



# **Board of Adjustment** **Notification Plan for** **Case No A-25-10300011**



San Antonio City Limits  
 Subject Property  
 200' Notification Boundary  
 Council District: 2/10



1 inch equals 150 feet  
 "NOT TO SCALE,  
 FOR ILLUSTRATIVE PURPOSES ONLY"  
 Development Services Department  
 City of San Antonio

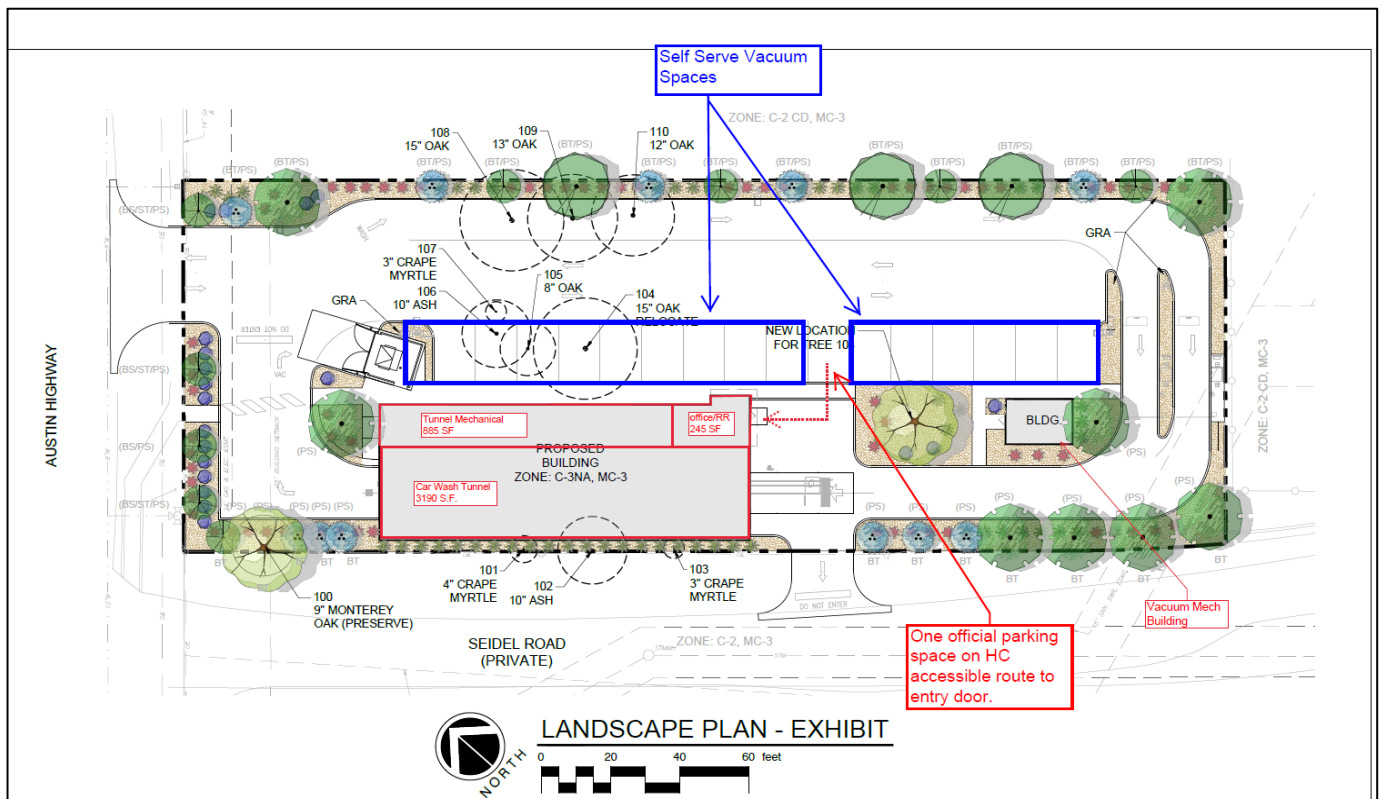


## BOA-25-10300011- 1250 Austin Highway

Zoned: "C-3 MC-3 AHOD" General Commercial Austin Highway/Harry Wurzbach (TAPS Memorial Boulevard) Metropolitan Corridor Overlay Airport Hazard Overlay District

### Requested Variances:

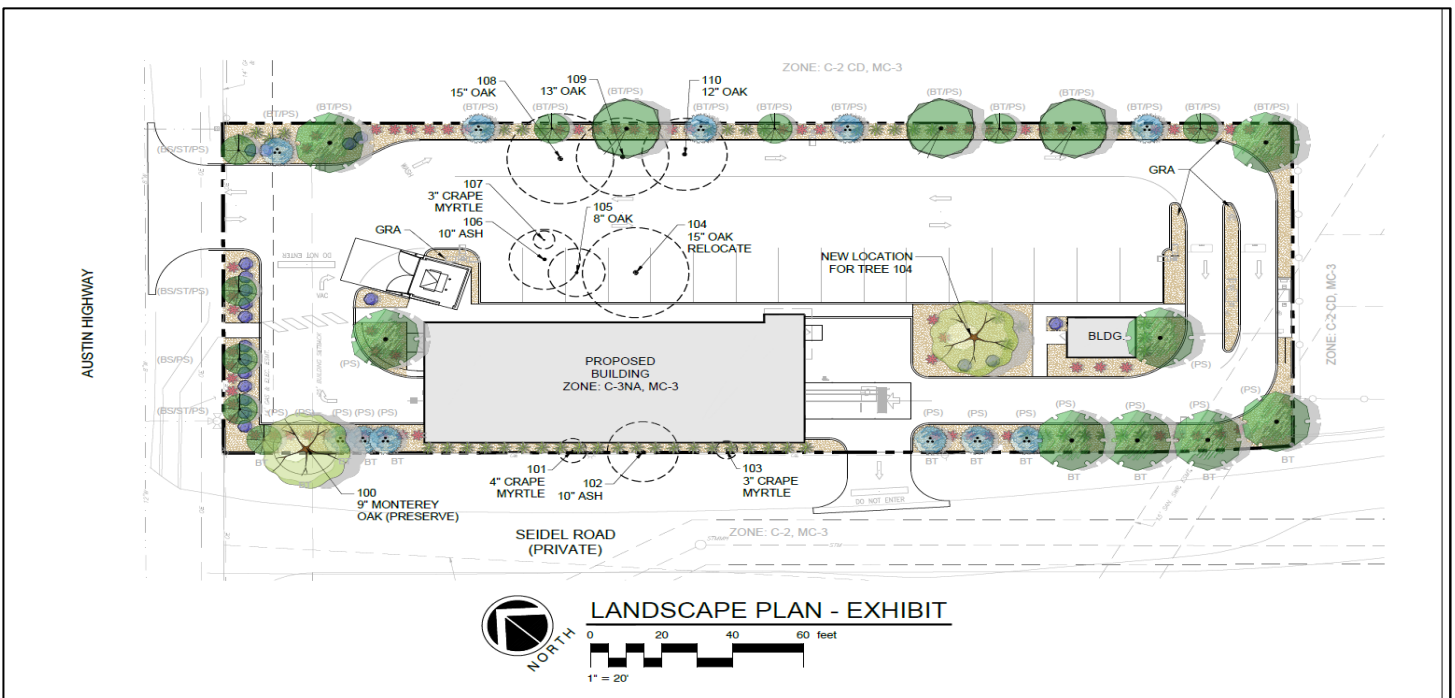
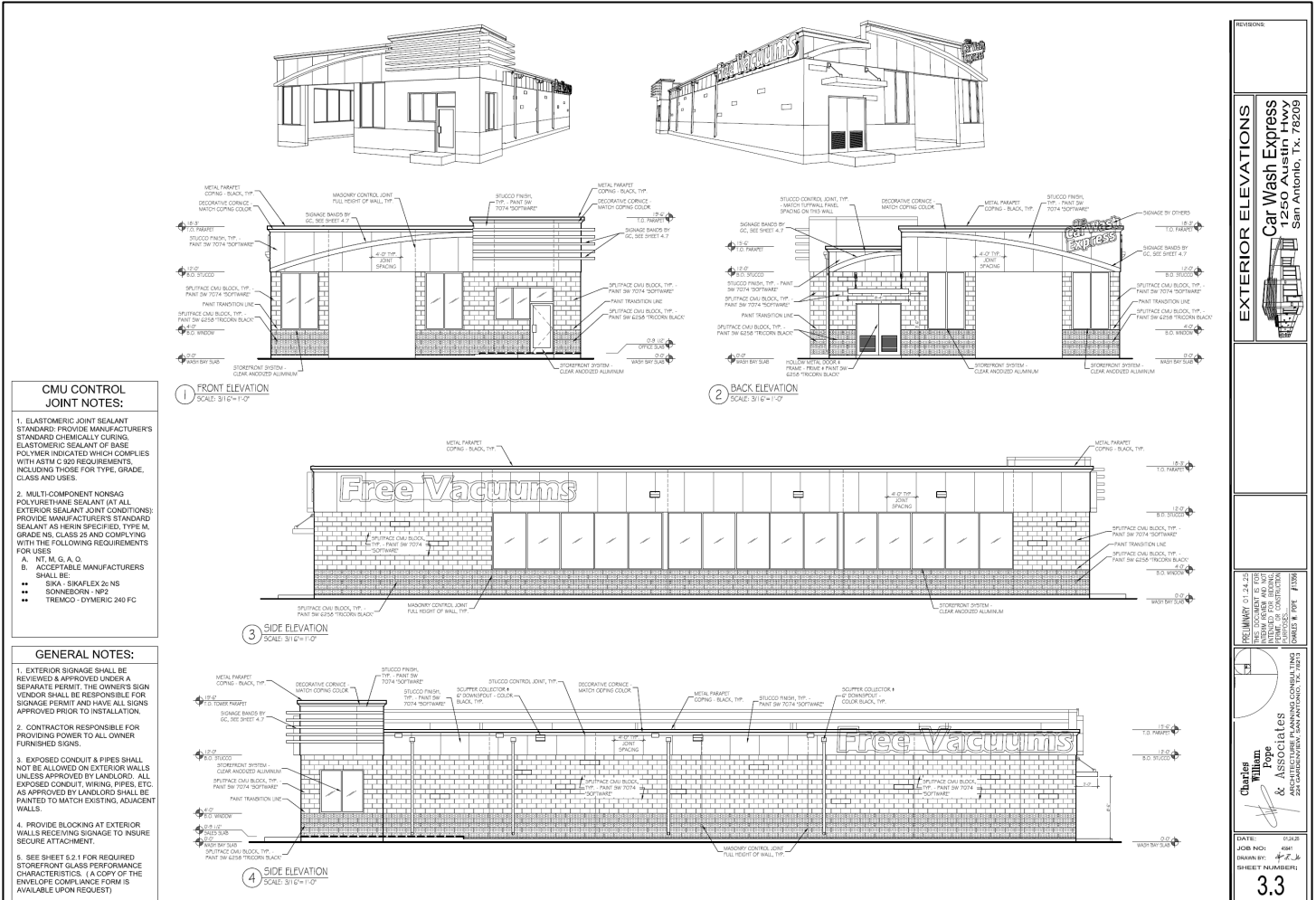
- 1) a 17' variance from the maximum 40' MC-3 Austin Hwy Metropolitan Corridor front setback to allow a structure to be 57' from the front property line.
- 2) a 15' variance from the minimum 20' MC-3 Austin Highway Metropolitan Corridor side setback to allow a structure to be 5' from the west side property line.
- 3) a 3' and 10' variance from the minimum 10' MC-3 Austin Highway Corridor landscape buffer to allow a 7' landscape buffer, with landscape buffer elimination along the building, on the west side of property.
- 4) a 5' variance application from the minimum 10' MC-3 Austin Highway Corridor landscape buffer to allow for a 5' landscape buffer on the east side of the property.
- 5) a request for a 6 parking spaces variance from the minimum 7 required parking spaces to allow 1 parking space.
- 6) a 2% impervious cover variance to from the maximum 80% impervious cover to allow 82% impervious coverage in the front yard.
- 7) a variance from the MC-3 Austin Hwy Metropolitan Corridor to allow a dumpster to be located in the front of the property.
- 8) an 11' variance from the maximum 40' MC-3 Austin Highway Metropolitan Corridor front setback to allow a dumpster to be 51' from the front property line.



# BOA-25-10300011 Site Plan

1250 Austin Highway

Zoned: "C-3 MC-3 AHOD" General Commercial Austin Highway/Harry Wurzbach (TAPS Memorial Boulevard) Metropolitan Corridor Overlay Airport Hazard Overlay District





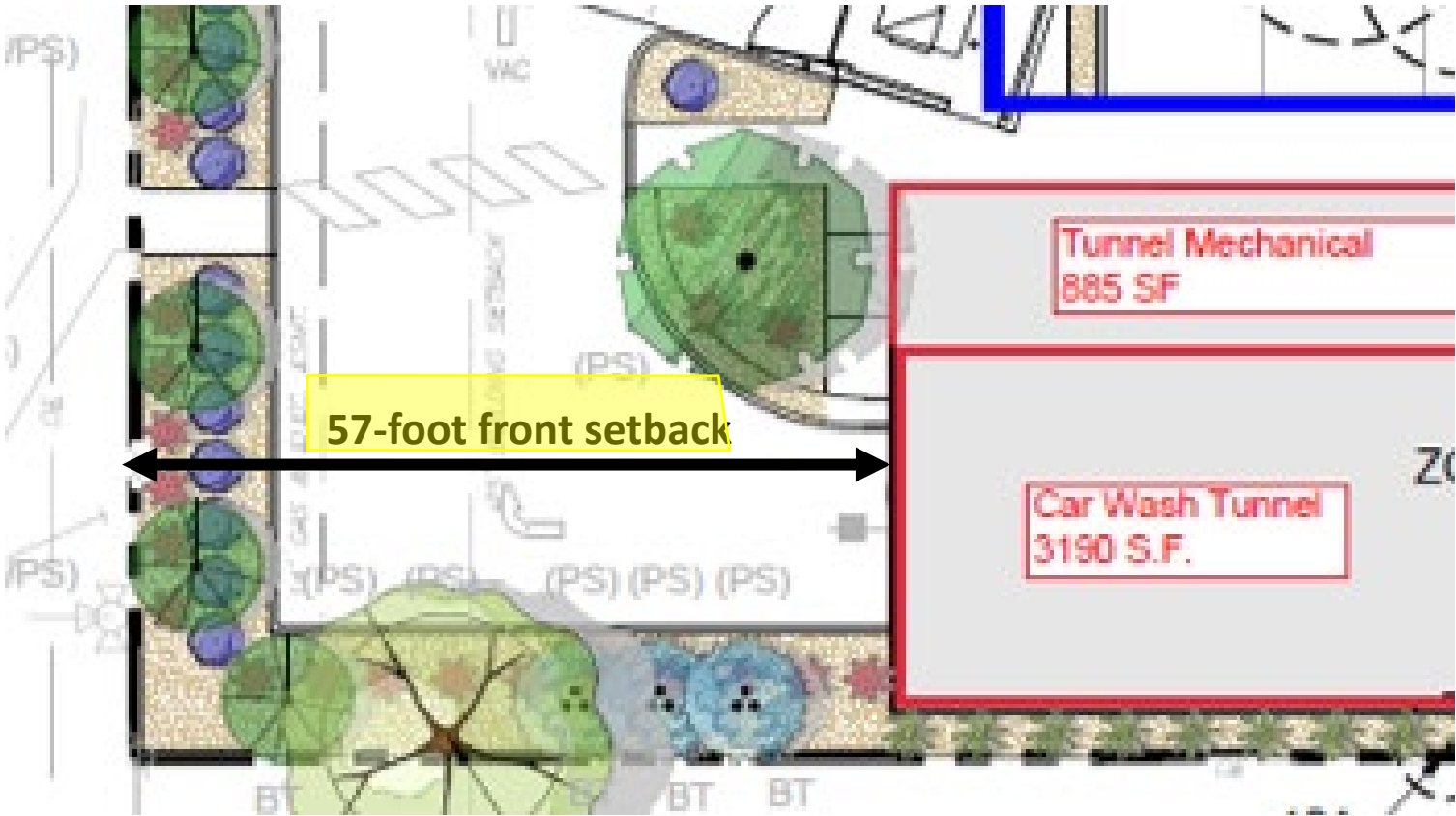
- 1) a 17’ variance from the maximum 40’ MC-3 Austin Hwy Metropolitan Corridor front setback to allow a structure to be 57’ from the front property line.

A. Site & Building Dimensions

A.1. Building setbacks, height, and maximum percent of impervious cover are established in Table A-1 below.

TABLE A-1: SITE & BUILDING DIMENSIONS

	Front Setback (ft)		Minimum Side Setback (ft)		Maximum Building Height (ft)	Maximum Percent of Impervious Cover
	Minimum	Maximum	Lots less than 80 feet wide	Lots 80 feet wide or more		
Austin Highway	20	40	10	20	40 <sup>2</sup>	80% <sup>3</sup>
Harry Wurzbach	NA <sup>1</sup>	NA <sup>1</sup>				



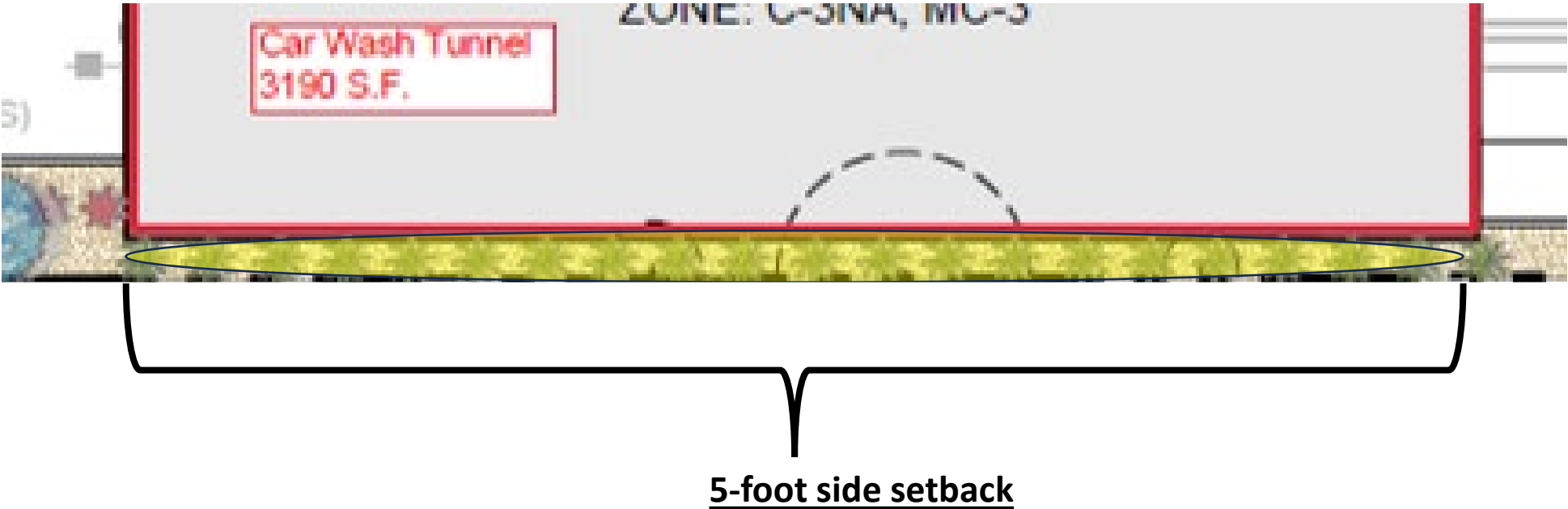
2) a 15' variance from the minimum 20' MC-3 Austin Highway Metropolitan Corridor side setback to allow a structure to be 5' from the west side property line.

A. Site & Building Dimensions

A.1. Building setbacks, height, and maximum percent of impervious cover are established in Table A-1 below.

TABLE A-1: SITE & BUILDING DIMENSIONS

	Front Setback (ft)		Minimum Side Setback (ft)		Maximum Building Height (ft)	Maximum Percent of Impervious Cover
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Austin Highway	20	40	10	20	40 <sup>2</sup>	80% <sup>3</sup>
Harry Wurzbach	NA <sup>1</sup>	NA <sup>1</sup>				





3) a 3' and 10' variance from the minimum 10' MC-3 Austin Highway Corridor landscape buffer to allow a 7' landscape buffer, with landscape buffer elimination along the building, on the west side of property.

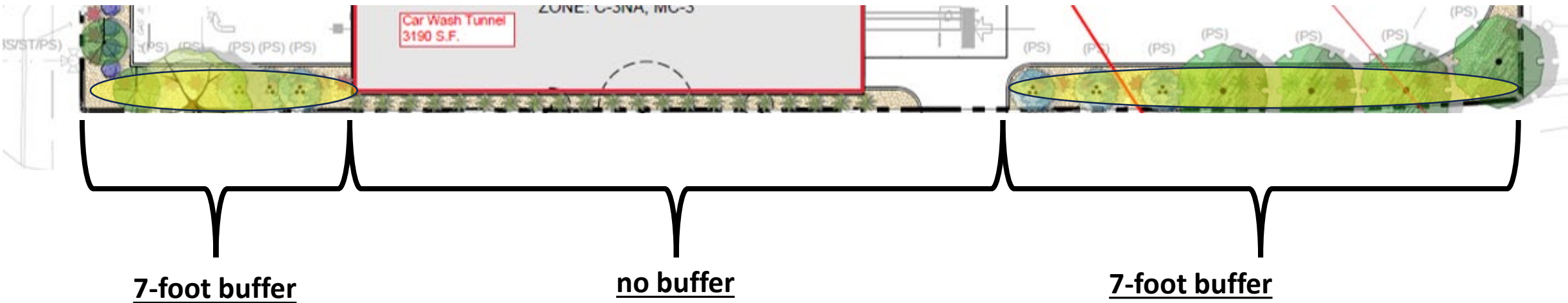
J.9. Bufferyards shall be located within the property line along the front, side, and rear of the property line and shall be:

- Type B in the front yard;
- Type A in the side yard; and



TABLE J.9.: MINIMUM PLANT MATERIALS REQUIRED FOR EACH BUFFERYARD TYPE

Bufferyard Type	Minimum Width	Trees		Shrubs		
		Canopy	Understory <sup>1</sup>	Large <sup>2</sup>	Medium <sup>3</sup>	Small <sup>4</sup>
A	10	2	2	-	-	16
Option	10	2	2	-	8	-
B	15	2	2	8	12	-
Option	15	2	2	6	8	6



4) a 5’ variance application from the minimum 10’ MC-3 Austin Highway Corridor landscape buffer to allow for a 5’ landscape buffer on the east side of the property.

J.9. Bufferyards shall be located within the property line along the front, side, and rear of the property line and shall be:

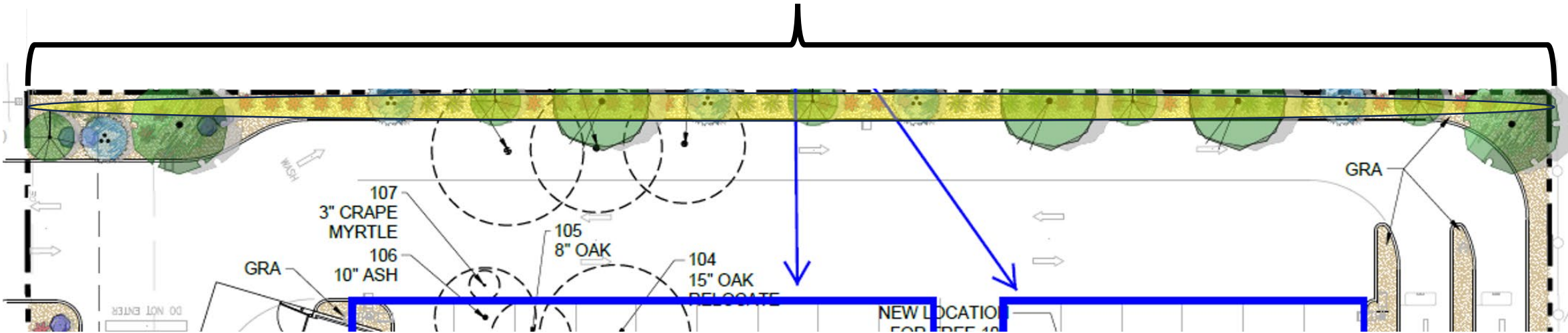
- Type B in the front yard;
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5-foot buffer



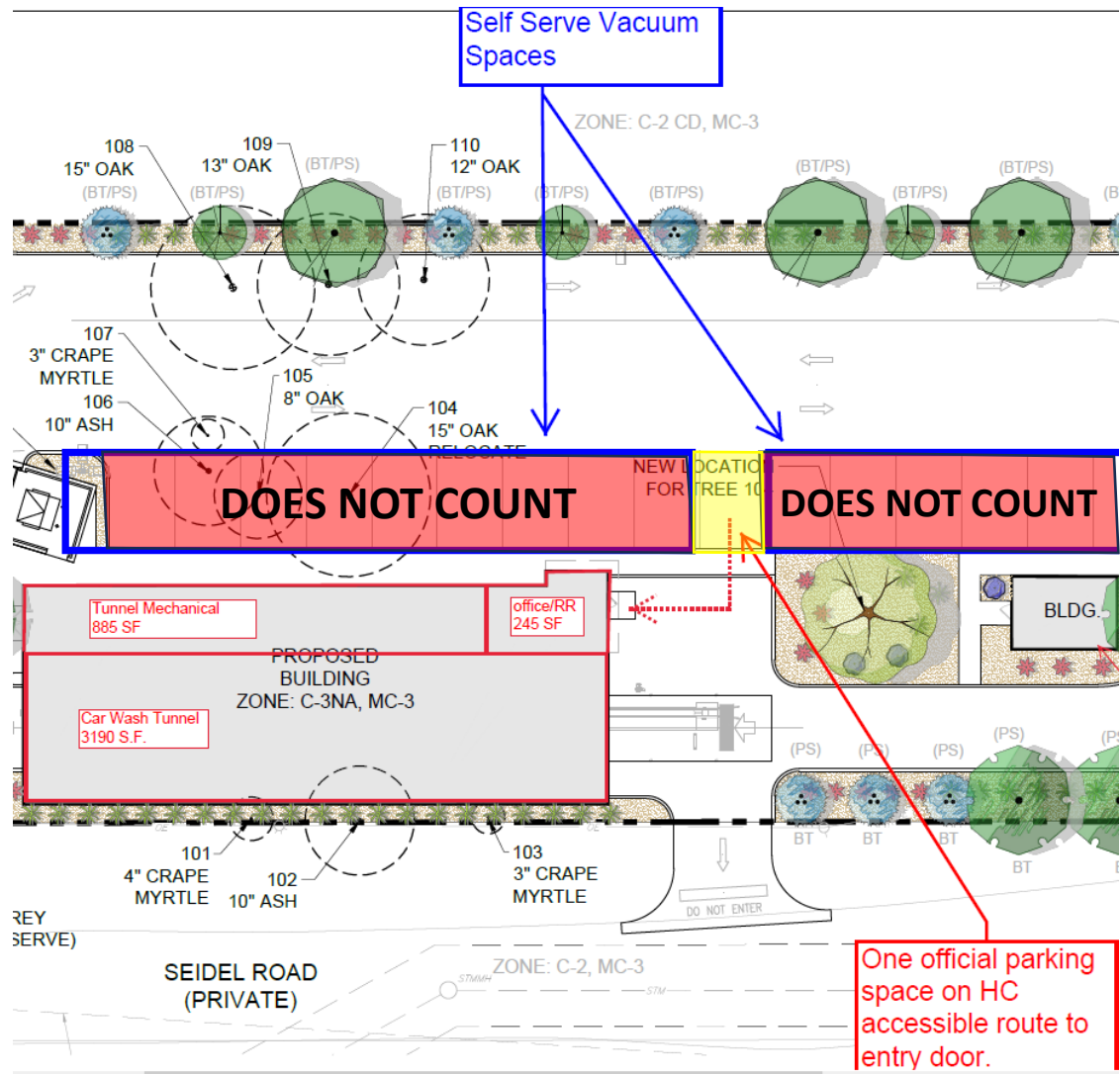


5) a request for a 6 parking spaces variance from the minimum 7 required parking spaces to allow 1 parking space.

CARWASH	1 per 500 sf GFA including service bays, wash tunnels and retail areas
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PROFESSIONAL OFFICE	1 per 300 sf GFA
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CAR WASH TUNNEL 3190/500 = 6  
OFFICE 245/300 = 1  
TOTAL 7

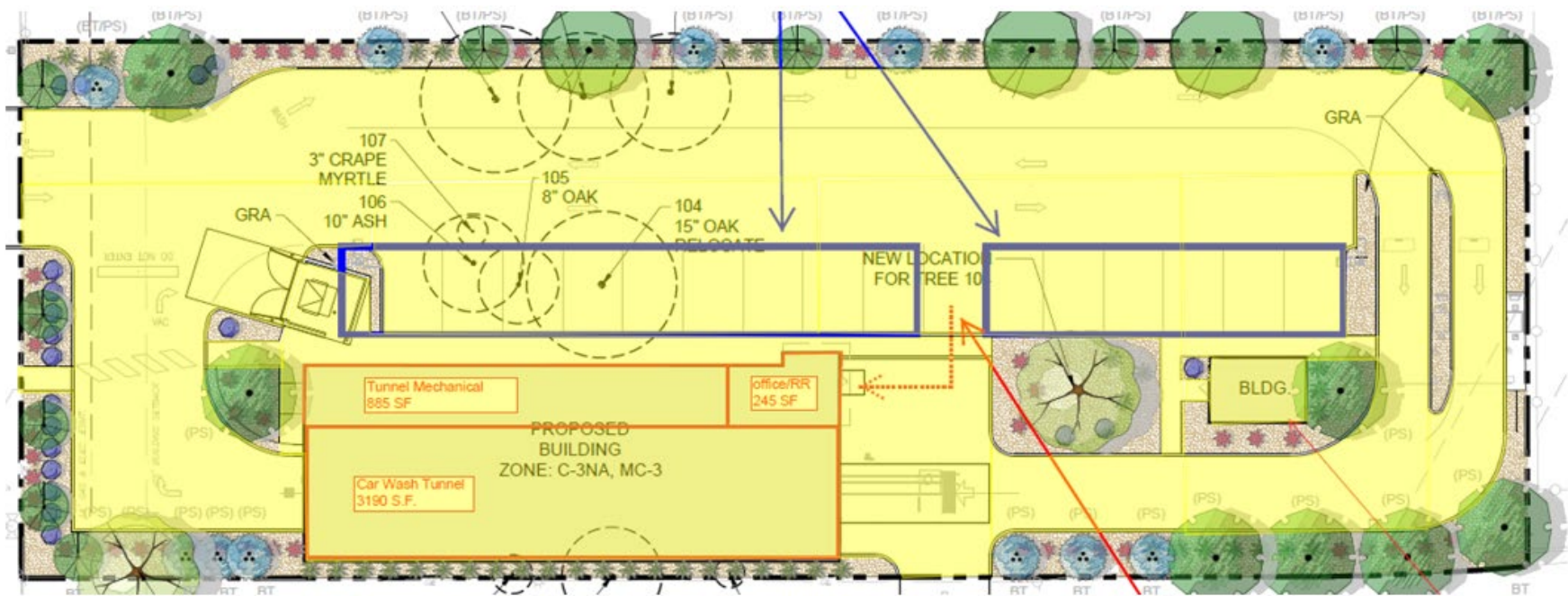


6) a 2% impervious cover variance to from the maximum 80% impervious cover to allow 82% impervious coverage in the front yard.

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Bufferyard Type	Minimum Width	Trees		Shrubs		
		Canopy	Understory <sup>1</sup>	Large <sup>2</sup>	Medium <sup>3</sup>	Small <sup>4</sup>
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Impervious cover – Roads, parking areas, buildings, pools, patios, sheds, driveways, private sidewalks, and other impermeable construction





- 7) a variance from the MC-3 Austin Hwy Metropolitan Corridor to allow a dumpster to be located in the front of the property.
- 8) an 11' variance from the maximum 40' MC-3 Austin Highway Metropolitan Corridor front setback to allow a dumpster to be 51' from the front property line.

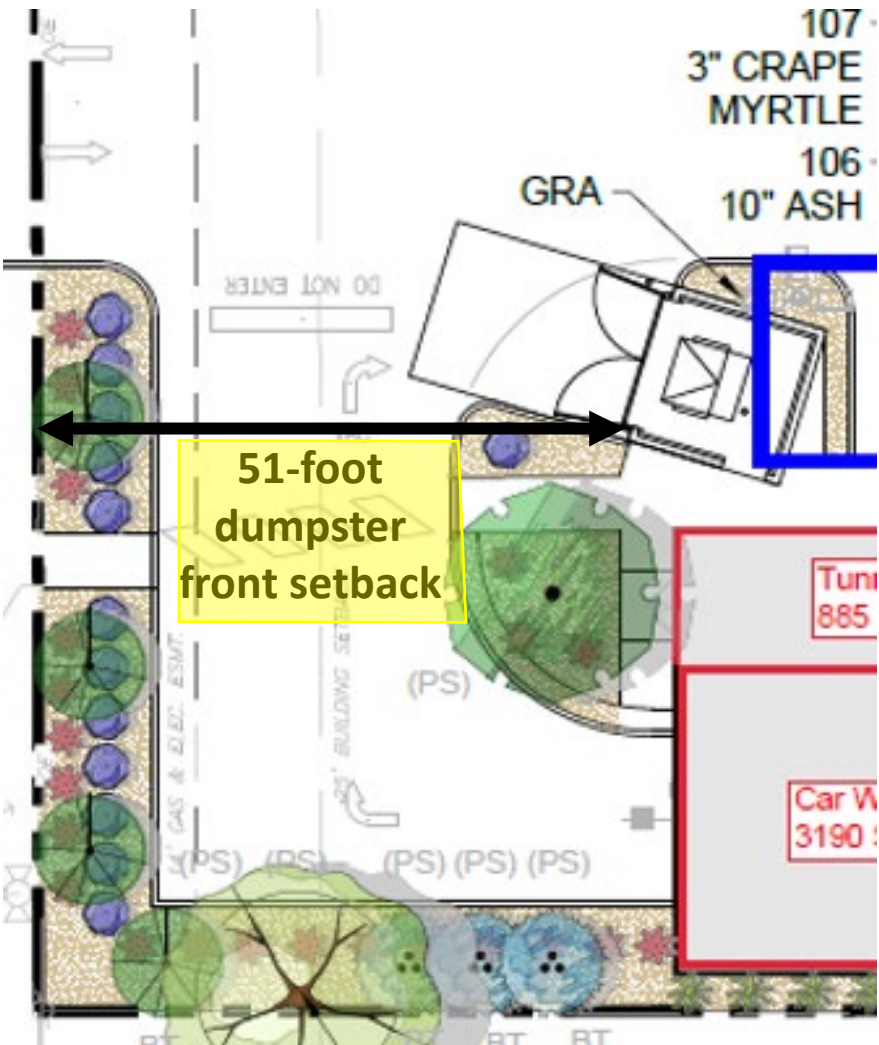
M.4. Trash collection areas or dumpsters are preferred to be incorporated into the building envelope. Where the trash collection area or dumpster cannot be incorporated into the building envelope, trash collection area or dumpsters shall be located in the rear yard or side yard and shall be located a minimum of twenty (20) feet from any residentially zoned property.

### A. Site & Building Dimensions

A.1. Building setbacks, height, and maximum percent of impervious cover are established in Table A-1 below.

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**BOA-25-10300011**  
1250 Austin Highway

Existing Structure /Automatic Carwash





**BOA-25-10300011**

Subject Property













BOA-25-10300011

Front of Subject Property





**BOA-25-10300011**

Rear of Subject Property





BOA-25-10300011

## Aerial View /Surrounding Area





**BOA-25-10300011**

Surrounding Area

Intersection: Austin Highway and Seidel Road





BOA-25-10300011

Surrounding Area

Austin Highway towards Mt Calvary Drive





View from Seidel Road





**BOA-25-10300011**

Surrounding Area

Austin Highway towards North Vandiver Road





BOA-25-10300011

Surrounding Area

Austin Highway towards North Vandiver Road



Views Across from 1250 Austin Highway

