

HISTORIC AND DESIGN REVIEW COMMISSION

June 04, 2025

HDRC CASE NO: 2025-129
ADDRESS: 118 PARKVIEW DR
LEGAL DESCRIPTION: NCB 6919 BLK LOT 15 & W 12.5 FT OF 16
ZONING: R-5, H
CITY COUNCIL DIST.: 3
DISTRICT: Mission Historic District
APPLICANT: Analiza Alvarado
OWNER: Analiza Alvarado/ALVARADO ANALIZA
TYPE OF WORK: Construction of a 2-story, single-family residential structure
APPLICATION RECEIVED: May 15, 2025
60-DAY REVIEW: July 14, 2025
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a 2-story, single-family residential structure on the vacant lot at 118 Parkview, located within the Mission Historic District.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

- i. Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
- ii. Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES

- i. Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS

- i. Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
- ii. Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
- iii. Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

- i. Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential building types are more typically flat and screened by an ornamental parapet wall.
- ii. Façade configuration*—The primary façade of new commercial buildings should be in keeping with established

patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE

i. Building to lot ratio—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS

i. Complementary materials—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. Alternative use of traditional materials—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. Roof materials—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. Imitation or synthetic materials—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

4. Architectural Details

A. GENERAL

i. Historic context—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. Architectural details—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district.

Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

i. Massing and form—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.

ii. Building size—New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.

iii. Character—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.

iv. Windows and doors—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.

v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION

- i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley loaded garages were historically used.
- ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

Standard Specifications for Windows in Additions and New Construction

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

3. Landscape Design

A. PLANTINGS

- i. *Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

- i. Impervious surfaces*—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

D. TREES

- i. Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to construct a 2-story, single-family residential structure on the vacant lot at 118 Parkview, located within the Mission Historic District.
- b. CONCEPTUAL APPROVAL – This request received conceptual approval at the April 16, 2025, Historic and Design Review Commission hearing with the following stipulations:
 - i. That a setback that is greater than that of the neighboring two historic structures be incorporated, as noted in finding e. An increased setback would likely contribute to a reduction in perceived massing for the proposed 2-story structure. A setback diagram is to be provided to show the proposed new construction's setback in context with neighboring structures and the street, sidewalk, and property lines. ***This stipulation has been met.***
 - ii. That measurements of the proposed structure's height as well as the adjacent structure's heights be provided to determine the appropriateness of the proposed height of 2-stories, provided that the total height does not exceed the height of adjacent structures by fifty (50) percent. ***This stipulation has been partially met.***
 - iii. That a foundation height of approximately one (1) foot should be incorporated. ***This stipulation has been partially met.***
 - iv. That the pitch of the shed porch roof be reduced to relate to those found historically on the block and within the Mission Historic District. ***This stipulation has been met.***

- v. That the footprint of the proposed new construction does not exceed fifty (50) percent of the total lot area. ***This stipulation has been met.***
 - vi. That materials adhere to the Guidelines for New Construction and that window materials adhere to the adopted window standards. ***This stipulation has been partially met.***
 - vii. That all rectangular and square fixed windows be modified in size to accommodate a sashed window and that the three grouped windows at the second level on the west elevation be separated by a mullion of six (6) inches in width, as found historically within the district. ***This stipulation has not been met.***
 - viii. That the proposed driveway not exceed ten (10) feet in width and that the proposed walkway feature between three (3) and four (4) feet in width. ***This stipulation has been met.***
 - ix. That a detailed landscaping plan be submitted when returning to the Commission for final approval that notes the location of fencing and provides information regarding landscaping materials. ***This stipulation has been met.***
 - x. That all mechanical equipment be screened from view from the public right of way. ***This stipulation has been met.***
- c. **CONTEXT & DEVELOPMENT PATTERN** – The applicant has proposed new construction at 118 Parkview, a lot currently void of structures. This block of Parkview features nineteen (19) existing structures, all of which feature 1-story in height. Per BCAD, this lot features an overall depth of 120’ and an overall width of 38’ for a total size of 4,750 square feet.
 - d. **SETBACKS & ORIENTATION** – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Additionally, the orientation of new construction should be consistent with the historic examples found on the block. The applicant has proposed to orient the new construction towards Parkview, consistent with the Guidelines and historic development. Per the applicant’s setback diagram, the proposed new construction will feature a setback that is greater than the three historic structures to the immediate west and greater than two of the three historic structures to the immediate east. The adjacent historic structure features a setback that is greater than that which is proposed at 118 Parkview. Generally, staff finds the new construction’s setback to be appropriate.
 - e. **ENTRANCES** – The applicant has proposed for the new construction at to feature a front facing entrance door. This is consistent with the Guidelines for New Construction, and consistent with historic examples found within the district.
 - f. **SCALE & MASS** – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. The applicant has proposed new construction that features 2-stories in height. Per the Guidelines, a 2-story structure may be appropriate provided that it does not exceed the height of adjacent structures by fifty (50) percent. The applicant has proposed a height of 26’ – 2”. The applicant has noted that the height of the two adjacent historic structures is between fifteen (15) and sixteen (16) feet in height. The applicant’s proposed height of 26’ – 2” exceeds the height recommended by the Guidelines. Staff finds that a hipped roof form would reduce the 2-story structure’s proposed height and massing in the context of the neighboring 1-story structures.
 - g. **FOUNDATION & FLOOR HEIGHTS** – According to the Guidelines for New Construction 2.a.iii., foundation and floor heights should be aligned within one (1) foot of neighboring structure’s foundation and floor heights. Historic structures on this block feature foundation heights often between one (1) and two (2) feet in height. At this time, the applicant has noted a foundation height of six (6) inches. Generally, staff finds this foundation height to be appropriate, as it limits the structure’s overall height.
 - h. **ROOF FORM** – The applicant has proposed for the new construction to feature a front and rear facing gabled roof, with a shed porch roof. Historic structures on Parkview and throughout the Mission Historic District feature front and rear facing gabled roofs with simplified shed porch roofs. Generally, staff finds the proposed roof forms to be appropriate and consistent with the Guidelines; however, to reduce perceived massing, a hipped roof should be incorporated into the front, primary roof form.
 - i. **LOT COVERAGE** – Per BCAD records, this lot features 4,750 square feet in size. The Guidelines for New Construction 2.D.i. notes that new construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Footprints of new construction should be limited to no more than fifty (50) percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio. Per

the construction documents, the new construction will feature a footprint of approximately 1,100 square feet. The proposed lot coverage is consistent with the Guidelines.

- j. MATERIALS – The applicant has proposed materials that include an asphalt shingle roof, composite board and batten siding, steel railings and horizontally oriented cedar siding. Generally, staff finds the proposed materials to be appropriate. Board and batten siding should feature boards that are approximately 12 inches in width and battens that are approximately 1.5 to 2 inches in width. The proposed cedar siding will feature a four (4) inch exposure. A final detail of the proposed steel railing should be submitted to staff for review and approval.
- k. WINDOW MATERIALS – The applicant has proposed vinyl windows; however, window product documents have not been provided to staff for review and approval. Windows should adhere to staff's standards for windows in new construction; no window product or material is prohibited; however, staff finds that a wood or aluminum clad wood window would most consistently adhere to the standards for windows in new construction.
- l. FENESTRATION PROFILE – Generally, the applicant has proposed window sizes and placement that is representative of those found historically within the Mission Historic District. Staff finds that all rectangular and square fixed windows should be modified in size to accommodate a one over one sashed window. Grouped windows should feature a separating mullion of approximately six (6) inches in width.
- m. PORCH DESIGN – As noted in finding h, staff finds that the pitch of the shed porch roof should be reduced to relate to those found historically on the block and within the Mission Historic District.
- n. ARCHITECTURAL DETAILS – Generally, finds the proposed architectural details to be appropriate and consistent with the Guidelines; however, as noted in the above findings, staff finds that the proposed porch roof's pitch should be reduced and that that all rectangular and square and rectangular windows should be modified in size to accommodate a one over one sashed window.
- o. REAR ACCESSORY STRUCTURE – The submitted site plan notes a future rear accessory structure. Generally, staff finds the site placement of this structure to be appropriate. A complete construction document set for this structure will need to be submitted for review and approval by the Historic and Design Review Commission.
- p. DRIVEWAY – The applicant has proposed a driveway on the east side of the lot. The applicant has not noted a driveway width. The Guidelines for Site Elements 5.A.i. notes that new driveway should incorporate a similar driveway configuration as to what is found historically. Typically, historic driveways are no wider than ten (10) feet in width. The applicant has proposed a driveway width of approximately seven (7) feet. This is consistent with the Guidelines.
- q. WALKWAY – The applicant has proposed a front walkway leading from the sidewalk at the right of way to the front porch. The walkway has been proposed to align with the front door and feature three (3) feet in width. Staff finds the proposed walkway to be appropriate and consistent with the Guidelines.
- r. FENCING – The applicant has noted the location of a driveway gate towards the side, recessed patio and a six (6) foot tall privacy fence. Generally, staff finds the installation of fencing on site to be appropriate.
- s. LANDSCAPING & EXISTING TREES – This lot currently features three pecan trees at the northern end of the lot and one towards the southwest corner of the lot. Per the site plan, each of these trees will be preserved. The applicant has also noted the installation of natural grass on site.
- t. MECHANICAL EQUIPMENT – Mechanical equipment should be located where it is not visible from the right of way, per the Guidelines. The applicant is responsible for complying with the Guidelines regarding the location of and screening of mechanical equipment. The applicant has noted that mechanical equipment will be located at the rear of the structure.

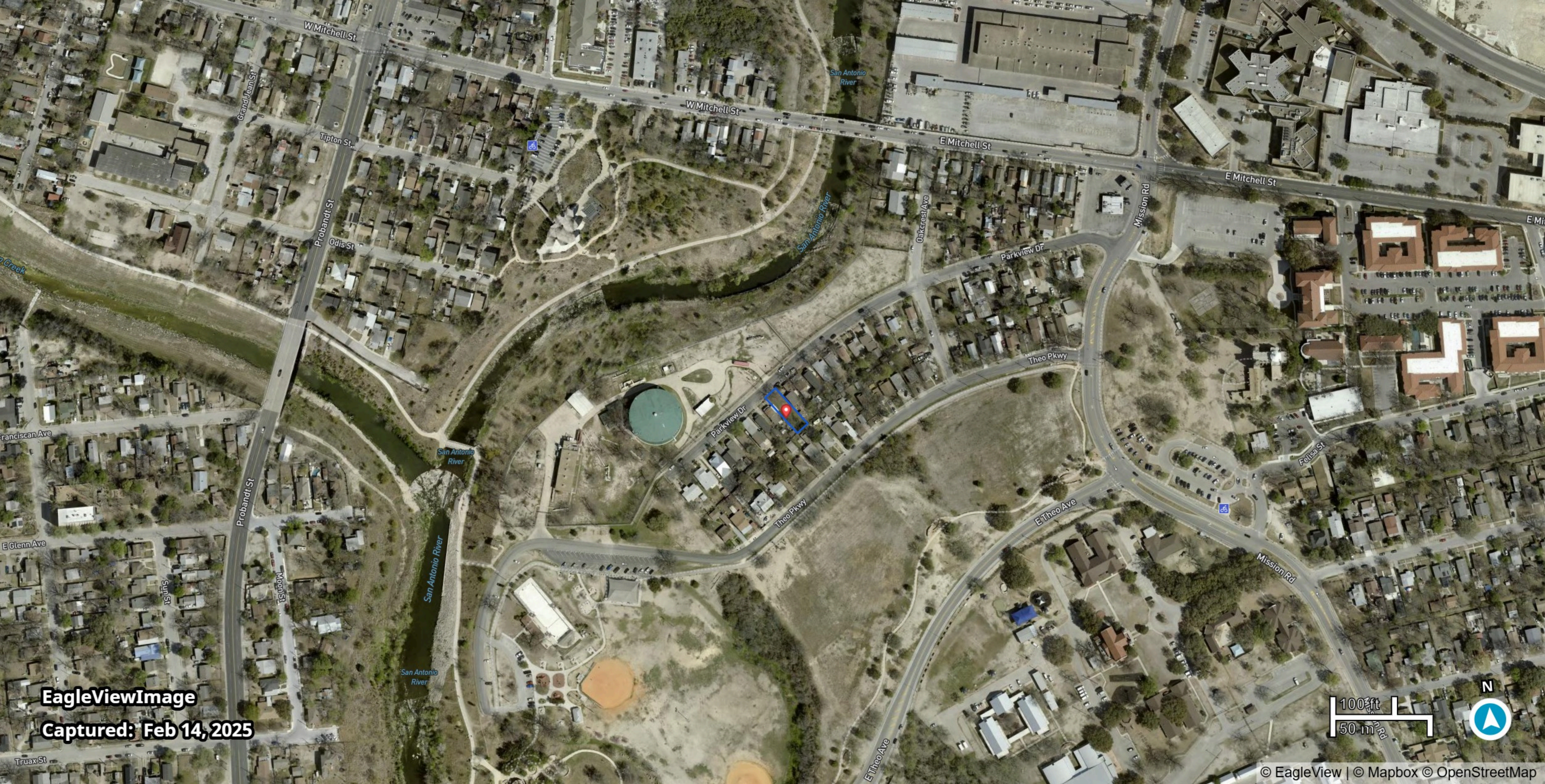
RECOMMENDATION:

Staff recommends approval based on findings a through t with the following stipulations:

- i. That the applicant install a hipped roof form as the primary, front facing roof form to reduce the structure's perceived massing in comparison to the adjacent, 1-story historic structures, as noted in findings f and h.
- ii. That board and batten siding feature boards that are approximately 12 inches in width and battens that are approximately 1.5 to 2 inches in width with a smooth finish. A final detail of the proposed steel railing should be submitted to staff for review and approval.
- iii. That the proposed vinyl windows adhere to the adopted standards for windows in new construction as noted in finding k and in the applicable citations. A specific window product is to be reviewed and approved by staff prior to the issuance of a Certificate of Appropriateness.

- iv. That grouped windows feature a separating wood mullion of approximately six (6) inches in width.

A foundation inspection is to be scheduled with OHP staff to ensure that foundation setbacks and heights are consistent with the approved design. The inspection is to occur after the installation of form work and prior to the installation of foundation materials.



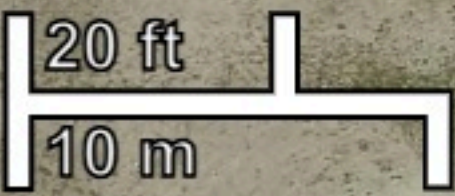
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Captured: Mar 16, 2025





EagleViewImage
Captured: Mar 11, 2025





EagleViewImage
Captured: Mar 16, 2025





Final Review: Response to Staff Stipulations

Project: New Construction at 118 Parkview Dr, San Antonio, TX 78210

Client: Analiza Alvarado

Architect: Alan Neff, RA, LEED AP

Date: May 15, 2025

1. Setback Context and Justification

Response: While the setback has not been increased beyond the original design, the proposed 21'-7" front setback still exceeds the 10' minimum requirement and is in line with the existing pattern of development on the street. Given the narrow width of the lot, this placement allows for necessary space in the rear and side yards, while maintaining visual consistency with the streetscape.

See Sheet A1 (Proposed Site Plan) for property line context and neighbor alignment.

2. Height Comparisons

Response: The proposed roof peak is 26'-2" AFF, well within the 35' limit and under 50% taller than adjacent structures. See Sheets A4 (Elevations) and A5 (Sections) for height documentation.

3. Foundation Height

Response: Plans indicate a slab-on-grade foundation with approximately 1' elevation shown in section detail. See Sheet A5 (Sections).

4. Porch Roof Pitch

Response: The pitch of the front porch roof has been reduced to 4:12 to reflect historic character. See Sheet A4 (Front Elevation).

5. Lot Coverage

Response: The footprint of the new home is 803 SF on a 4,687 SF lot (17% coverage), well under the 50% limit. See Sheet A1 (Proposed Site Plan).

6. Materials and Windows Compliance

Response: Exterior siding is Hardie board and batten; windows are vinyl double-hung and comply with U-factor and SHGC standards. See Sheets A4 (Elevations), A7 (Wall Sections), and A8 (Window Details).

7. Window Adjustments

Response: Fixed windows have been replaced with sashed windows, and grouped second-story west elevation windows have been separated by 6" mullions. See Sheets A4 (West Elevation) and A8 (Window Schedule).

8. Driveway and Walkway Width

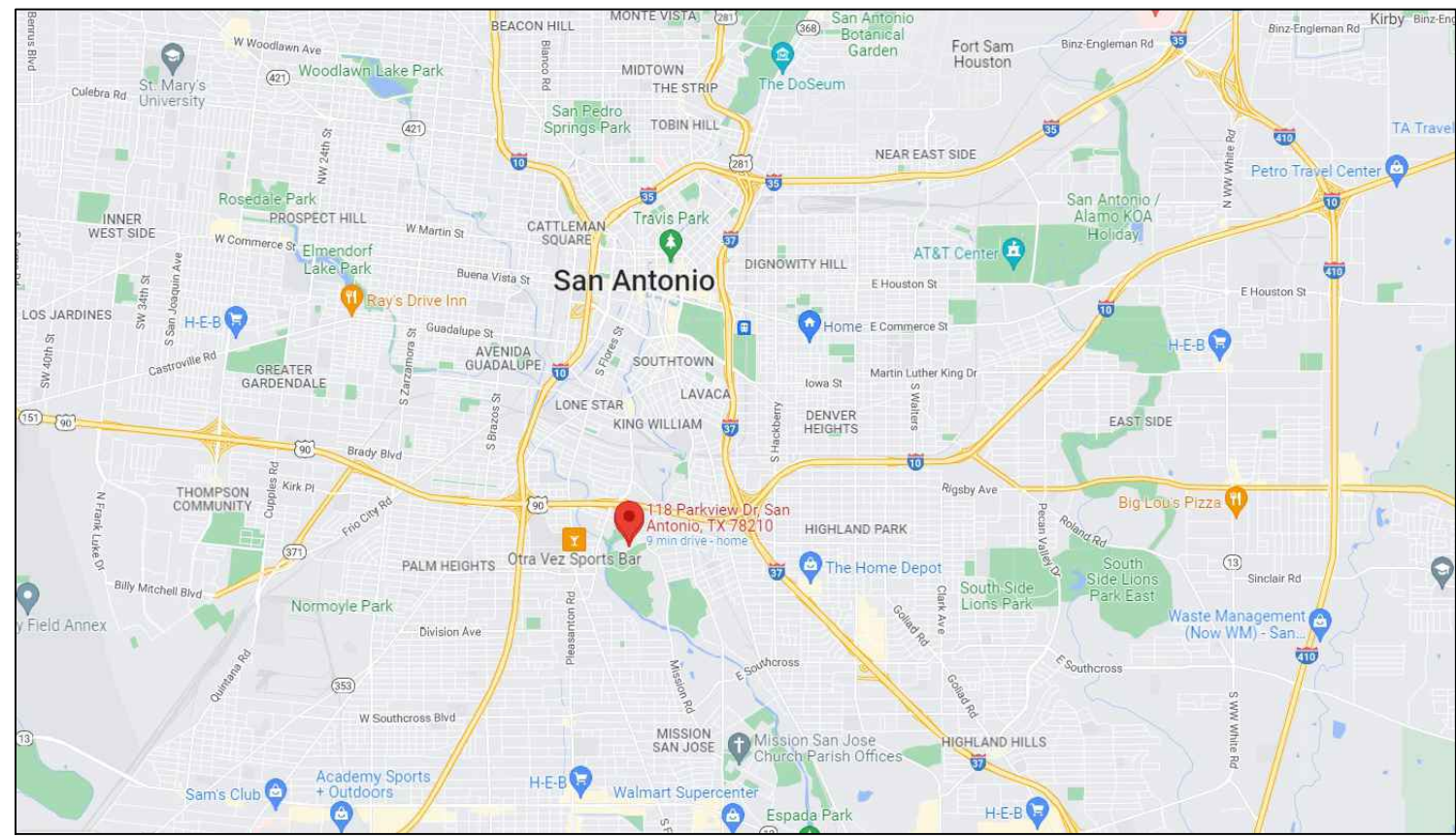
Response: Driveway width is limited to 10', and walkway is 3' wide. See Sheet A1 (Proposed Site Plan).

9. Landscaping Plan

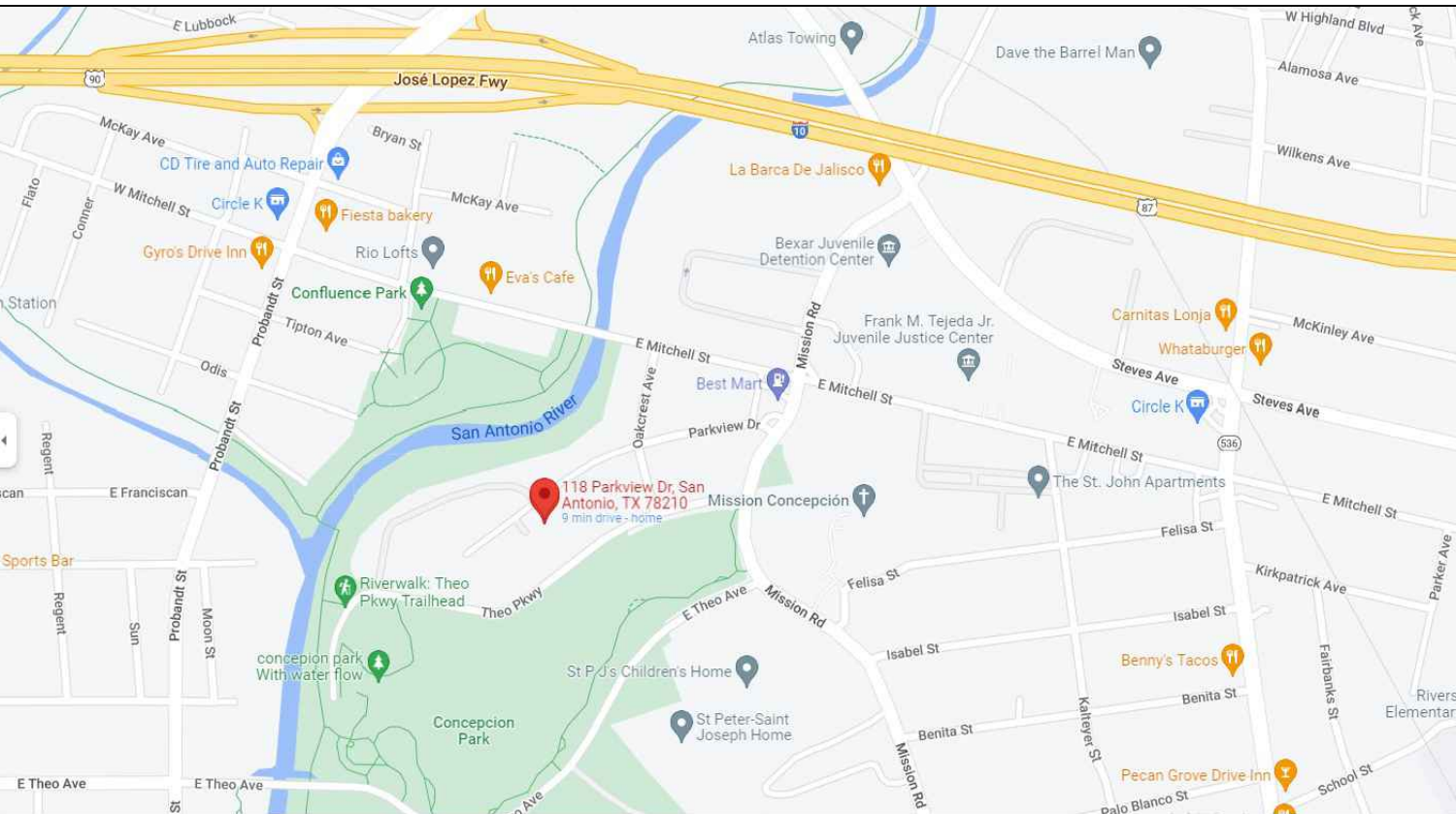
Response: Landscape plan includes sodded lawn and future accessory dwelling with fencing locations marked. See Sheet A1 (Proposed Site Plan).

10. Mechanical Screening

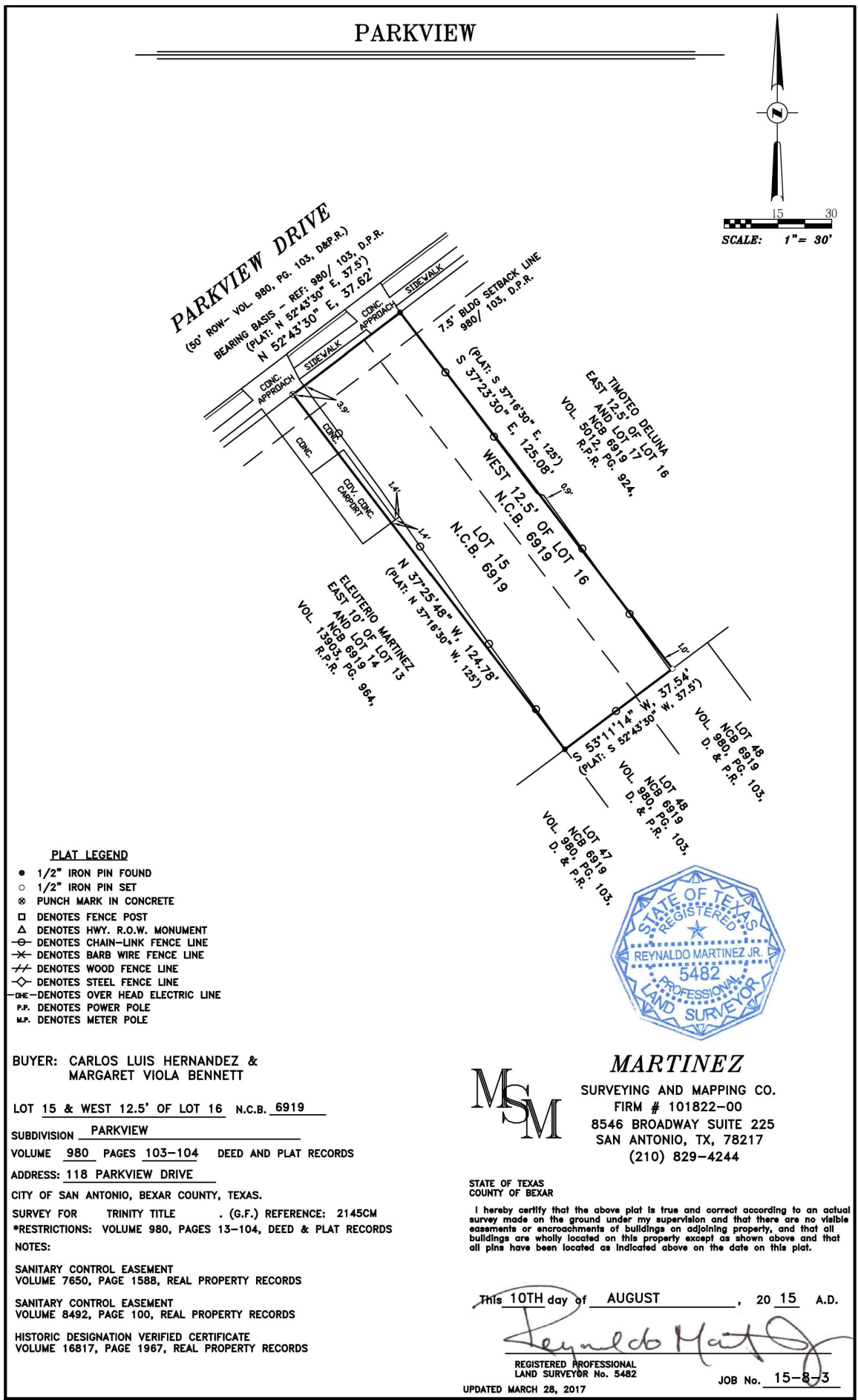
Response: Mechanical units are located behind the structure and screened from public view. See Sheet A2 (Floor Plans) and A4 (Elevations).



CITY LOCATION MAP



NEIGHBORHOOD LOCATION MAP



PROPERTY SURVEY

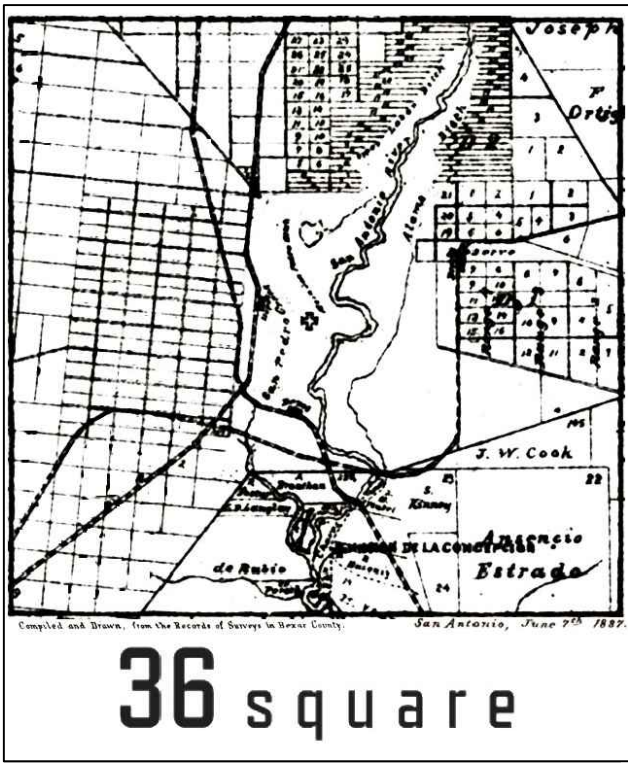
PROJECT

NEW SINGLE FAMILY RESIDENCE

118 PARKVIEW DR,
SAN ANTONIO, TX 78210

ISSUE

PERMIT / CONSTRUCTION



alan neff ,ra, leed ap
36square, llc

210-416-2343
alan@36square.org



MAY 15, 2025

CLIENT
analiza alvarado

PROJECT

INSULATION INFO:		BUILDING INFO:		CODE SUMMARY:		DRAWING LIST:																																																																																		
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WINDOW ENERGY SPECS:		<table><tr><td></td><td>INTERIOR</td><td>PORCH</td></tr><tr><td>PROPOSED HOUSE</td><td></td><td></td></tr><tr><td>1ST FLOOR:</td><td>862 SF</td><td></td></tr><tr><td>PORCH:</td><td></td><td>159 SF</td></tr><tr><td>2ND FLOOR:</td><td>873 SF</td><td></td></tr><tr><td>PORCH:</td><td></td><td>225 SF</td></tr><tr><td>TOTAL</td><td>1,735 SF</td><td>384 SF</td></tr></table>			INTERIOR	PORCH	PROPOSED HOUSE			1ST FLOOR:	862 SF		PORCH:		159 SF	2ND FLOOR:	873 SF		PORCH:		225 SF	TOTAL	1,735 SF	384 SF	<table><tr><td>MIN LAND SIZE:</td><td>5,000 SF</td><td>ACTUAL:</td><td>4,687 SF</td></tr><tr><td colspan="4">SETBACKS:</td></tr><tr><td>FRONT MIN:</td><td>10'-0"</td><td>ACTUAL:</td><td>21'-7"</td></tr><tr><td>SIDE MIN:</td><td>5'-0"</td><td>ACTUAL:</td><td>14'-6"/5'-0"</td></tr><tr><td>REAR:</td><td>20'-0"</td><td>ACTUAL:</td><td>41'-3"</td></tr><tr><td colspan="4">HEIGHT RESTRICTION:</td></tr><tr><td>35'/ 2.5 STORIES</td><td colspan="3">ACTUAL: 22'-7" MIDPOINT OF ROOF / 2 STORIES</td></tr><tr><td colspan="4">STREET FRONTAGE:</td></tr><tr><td>MIN:</td><td>20'-0"</td><td>ACTUAL:</td><td>37'-6"</td></tr><tr><td colspan="4">MIN LOT WIDTH: 35'-0"</td></tr><tr><td colspan="4">MAX LOT WIDTH: 150'-0"</td></tr><tr><td colspan="4">MAX BLDG SIZE: N/A</td></tr><tr><td colspan="4">MAX AGGREGATE BLDG SIZE: N/A</td></tr><tr><td colspan="4">PARKING:</td></tr><tr><td colspan="2">MIN REQUIRED: 1</td><td colspan="2">ACTUAL: 1</td></tr></table>		MIN LAND SIZE:	5,000 SF	ACTUAL:	4,687 SF	SETBACKS:				FRONT MIN:	10'-0"	ACTUAL:	21'-7"	SIDE MIN:	5'-0"	ACTUAL:	14'-6"/5'-0"	REAR:	20'-0"	ACTUAL:	41'-3"	HEIGHT RESTRICTION:				35'/ 2.5 STORIES	ACTUAL: 22'-7" MIDPOINT OF ROOF / 2 STORIES			STREET FRONTAGE:				MIN:	20'-0"	ACTUAL:	37'-6"	MIN LOT WIDTH: 35'-0"				MAX LOT WIDTH: 150'-0"				MAX BLDG SIZE: N/A				MAX AGGREGATE BLDG SIZE: N/A				PARKING:				MIN REQUIRED: 1		ACTUAL: 1		A1 EXISTING AND PROPOSED SITE PLAN	
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TOTAL	1,735 SF	384 SF																																																																																						
MIN LAND SIZE:	5,000 SF	ACTUAL:	4,687 SF																																																																																					
SETBACKS:																																																																																								
FRONT MIN:	10'-0"	ACTUAL:	21'-7"																																																																																					
SIDE MIN:	5'-0"	ACTUAL:	14'-6"/5'-0"																																																																																					
REAR:	20'-0"	ACTUAL:	41'-3"																																																																																					
HEIGHT RESTRICTION:																																																																																								
35'/ 2.5 STORIES	ACTUAL: 22'-7" MIDPOINT OF ROOF / 2 STORIES																																																																																							
STREET FRONTAGE:																																																																																								
MIN:	20'-0"	ACTUAL:	37'-6"																																																																																					
MIN LOT WIDTH: 35'-0"																																																																																								
MAX LOT WIDTH: 150'-0"																																																																																								
MAX BLDG SIZE: N/A																																																																																								
MAX AGGREGATE BLDG SIZE: N/A																																																																																								
PARKING:																																																																																								
MIN REQUIRED: 1		ACTUAL: 1																																																																																						
U-FACTOR: 0.28						A2 FIRST AND SECOND FLOOR PLANS																																																																																		
SHGC: 0.24						A3 REFLECTED CEILING PLANS, ELECTRICAL/ HVAC LAYOUTS, ROOF PLAN, ATTIC PLAN																																																																																		
WATERPROOFING INFO:		NEW EXTERIOR WALLS: VAPOR PERMEABLE HOUSE WRAP				A4 HOUSE ELEVATIONS																																																																																		
		ROOF: 15# BUILDING FELT				A5 HOUSE SECTIONS																																																																																		
		WINDOWS, DOORS, JOINTS: WATERPROOFING TAPE				A6 INTERIOR ELEVATIONS																																																																																		
		TAPE AND CAULK ALL WINDOWS AND DOORS TO PREVENT WATER INTRUSION AT HEAD, JAMB, AND SILL CONDITIONS. FOLLOW MANUFACTURER INSTALLATION RECOMMENDATIONS.				A7 DETAILED WALL SECTIONS, WINDOW DETAIL SECTIONS																																																																																		
						A8 DOOR AND WINDOW ELEVATIONS																																																																																		
						A9 ROOM FINISH SCHEDULE AND LEGEND																																																																																		
						STRUCTURAL:																																																																																		
						REFER TO DOCUMENTS PROVIDED BY OWNER UNDER SEPARATE CONTRACT																																																																																		
						MECHANICAL, ELECTRICAL, PLUMBING:																																																																																		
						SUBCONTRACTORS TO DEVELOP SCOPE OF THE WORK AND COMPLY WITH LOCAL COSA REGULATIONS																																																																																		

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A0



01 Street Height Context
SCALE 1" = 10'-0"



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02 Street Setback Context
SCALE 1" = 10'-0"



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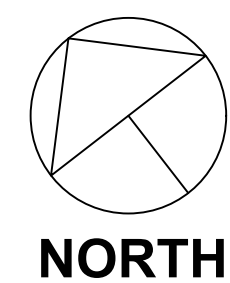
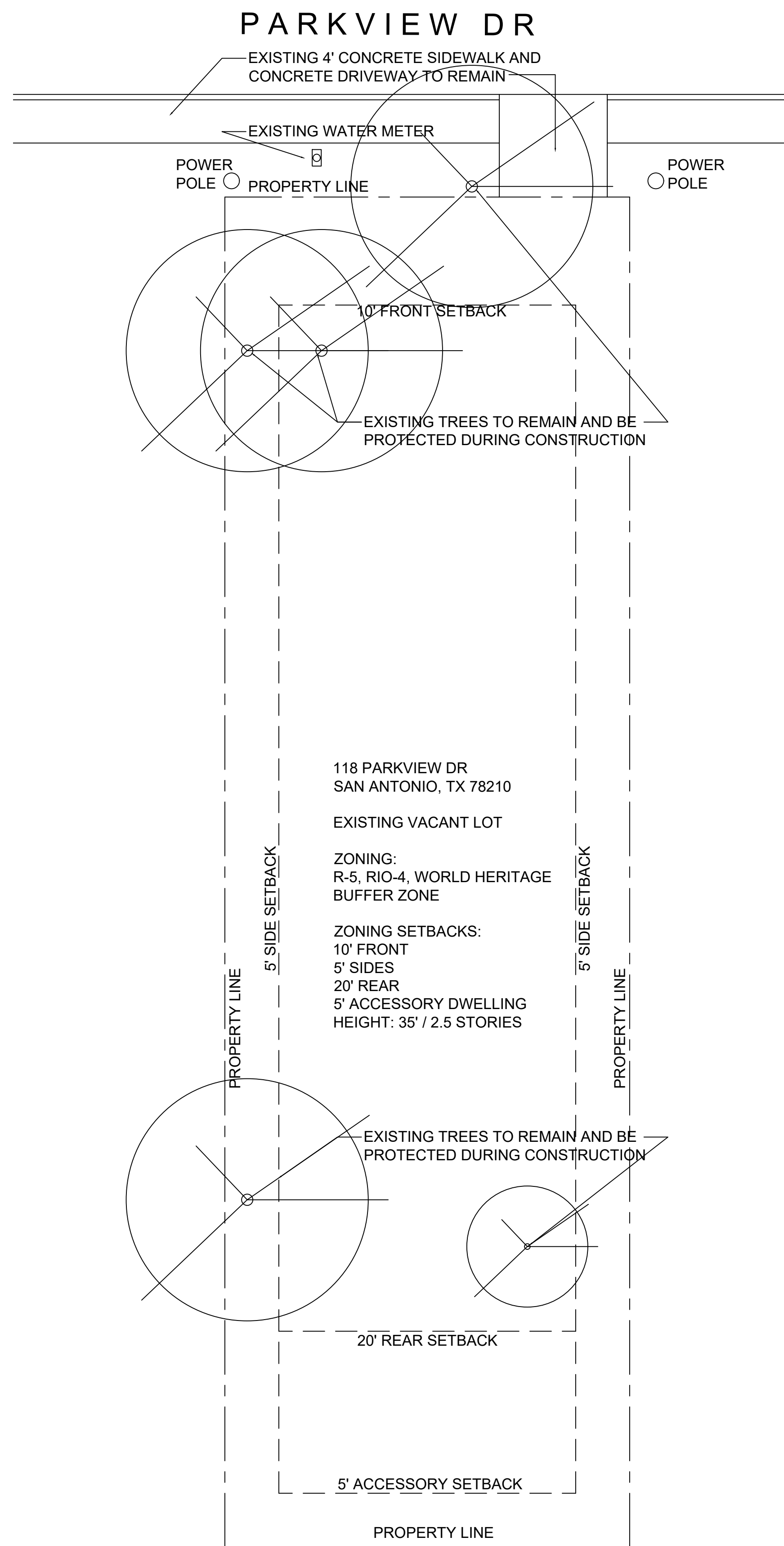
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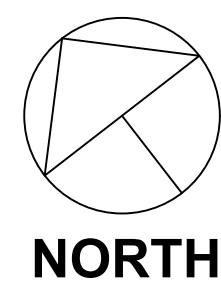
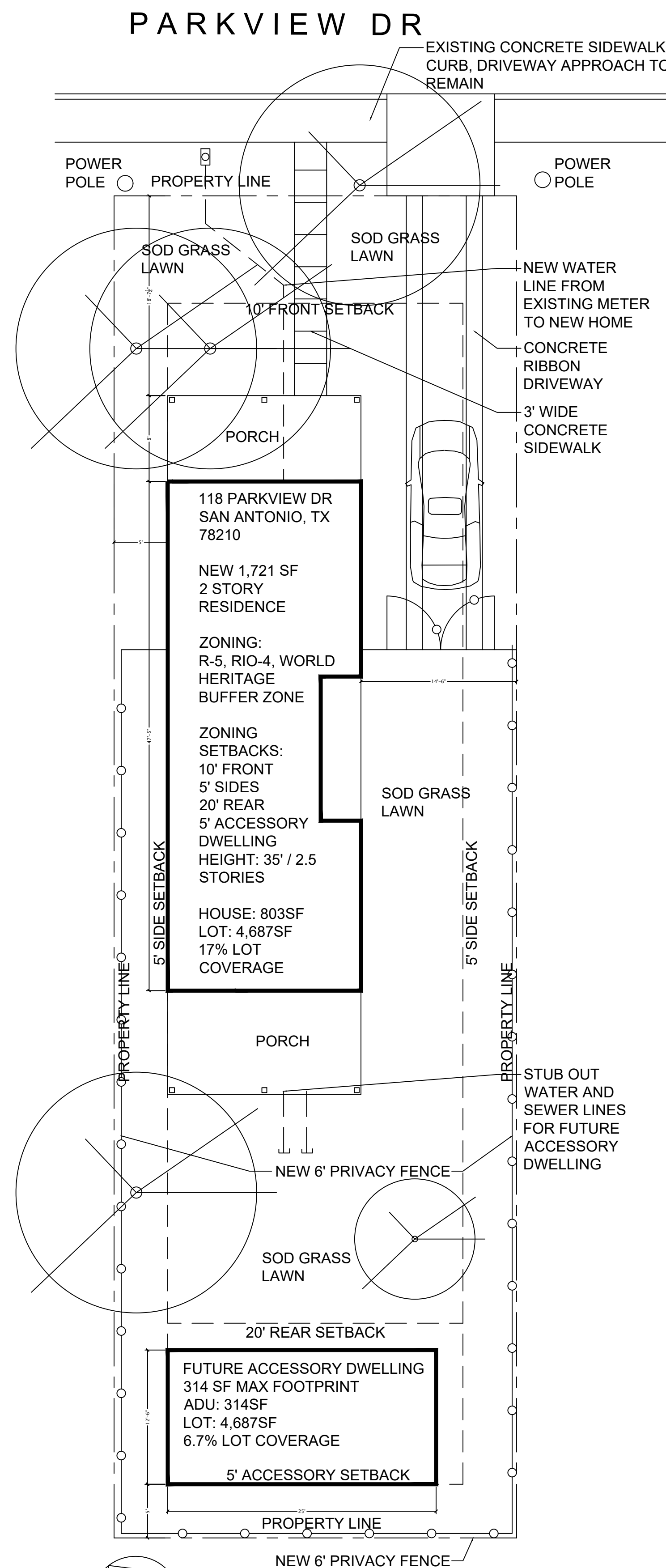
120 Parkview -
15-16 ft Tall

116 Parkview -
15-16 ft Tall

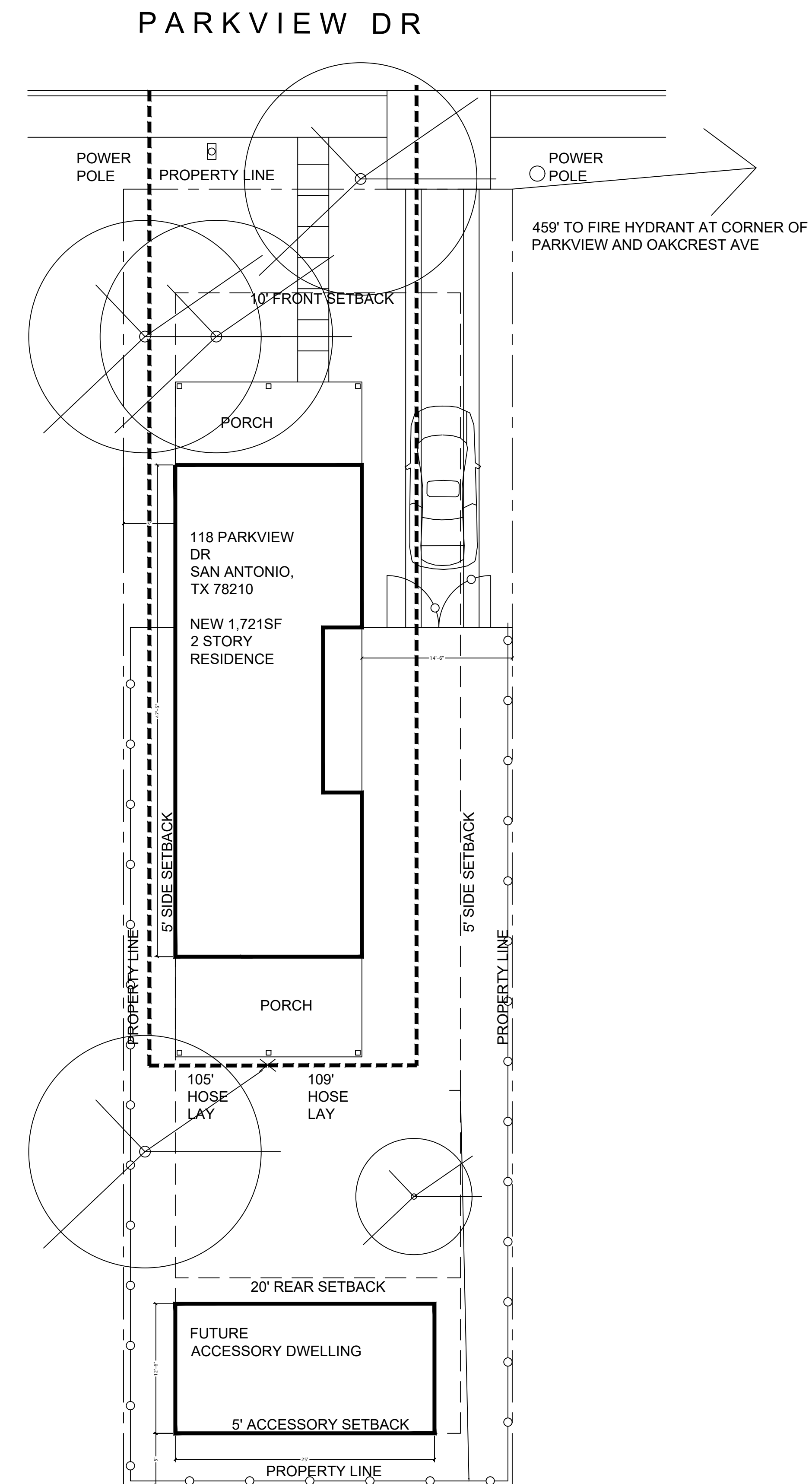
118 Parkview
Proposed build
26"



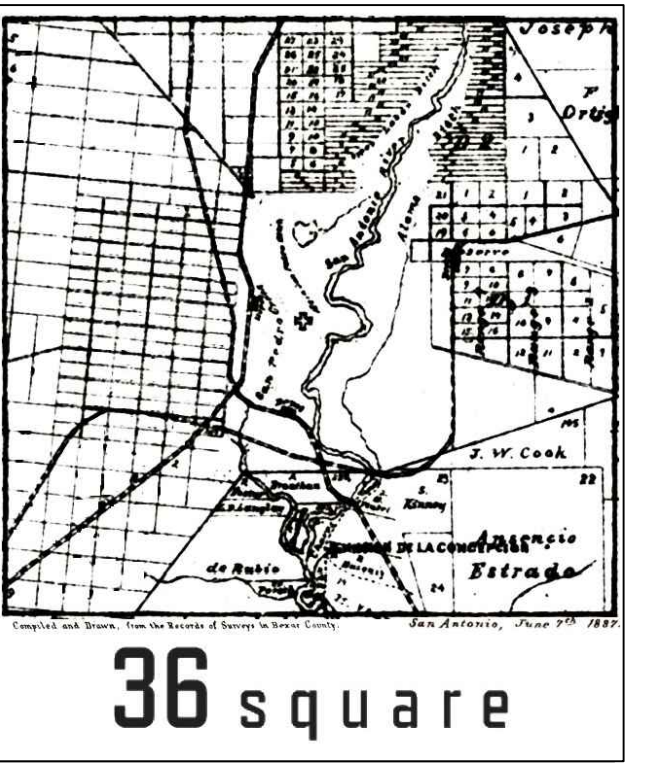
01 existing site plan
SCALE 1/8" = 1'-0"



02 proposed site plan
SCALE 1/8" = 1'-0"



03 fire protection site plan
SCALE 1/8" = 1'-0"



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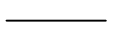
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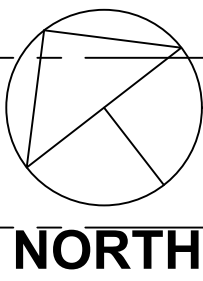
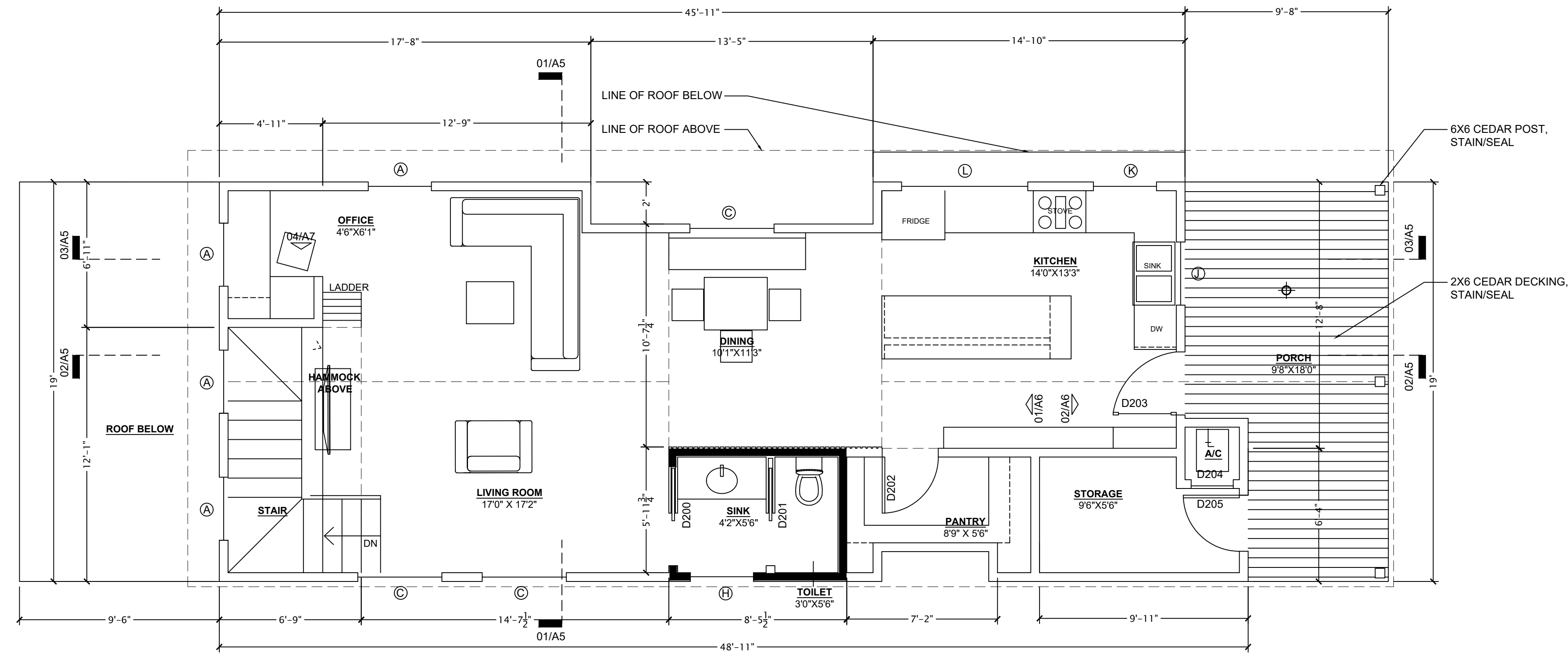
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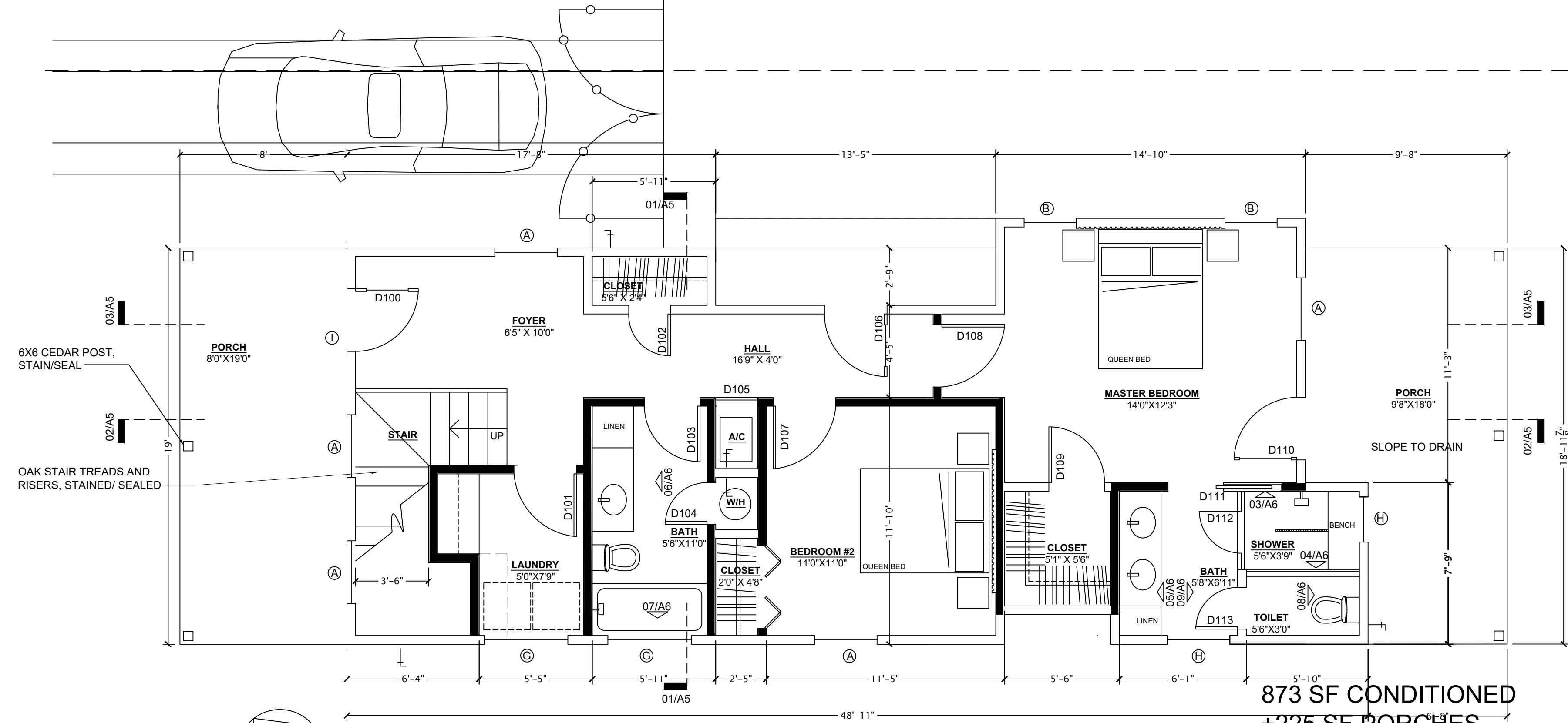
- GENERAL NOTES**
- A. FIRST FLOOR: 10'-0" PLATE HEIGHT U.N.O.
 - B. FIRST FLOOR: 9'-0" HEADER HEIGHT U.N.O.
 - C. ALL EXTERIOR WALLS TO BE FRAMED WITH 2X4 STUDS
 - D. ALL INTERIOR WALLS TO BE FRAMED WITH 2X4 STUDS
 - E. ALL INTERIOR SHEETROCK TO HAVE A SMOOTH FINISH
 - F. ESCAPE / RESCUE WINDOWS FROM SLEEPING AREAS SHALL HAVE MINIMUM 5.7 SQUARE FEET CLEAR NET OPENING AND MINIMUM CLEAR OPENING WIDTH OF 20" / FINISHED SILL HEIGHT SHALL BE MAXIMUM 44" ABOVE FINISH FLOOR
 - G. REINFORCE WALLS WITH WOOD BLOCKING AROUND STAIRWAY WALL, TOILET, BATHTUB AND SHOWER STALLS SO THAT GRAB BARS MAY BE ADDED LATER TO MEET ADA REQUIREMENTS TO BEAR A 250 POUND LOAD
 - H. ELECTRICAL CONTRACTOR TO LOCATE 110V GFI OUTLET WITHIN 25'-0" OF A/C COMPRESSOR
 - I. BALUSTERS/ RAILINGS AT 4" ON CENTER MAX SPACING
 - J. INSTALL LIGHT SWITCHES AND ELECTRICAL CONTROLS NO HIGHER THAN 48" AND ELECTRICAL OUTLETS NO LOWER THAN 15" ABOVE FINISH FLOOR
 - K. SMOKE ALARMS SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER I.R.C. SEC. R317
 - L. PROVIDE HANDRAILS ON ALL STAIRS / STEPS WITH AT LEAST 2 RISERS PER I.R.C. SEC. R315
 - M. EACH ELECTRICAL PANEL, LIGHT SWITCH AND THERMOSTAT SHALL BE MOUNTED NO HIGHER THAN 48" AFF. EACH ELECTRICAL OUTLET OR OTHER RECEPTACLE SHALL BE AT LEAST 15" AFF.
 - N. EXTERIOR ELECTRICAL PANEL MUST BE MOUNTED BETWEEN 18" AND 42" ABOVE FINISHED GRADE AND SERVICED BY AN ACCESSIBLE ROUTE
 - O. POT FILLER ABOVE STOVE

WALL TYPE LEGEND	
	NEW INTERIOR WALL (2X4 WOOD STUDS @ 16"O.C.) 4" SOUND ATTENUATION BATT INSULATION IN WALL NEW 1/2" SHEETROCK ON BOTH SIDES OF WALL NEW 1/2" CEMENT TILE BACKER WHERE TILE IS INSTALLED NEW WOOD BASE, CASINGS, AND CROWN MOULDING AS SELECTED BY OWNER
	NEW INTERIOR WALL (2X4 WOOD STUDS @ 16"O.C.) NEW 1/2" SHEETROCK ON BOTH SIDES OF WALL NEW 1/2" CEMENT TILE BACKER WHERE TILE IS INSTALLED NEW WOOD BASE, CASINGS, AND CROWN MOULDING AS SELECTED BY OWNER



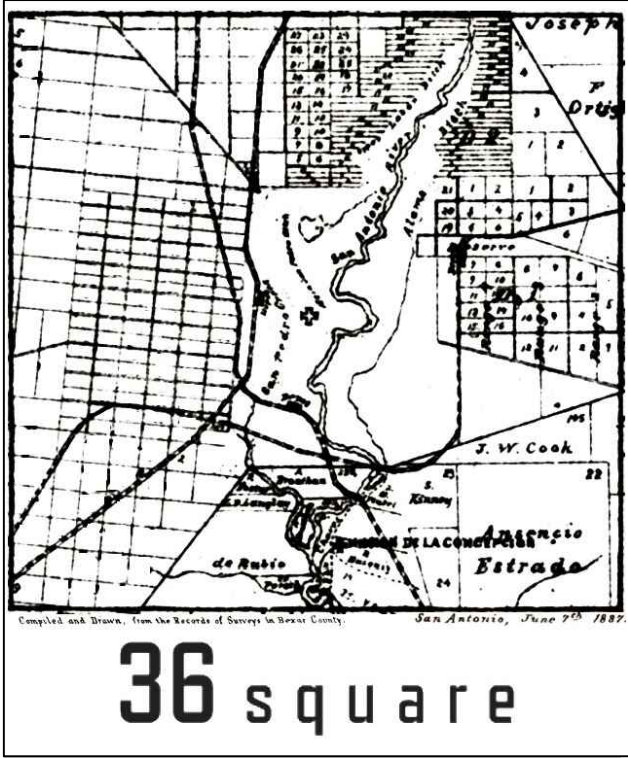
02 second floor plan
SCALE 1/4" = 1'-0"

862 SF CONDITIONED
+159 SF PORCHES



01 first floor plan
SCALE 1/4" = 1'-0"

TOTAL: 1,735 SF CONDITIONED
+384 SF PORCHES



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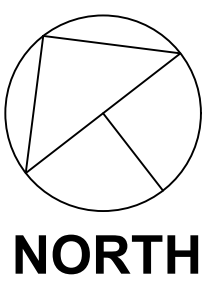
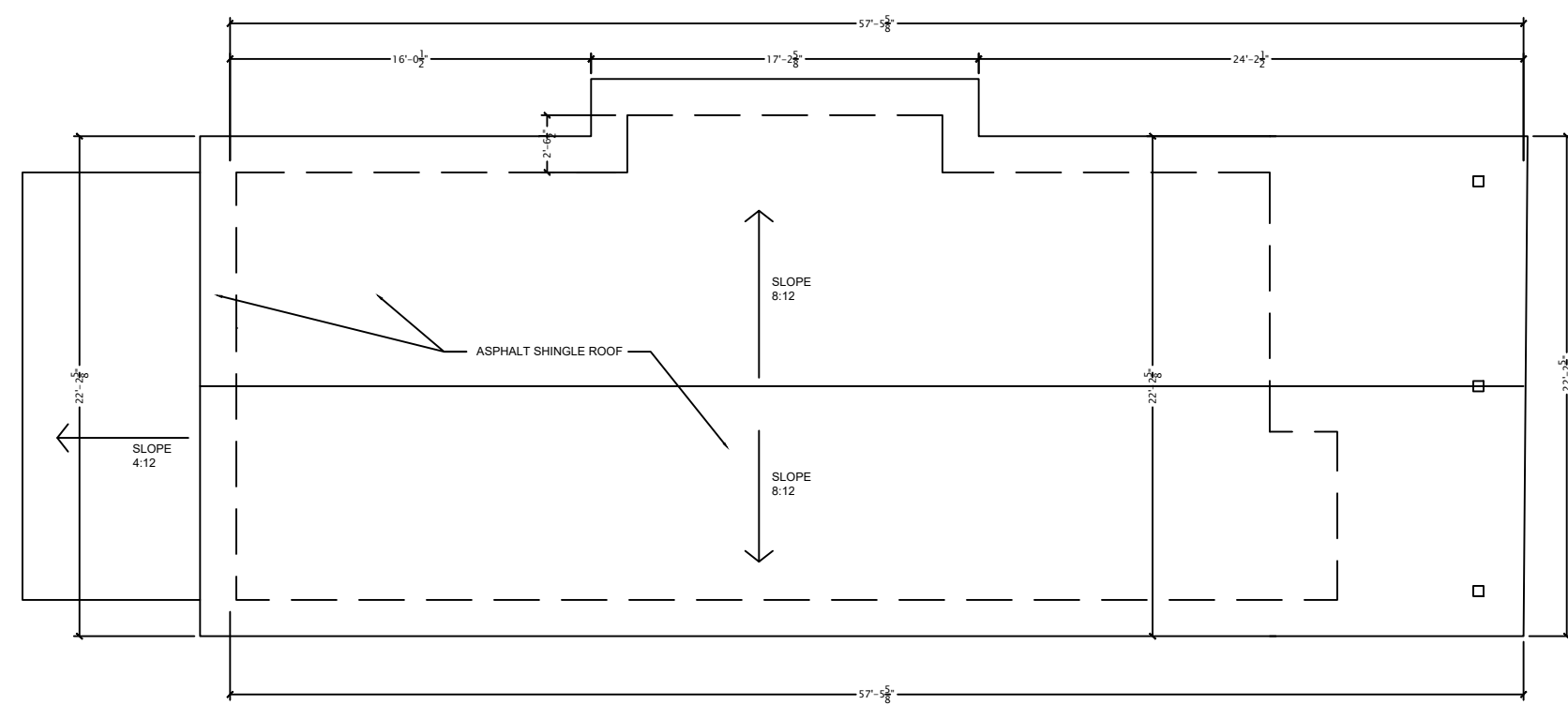
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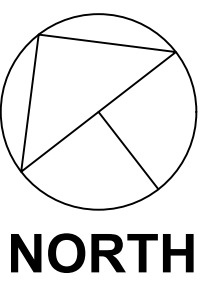
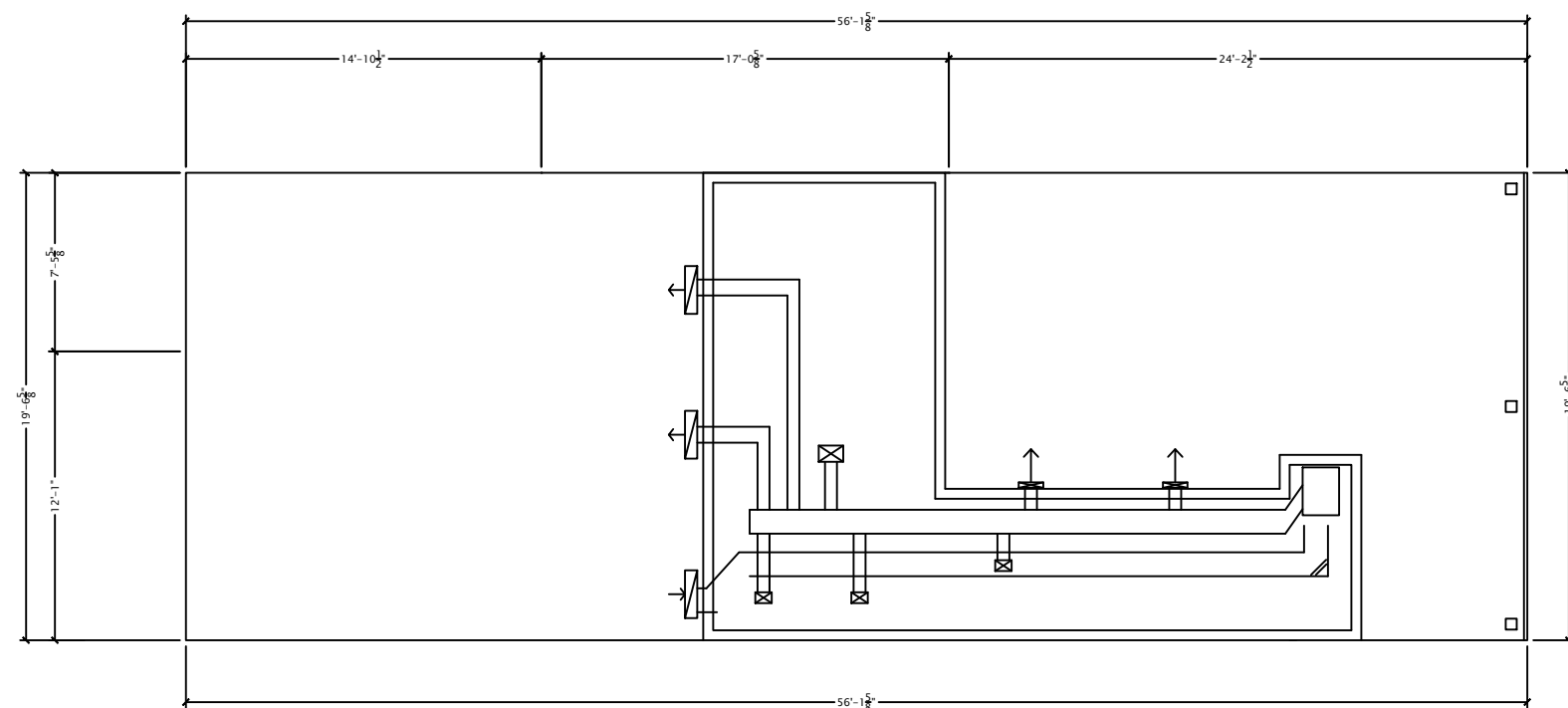
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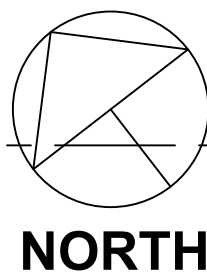
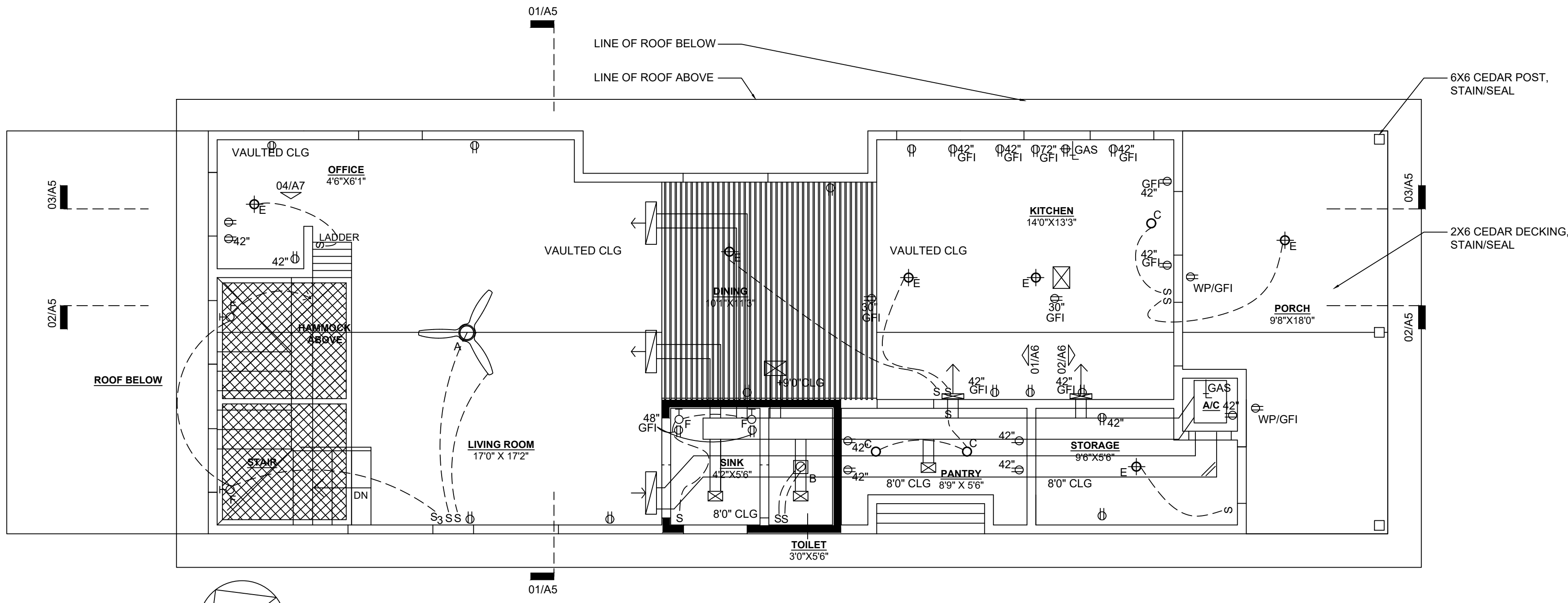
A2



03 roof plan
SCALE 1/8" = 1'-0"

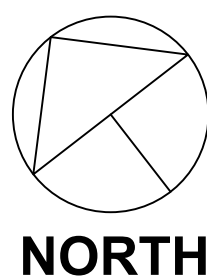
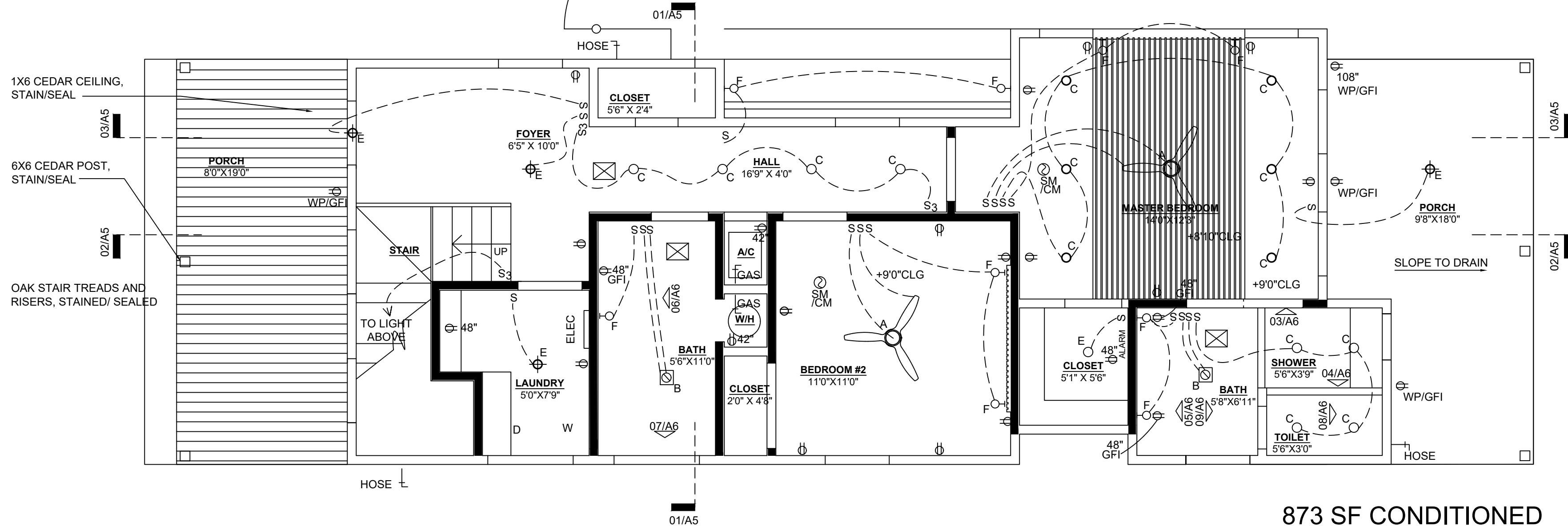


04 attic plan
SCALE 1/8" = 1'-0"



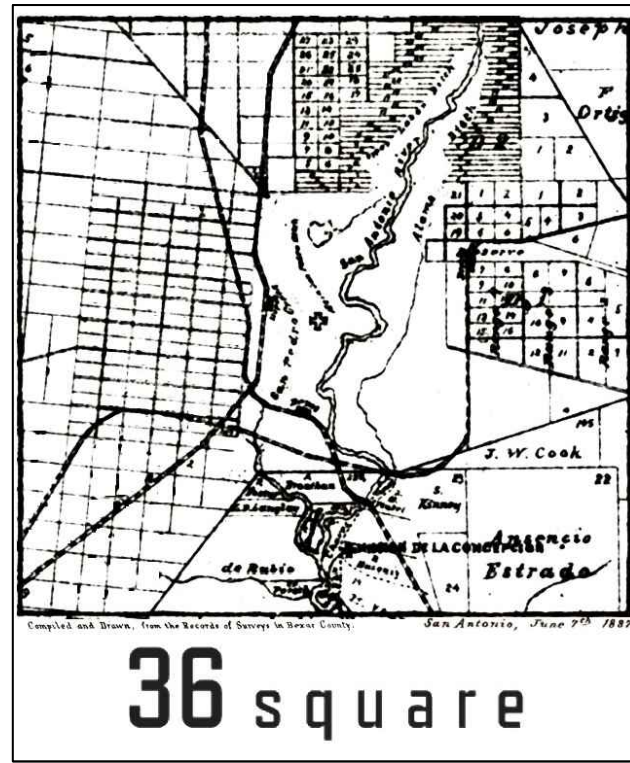
02 2nd reflected ceiling plan
SCALE 1/4" = 1'-0"

862 SF CONDITIONED
+159 SF PORCHES



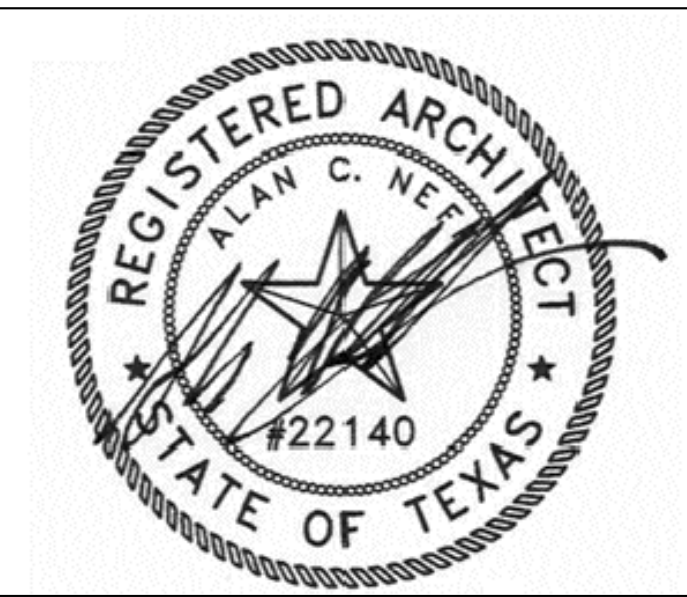
01 1st reflected ceiling plan
SCALE 1/4" = 1'-0"

TOTAL: 1,735 SF CONDITIONED
+384 SF PORCHES



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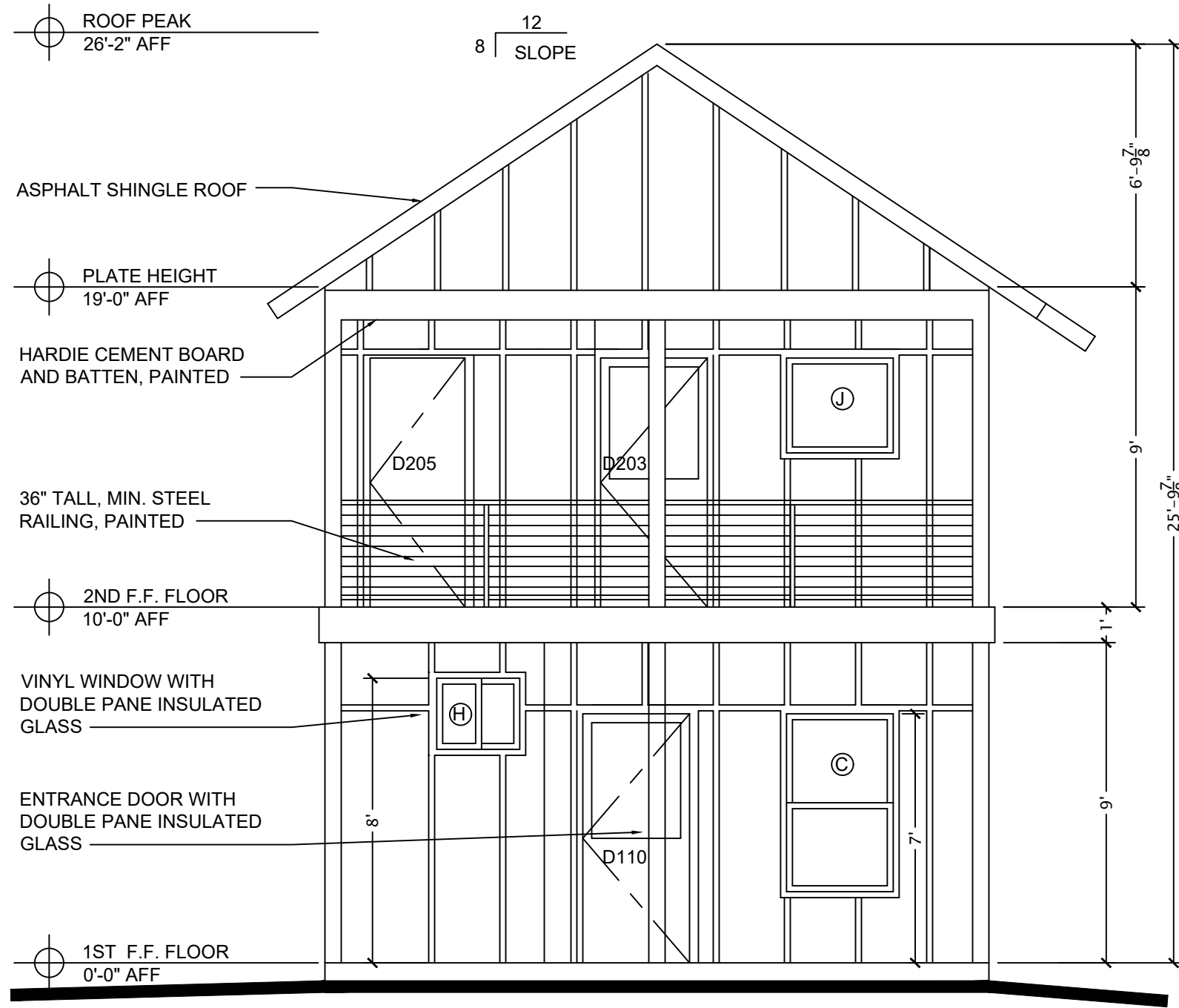
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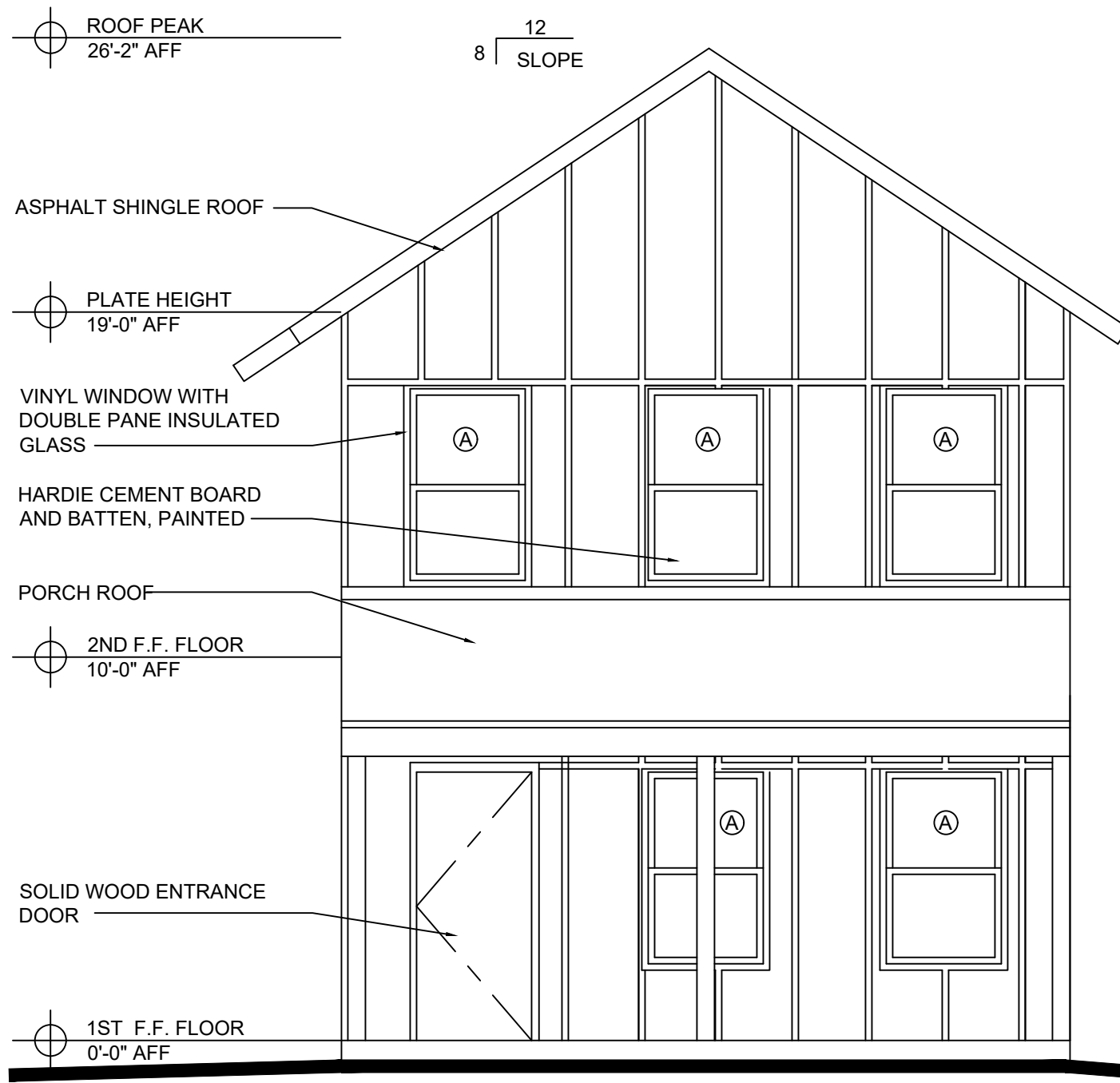
A3



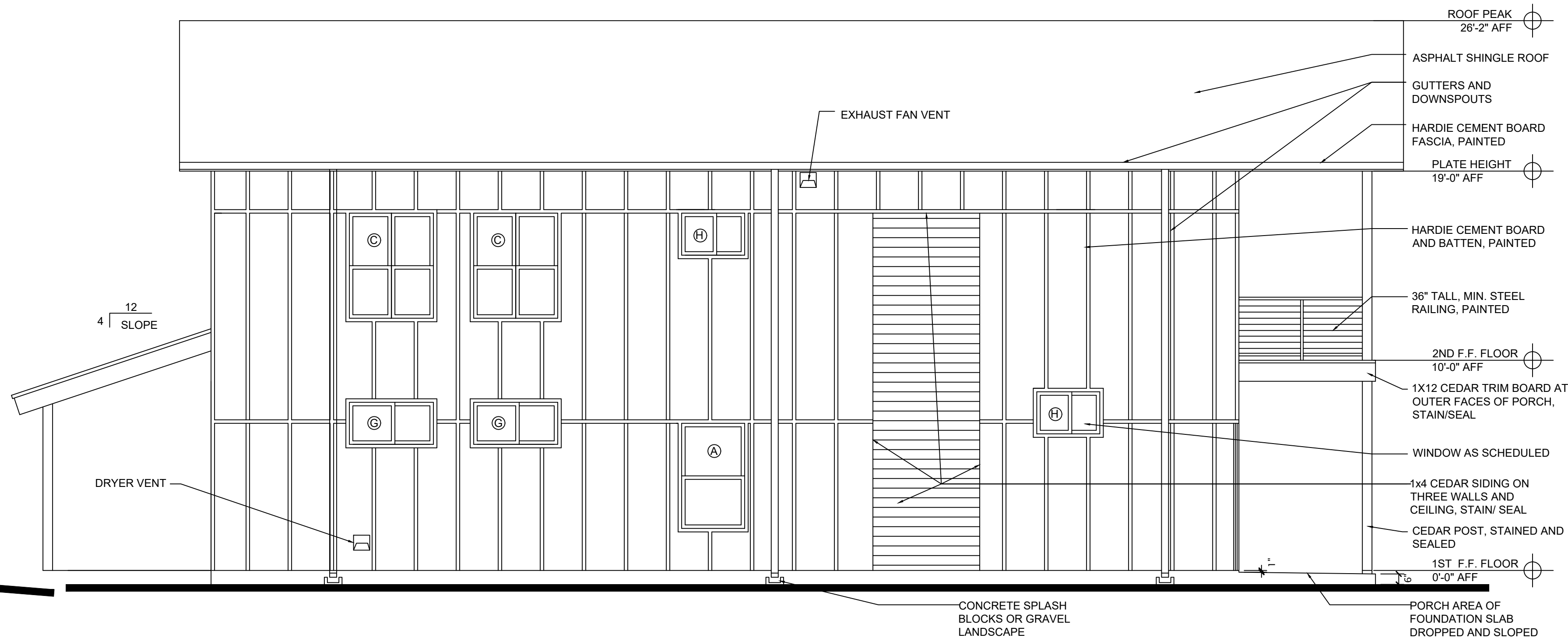
01 southeast (rear) elevation
SCALE 1/4" = 1'-0"



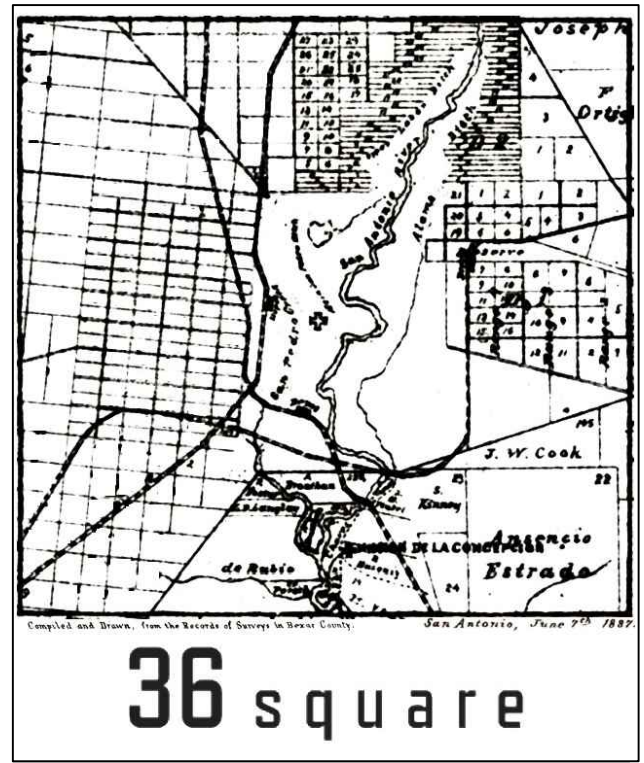
02 northeast (side) elevation
SCALE 1/4" = 1'-0"



03 northwest (front) elevation
SCALE 1/4" = 1'-0"



04 southwest (side) elevation
SCALE 1/4" = 1'-0"



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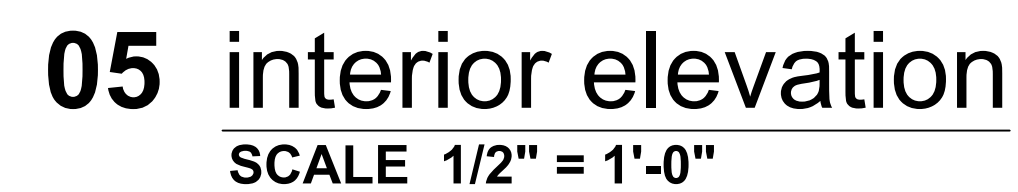
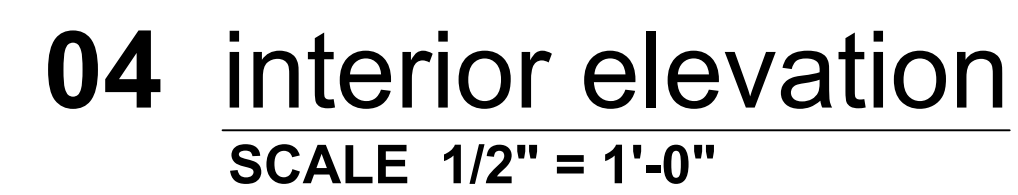
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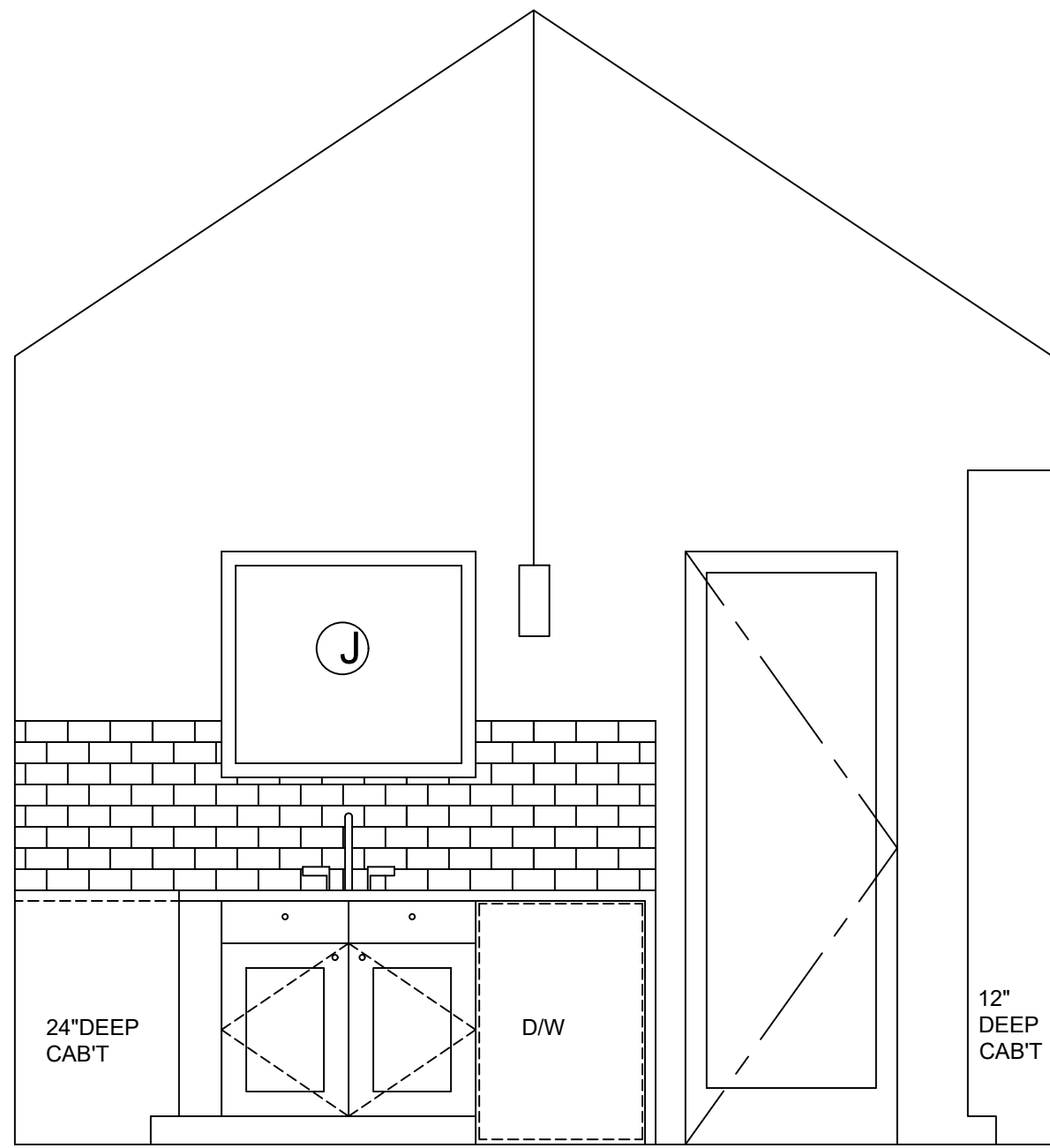
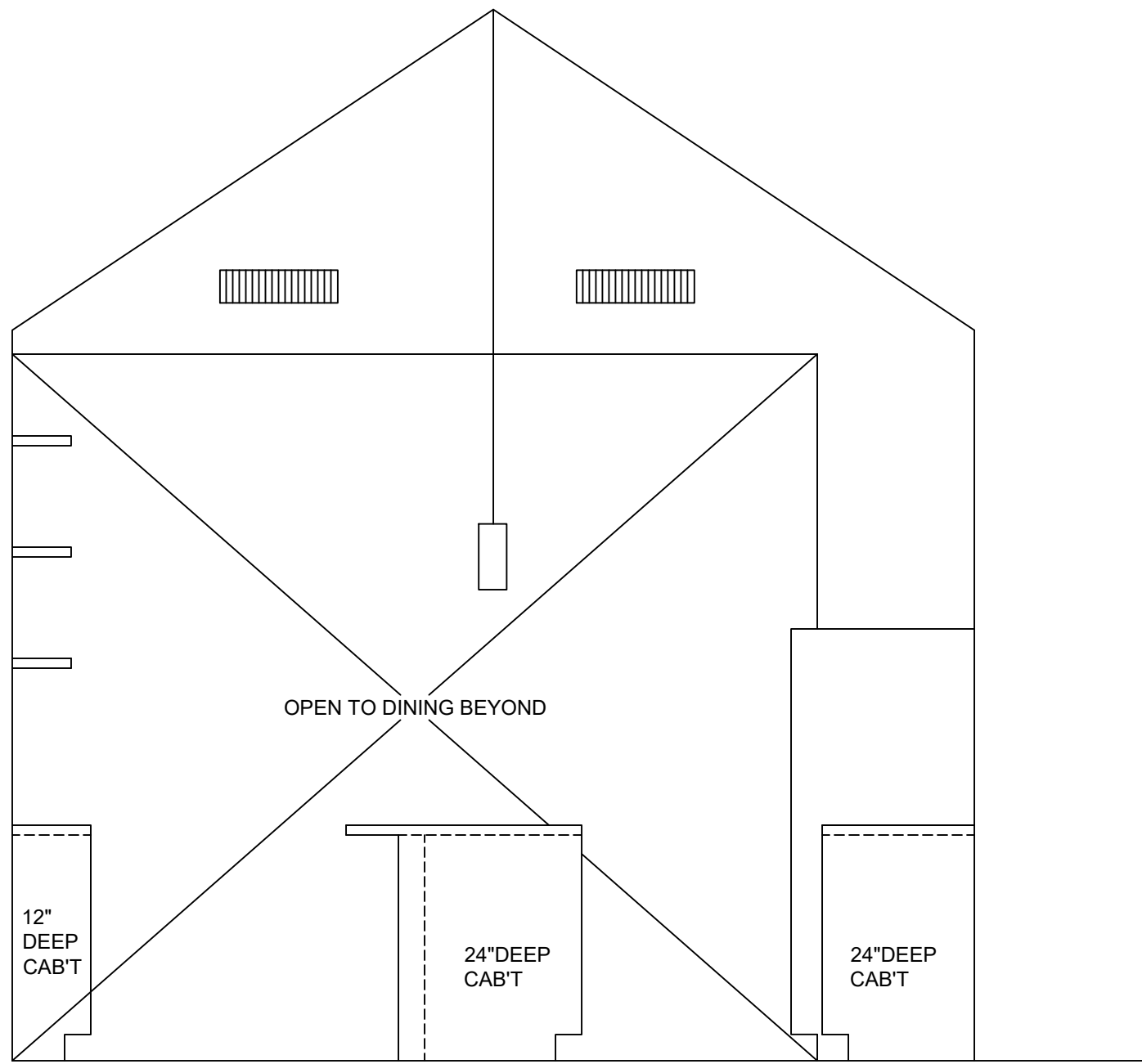
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A4



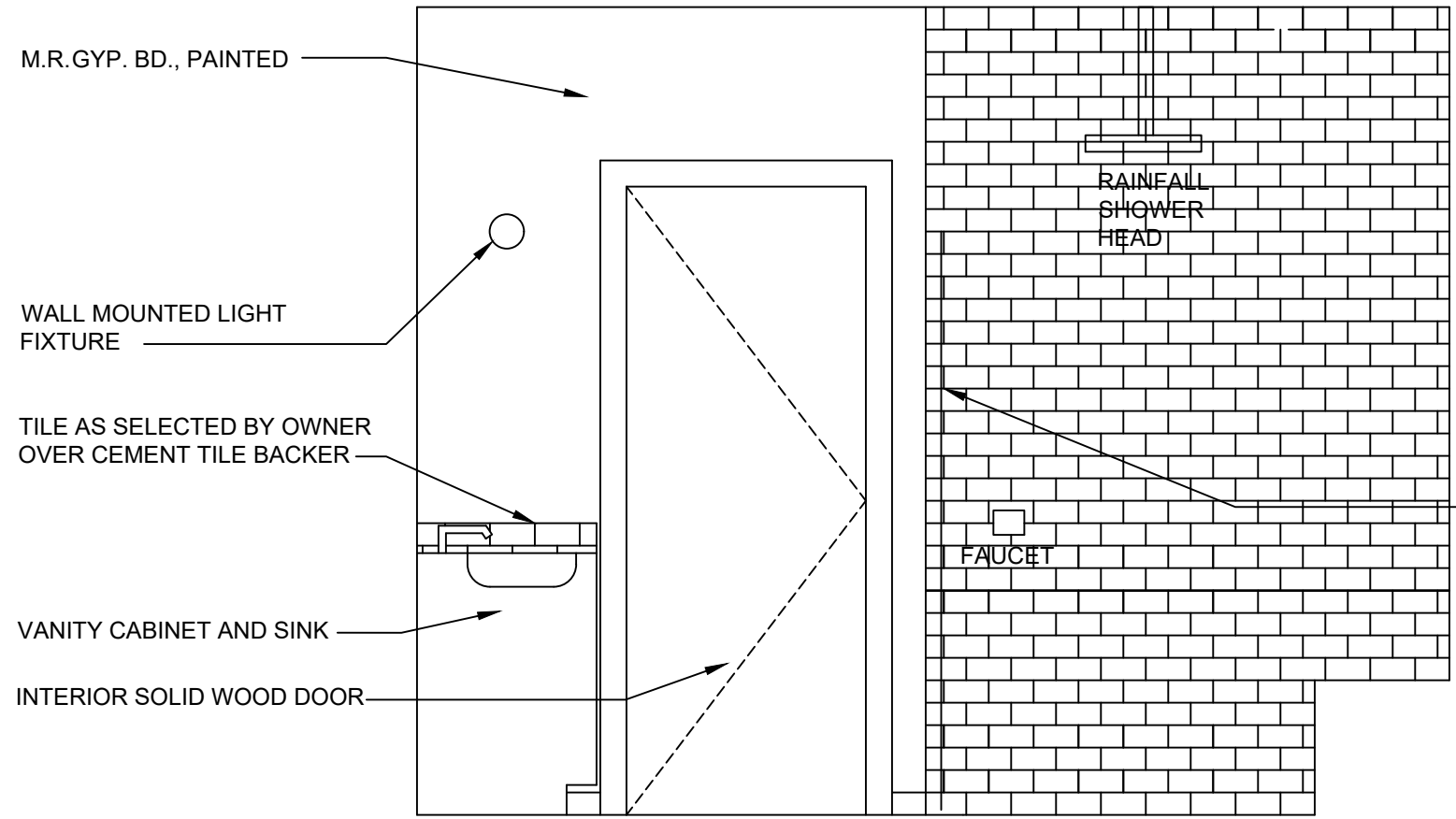
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A5



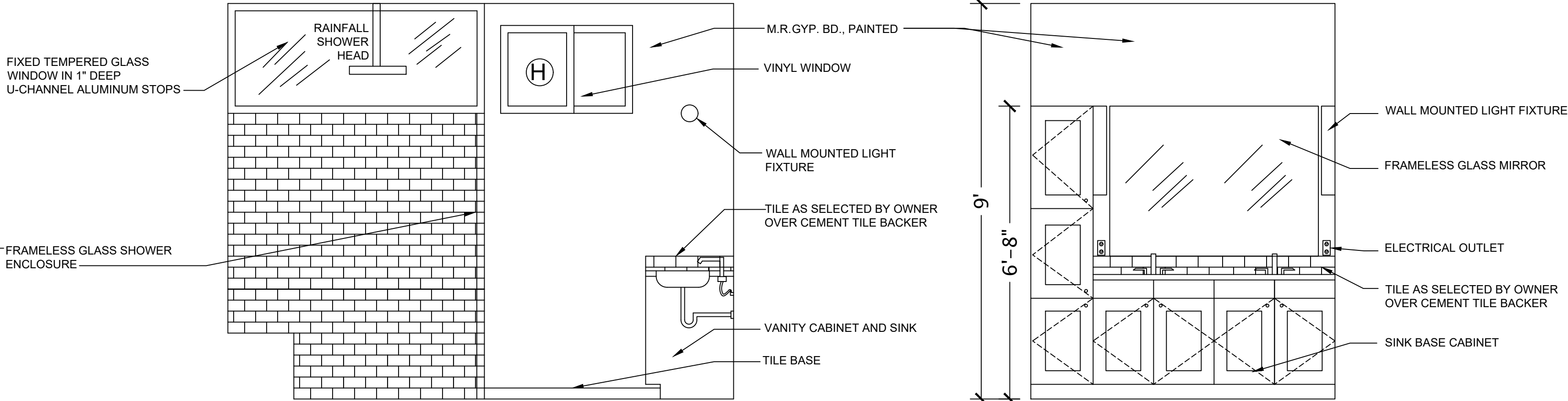
01 kitchen

SCALE 1/2" = 1'-0"



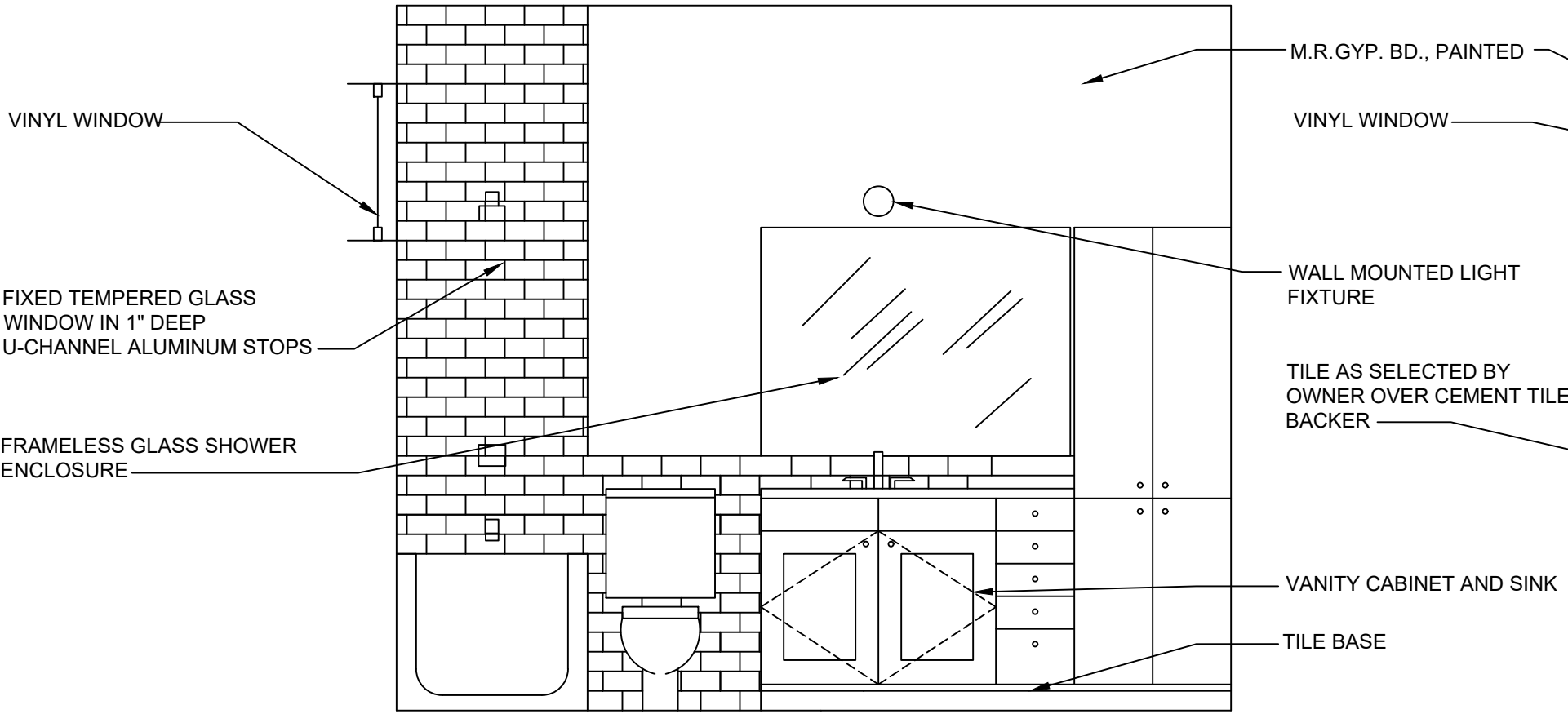
02 kitchen

SCALE 1/2" = 1'-0"



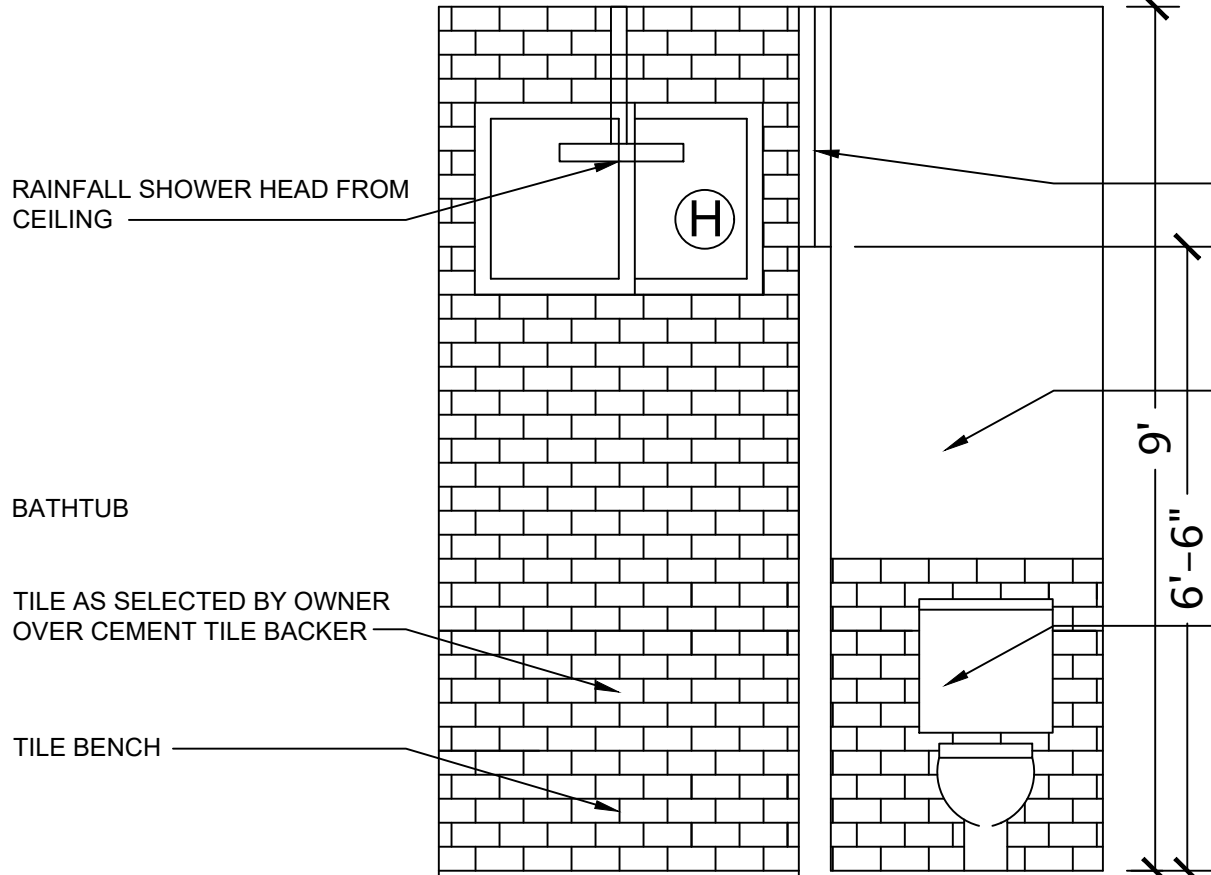
03 bath 1

SCALE 1/2" = 1'-0"



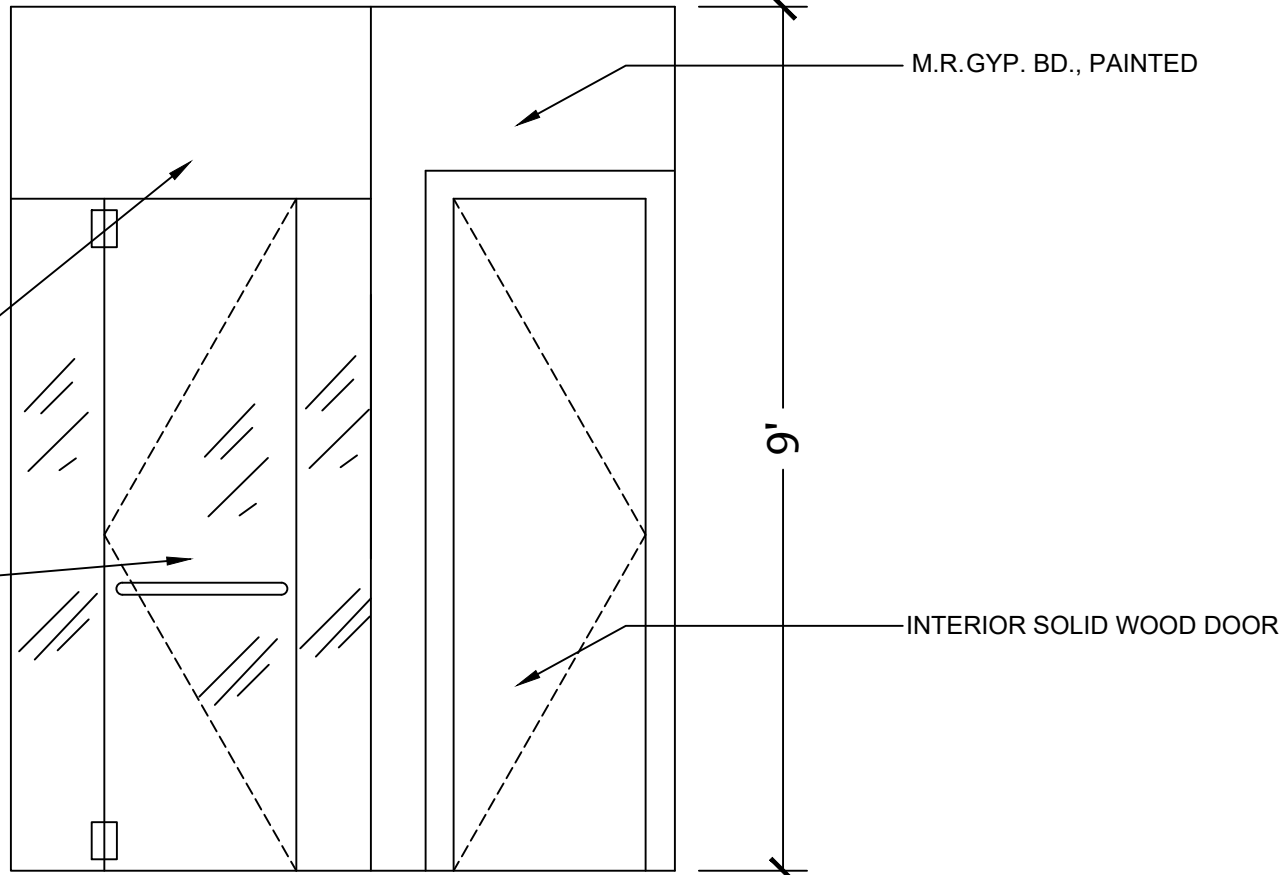
04 bath 1

SCALE 1/2" = 1'-0"



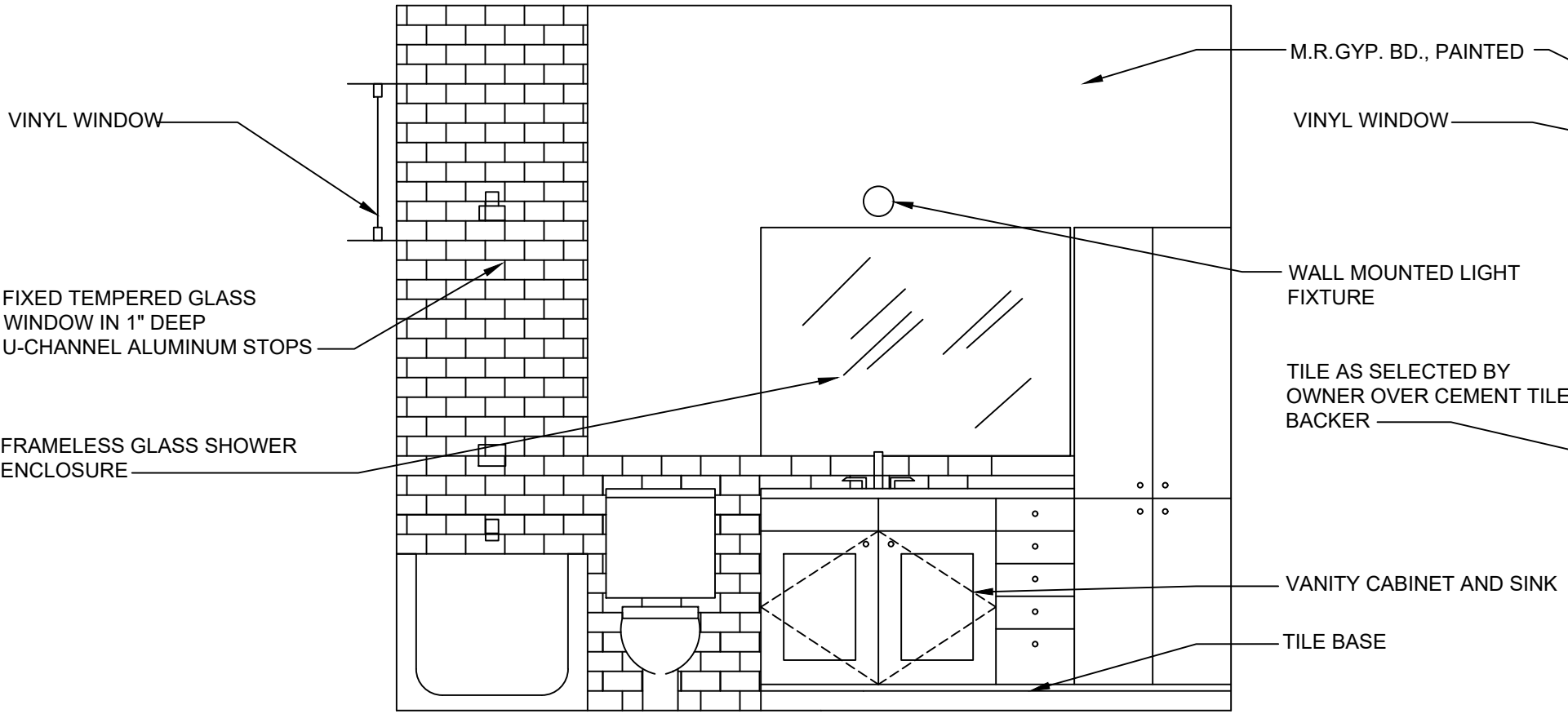
05 bath 1

SCALE 1/2" = 1'-0"



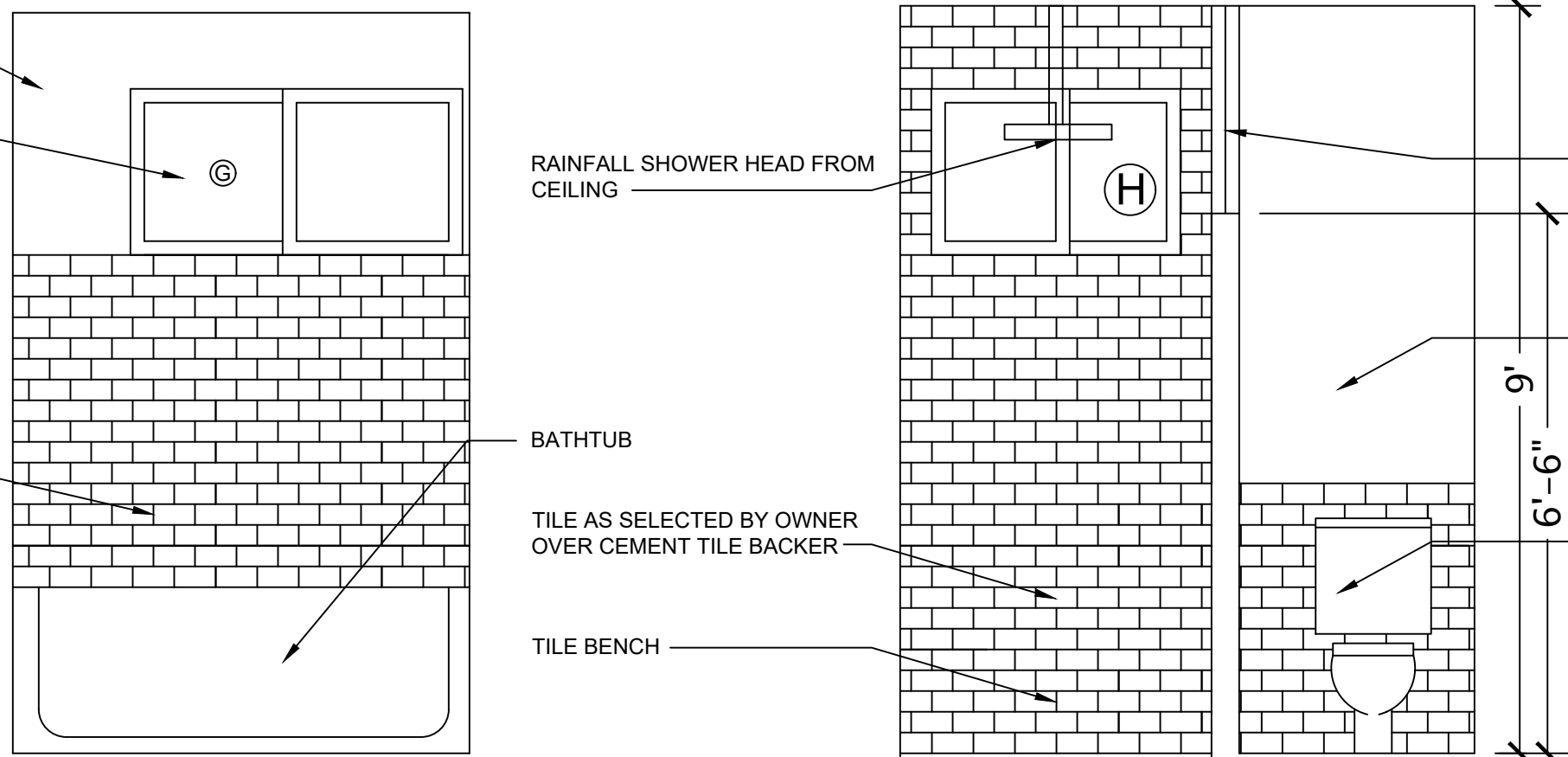
06 bath 2

SCALE 1/2" = 1'-0"



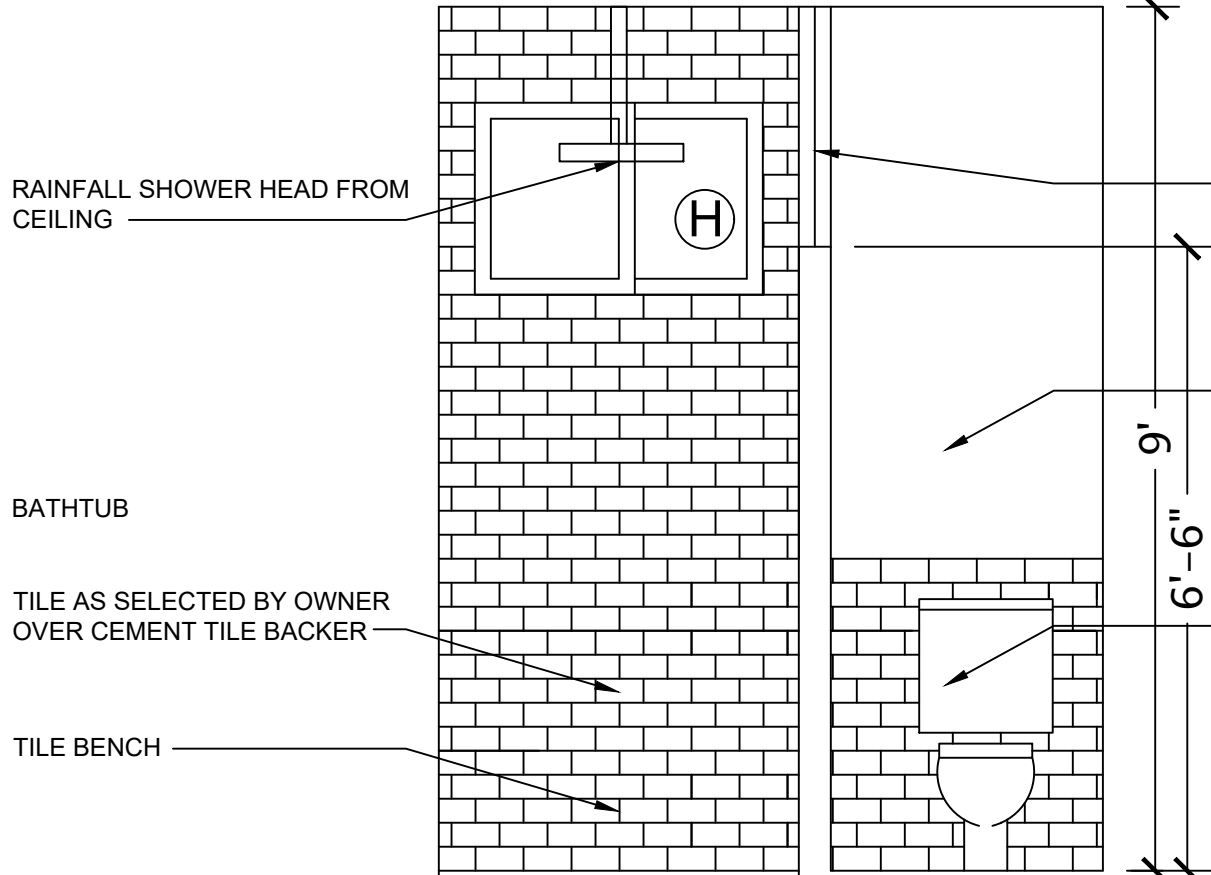
07 bath 2

SCALE 1/2" = 1'-0"



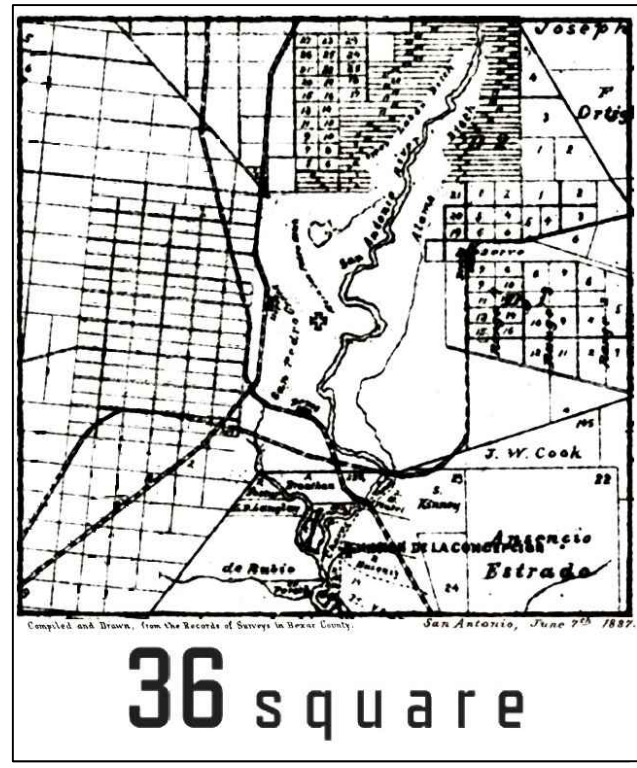
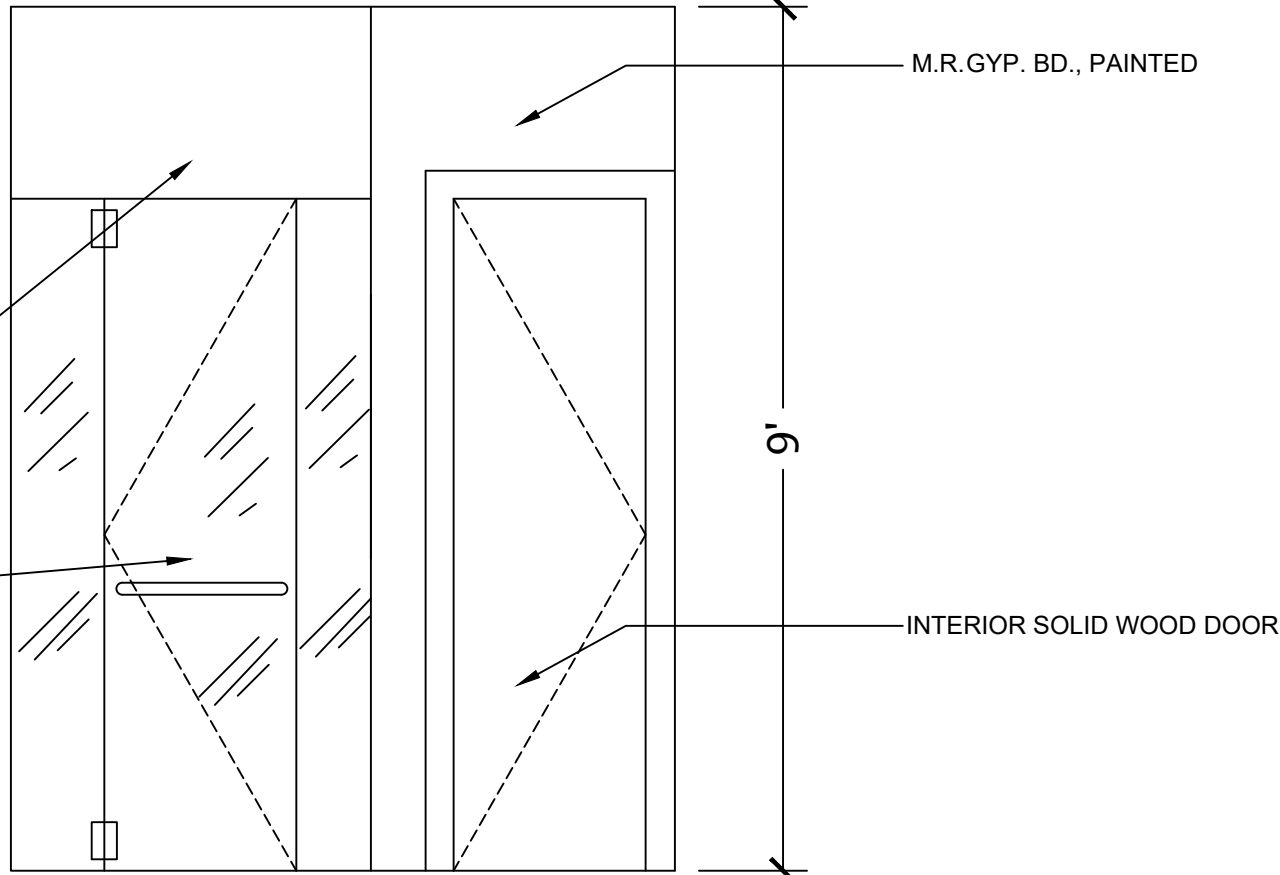
08 bath 1

SCALE 1/2" = 1'-0"



09 bath 1

SCALE 1/2" = 1'-0"



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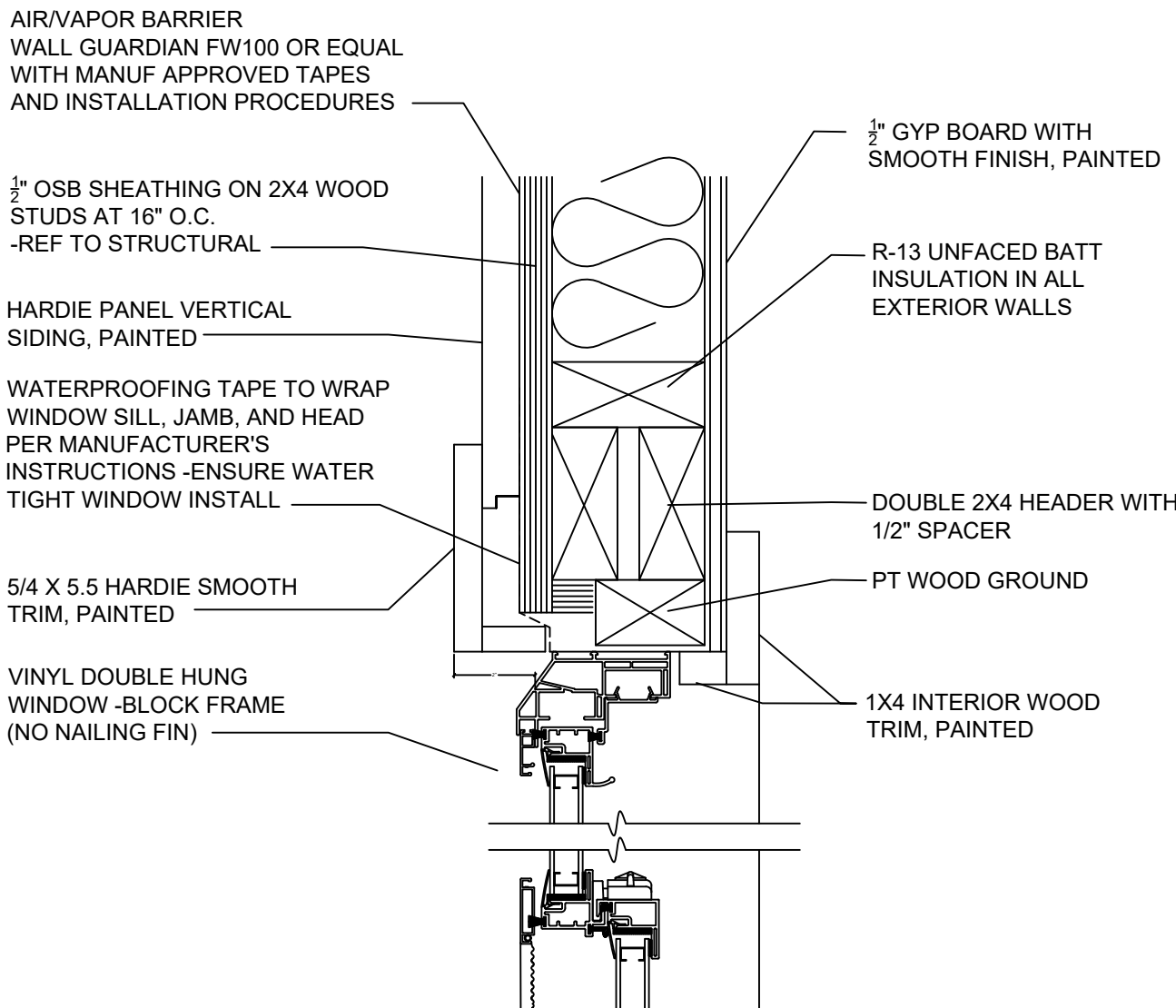
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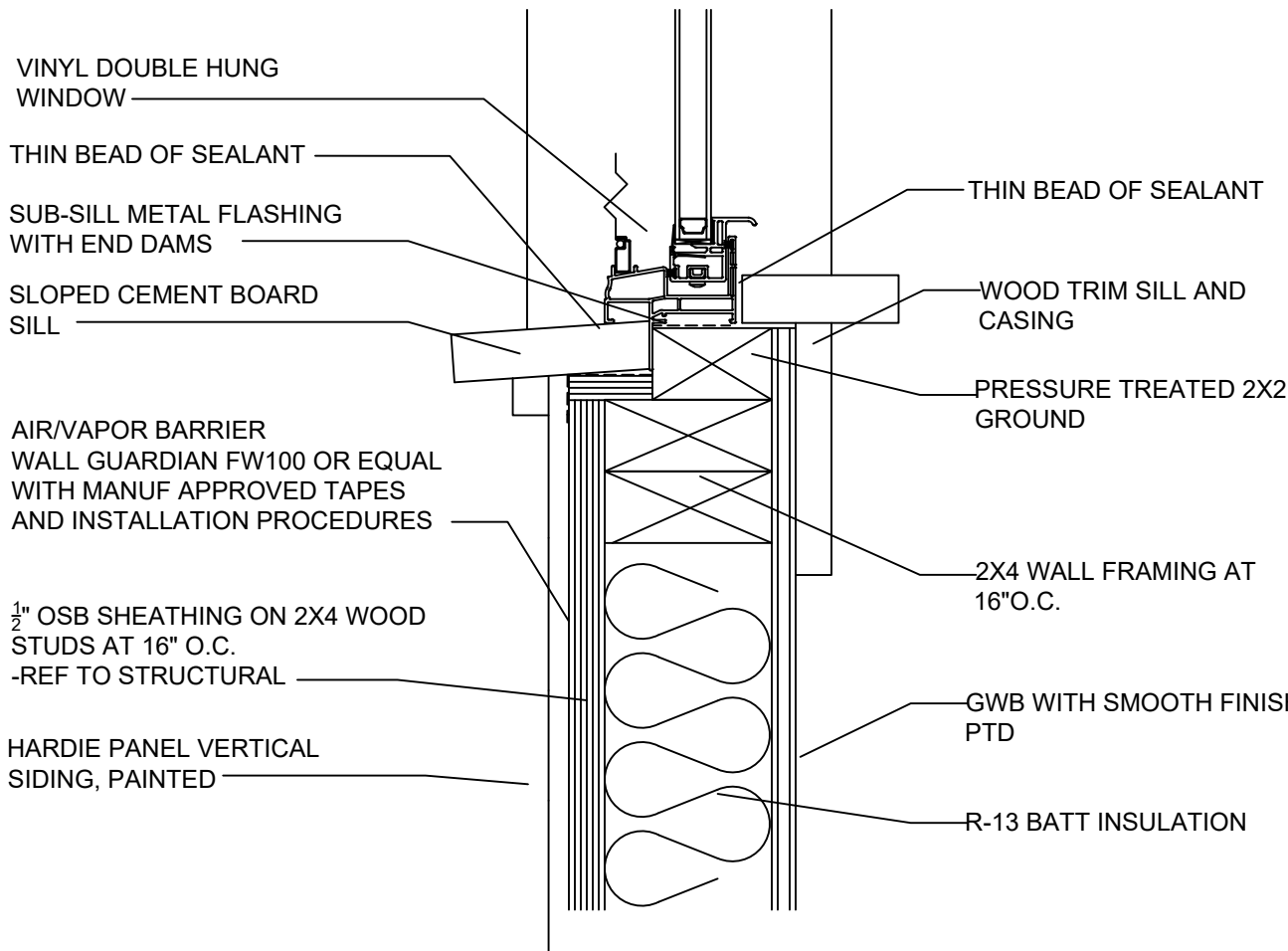
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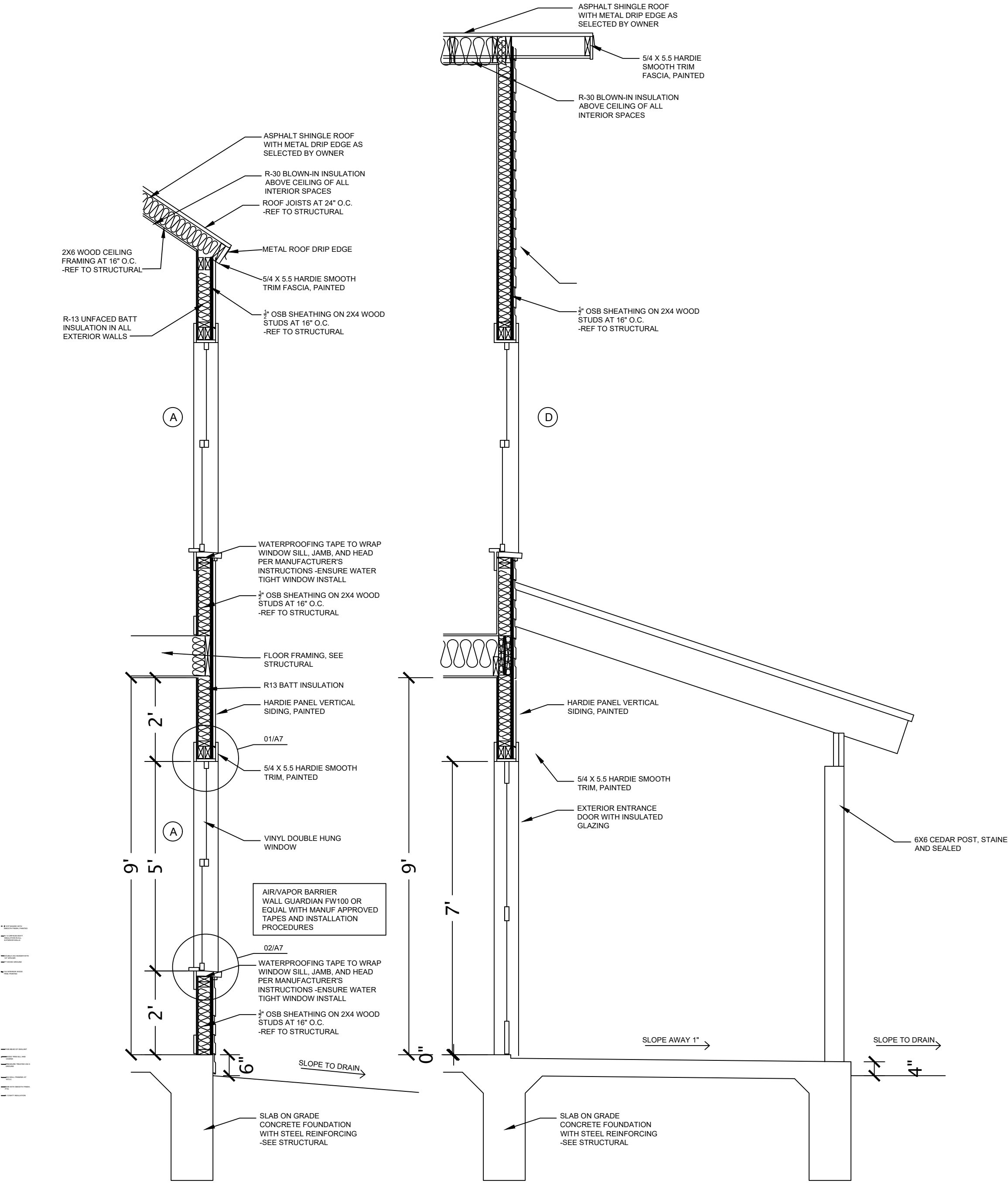
A6



01 WINDOW HEAD
SCALE 1/2" = 1'-0"

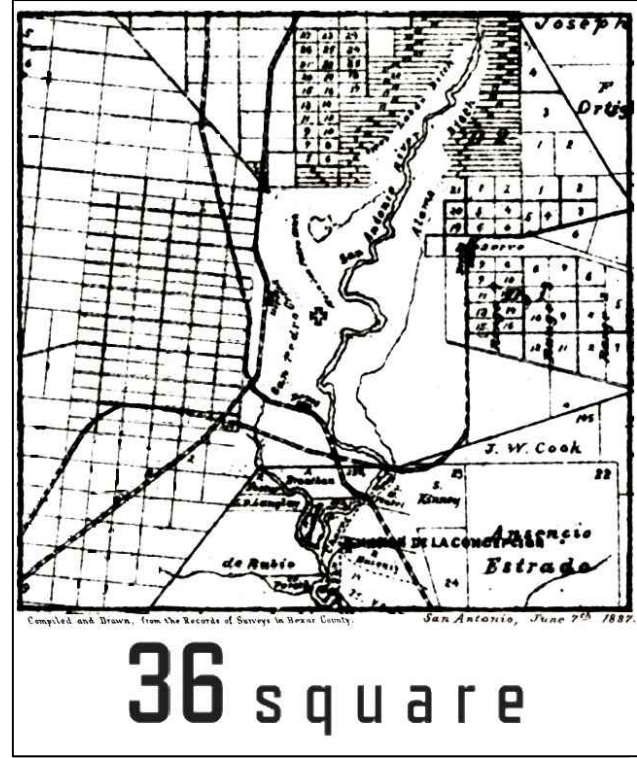


02 WINDOW SILL
SCALE 3" = 1'-0"



03 WALL SECTION
SCALE 3" = 1'-0"

04 WALL SECTION
SCALE 3" = 1'-0"



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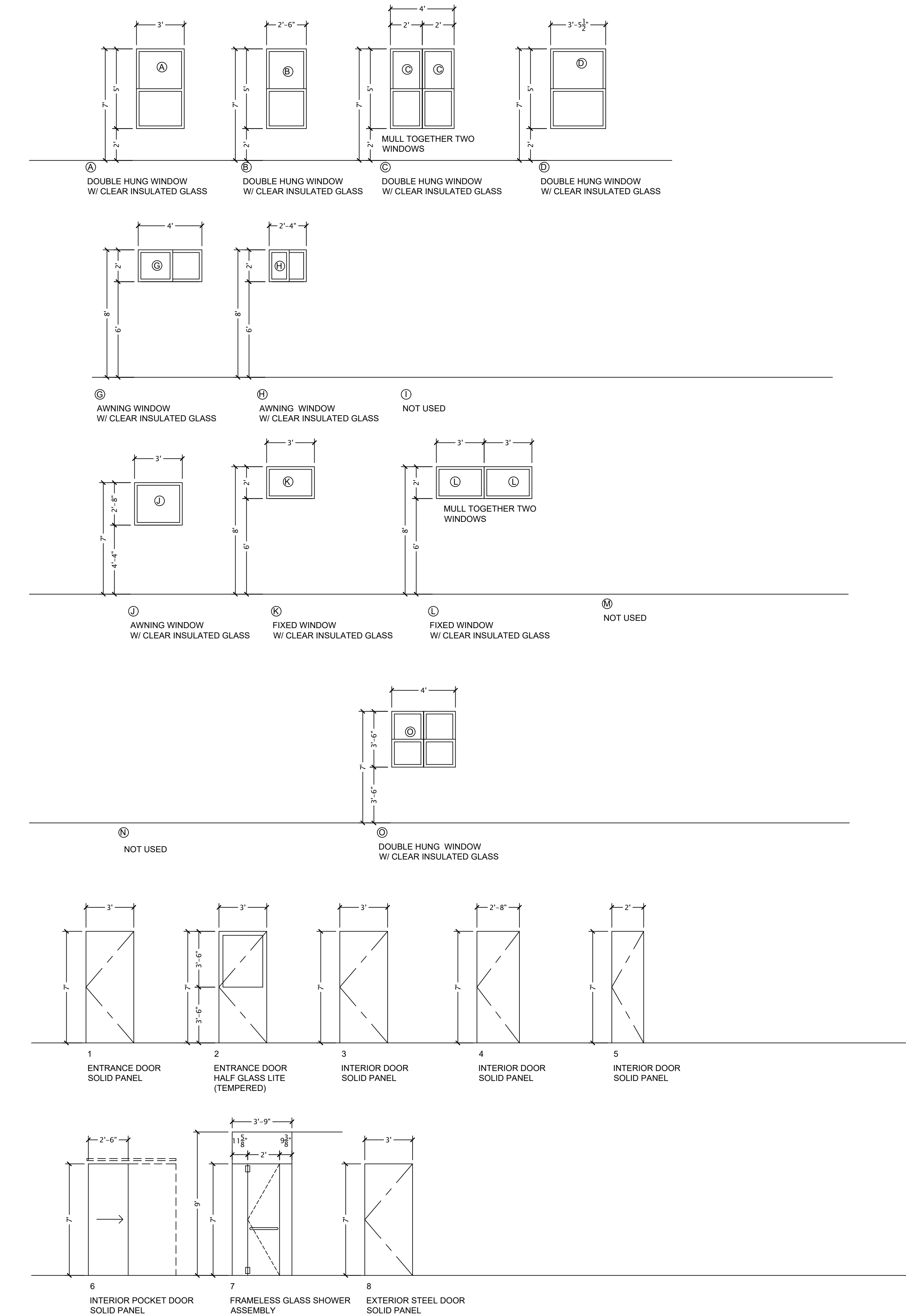
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01 WINDOW AND DOOR ELEVATIONS

SCALE 1-1/2" = 1'-0"

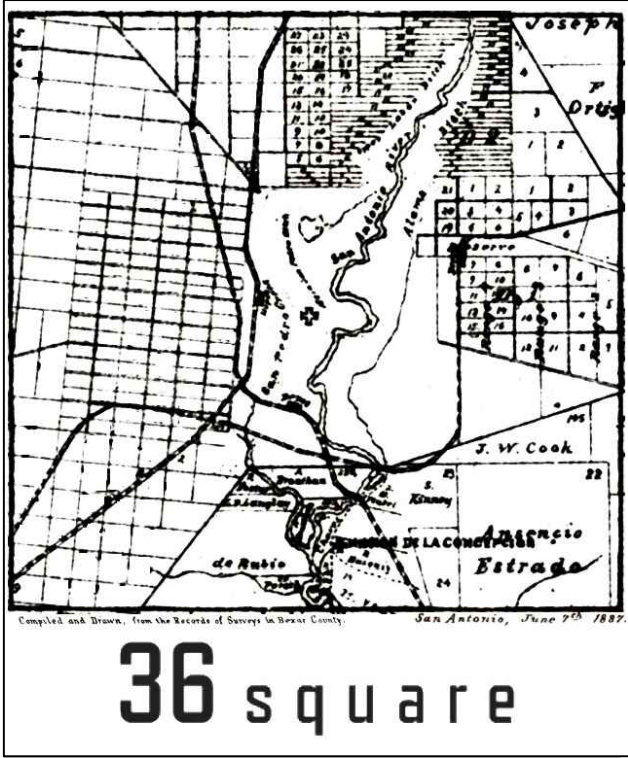
WINDOW SCHEDULE

WINDOW LABEL	WINDOW SIZE	MANUF/ MODEL #	WINDOW STYLE	WINDOW MATERIAL	INSTALL OPTION	EXT FINISH	INT FINISH	GLAZING	U-FACTOR	SHGC	SCREEN
A	36 X 60	PELLA - LIFESTYLE SERIES	DOUBLE HUNG	WOOD/ ALUM CLAD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	YES
B	30 X 60	PELLA - LIFESTYLE SERIES	DOUBLE HUNG	WOOD/ ALUM CLAD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	YES
C	24 X 60	PELLA- LIFESTYLE SERIES	DOUBLE HUNG	WOOD/ ALUM CLAD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	YES
D	41.5 X 60	PELLA - LIFESTYLE SERIES	DOUBLE HUNG	WOOD/ ALUM CLAD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	YES
E	48 X 60	PELLA - LIFESTYLE SERIES	FIXED	WOOD/ ALUM CLAD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	NO
F	60 X 60	PELLA - LIFESTYLE SERIES	FIXED	WOOD/ ALUM CLAD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	NO
G	48 X 24	PELLA - LIFESTYLE SERIES	AWNING	WOOD/ ALUM CLAD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	NO
H	28 X 24	PELLA - LIFESTYLE SERIES	AWNING	WOOD/ ALUM CLAD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	NO
I	NOT USED										
J	36 X 32	PELLA - LIFESTYLE SERIES	AWNING	S.C. WOOD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	NO
K	36 X 24	PELLA - LIFESTYLE SERIES	FIXED	S.C. WOOD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	NO
L	72 X 24	PELLA - LIFESTYLE SERIES	FIXED	S.C. WOOD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	NO
M	NOT USED										
N	NOT USED										
O	36 X 24	PELLA - LIFESTYLE SERIES	AWNING	S.C. WOOD	BLOCK FRAME	ALUM CLAD	PAINT	$\frac{1}{8}''$ SUN DEFENSE LOW-E IG ARGON FILLED	0.28	0.24	NO

DEDUCTIVE ALTERNATE: IN LIEU OF PELLA WOOD WINDOW, PROVIDE A DEDUCTIVE ALTERNATE PRICE FOR JELD-WEN VINYL WINDOW IN SAME STYLE, GLAZING, FUNCTIONS, AND OPTIONS.

DOOR SCHEDULE

DOOR #	ROOM	DOOR SIZE	DOOR ELEV	DOOR MATERIAL	FINISH	GLAZING	FRAME MATERIAL	FRAME FINISH	WEATHER- STRIP	CLOSER	HARDWARE
D100	FRONT/ FOYER	36 X 84 X 1 3/4	1	S.C. WOOD ALUM CLAD	INT PAINT	N/A	WOOD	PAINT	YES	NO	DEADBOLT, KEYED ENTRY LEVER, THRESHOLD, PEEPHOLE
D101	LAUNDRY	36 X 84 X 1 3/4	3	S.C. WOOD	PAINT	N/A	WOOD	PAINT	YES	NO	PASSAGE LEVER
D102	CLOSET	24 X 84 X 1 3/4	5	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	KEYED LEVER
D103	BATH	32 X 84 X 1 3/4	4	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	PRIVACY LEVER
D104	W/H	24 X 84 X 1 3/4	5	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	KEYED LEVER
D105	A/C	24 X 84 X 1 3/4	5	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	KEYED LEVER
D106	SIDE/ HALL	36 X 84 X 1 3/4	2	S.C. WOOD	INT PAINT	1 LITE	WOOD	PAINT	YES	NO	DEADBOLT, KEYED ENTRY LEVER, THRESHOLD
D107	BR#2	36 X 84 X 1 3/4	3	S.C. WOOD	PAINT	N/A	WOOD	PAINT	YES	NO	PRIVACY LEVER
D108	M.BR	36 X 84 X 1 3/4	3	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	PRIVACY LEVER
D109	CLOSET	32 X 84 X 1 3/4	4	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	KEYED LEVER
D110	REAR DOOR	36 X 84 X 1 3/4	2	S.C. WOOD	INT PAINT	1 LITE	WOOD	PAINT	YES	NO	DEADBOLT, KEYED ENTRY LEVER, THRESHOLD
D111	BATH	32 X 84 X 1 3/4	4	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	POCKET DOOR ASSEMBLY
D112	SHOWER	SEE INT ELEVS	7	FRAMELESS GLASS	N/A	FRAMELESS GLASS	N/A	N/A	NO	NO	FRAMELESS GLASS ASSEMBLY
D113	TOILET	24 X 84 X 1 3/4	5	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	PRIVACY LEVER
D200	SINK	30 X 84 X 1 3/4	6	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	PRIVACY LEVER
D201	TOILET	30 X 84 X 1 3/4	6	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	PRIVACY LEVER
D202	PANTRY	32 X 84 X 1 3/4	4	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	PASSAGE LEVER
D203	REAR DOOR	36 X 84 X 1 3/4	2	S.C. WOOD	INT PAINT	1 LITE	WOOD	PAINT	YES	NO	DEADBOLT, KEYED ENTRY LEVER, THRESHOLD
D204	A/C	24 X 84 X 1 3/4	5	S.C. WOOD	PAINT	N/A	WOOD	PAINT	NO	NO	KEYED LEVER
D205	STORAGE	36 X 84 X 1 3/4	8	STL.	PAINT	N/A	WOOD	PAINT	YES	NO	DEADBOLT, KEYED ENTRY LEVER, THRESHOLD



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MAY 15, 2025

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new home at
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san antonio, texas 78210

drawn by
alan neff, ra, leed ap
issue
PERMIT/ CONSTRUCTION
HDRC REVISIONS 5/15/2025

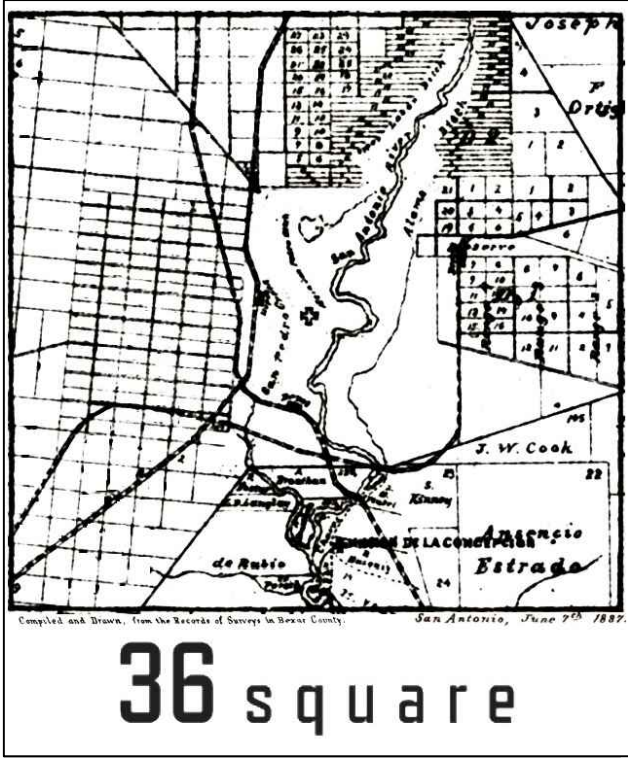
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ROOM FINISH SCHEDULE

ROOM		FLOOR	BASE				WALL				CEILING		REMARKS
FLOOR	NAME		N	E	S	W	N	E	S	W	FINISH	HEIGHT	
1ST	FOYER	F-1	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	9'-0"	
	STAIR	F-3	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	VARIES	
	LAUNDRY	F-1	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	9'-0"	
	CLOSET	F-1	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	9'-0"	
	BATH	F-1	B-2	B-2	B-2	B-2	W-2	W-2	W-2	W-2	C-1	9'-0"	
	HALL	F-1	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	9'-0"	
	A/C	F-1	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	9'-0"	
	WH	F-1	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	9'-0"	
	CLOSET 2	F-1	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	9'-0"	
	BEDROOM 2	F-1	B-1	-	B-1	B-1	W-1	W-4	W-1	W-1	C-1	9'-0"	
	MASTER BEDROOM	F-1	-	B-1	B-1	B-1	W-1/4	W-1	W-1	W-1	C-1/2	9'-0"	
	CLOSET	F-1	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	9'-0"	
	MASTER BATH	F-1	B-2	B-2	B-2	B-2	W-2	W-2	W-2	W-2	C-1	9'-0"	
	SHOWER	F-1	B-2	B-2	B-2	B-2	W-2	W-2	W-2	W-2	C-1	9'-0"	
	TOILET	F-1	B-2	B-2	B-2	B-2	W-2	W-1/2	W-1/2	W-1/2	C-1	9'-0"	
2ND	LIVING	F-2	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	VARIES	
	OFFICE	F-2	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	VARIES	
	DINING	F-2	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	VARIES	
	KITCHEN	F-2	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	VARIES	
	SINK	F-4	B-2	B-2	B-2	B-2	W-1/3	W-1/3	W-1/3	W-1/3	C-1	8'-0"	
	TOILET	F-4	B-2	B-2	B-2	B-2	W-1/3	W-1/3	W-1/3	W-1/3	C-1	8'-0"	
	PANTRY	F-2	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	8'-0"	
	A/C	F-2	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	VARIES	
	STORAGE	F-2	B-1	B-1	B-1	B-1	W-1	W-1	W-1	W-1	C-1	VARIES	

FINISH LEGEND

- FLOOR**
F-1 CONCRETE FOUNDATION WITH STAIN AND SEALER
F-2 FLOATING WOOD FLOOR
F-3 OAK TREADS AND RISERS, STAIN/SEAL
F-4 TILE FLOOR
- BASE**
B-1 1X4 WOOD BASE, PAINTED (SEMI-GLOSS FINISH)
B-2 TILE BASE
- WALL**
W-1 GYPSUM WALL BOARD WITH SMOOTH FINISH, PAINTED (SATIN FINISH)
W-2 TILE #1 AS SELECTED BY OWNER
W-3 TILE #2 AS SELECTED BY OWNER
W-4 DECORATIVE WOOD ACCENT WALL (CONFIRM DESIGNS WITH OWNER)
- CEILING**
C-1 GYPSUM WALL BOARD WITH SMOOTH FINISH, PAINTED (SATIN FINISH)
C-2 DECORATIVE WOOD ACCENT CELING (CONFIRM DESIGNS WITH OWNER)



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