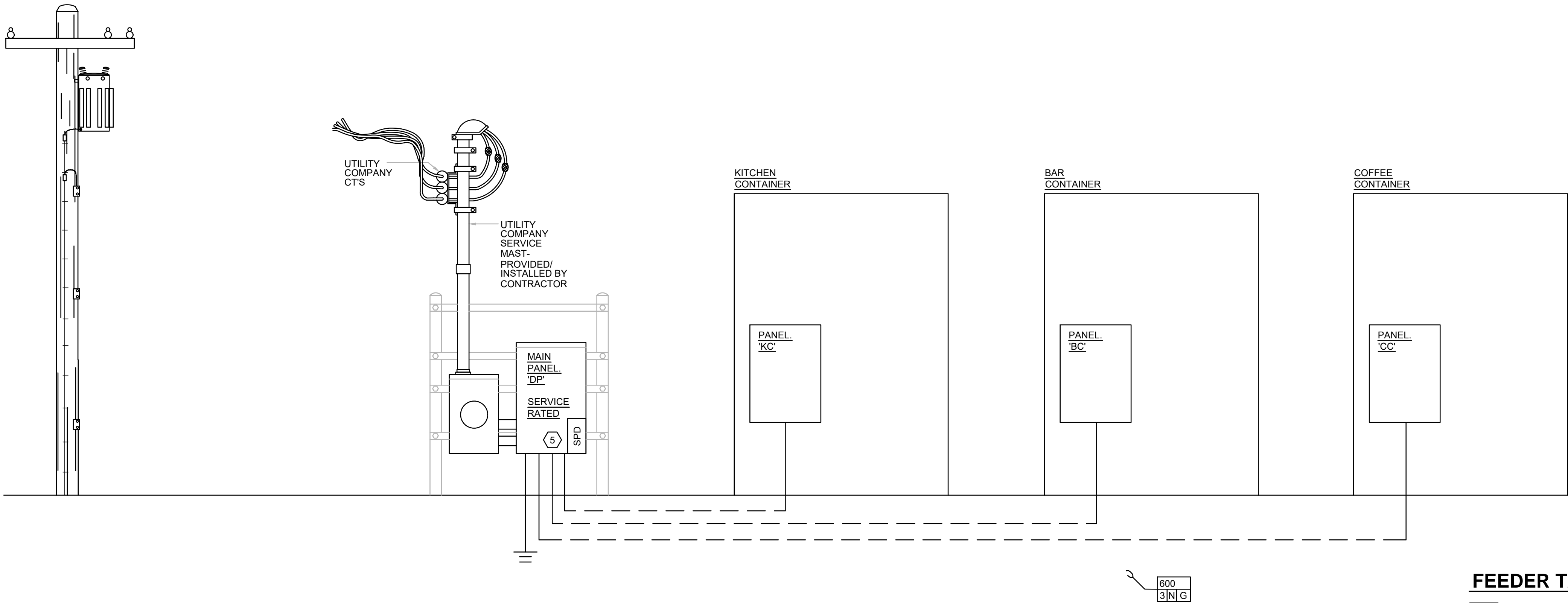
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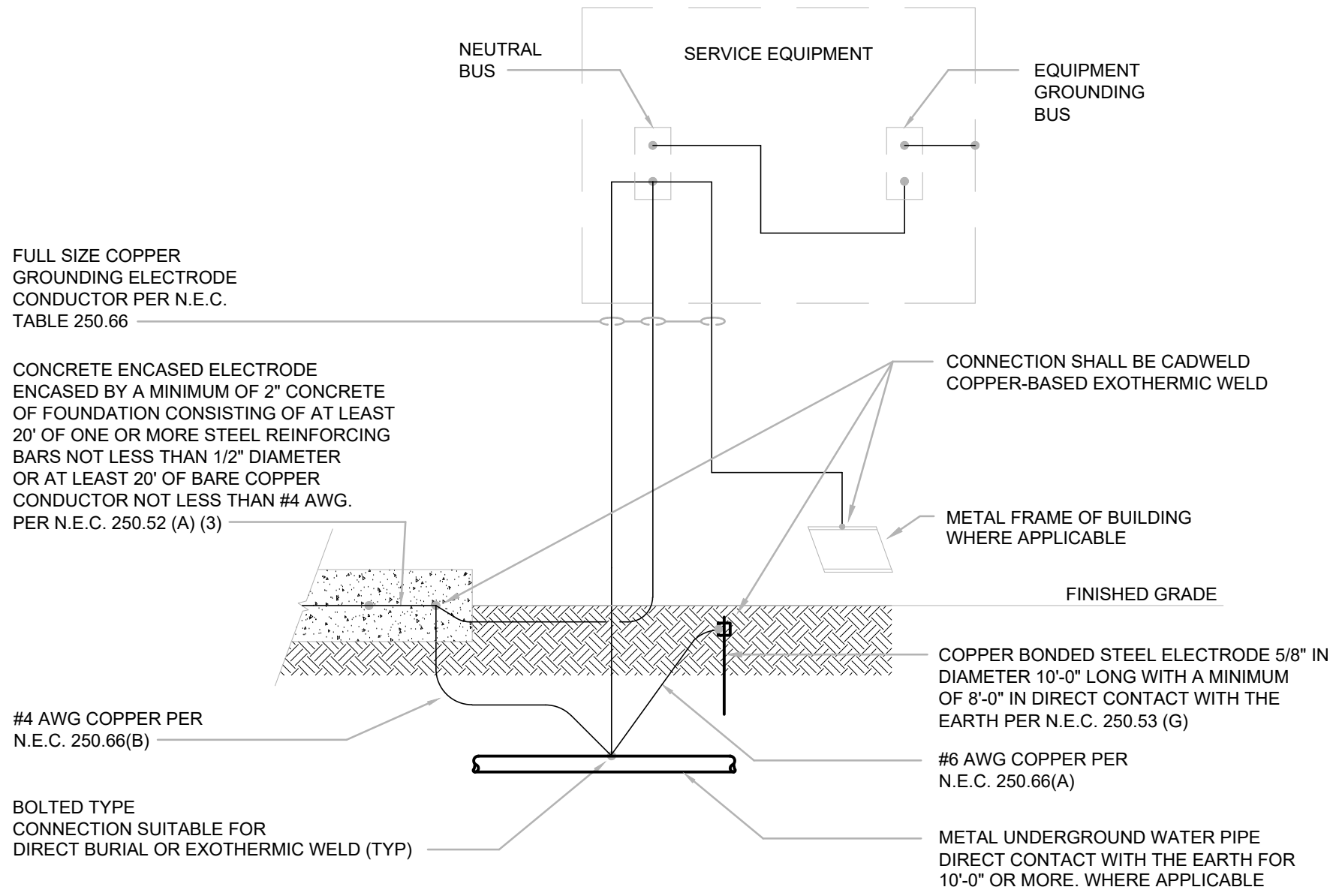


1 ELECTRICAL ONE-LINE DIAGRAM

SCALE: NONE

KEYED NOTES (X)

1. UNDERGROUND SECONDARY, COORDINATE WITH CPS ENERGY.
2. GROUNDING PER NEC.



2 GROUNDING DETAIL

NOT TO SCALE

FEEDER TAG LEGEND

400	—	FEEDER AMPERAGE, SEE TABLE ABOVE
3 N G	—	GROUND REQUIRED WITH ALL CIRCUITS. SG = SERVICE GROUND.
	—	*N*=NEUTRAL REQUIRED (*=-NOT REQUIRED)
	—	#=QUANTITY OF PHASE CONDUCTORS

CONDUIT & CONDUCTOR SCHEDULE

ONE LINE TAG	COPPER				
	NO. OF SETS	SIZE OF CONDUCTORS	SIZE OF GROUND (G)	SIZE OF SERVICE GROUND (SG)	CONDUIT SIZE
20		#12	#12	#8	3/4"
30		#10	#10	#8	3/4"
40		#8	#10	#8	1"
50		#6	#10	#8	1"
60		#4	#10	#8	1-1/4"
70		#4	#8	#8	1-1/4"
80		#3	#8	#8	1-1/4"
90		#2	#8	#8	1-1/2"
100 (SEE NOTE 3)		#1	#8	#6	1-1/2"
110		#1	#6	#6	1-1/2"
125		#1/0	#6	#6	2"
150		#1/0	#6	#6	2"
175		#2/0	#6	#4	2"
200		#3/0	#6	#4	3"
225		#4/0	#4	#2	3"
250		250kcml	#4	#2	3"
300		350kcml	#4	#2	3"
350		500kcml	#3	#1/0	4"
400	(2)	#3/0	#3	#1/0	3"
500	(2)	250kcml	#2	#1/0	3"
600	(2)	350kcml	#1	#2/0	3"
700	(2)	500kcml	#1/0	#2/0	4"
800	(4)	#3/0	#1/0	#2/0	3"
1000	(3)	400kcml	#2/0	#3/0	4"
1200	(4)	350kcml	#3/0	#4/0	3"
1400	(4)	500kcml	#4/0	250kcml	4"
1600	(5)	400kcml	#4/0	250kcml	4"
2000	(6)	400kcml	250kcml	300kcml	4"
2500	(7)	500kcml	350kcml	500kcml	4"
3000	(8)	500kcml	400kcml	500kcml	4"
4000	(10)	600kcml	500kcml	600kcml	4"

NOTES:

1. ALL FEEDERS ARE 4 WIRE PLUS GROUND, UNLESS NOTED OTHERWISE.
2. OPTIONAL SIZES MAY BE USED WHERE SPECIFIED CONDUIT AND CONDUCTORS ARE NOT FEASIBLE.
3. FOR EQUIP. WITH 75 C TERMINATIONS, 100A OR BELOW MAY BE SIZED PER 60C COLUMN IN TABLE 310.15(B)(16) (RE: 110.14(C)(1)(3))
4. ALL CONDUCTORS ARE COPPER UNLESS NOTED OTHERWISE.
5. SERVICE GROUND (SG) SIZED PER TABLE 250.102(C)(1)



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BEATY PALMER ARCHITECTS

GENERAL PLUMBING NOTES	
1.	PROVIDE PIPING MATERIALS AND FACTORY-FABRICATED PIPING PRODUCTS OF SIZES, TYPES, PRESSURE RATINGS, AND CAPACITIES AS INDICATED. WHERE NOT INDICATED, PROVIDE PROPER SELECTION AS DETERMINED BY INSTALLER TO COMPLY WITH INSTALLATION REQUIREMENTS. PROVIDE SIZES, AND TYPES MATCHING PIPING AND EQUIPMENT CONNECTIONS; PROVIDE FITTINGS OF MATERIALS WHICH MATCH PIPE MATERIALS USED IN SOIL, AND VENT PIPING SYSTEMS.
2.	NOT ALL PIPE SIZES ARE SHOWN ON PLANS FOR CLARITY. REFER TO RISER DIAGRAMS FOR PIPING SIZES.
3.	COORDINATE FIRE ALARM CONNECTIONS TO FIRE PROTECTION SYSTEM WITH FIRE PROTECTION CONTRACTOR.
4.	INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION WITHOUT STRESSING PIPE, JOINTS, OR CONNECTED EQUIPMENT.
5.	UPON COMPLETION OF A SECTION OR OF THE ENTIRE WATER SUPPLY SYSTEM, IT SHALL BE TESTED AND PROVED TIGHT UNDER A WATER PRESSURE OF 125 PSIG FOR 2 HRS. THE WATER USED FOR TESTS SHALL BE OBTAINED FROM A POTABLE SOURCE OF SUPPLY.
6.	SLEEVE FOUNDATION BEAM PENETRATIONS WITH SCH. 40 STEEL PIPE SLEEVE OF 2" LARGER DIAMETER.
7.	DOMESTIC WATER SYSTEMS: <div><div>A.</div><div>STOP VALVES SHALL BE BRONZE BALL VALVES WITH STAINLESS STEEL BALLS AND TEFLON PACKING AND GASKETS.</div><div>B.</div><div>HANGERS SHALL BE B-LINE MODEL B3104 FOR STEEL PIPE OR B-LINE MODEL B3104CT FOR COPPER TUBE.</div><div>C.</div><div>ALL PLUMBING EQUIPMENT CONNECTIONS SHALL BE MADE WITH UNIONS AND VALVES SO THAT THE CONNECTED EQUIPMENT CAN BE REMOVED WITHOUT OBSTRUCTION.</div><div>D.</div><div>INSTALL SHUT-OFF VALVES AT EACH BRANCH SERVING A RESTROOM OR FIXTURE GROUPING. INSTALL HOT AND COLD WATER SHUT-OFF VALVES AND SHOCK ARRESTORS ACCESSIBLY AT EACH FIXTURE BATTERY. COORDINATE ACCESS PANEL LOCATIONS WITH ARCHITECT.</div><div>E.</div><div>POTABLE WATER SYSTEMS SHALL BE DISINFECTED PRIOR TO USE PER CODE.</div><div>F.</div><div>UPON COMPLETION OF A SECTION OR OF THE ENTIRE WATER SUPPLY SYSTEM, IT SHALL BE TESTED AND PROVED TIGHT UNDER A WATER PRESSURE OF 125 PSIG FOR 2 HOURS. THE WATER USED FOR THE TEST SHALL BE OBTAINED FROM A POTABLE SOURCE OF SUPPLY.</div></div>
8.	SANITARY WASTE AND VENT SYSTEMS: <div><div>A.</div><div>HANGERS FOR HORIZONTAL SANITARY PIPING SHALL BE EXPANSION RING OR CLEVIS TYPE SPACED NO MORE THAN 5 FEET APART. VERTICAL PIPE PASSING THROUGH SLABS SHALL BE SUPPORTED WITH B-LINE MODEL B3373 FOR STEEL PIPE OR B-LINE MODEL B3373CT FOR COPPER TUBE. EACH HORIZONTAL JOINT IS ADEQUATELY SUPPORTED ON ONE SIDE OF THE JOINT WITHIN 12" OF THE JOINT. HANGERS ARE INSTALLED ON BOTH SIDES OF EACH NO HUB JOINT WITHIN 12" OF THE JOINTS AND OFFSETS ARE RESTRAINED IN AN APPROVED MANNER. (ABOVE SLAB ONLY)</div><div>B.</div><div>INTERNATIONAL PLUMBING CODE: BUILDING DRAIN PIPING 8" DIAMETER AND LARGER SHALL BE RUN AT A MINIMUM SLOPE OF 1/16" PER LINEAR FOOT. BUILDING DRAIN PIPING 3" THROUGH 6" DIAMETER SHALL BE RUN AT A MINIMUM SLOPE OF 1/8" PER FOOT. BUILDING DRAIN PIPING 2-1/2" DIAMETER AND LESS SHALL BE RUN AT A MINIMUM SLOPE OF 1/4" PER LINEAR FOOT.</div><div>C.</div><div>PROVIDE TRAP PRIMER ON ALL FLOOR DRAINS. LOCATE TRAP PRIMERS EXPOSED IN MECHANICAL ROOMS, OR IN WET WALL OF RESTROOMS. PROVIDE TRAP PRIMER ACCESS PANEL IN WALL OF A COLOR TO MATCH WALL. COORDINATE LOCATION WITH PLUMBING FIXTURES AND TILE PATTERNS.</div><div>D.</div><div>INSULATE EXPOSED LAVATORY P-TRAPS TO MEET ADA REQUIREMENTS.</div><div>E.</div><div>PLUMBING CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR ON FLOOR CONSTRUCTION FOR RECEIVING DRAINS TO REQUIRED INVERT ELEVATIONS AND PROPER FLOOR SLOPE TO DRAIN LOCATIONS.</div></div>

PLUMBING CONNECTION SIZES						
SYM	MARK	ITEM	WASTE	VENT	CW	HW
	WC	WATER CLOSET FLUSH VALVE	3"	2"	1"	—
	WC	WATER CLOSET FLUSH TANK	3"	2"	1/2"	—
	UR	URINAL	2"	2"	3/4"	—
	LAV	LAVATORY	2"	2"	1/2"	1/2"
	SK	SINK	2"	2"	1/2"	1/2"
	SS	SERVICE SINK	3"	2"	1/2"	1/2"
	MB	MOP BASIN	2"	2"	1/2"	1/2"
	EWC	WATER COOLER	2"	2"	3/4"	—
	BT	BATHTUB	2"	2"	1/2"	1/2"
	SH	SHOWER	2"	2"	1/2"	1/2"
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION NOT SHOWN.						

PIPING SPECIALITIES	
AIR SEPARATOR	
AIR VENT, AUTOMATIC W/SERVICE VALVE	
AIR VENT, AUTOMATIC W/SERVICE VALVE	
AIR VENT, MANUAL	
ALIGNMENT GUIDE (PIPE SLEEVE)	
AQUASTAT	
ANCHOR	
BACKWATER VALVE	
EXPANSION JOINT	
EXPANSION LOOP	
FILTER	
FLEX CONNECTION	
FLOWMETER, ORIFICE	
FLOW SWITCH	
FLOW METER, INSERTION	
FLOW METER, VENTURI	
HEAT EXCHANGER, LIQUID	
HEAT TRANSFER SURFACE (INDICATE TYPE)	
METER	
PITCH OF PIPE, RISE (R) OR DROP (D)	
PRESSURE GAUGE AND COCK	
PRESSURE SWITCH	
PUMP, CIRCULATING	
PUMP, DOUBLE SUCTION	
PUMP, SINGLE SUCTION	
PUMP SUCTION DIFFUSER	
STRAINER, WYE	
STRAINER W/ BLOW DOWN	
STRAINER, DUPLEX	
TEST PLUG	
THERMOMETER	
THERMOMETER IN WELL	
THERMOMETER WELL ONLY	
THRUST BLOCK	
WATER HAMMER ARRESTER	
PNEUMATIC THERMOSTAT	
VACUUM BREAKER	
PURGE PORT	
OUTSIDE STEM & YOKE	

VALVES	
AIR	
ANGLE GATE	
ANGLE GLOBE	
ANGLE STOP CHECK	
BALANCING	
BALL	
BELLOWS SEAL GLOBE	
BUTTERFLY	
DIAPHRAGM	
GAS COCK	
GATE	
GAUGE COCK	
GLOBE	
NEEDLE	
PLUG	
PRESSURE REDUCING (FLAG POINTS TOWARDS LOW PRESSURE)	
PRESSURE RELIEF	
PRESSURE-TEMPERATURE RELIEF	
THREE WAY BALL	
QUICK CLOSING, FUSIBLE LINK	
QUICK OPENING	
VALVE IN RISER (TYPE AS SPECIFIED OR NOTED)	
ARROW INDICATE FLOW DIRECTION	
BACK FLOW PREVENTER, DOUBLE CHECK TYPE	
BACK FLOW PREVENTER REDUCED PRESSURE ZONE TYPE	
CHECK, ALARM	
STOP CHECK, NON-RETURN	
CHECK, SPRING	
CHECK, SWING GATE	
BALL CHECK	

PIPING LABELING	
PIPING IDENTIFIED FROM TOP TO BOTTOM	
PIPING IDENTIFIED FROM LEFT TO RIGHT	
PIPING IDENTIFIED FROM TOP TO BOTTOM	
FLOW IN DIRECTION OF ARROW	
CONTINUATION, SINGLE LINE	
ROUND CONTINUATION, DOUBLE LINE	
RISER DESIGNATION	
PIPING TYPE	
RISER NUMBER	

PIPING TYPE	
DOMESTIC COLD WATER	CW
DOMESTIC HOT WATER, 140°F, 60°C	HW
DOMESTIC HOT WATER RETURN	HWR
HOT WATER (TEMPERATURE INDICATED)	200°S
HOT WATER RETURN (TEMP. INDICATED)	200°R
DEIONIZED WATER	D.I.
DISTILLED WATER	DIST
COLD SOFT WATER	CSW
HOT SOFT WATER	HSW
CHILLED DRINKING WATER SUPPLY	DWS
CHILLED DRINKING WATER RETURN	DWR
NON-POTABLE COLD WATER	NPW
DRAINS & VENTS	
STORM DRAIN, RAINWATER DRAIN	SD
OVERFLOW STORM DRAIN	OD
SOIL, WASTE OR SANITARY SEWER	SAN
OILY WASTE	OW
INDIRECT DRAIN	D
CONDENSATE DRAIN	CD
VENT	V
ATMOSPHERIC VENT (STEAM, HOT VAPOR)	ATV
SUB-SOIL DRAIN, FOOTING DRAIN (PERFORATED PIPE)	SSD
ACID WASTE	AW
ACTUATORS	
ELECTRIC	
MOTOR	
SOLENOID	
PNEUMATIC	
DIAPHRAGM w/ POSITIVE POSITIONER	
MOTOR	
DIAPHRAGM	
MISC	
SPRING	
ELECTRIC-PNEUMATIC CONTROL	
PNEUMATIC-ELECTRICAL CONTROL	
GAS PRESSURE REGULATOR	

PIPE FITTINGS	
CAPPED TEE	
PITCH DOWN IN DIRECTION OF ARROW	
BLIND FLANGE	
PIPE CAP	
INDICATES TIE-IN BETW. EXIST. AND NEW	
ELBOW, TURN-DOWN	
ELBOW, TURN-UP	
FLANGE JOINT	
REDUCER, CONCENTRIC	
REDUCER, ECCENTRIC	
UNION, SCREWED	
UNION, FLANGED	
VCR FITTING WITH CAP	
BALL JOINT	
PLUGGED PIPE	
COUPLING (JOINT)	
CROSSING	
TEE	
TEE, OUTLET DOWN	
TEE, OUTLET UP	

PLUMBING SYMBOLS	
METER	
PRESSURE GAUGE (W/ RANGE IN PSI)	
WATER HAMMER ARRESTER	
HOT WATER HEATER (STORAGE)	
ELEVATOR PIT SUMP PUMP	
FLOOR CLEANOUT	
CLEANOUT PLUG	
LINE CLEANOUT PLUG	
YARD CLEANOUT OR CLEANOUT TO GRADE	
EXTERIOR CLEANOUT	
VENT CLEAN OUT (COMBINATION W/V SYSTEMS)	
HOSE BIBB	
HOSE CONNECTION	
ELBOW, TURN-DOWN	
ELBOW, TURN-UP	
FLANGE JOINT	
REDUCER, CONCENTRIC	
REDUCER, ECCENTRIC	
BUSHING	
UNION, SCREWED	
UNION, FLANGED	
PLUGGED PIPE	
COUPLING (JOINT)	
CROSSING	
TEE	
TEE, OUTLET DOWN	
TEE, OUTLET UP	
BALL (BUTTERFLY OVER 2" Ø)	
PRESSURE REDUCING	
PRESSURE-TEMPERATURE RELIEF	

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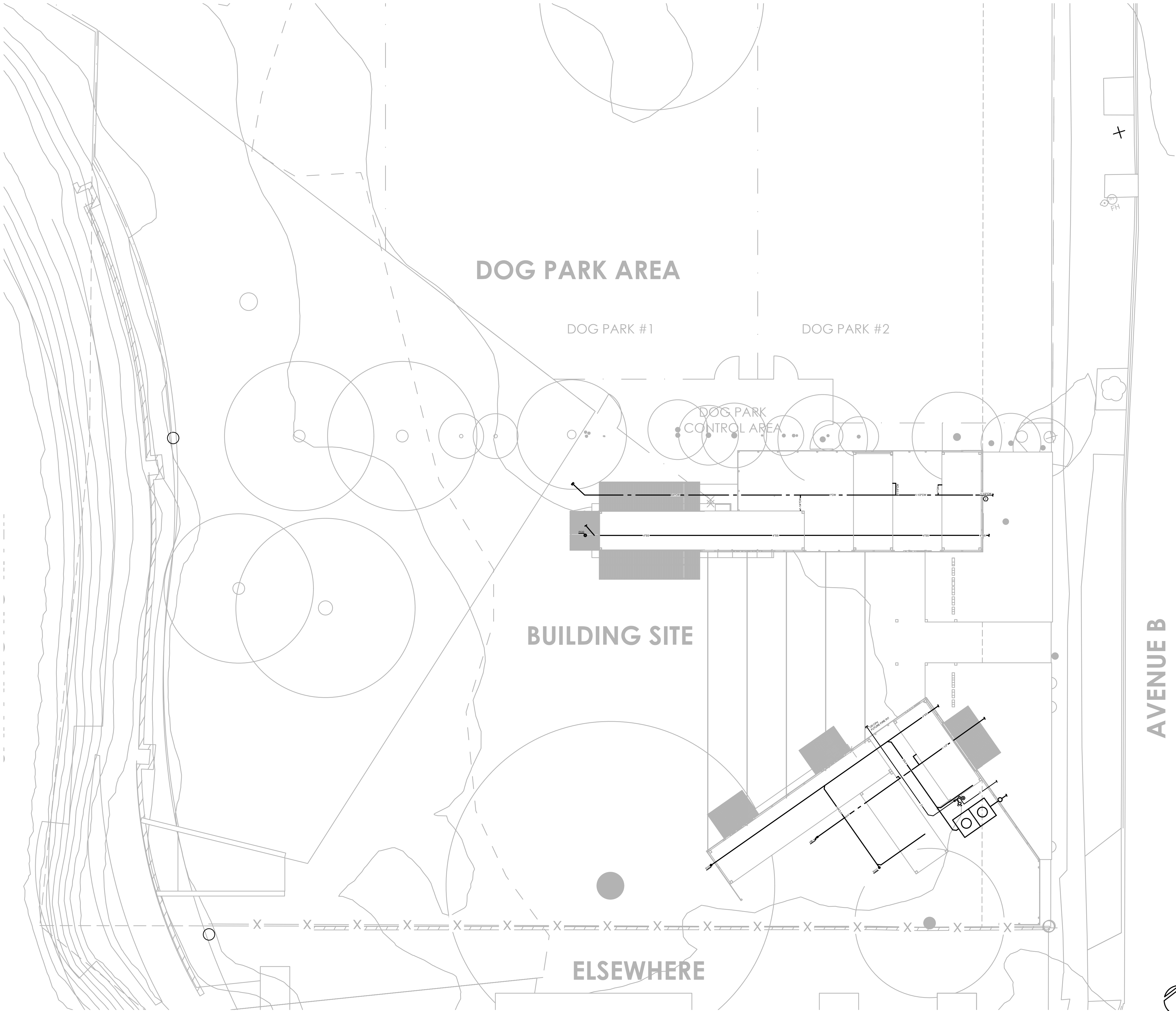
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GENERAL NOTES:

1. REFER TO SHEET P0.0 & M0.1 FOR GENERAL MECHANICAL NOTES, SYMBOLS, ABBREVIATIONS AND ADDITIONAL INFORMATION.
2. REFER TO M3 FOR MECHANICAL INSULATION SCHEDULES.
3. SUPPLIES AND EQUIPMENT REMOVED DURING CONSTRUCTION SHALL BE RETURNED TO THE OWNER OR DISPOSED OF PROPERLY BY THE CONTRACTOR AT THE OPTION OF THE OWNER.
4. HOURS OF OPERATION FOR UNITARY CONTROLS SHALL BE OBTAINED BY G.C. FROM OWNERS REPRESENTATIVE PRIOR TO CONTROL SYSTEM PROGRAMMING. ALL CONTROL SYSTEM PROGRAMMING SHALL BE INCLUDED IN PROJECT SCOPE.
5. CONTRACTOR SHALL FIELD VERIFY ALL PIPE SIZES, LOCATIONS AND PRESSURE PRIOR TO BEGINNING WORK.

KEYED NOTES: (X)

1. CONNECT NEW 4" SANITARY SEWER TO EXISTING SANITARY MAIN. FIELD VERIFY EXACT LOCATION OF EXISTING MAIN.
2. EXISTING 2" DOMESTIC BACKFLOW PREVENTER SERVING THE EXISTING BUILDINGS.
3. CONNECT NEW 2" DOMESTIC COLD WATER TO EXISTING COLD WATER MAIN. FIELD VERIFY EXACT LOCATION OF EXISTING MAIN.
4. REFER TO P2 FOR CONTINUATION.
5. NEW NATURAL GAS PIPING STUB-OUT. REFER TO CIVIL DRAWINGS FOR CONTINUATION. REFER TO P4 GAS RISER DIAGRAM FOR GAS LOADS AND PIPE SIZES.
6. PROVIDE 6" PLUG FOR FUTURE PHASE II BUILDING EXTENSION.



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BEATY PALMER ARCHITECTS



NORTH

1 PLUMBING SITE PLAN
3/32" = 1'-0"

GENERAL PLUMBING NOTES:

- A. ALL CONDENSATE DRAINS SHALL BE ROUTED TO AN INDIRECT WASTE RECEPTOR WITH A CODE COMPLIANT AIR GAP.
- B. PIPING INSULATION SYSTEMS ON ALL PIPING WHERE SPECIFIED, ALL PIPE LABELING SHALL BE IN COMPLIANCE WITH ANSI STANDARDS.
- C. ALL VALVES LOCATED ABOVE GYPSUM BOARD CEILING SHALL BE PROVIDED WITH ACCESS PANELS LOCATED NEAR VALVE. MOUNT VALVE IN HORIZONTAL POSITION.
- D. DIELECTRIC INSULATOR REQUIREMENTS - AN APPROVED DIELECTRIC INSULATOR IS REQUIRED ON THE WATER PIPING CONNECTIONS OF WATER HEATERS AND RELATED HEATING EQUIPMENT.
- E. WATER HAMMER ARRESTOR REQUIREMENTS - WATER HAMMER ARRESTORS SHALL BE PROVIDED AT EACH END OF CONNECTION OR WATER BRANCH SERVICE POSITION IN A CODE COMPLIANT MANNER AS RECOMMENDED BY THE MANUFACTURER AND IN ACCORDANCE WITH PDI TABLES.
- F. PROVIDE PIPING INSULATION SYSTEMS ON ALL PIPING WHERE SPECIFIED, ALL PIPE LABELING SHALL BE IN COMPLIANCE WITH ANSI STANDARDS.
- G. WATER PIPING ROUTED HIGH AND DROP IN CHASE OR WALL CAVITY FOR DISTRIBUTION TO STOP VALVE OR ISOLATION VALVE, PROVIDE WALL CHROME ESCUTCHEONS.
- H. REFER TO SHEET P0.00 FOR GENERAL PLUMBING NOTES.
- I. ROUTE PIPING BEHIND FINISHED SURFACES WHERE APPLICABLE.
- J. PROVIDE ASSE 1022 COMPLIANT BACKFLOW PREVENTER AT ALL COFFEE MACHINES, AND NON-CARBONATED BEVERAGE DISPENSERS.
- K. PROVIDE DOUBLE-CHECK BACKFLOW PERVENTER ON ICE MACHINE SUPPLY LINE.
- L. REFER TO SHEET P0 & M0 FOR GENERAL MECHANICAL NOTES, SYMBOLS, ABBREVIATIONS AND ADDITIONAL INFORMATION.
- M. REFER TO M3 FOR MECHANICAL INSULATION SCHEDULES.
- N. SUPPLIES AND EQUIPMENT REMOVED DURING CONSTRUCTION SHALL BE RETURNED TO THE OWNER OR DISPOSED OF PROPERLY BY THE CONTRACTOR AT THE OPTION OF THE OWNER.
- O. HOURS OF OPERATION FOR UNITARY CONTROLS SHALL BE OBTAINED BY G.C. FROM OWNERS REPRESENTATIVE PRIOR TO CONTROL SYSTEM PROGRAMMING. ALL CONTROL SYSTEM PROGRAMMING SHALL BE INCLUDED IN PROJECT SCOPE.
- P. CONTRACTOR SHALL FIELD VERIFY ALL PIPE SIZES, LOCATIONS AND PRESSURE PRIOR TO BEGINNING WORK.

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KEYED NOTES: (X)

- 1. 4" SANITARY STUB-OUT. REFER TO P1 FOR CONTINUATION.
- 2. 1-1/2" COLD WATER STUB-OUT. REFER TO P1 FOR CONTINUATION.
- 3. 3/4" DOMESTIC COLD WATER DOWN TO FREEZE PROOF WALL HYDRANT. PROVIDE SHUT-OFF BALL VALVE.
- 4. 1-1/4" CONDENSATE DRAIN FROM MECHANICAL UNIT DOWN INDIRECTLY TO HUB DRAIN. PROVIDE PROPER AIR GAP.
- 5. PROVIDE 6" PLUG FOR FUTURE PHASE II BUILDING EXTENSION.
- 6. 3/4" CONDENSATE DRAIN FROM UPPER LEVEL.
- 7. 1-1/4" DOMESTIC COLD WATER DOWN TO EMERGENCY EYEWASH/SHOWER STATION. PROVIDE 2" DRAIN FOR THE EYEWASH AND 2" DRAIN FOR THE 2" FLOOR SINK. PROVIDE TRAP GUARD FOR FLOOR SINK AND ROUTE 2" VENT PIPING TO 2" VTR.
- 8. PROVIDE TRAP GUARDS TO FLOOR DRAINS AND FLOOR SINKS.

architect revisions

PRELIMINARY DRAWING

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CLAYTON BARRETT HAGENDORF #23948

DOG FRIENDLY OUTDOOR RESTAURANT AND BAR

1123 AVENUE B
SAN ANTONIO, TEXAS
HIXON PROPERTIES

project number
20-32
date
04.07.22

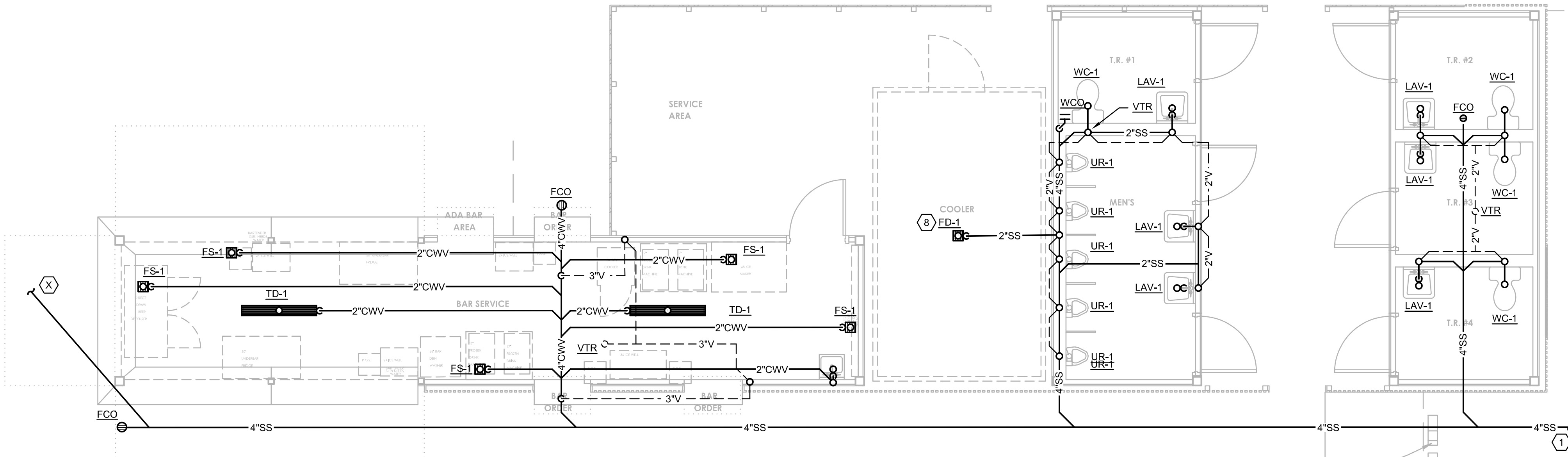
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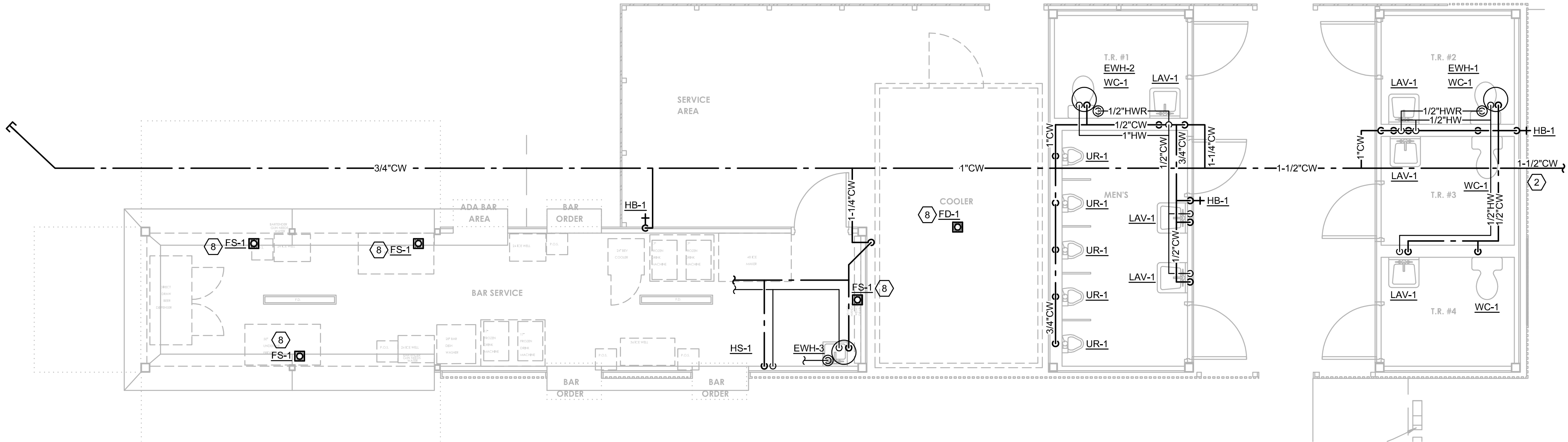
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BEATY PALMER ARCHITECTS

sheet number
P2



2 PLUMBING FLOOR PLAN - WASTE & VENT
1/4" = 1'-0"
NORTH



1 PLUMBING FLOOR PLAN - WATER & GAS
1/4" = 1'-0"
NORTH

GENERAL PLUMBING NOTES:

- A. ALL CONDENSATE DRAINS SHALL BE ROUTED TO AN INDIRECT WASTE RECEPTOR WITH A CODE COMPLIANT AIR GAP.
- B. PIPING INSULATION SYSTEMS ON ALL PIPING WHERE SPECIFIED, ALL PIPE LABELING SHALL BE IN COMPLIANCE WITH ANSI STANDARDS.
- C. ALL VALVES LOCATED ABOVE GYPSUM BOARD CEILING SHALL BE PROVIDED WITH ACCESS PANELS LOCATED NEAR VALVE. MOUNT VALVE IN HORIZONTAL POSITION.
- D. DIELECTRIC INSULATOR REQUIREMENTS - AN APPROVED DIELECTRIC INSULATOR IS REQUIRED ON THE WATER PIPING CONNECTIONS OF WATER HEATERS AND RELATED HEATING EQUIPMENT.
- E. WATER HAMMER ARRESTOR REQUIREMENTS - WATER HAMMER ARRESTORS SHALL BE PROVIDED AT EACH END OF CONNECTION OR WATER BRANCH SERVICE POSITION IN A CODE COMPLIANT MANNER AS RECOMMENDED BY THE MANUFACTURER AND IN ACCORDANCE WITH PDI TABLES.
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- K. PROVIDE DOUBLE-CHECK BACKFLOW PERVERTER ON ICE MACHINE SUPPLY LINE.
- L. REFER TO SHEET P0 & M0 FOR GENERAL MECHANICAL NOTES, SYMBOLS, ABBREVIATIONS AND ADDITIONAL INFORMATION.
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- O. HOURS OF OPERATION FOR UNITARY CONTROLS SHALL BE OBTAINED BY G.C. FROM OWNERS REPRESENTATIVE PRIOR TO CONTROL SYSTEM PROGRAMMING. ALL CONTROL SYSTEM PROGRAMMING SHALL BE INCLUDED IN PROJECT SCOPE.
- P. CONTRACTOR SHALL FIELD VERIFY ALL PIPE SIZES, LOCATIONS AND PRESSURE PRIOR TO BEGINNING WORK.
- Q. 3/4" CONDENSATE DRAIN FROM WALK-IN EQUIPMENT EVAPORATOR COIL CONNECTION WITH RUNNING TRAP AND GRAVITY ROUTED TO SERVICE SINK WITH CODE COMPLIANT AIR GAP.
- R. AT ALL DRAIN RECEPTORS OR INDIRECT WASTE DRAIN RECEPTORS EXPOSED TO TEMPERATURES 140°F., PROVIDE AND INSTALL LEAD FREE DCVA AND 3/4" DRAIN TEMPERING VALVE, THERMOMEGATECH 3/4" DTV WITH WATER HAMMER ARRESTOR TO LIMIT DRAIN TEMP. TO 130° F. IN ACCORDANCE WITH FACTORY INSTRUCTIONS.

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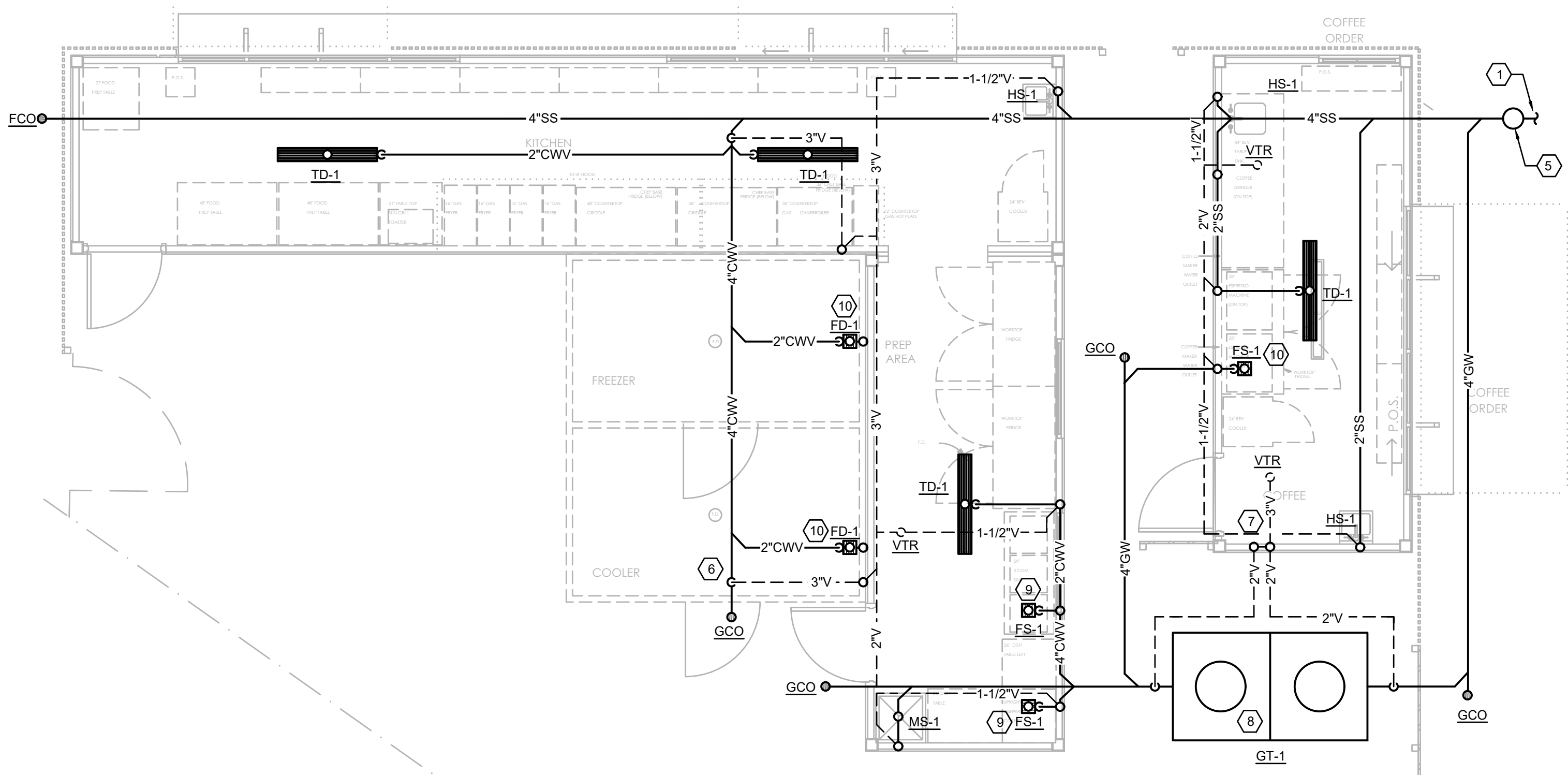
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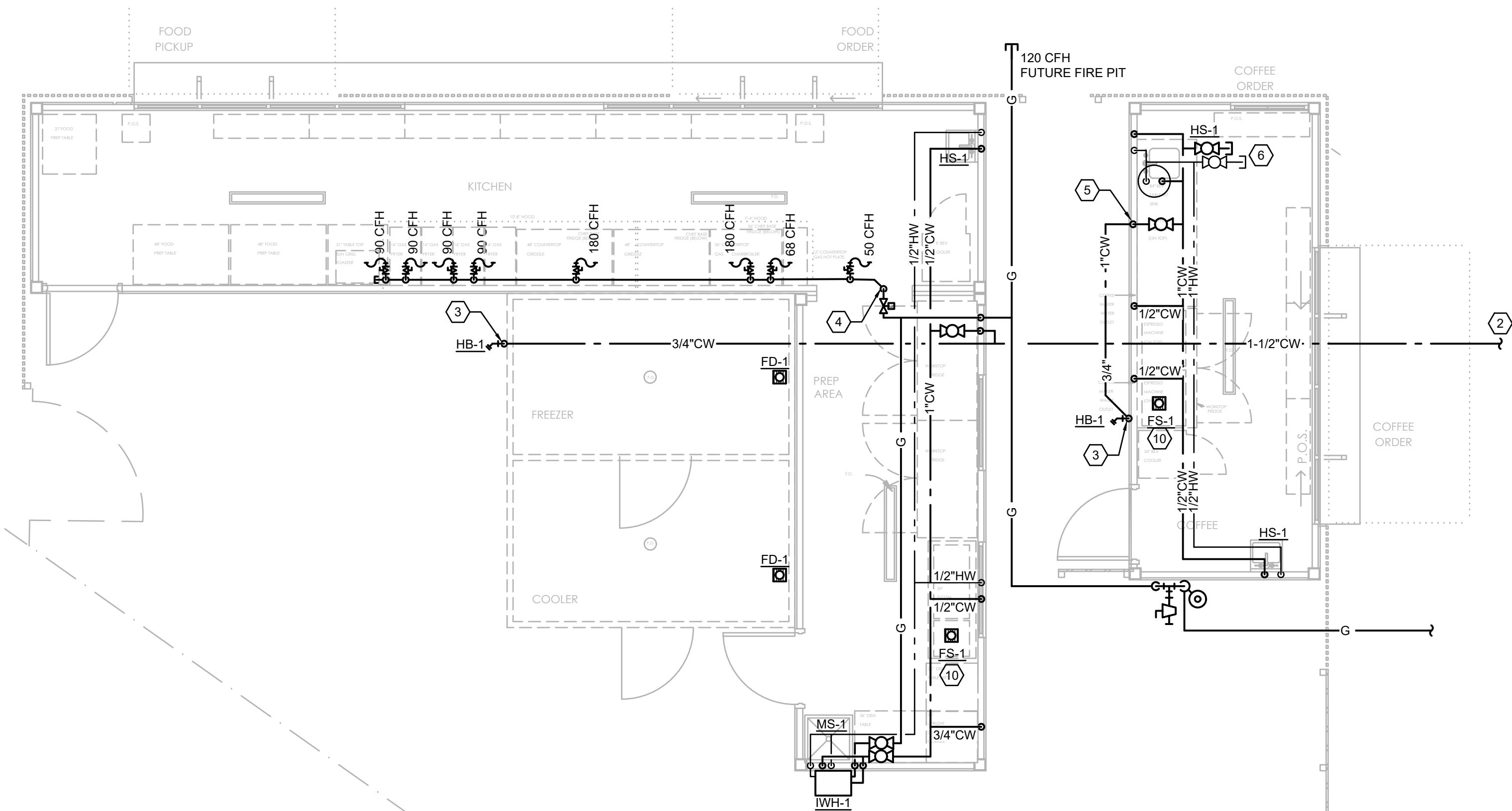
P3

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BEATY PALMER ARCHITECTS



2 PLUMBING FLOOR PLAN - WASTE & VENT
1/4" = 1'-0"



1 PLUMBING FLOOR PLAN - WATER & GAS
1/4" = 1'-0"

PIPE INSULATION / JACKET SCHEDULE						
INSULATION SYSTEM DESIGNATION	INSULATION					REMARKS
	DESCRIPTION	PRODUCTS	K	SERVICE TEMPERATURES		
				MIN	MAX	
GF	GLASS FIBER ASTM C547, RIGID MOLDED NONCOMBUSTABLE	OWENS CORNING FIBERGLAS PIPE INSULATION	0.23	-20	450	
CG	CELLULAR GLASS ASTM C552, TYPE II PURE GLASS	PITTSBURG CORNING FOAMGLAS SUPER K	0.29	-20	900	
CF	FLEXIBLE ELASTOMERIC CELLULAR, ASTM C534	ARMACELL AP ARMAFLEX	0.27	-70	220	INSULATION SHALL BE 25/50 COMPLIANT
JACKET SYSTEM DESIGNATION	JACKET				REMARKS	
	DESCRIPTION		MANUFACTURER			
ASJ	ALL SERVICE JACKET - JACKET IS TO CONSIST OF A WHITE KRAFT PAPER FACING WITH AN ALUMINUM FOIL SUBSTRATE. WATER VAPOR PERMEANCE = 0.02 PERM. MAX PER ASTM E96 AND A PUNCTURE RESISTANCE OF 50 BEACH MAX. PER ASTM D781. JACKETING SHALL BE FACTORY APPLIED OR AP		OWENS-CORNING SSL II SELF-SEALING LAP JACKETING SYSTEM			
PVC	POLYVINYL CHLORIDE JACKET - JACKET IS TO BE HIGH IMPACT, ULTRA-VIOLET RESISTANT, 20-MIL-THICK, WHITE PVC. JACKET SHALL BE FACTORY APPLIED OR APPLIED PER THE MANUFACTURE RECOMMENDATIONS. PVC JACKETING SYSTEM SHALL MEET ALL OF THE REQUIREMENTS UNDER ASTM E8		JOHN MANVILLE ZESTON 300 SERIES		PVC JACKETING INSTALLED IN PLENUMS SHALL MEET 25/50 FLAME/SMOKE RATING.	
ALJ	ALUMINUM JACKET - JACKET IS TO BE 0.016 INCH THICK, TYPE 3003-H-14 ALUMINUM WITH A STUCCO EMBOSSED FINISH AND FACTORY APPLIED VAPOR BARRIER. APPLY JACKETING SYSTEM PER MANUFACTURE RECOMMENDATIONS. ALUMINUM JACKETING SYSTEM SHALL MEET ALL REQUIREMENTS UNDE		CHILDERS / PREMETCO		3M VENTURECLAD INSULATION JACKETING TAPE 1577CW MAY BE USED IN LIEU OF ALUMINUM JACKET.	
NOTES:						
1. K-FACTOR UNITS ARE BTU/IN/HR/FT² °F TESTED AT 75 °F						
2. PROVIDE PRODUCT LISTED OR ENGINEER PRE-APPROVED EQUAL, APPLIES TO ALL PRODUCTS LISTED IN SCHEDULE.						
3. INSTALL ALL PRODUCTS PER THE MANUFACTURER'S RECOMMENDATIONS.						
4. ALL INSULATING MATERIALS SHALL CONFORM TO ASTM E 84, HAVING A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT RATING OF 50.						
5. FURNISH AND INSTALL PIPE LABELS ON ALL PIPING PER ASME AND ANSI A13.1.						

PLUMBING FIXTURE SCHEDULE												
MARK	DESCRIPTION	FIXTURE		VALVE/FAUCET		CONNECTIONS				REMARKS		
		MFR	MODEL	MFR	MODEL	WASTE	VENT	CW	HW			
WATER CLOSETS												
WC-1	WATER CLOSET HANDICAP (ADA) FLOOR MOUNT	KOHLER	WELLWORTH K-3998	KOHLER	POLISH CHROME TRIP LEVER	4"	2"	1/2"	-	WHITE VITREOUS CHINA, FLOOR MOUNTED TOILET, TANK TYPE, CLASS FIVE 1.28 GPF. PROVIDE WITH OPEN FRONT SEAT LESS COVER. ADA COMPLIANT HEIGHT.		
URINALS												
UR-1	URINAL WALL MOUNT HANDICAP (ADA)	KOHLER	DEXTER K-5016-ET-0	KOHLER	K-10675-CP (Touchless)	2"	1-1/2"	3/4"	-	WHITE VITREOUS CHINA, WALL CARRIER MOUNTED URINAL, 0.5 GPF WITH BATTERY POWERED INFRARED FLUSHOMETER VALVE. ADA COMPLIANT 18" RIM HEIGHT.		
LAVATORIES												
L-1	LAVATORY WALL MOUNT	KOHLER	GREENWICH K-2032-0	KOHLER	K-7515-CP (Touchless)	1-1/2"	1-1/4"	1/2"	1/2"	WHITE VITREOUS CHINA WALL MOUNTED LAVATORY, MOUNTED ON CONCEALED ARM CARRIER. PROVIDE WITH KOHLER K-7129-A-CP DRAIN, KOHLER K-9018-CP P-TRAP AND KOHLER K-7605-P-CP SUPPLY STOP VALVES. ADA COMPLIANT INSTALLATION WITH BATTERY POWERED INFRARED FAUCET WITH 0		
KITCHEN / BAR SINKS												
SK-1	1 - BOWL SINK COUNTER SELF-RIMMING	ELKAY	LUSTERTONE LRAD172065	ELKAY	LK810GN08T4	1-1/2"	1-1/2"	1/2"	1/2"	COUNTER MOUNTED, 17"x 20"x6-1/2" D, (1)14"x14" SINGLE BOWL STAINLESS STEEL SINK PROVIDE WITH KOHLER K-8801 STRAINER & TAILPIECE, KOHLER K-9000-CP P-TRAP AND KOHLER K-7605-P-CP SUPPLY STOP VALVES & FAUCET WITH 2.2 GPM AERATOR.		
COMMERCIAL KITCHEN SINKS / HAND SINKS												
HSK-1	HAND SINK	ADVANCE TABCO	7-PS-76	-	-	1-1/2"	-	1/2"	1/2"	HAND SINK,ADA COMPLIANT INSTALLATION. PROVIDE WITH DRAIN 17 GA. P-TRAP AND KOHLER K7605-P-CP SUPPLY STOP VALVES, WITH 0.5 GPM AERATOR. 12"HT. SPLASH SHIELDS		
SERVICE / MOP SINKS												
MS-1	SERVICE SINK CORNER FLOOR MOUNT	KOHLER	WHITBY K-6710	KOHLER	K-8908-CP	3"	2"	1/2"	1/2"	FLOOR MOUNTED MOP SINK. PROVIDE WITH KOHLER K-8906-CP FAUCET WITH VACUUM BREAKER AND INTEGRAL STOPS IN SHANKS.		
DRAINS												
FD-1	FLOOR DRAIN (LIGHT DUTY)	ZURN	Z415B	-	-	2"	1-1/2"	-	-	CAST IRON FLOOR DRAIN WITH ADJUSTABLE NICKLE BRONZE STRAINER; FURNISH WITH 1/2" TRAP PRIMER CONNECTION		
FS-1	FLOOR SINK	ZURN	Z1910	-	-	2"	2"	-	-	8" x 8"x 6"D. CAST IRON BODY MEDIUM-DUTY SQUARE SLOTTED GRATE AND INTERIOR BOTTOM DOME STRAINER; FURNISH WITH 1/2" TRAP PRIMER CONNECTION		
TD-1	TRENCH DRAIN	WATTS	ES-WD-DEADLEVEL-D	-	-	2"	1-1/2"	-	-	6"X48" DUCTILE IRON FRAME, UV STABILIZED TALC-FILLED POLYPROPYLENE CHANNELS WITH INTEGRAL 4" NO HUB BOTTOM OR END OUTLET. COORDINATE WITH EXACT FRAME IMBEDMENT REQUIREMENTS WITH GC. VANDAL PROOF GRATE LOCKDOWNS (-DI-ADA). GRATE SHALL BE INSTALLED FLUSH WI		
HOSE BIBBS / HYDRANTS												
HB-1	WALL HOSE BIBB	WOODFORD	MODEL 67(CH)	-	-	-	-	3/4"	-	SURFACE PLAQUE, NON-FREEZE WALL HYDRANT WITH INTEGRAL SELF-DRAINING SIPHON BREAKER. COORDINATE EXACT INSTALLATION DISTANCE REQUIREMENTS FROM WALL SURFACE. CHROME FINSH. PROVIDE WITH 3 SPARE TEE KEYS. STANDARD MOUNTING HT. 24" A.F.F. - LOW LEAD COMPLIANC		
SUMP PUMP / EMERGENCY EQUIPMENT												
EEW-1	EMERGENCY EYEWASH WALL MOUNT	GUARDIAN	GBF1724-BC	-	-	1-1/2"	-	-	1/2" (T)	WALL MOUNTED EMERGENCY EYEWASH W/ 4 GS-PLUS SPRAY HEADS AND FLIP TOP DUST COVERS CONSTRUCTED OF TYPE 316 STAINLESS STEEL WITH 11-1/2" STAINLESS STEEL BOWL, 1/2" IPS STAINLESS STEEL BALL VALVE AND 1/2" NPT FEMALE INLET. PROVIDE EMERGENCY TMV G6020 SET TO		
TRAP PRIMERS / BACKFLOW PREVENTION/ ACCESSORIES												
TP	TRAP PRIMER	PRECISION PLUMB. PRODUCTS	MINI-PRIME	-	-	-	-	1/2"	-	(GRAVITY FLOW) PROVIDE ACCESSORY SUPPLY TUBE AND DISTRIBUTION UNITS AS REQUIRED TO SERVE UP TO (4) TRAPS INDICATED. REFER TO PLUMBING RISER FOR QUANTITY AND SIZES. 24V AND CONTROLLED BY BUILDING (EMS)ENERGY MANAGEMENT SYSTEM		
FCO	FLOOR CLEANOUT	ZURN	Z1400	-	-	-	-	-	-	ADJUSTABLE FLOOR CLEANOUT WITH ANCHOR FLANGE AND HEAVY DUTY CAST IRON SECURED TOP. SIZE PER PLAN.		
WCO	WALL CLEANOUT	ZURN	Z1441	-	-	-	-	-	-	WALL CLEANOUT WITH ROUND STAINLESS STEEL ACCESS COVER. WASTE LINE SIZED AS INDICATED ON PLANS		
IMB	ICE MAKER OUTLET BOX	OATEY	39140	-	-	-	-	1/4"	-	ICE MAKER OUTLET BOX, 6"W x 6"H x 3-3/8"D, 1/4 TURN LOW LEAD VALVE, WITH WATER HAMMER ARRESTER		
NOTES: 1. PROVIDE MANUFACTURER AND MODEL LISTED OR ENGINEER APPROVED EQUAL. 2. PROVIDE ALL FIXTURES WITH ALL APPROPRIATE ACCESSORIES TO COMPLETE INSTALLATION. 3. COORDINATE FIXTURE COLORS WITH ARCHITECT. 4. COORDINATE TRIP LEVER LOCATION WITH OPEN SIDE, ON ADA COMPLIANT WATER CLOSETS. 5. INSULATE ALL EXPOSED DRAIN AND WATER PIPING UNDER LAVATORYS AND SINKS PER ADA REQUIREMENTS. 6. INSTALL MV MIXING VALVE BELOW EACH HAND SINK OR LAVATORY WITH MAXIMUM DELIVERY TEMPERATURE SET TO 110 DEGREES FARENHEIT. 7. INSTALL WATER FILTER WF-1 DOWNSTREAM OF RP2A WITH FACTORY DECK MOUNTED FAUCET PER FACTORY INSTRUCTIONS.												

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PLUMBING PIPE SCHEDULE								
PIPING ID	SERVICE	SIZE	MATERIAL TYPE	FITTING TYPE	JOINT TYPE	INSULATION TYPE	VALVES	REMARKS
DCW	DOMESTIC COLD WATER (ABOVE GRADE)	ALL SIZES	TYPE L COPPER HARD DRAWN TUBING ASTM B88	WROUGHT COPPER FITTINGS PER ASME B16.22	SOLDER 95% TIN, 5% SILVER PER ASTM B32, LEAD FREE	1/2" CF TO PREVENT CONDENSATION	2" AND BELOW: BA-1 2-1/2" AND LARGER: BF-1	LEAD-FREE VIEGA PROPPRESS OR EQUAL ALLOWED FOR CU PIPING 4" AND BELOW. EPDM O-RINGS
	DOMESTIC COLD WATER (BELOW GRADE WITHIN 5' OF BUILDING)	ALL SIZES	TYPE L COPPER HARD DRAWN TUBING ASTM B88	WROUGHT COPPER FITTINGS PER ASME B16.22	SOLDER 95% TIN, 5% SILVER PER ASTM B32, LEAD FREE	N/A		WRAP WITH 2", 20 MILL VINYL TAPE, WITH 50% OVERLAP; NO INSULATION REQUIRED.
DHW	DOMESTIC HOT WATER UP TO 140F	ALL SIZES	TYPE L COPPER HARD DRAWN TUBING ASTM B88	WROUGHT COPPER FITTINGS PER ASME B16.22	SOLDER 95% TIN, 5% SILVER PER ASTM B32, LEAD FREE	1.5" GF < 1-1/2" PIPE 2.0" GF 1-1/2" PIPE & LARGER		LEAD-FREE VIEGA PROPPRESS OR EQUAL ALLOWED FOR CU PIPING 4" AND BELOW. EPDM O-RINGS
COND	CONDENSATE (HVAC)	ALL	TYPE L COPPER HARD DRAWN TUBING ASTM B88	WROUGHT COPPER FITTINGS PER ASME B16.22	SOLDER 95% TIN, 5% SILVER PER ASTM B32 OR VIEGA PROPPRESS	1/2" CF TO PREVENT CONDENSATION		VIEGA PROPPRESS OR EQUAL ALLOWED FOR CU PIPING 4" AND BELOW; EPDM O-RINGS CONDENSATE PIPING TO BE SLOPED 1/8" PER
SAN	SANITARY WASTE & VENT (ABOVE GRADE)	8" AND UNDER	40 PVC IN LIEU OF CAST IRON.			N/A		
NOTES:								
2. INSULATION JACKET TYPE								
A. INTERIOR CONCEALED LOCATIONS: ALL SERVICE JACKET: (ASJ)								
B. INTERIOR EXPOSED LOCATIONS: PVC ABOVE 8' AFF, ALUMINUM (ALJ) BELOW 8' AFF								
C. EXTERIOR LOCATIONS: ALUMINUM (ALJ)								
3. ALL PLUMBING MATERIALS TO MEET PLUMBING CODE REQUIREMENTS. ALL DOMESTIC WATER SUPPLY PIPING, FITTINGS AND COMPONENTS TO MEET NSF 14 REQUIREMENTS.								
4. INSULATE PER MANUFACTURER'S INSTRUCTIONS BUT NOT LESS THAN THICKNESSES SHOWN ON THE SCHEDULE.								
5. PROVIDE PRODUCT LISTED OR ENGINEER PRE-APPROVED EQUAL. APPLIES TO ALL PRODUCTS LISTED IN SCHEDULE.								
6. ALL MATERIALS USED IN POTABLE WATER SYSTEMS SHALL MEET THE REQUIREMENTS OF NSF/ANSI 14 AND NSF/ANSI 61 AS APPLICABLE.								
7. INSTALL ALL PRODUCTS PER THE MANUFACTURER'S RECOMMENDATIONS.								
8. ALL PIPING IS TO BE SUPPORTED PER ANSI B31.9, ASME B31.1, MSS SP-58 AND MSS SP-69 AND MANUFACTURER'S INSTRUCTIONS.								
9. CLEAN AND FLUSH ALL NEWLY INSTALLED PIPING AND STRAINER / FILTERS WITH SYSTEM APPROPRIATE MATERIAL PRIOR TO PUTTING SYSTEM INTO OPERATION. DISINFECT POTABLE WATER SYSTEMS PER CODE.								
10. PEX PIPING:								
A. ALL PEX PIPING TO BE UPONOR OR EQUAL								
B. DOMESTIC WATER SUPPLY SYSTEMS INSIDE OF THE BUILDING.								
11. PIPING SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH THE APPLICABLE CODES AND LOCAL AHJ.								
12. WHEN JOINING DISIMILAR METALS USE DIELECTRIC NIPPLES OR COUPLINGS, OR DIELECTRIC FLANGE KITS ON LARGER PIPING. DIELECTRIC UNIONS ARE NOT ALLOWED.								
13. ALL PIPE FITTINGS AND MATERIALS SHALL COMPLY WITH TABLE 605.5 STANDARDS PIPE FITTINGS TABLE FROM IPC 2018.								
VALVES								
BA-1 BALL VALVE: 600 PSI WOG TWO PIECE LEAD-FREE BRASS OR BRONZE, FULL PORT BALL VALVE, ASTM B584, THREADED ENDS, STAINLESS STEEL BALL, TEFLON SEATS AND STUFFING BOX RING, BLOWOUT PROOF STEM (EXTENDED STEM FOR INSULATED LINES). APOLLO 77 SERIES OR EQUAL.								
BA-2 BALL VALVE: 600 PSI WOG TWO PIECE BRONZE FULL PORT BALL VALVE, ASTM B584, THREADED ENDS, STAINLESS STEEL BALL, TEFLON SEATS AND STUFFING BOX RING, BLOWOUT PROOF STEM, UL-RATED FOR NATURAL GAS AND FLAMMABLE LIQUIDS. APOLLO 80-100 SERIES OR EQUAL.								

ELECTRIC WATER HEATER SCHEDULE									
MARK	MANUFACTURER	MODEL	TANK SIZE GALLONS	INPUT WATTS	MAX. WORKING PRESSURE (PSI)	ELECTRICAL			REMARKS
						VOLTS	PHASE	Hz	
EW-1,2,3,4,5,6	A.O. SMITH	DEL-6	6	3,000	150	208	1	60	INSTALL WITH HEAT TRACE OR CIRCULATOR
NOTES:									
1. PROVIDE THE MAKE AND MODEL SPECIFIED OR AN ENGINEER APPROVED EQUAL.									
2. PROVIDE WITH T&P RELIEF VALVE EQUAL TO WATTS; 100XL (210 DEG. F./125 PSI).									
3. PROVIDE WITH VACUUM RELIEF VALVE ON COLD WATER ENTRY SIDE EQUAL TO WATTS MODEL LFN36 (3/4").									
4. PROVIDE WITH NIBCO BALL VALVE AT HOT & COLD WATER CONNECTIONS WITH DIELECTRIC UNIONS.									
5. PROVIDE WITH MIN. 18" HEAT TRAPS INSTALLED ON ENTERING & LEAVING CONNECTIONS.									
6. PROVIDE WITH DRAIN AND T&P RELIEF PIPED FULL SIZE (MIN. 3/4") TO APPROVED INDIRECT WASTE RECEPTOR WITH CODE COMPLIANT AIR GAP.									
7. PROVIDE WITH CODE COMPLIANT DRAIN PAN AND EXPANSION TANK.									
8. MAX. STORAGE TEMPERATURE 140 DEG. F.,PROVIDE INSTALLATION WITH SCHEDULED TEMPERING VALVE(S).									
9. ALL PIPING SHALL BE INSTALLED WITH INSULATION AS SCHEDULED.									

DOMESTIC HOT WATER EXPANSION TANK										
MARK	MANUFACTURER	MODEL	LOCATION	SERVICE	TANK DIAMETER (IN.)	SYSTEM CONNECTION (IN.)	INITIAL CHARGE (PSIG)	TANK VOLUME (GAL)	ACCEPTANCE VOLUME (GAL)	EMPTY WEIGHT (LBS)
ET-1,2,3,4,5,6	AMTROL	ST-5	NEXT TO STORAGE EWH	STORAGE TANK	8	3/4	2	6.4	0.9	5
NOTES:										
1. TANK IS FACTORY PRE-CHARGED AND FIELD ADJUSTABLE.										
2. MUST BE STAMPED WITH 150 PSI WORKING PRESSURE.										

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20-32
date
04.07.22

drawn by
IM
checked by
RWM

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sheet number

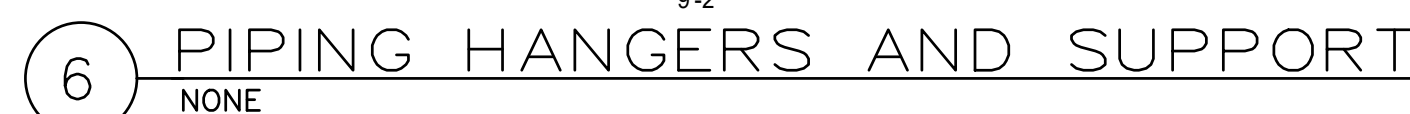
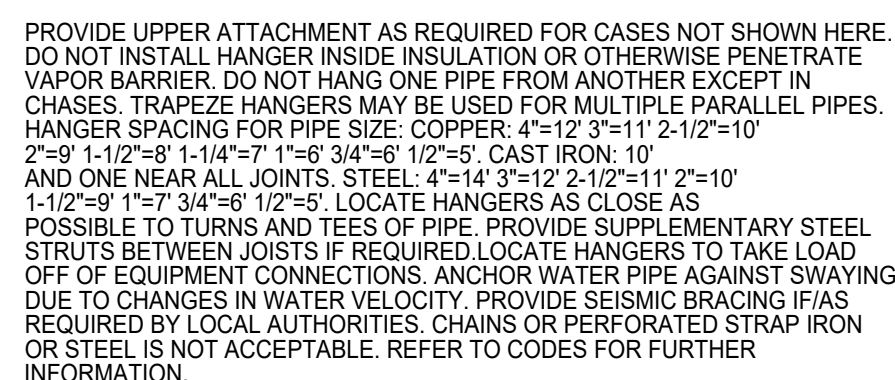
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BEATY PALMER ARCHITECTS

Not Intended for Construction, Bidding
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Serial No



DOG FRIENDLY OUTDOOR RESTAURANT AND BAR

1123 AVENUE B
SAN ANTONIO, TEXAS

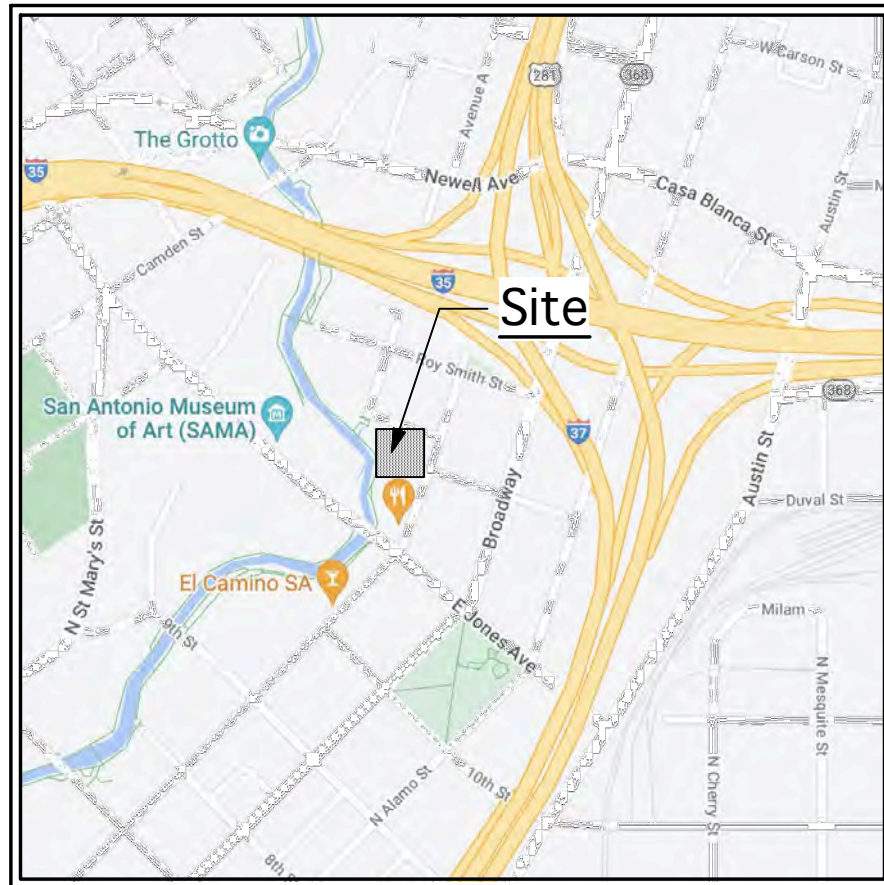
HIXON PROPERTIES

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BEATY PALMER ARCHITECTS

Landscape / Tree Preservation Requirements & Tabulations

Vicinity Map



Property Description

Lot 4 thru 11, Block 45, NCB 465
Parcel Key #1798

Prior to commencement of any construction activities, Contractor shall notify local utility location service to identify any underground utilities. Contractor shall immediately notify the Landscape Architect of any potential discrepancies, or obstacles. CALL 1-800-DIG-TESS for underground utility location at least two (2) days prior to excavation.

The Site Information shown on this plan has been provided by the Owner, Architect, or Civil Engineer. C2 Landgroup, Inc. is not responsible for the accuracy of that information and is using the information provided to prepare this Landscape Plan.

The Landscape Contractor shall verify all scales of the plans and quantities shown on the plan and is responsible for including in the bid the planting, or installation of all items shown. Any errors on the plan, or quantities should be brought to the attention of the Landscape Architect by the Contractor prior to submittal of any bid.

Tree Preservation Notes

- All existing trees denoted on plan to be preserved as shown. Those trees requested for credit have been delineated to be protected at the root zone. The root zone shall be determined by the crown of the tree. Preservation notes apply only for those trees that are designated to be preserved for credit.
- A protective barrier to protect the root protection zone shall be erected and maintained until construction is completed. The barrier shall be fenced or cabled with a semi-permanent barrier that will visually denote those areas being protected.
- Protected areas shall be sustained in a natural state until landscape installation begins.
- Protected areas shall be free from vehicular or mechanical traffic during construction.
- During construction, no excess soil, additional fill, equipment, liquids, or construction debris shall be placed inside the protective barrier nor shall any soil be removed from within the barrier.
- The proposed finished grade and elevation of land within the root protection zone of any tree to be preserved shall not be raised or lowered more than three inches. Welling and retaining methods are allowed outside the root protection zone.
- The root protection zone for each designated protected tree must remain unpaved.
- All designated / protected trees shall have ground cover or turf at the base of the tree. See plan for condition.
- All trenches and digging within the Root Protection Zone shall be hand digging only. No automatic trenchers allowed.

General Notes

- All quantities shown on plans to be verified by Landscape Contractor. Landscape Contractor shall be responsible for installing all labeled plant material.
- Landscape Contractor shall familiarize himself with the Landscape Plan and Specifications and shall be responsible for the requirements dictated therein.
- Landscape Contractor shall familiarize himself with the location of all underground utilities and easements prior to the installation of any plant material.
- All plants must comply with the American Standards for Nursery Stock, by the American Association of Nurserymen, Inc.
- All final shaping and raking of the topsoil shall be approved by the Landscape Architect prior to application of Hydromulch or sod, shaping planting beds, installing trees and installing irrigation. Excessive slopes on berms which may cause maintenance problems shall be reviewed by the Landscape Architect. Berms shall be installed in 12" layers and compacted to 90%proctor. All topsoil shall be fine sandy loam, raked smooth to grade 2" below curbs, sidewalks, or edging. All beds to be mulched to a depth of 4" with BLACK dyed mulch from New Earth (210.661.5180). (7800 IH-10 East, 78219). Submit mulch sample to Landscape Architect prior to delivery and installation.
- All backfill to be sandy loam material and shall be the responsibility of the General Contractor. General Contractor shall allow for the installation of 2" of topsoil at hydrosed areas, 6" of topsoil at lawn areas, and 8" of specified backfill (New Earth 4-way Mix) in shrub areas to be supplied by the Landscape Contractor. Any backfill material shall be compacted sufficiently to prevent excessive settling of topsoil that may effect the finished grade or drainage.
- Landscape Contractor shall notify the Landscape Architect of any questions regarding application of proposed plant material prior to installation-especially questions that may effect or alter the warranty of said material.
- Landscape Contractor shall maintain all trees, shrubs, groundcover and turf areas in a healthy state under the contract until acceptance by the owner. A 90 day maintenance period, after acceptance, shall be included in base bid.
- Trees shall be warrantied 1 year from acceptance of owner. Shrubs and groundcovers shall be warrantied 6 months in the same period.
- All container grown shrubs and groundcovers shall be healthy, vigorous, well-rooted and established in the container in which they are growing.
- Landscape Irrigation to be provided throughout project and shall provide 100%coverage at all landscape areas.

Landscape Tabulations

II. Elective Requirements (25 points required): Off Street Parking in Not Street Yard)

A.	Tree Preservation	Inside	Outside	Points ea.	
	1. Caliper of >4" to <6" (3pts) (In - No.'s)	0 pts	0 pts	Points ea.	0.0 pts.
	2. Caliper of >6" to <12" (4pts) (In - No.'s)	0 pts	0 pts	Points ea.	0.0 pts.
	3. Caliper of >12" to <18" (6pts) (Out-No.'s)	0 pts	0 pts	Points ea.	0.0 pts.
	4. Caliper of >18" (8pts) (In - No.'s)	0 pts	32 pts	Points ea.	32.0 pts.
					Total Points
					Maximum Points Credit
					40 pts.
Note: See notes for tree preservation.					
B.	Street Tree Planting			Points Credit	0 pts.
C.	Surface Of Parking Screening			Points Credit	0 pts.
D.	Parking Lot Shading			Points Credit	0 pts.
					Total Points
					32 pts.

Tree Inventory

101	20" Pecan	Remain	110	6" Pecan	Remain	119	5" Pecan	Remove; NC
102	66" Oak	Remain	111	22" Ligustrum	Remove; NC	120	8" Pecan	Remove
103	36" Pecan	Remain	112	8" Pecan	Remain	121	8" Hackberry	Remove
104	30" Pecan	Remain	113	8" Pecan	Remain	122	6" Hackberry	Remove
105	20" Ligustrum	Remove; NC	114	8" Pecan	Remain	123	6" Pecan	Remove
106	20" Hackberry	Remain	115	12" Hackberry	Remain	124	8" Pecan	Remove
107	20" Hackberry	Remain	116	12" Hackberry	Remain	125	18" Pecan	Remain
108	9" Pecan	Remain	117	12" Pecan	Remain	126	14" Pecan	Remain
109	9" Pecan	Remain	118	13" Pecan	Remain	127	12" Pecan	Remain
						128	12" Hackberry	Remove

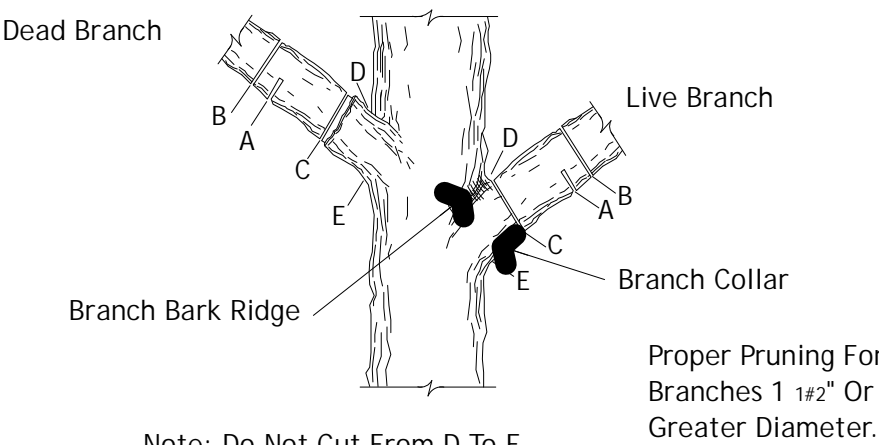
Highlighted Trees are "Heritage Trees" (+24")

Remain = Tree is counted and will remain.

Remain; N.C. = Tree is not counted because it is not a protected size, yet will remain.

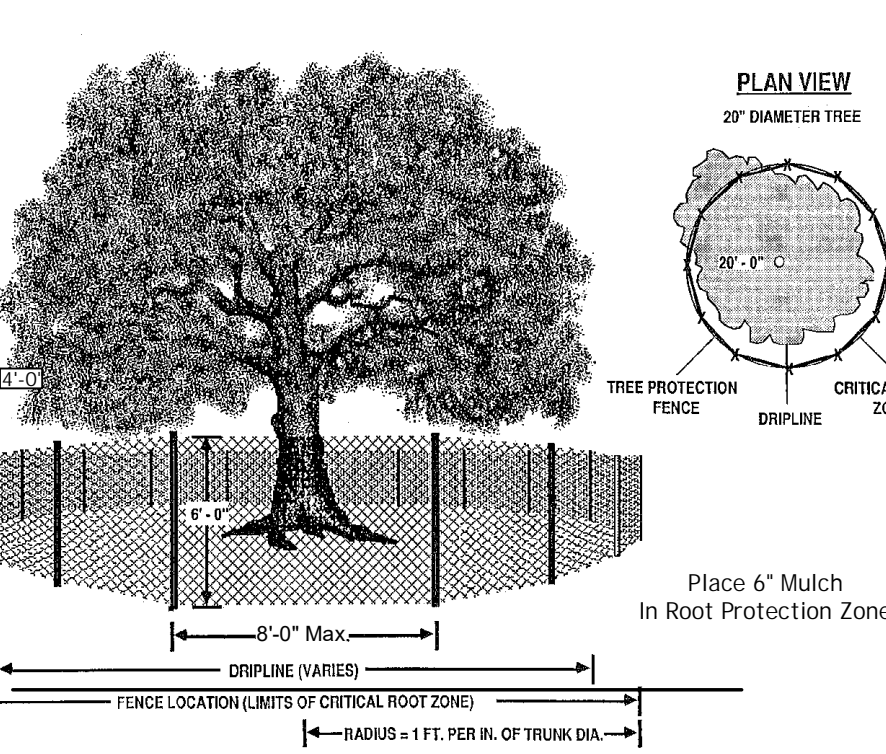
Remain; Esmt = Tree is not counted because it is an easment, yet will remain.

Remain; OPL = Tree is not counted because it is outside the property line, yet will remain.



- First Cut - To Prevent The Bark From Being Peeled When The Branch Falls.
- Second Cut - To Reduce The Weight Of Branch.
- Final Cut - Allow For Healing Collar But No Stubs.
- Branch Ridges - Indent Properly Branch Ridges Which Are Site For Decay.

For Oaks Only: Paint All Wounds Or Cuts With Pruning Paint Within 20 Min To Prevent The Spread Of Oak Wilt.



Tree Protection Fence Detail (No Scale)

Tree Inventory Summary

Understory Trees	
Total Diameter Inches	0"
Total Diameter Inches Removed	0"
Total Diameter Inches Preserved	0"

% Diameter Inches Preserved	100.00 %
-----------------------------	----------

Significant Trees	
Total Diameter Inches	249"
Total Diameter Inches Removed	48"
Total Diameter Inches Preserved	201"

% Diameter Inches Preserved	80.72 %
Number of Inches over/under 40%	101.4"
Number To Be Used Towards Mitigation of Heritage Trees	0"
Number of Inches Mitigated with Excess New Trees	16"
Total Mitigation	16"
Amount To Pay Into Tree Preservation Fund (Number of remaining inches at \$200/inch)	\$0

Heritage Trees	
Total Diameter Inches	132"
Total Diameter Inches Removed	0"
Total Diameter Inches Preserved	132"

% Diameter Inches Preserved	100.00 %
Number of Inches To Mitigate (3:1)	0"
Number of Inches Mitigated with Excess Existing Trees	0"
Number of Inches Mitigated with Excess New Trees	0"
Total Mitigation	0"
Amount To Pay Into Tree Preservation Fund (Number of remaining inches at \$200/inch)	\$0

Total # Trees 24" cal. & above	3
--------------------------------	---

Site Tree Canopy

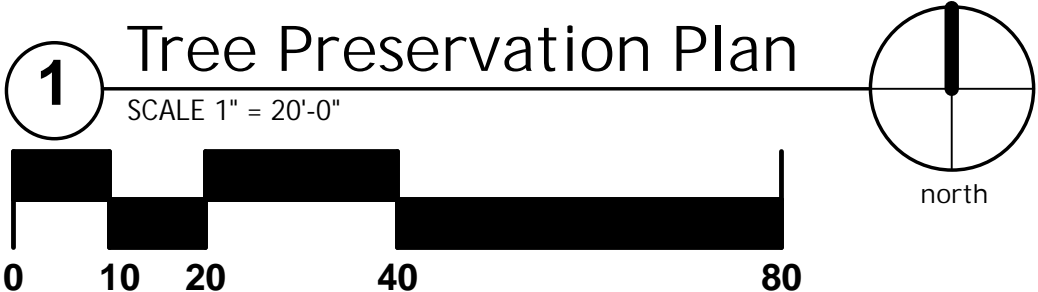
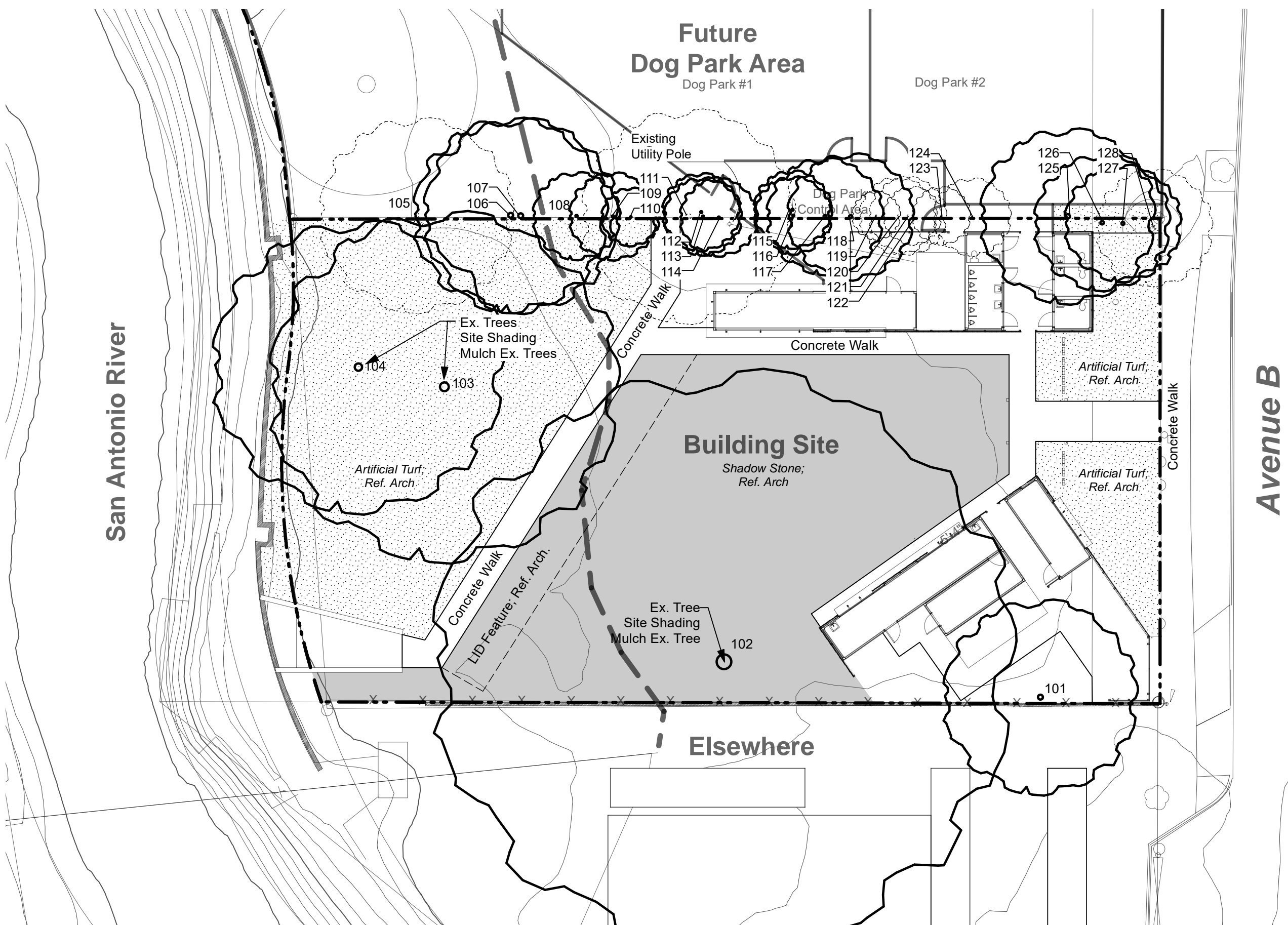
Shading Calculations

(Mandatory Requirement)

Site Area	18,816 sf
15% Shading Minimum (CRAG District)	2,822 sf

Number of Existing Trees @ 1200sf - 2	2,400 sf
Number of Trees @ 1200sf @ 90% - 0	0 sf
Number of Trees @ 1200sf @ 90% (x1.5) - 0	0 sf
Number of Existing Trees @ 875sf - 1	875 sf
Number of Trees @ 875sf @ 90% - 0	0 sf
Number of Trees @ 875sf @ 90% (x1.5) - 0	0 sf
Number of Existing Trees @ 550sf - 0	0 sf
Number of Trees @ 550sf @ 90% - 0	0 sf
Number of Existing Trees @ 275sf - 0	0 sf
Number of Trees @ 275sf @ 90% - 0	0 sf
Number of Existing Trees @ 275sf @ 90% (x1.5) - 0	0 sf

Square Footage of Trees Provided	3,275 sf
----------------------------------	----------



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June 16, 2022

architect / engineer revisions

DOG FRIENDLY OUTDOOR RESTAURANT AND BAR

1123 AVENUE B
SAN ANTONIO, TEXAS

HIXON PROPERTIES

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06.16.22

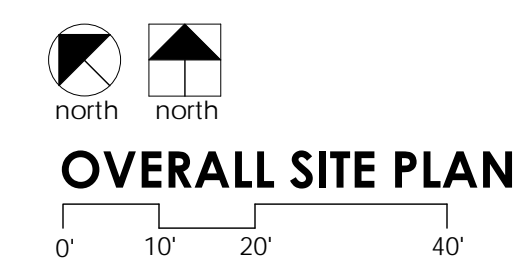
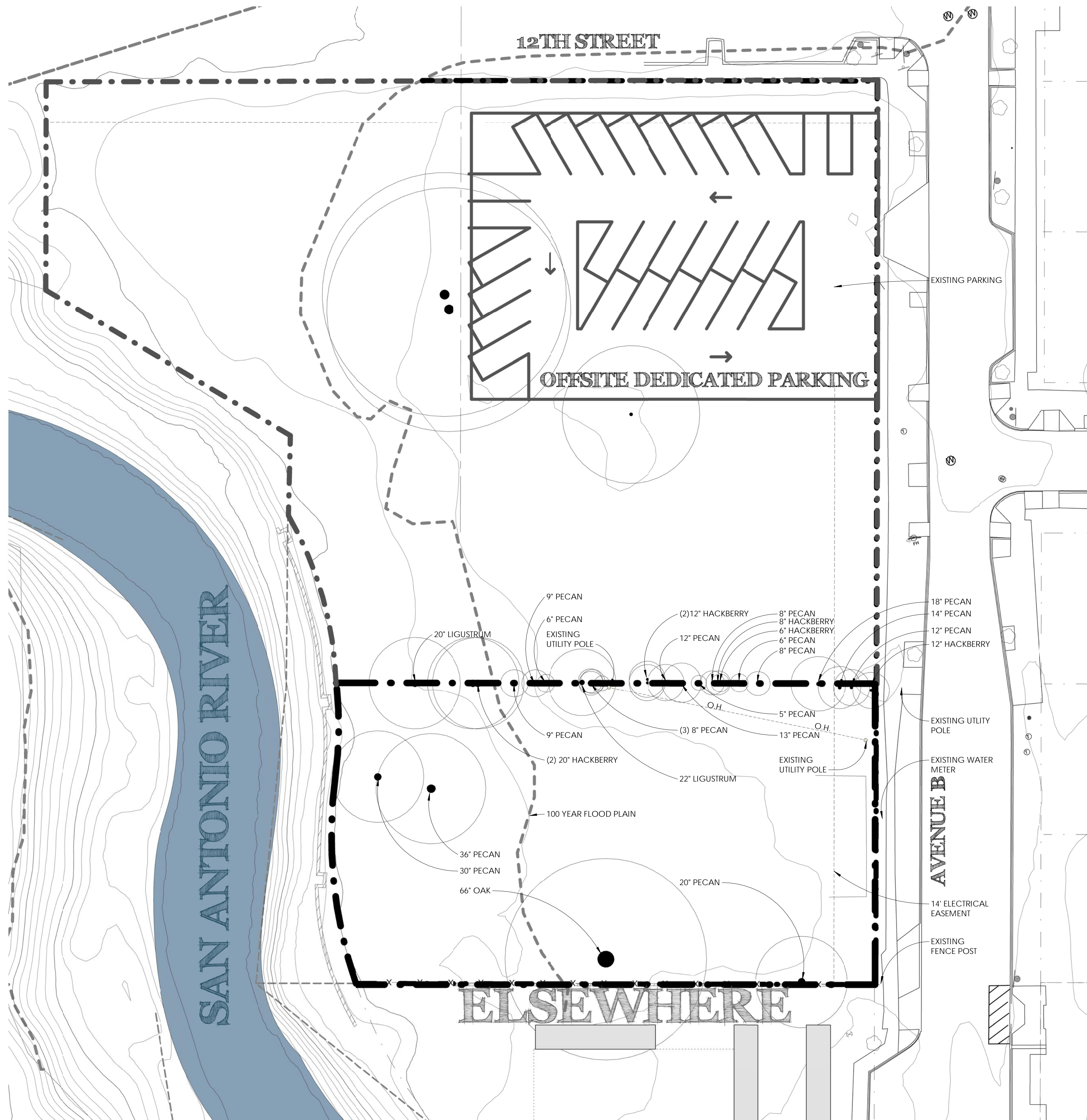
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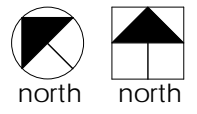
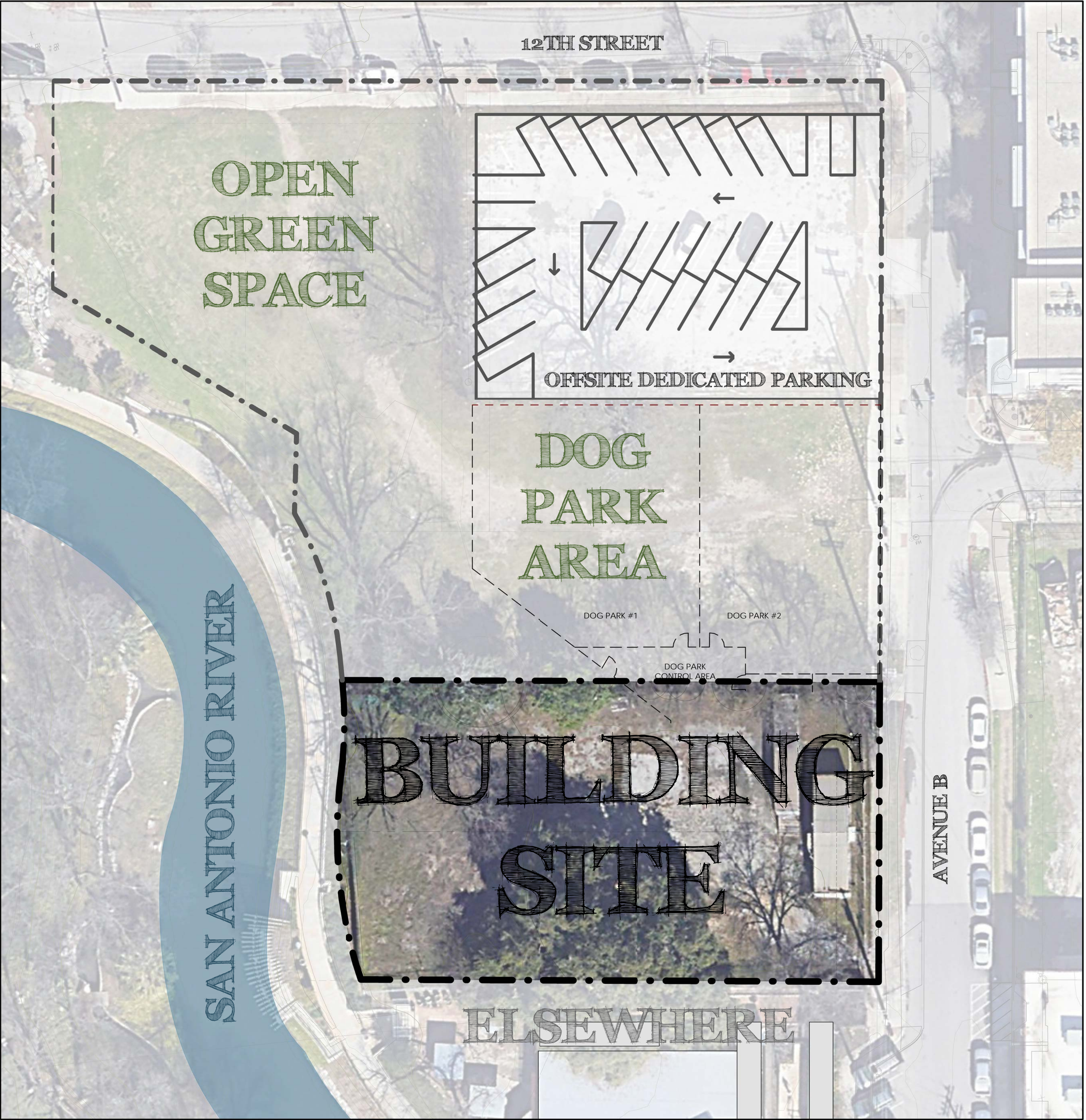
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OVERALL SITE PLAN

0' 10' 20' 40'

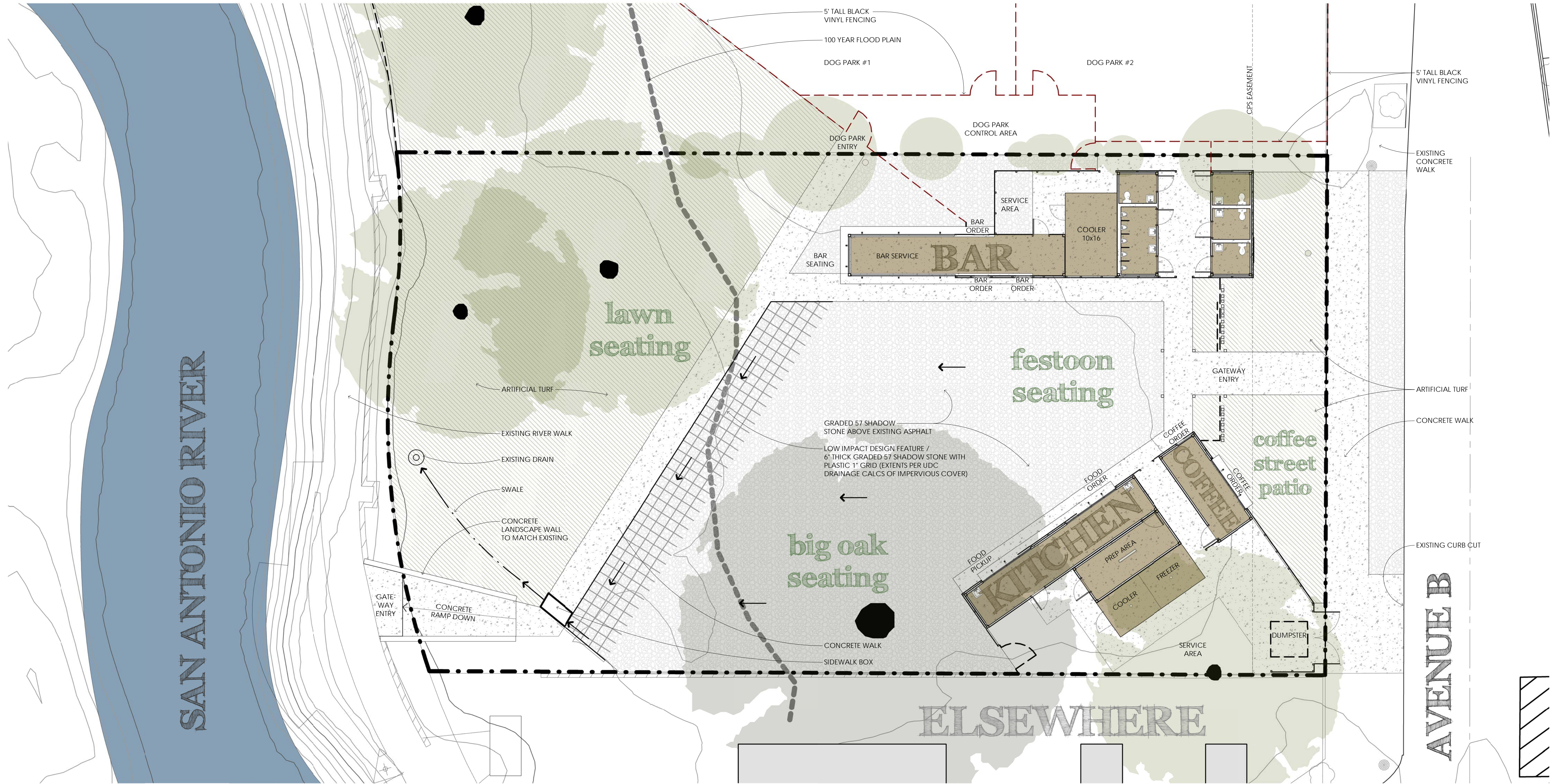
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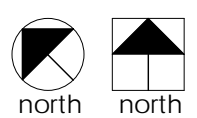
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SITE PLAN

0' 5' 10' 20'



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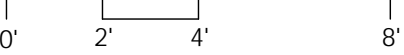
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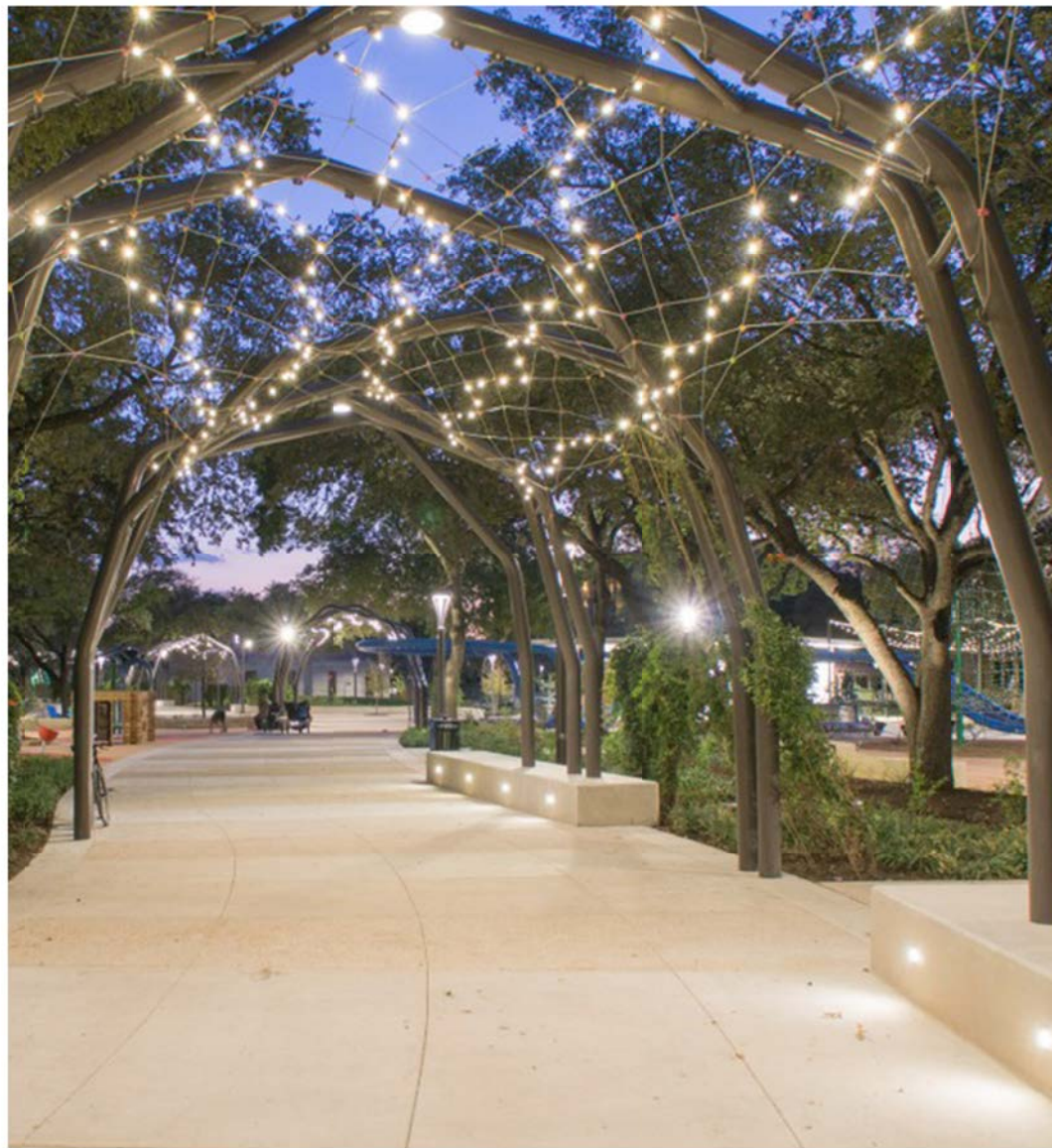
AVENUE B PROPOSED ELEVATION



COR-TEN STEEL FENCING



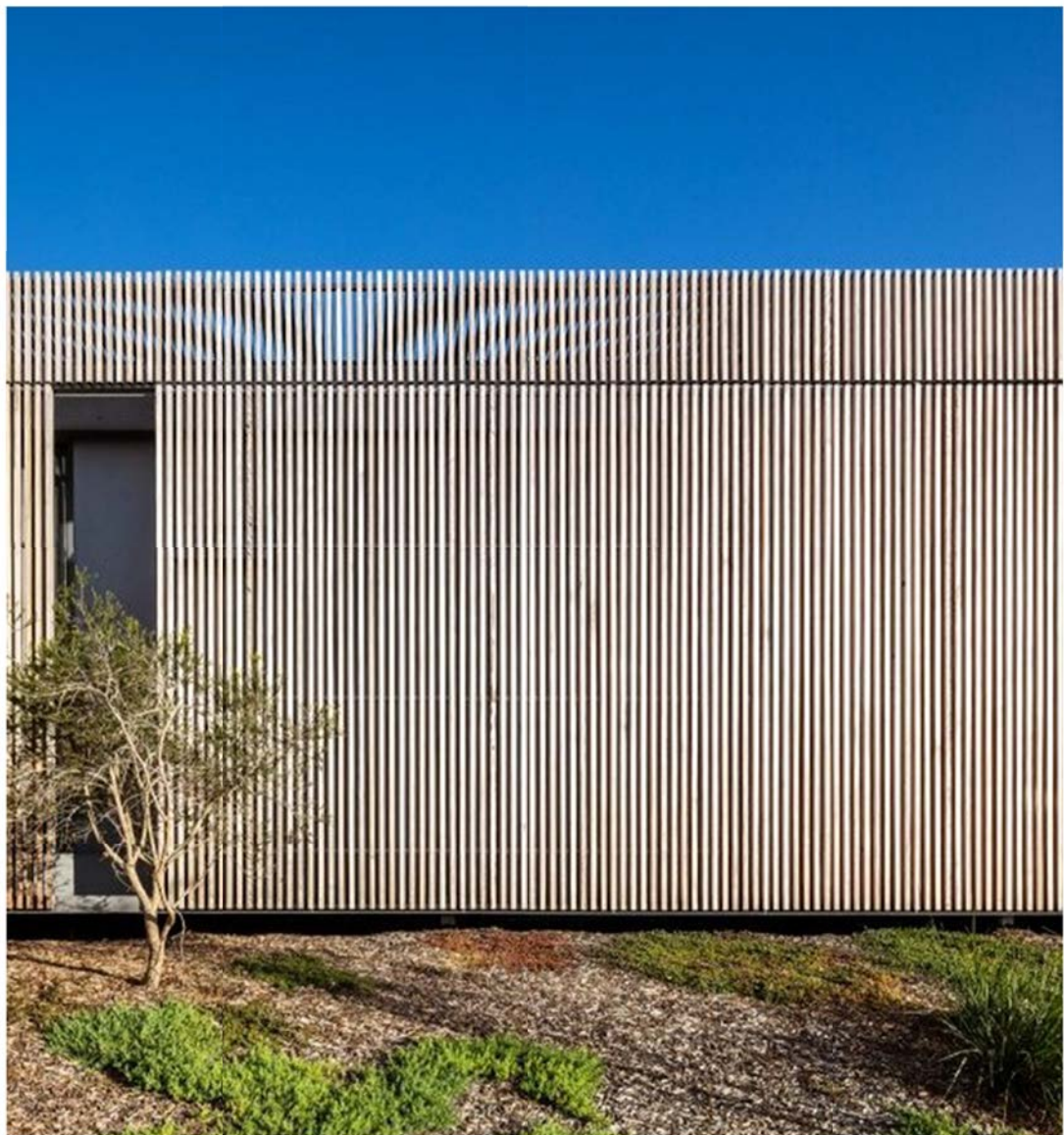
CANOPY AWNINGS



PAINTED STEEL ENTRY PORTAL



OVERSIZED LETTERS



GARAPA HARDWOOD SLAT CLADDING

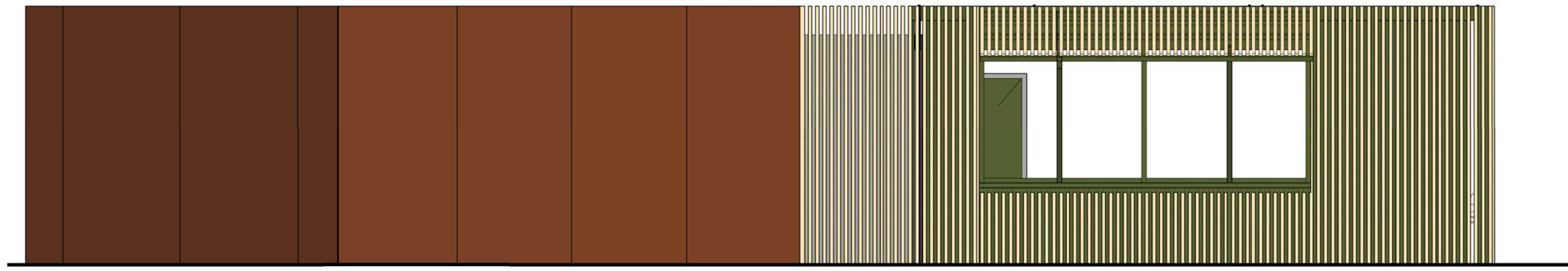
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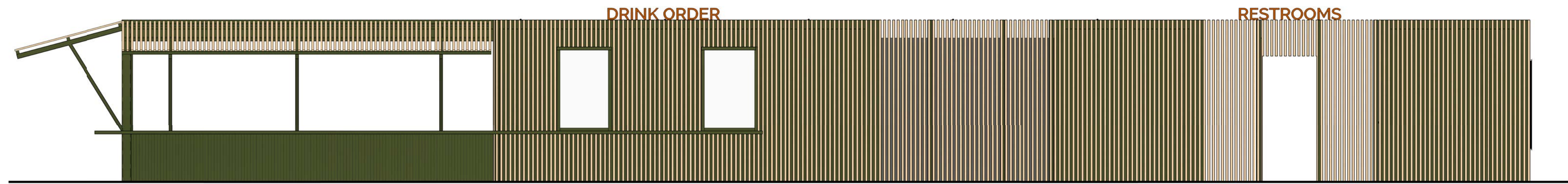
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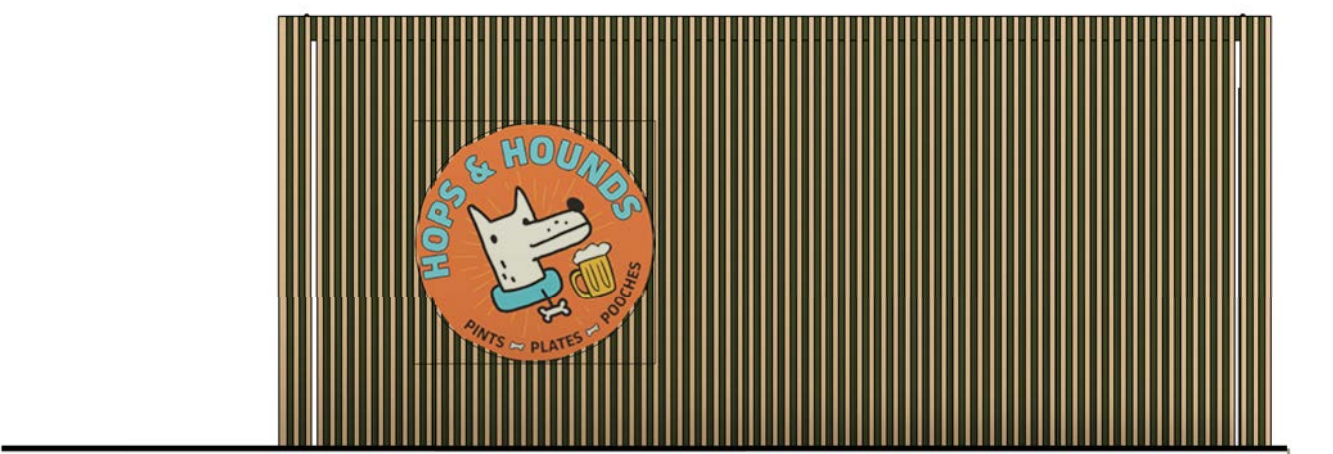
EXTERIOR ELEVATION



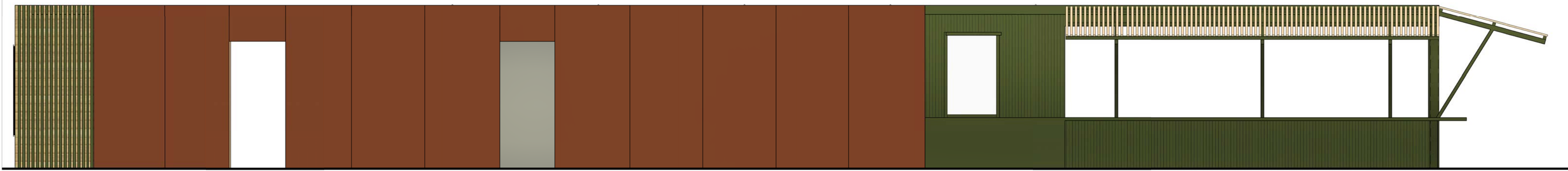
EXTERIOR ELEVATION



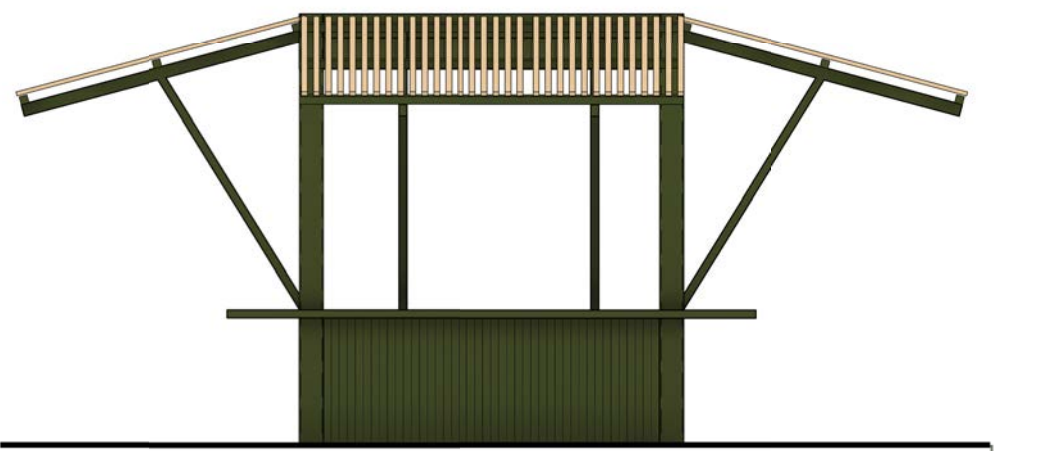
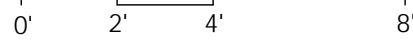
EXTERIOR ELEVATION



EXTERIOR ELEVATION



EXTERIOR ELEVATION



EXTERIOR ELEVATION

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ELSEWHERE



EL CAMINO



ROSELLA



AVENUE B - NORTH VIEW



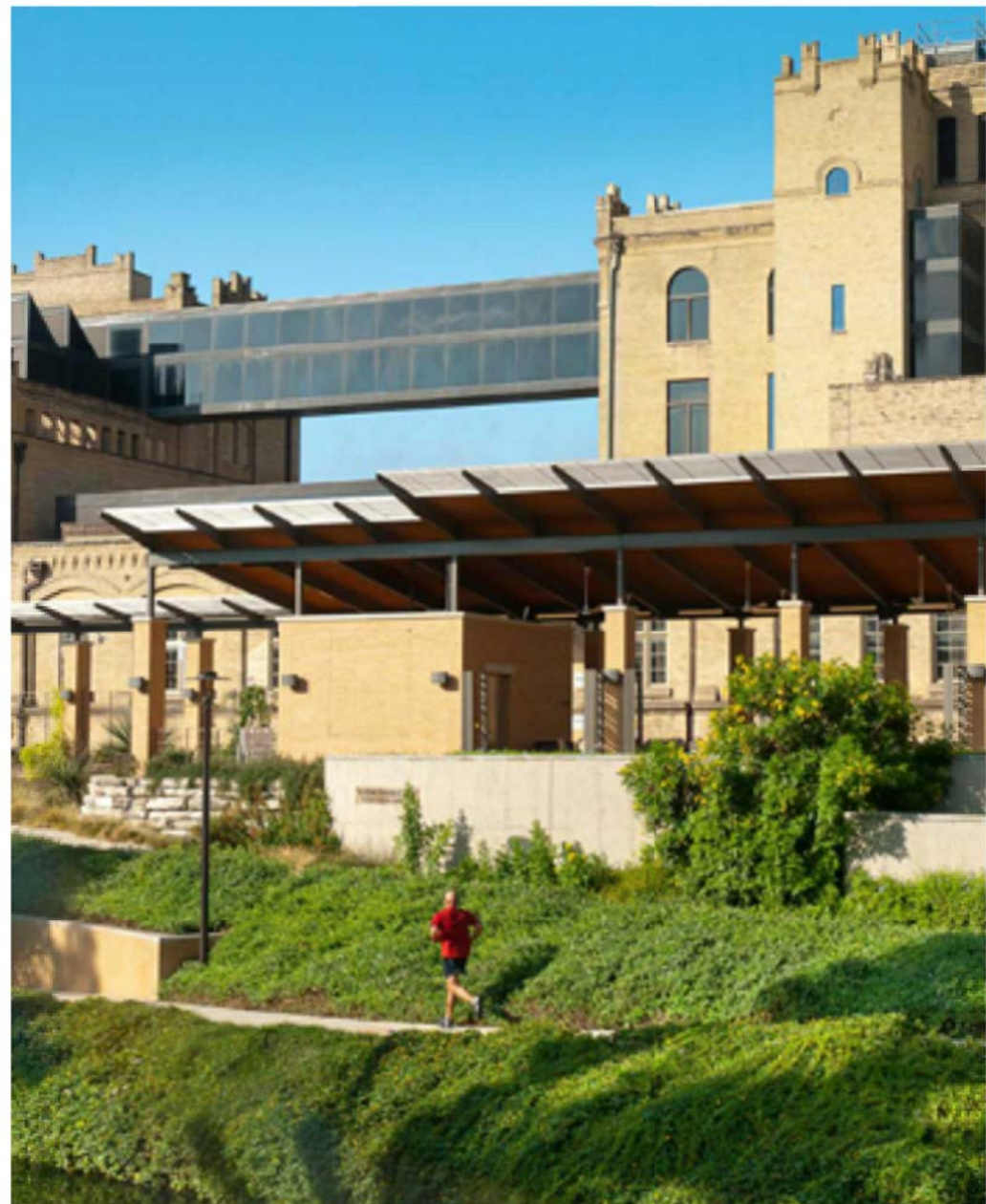
AVENUE B - SOUTH VIEW



RIVER - NORTH VIEW



RIVER - SOUTH VIEW



TRE TRATTORIA / S.A. ART MUSEUM



TRE TRATTORIA - EAST VIEW



MULTI-FAMILY

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AVENUE B - NORTH WEST VIEW



AVENUE B - WEST VIEW



AVENUE B - SOUTHWEST VIEW



RIVER SIDE - NORTH EAST VIEW



RIVER SIDE - EAST VIEW



RIVER SIDE - SOUTH EAST VIEW

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PERSPECTIVE FROM AVENUE B

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PERSPECTIVE FROM RIVER

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