

HISTORIC AND DESIGN REVIEW COMMISSION

February 05, 2025

HDRC CASE NO: 2025-023
ADDRESS: 403 STIEREN ST
LEGAL DESCRIPTION: NCB 944 BLK 1 LOT E 53.32 FT OF 34 & E 47.4 FT OF 35
ZONING: RM-4, H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
APPLICANT: MICHAEL PEREZ/AGUA VERDE ENTERPRISES, INC.
OWNER: MICHAEL PEREZ/PEREZ MICHAEL
TYPE OF WORK: Carport construction, front yard fence replacement, and awning installation
APPLICATION RECEIVED: January 17, 2025
60-DAY REVIEW: March 18, 2025
CASE MANAGER: Bryan Morales

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Construct an approximately 368' sf attached carport on the east façade with a maximum height of 11'.
2. Replace the existing 3' tall wood picket fence with a 6' tall wood privacy fence.
3. Install 84x30" wood-member metal awnings on the two pairs of ganged windows on the left elevation.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

11. Canopies and Awnings

A. MAINTENANCE (PRESERVATION)

i. *Existing canopies and awnings*—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Replacement canopies and awnings*—Replace canopies and awnings in-kind whenever possible.

ii. *New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).

iii. *Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.

iv. *Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.

v. *Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings.

vi. *Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.

ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.

iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.

iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.

ii. *Roof top additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.

iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.

iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.

v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure

ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.

iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

2. Fences and Walls

A. HISTORIC FENCES AND WALLS

i. *Preserve*—Retain historic fences and walls.

- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

C. PRIVACY FENCES AND WALLS

- i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.
- ii. *Location* – Do not use privacy fences in front yards.

Policy Document: Fences in Historic Districts

When new fences are appropriate to the site-specific conditions of the property, applicants must also ensure that the style, height, and configuration of the fence is also appropriate per the Historic Design Guidelines for Site Elements and the Unified Development Code 35-514.

- REAR/PRIVACY FENCE – Rear yard privacy fences should be no taller than 6 feet in height and feature wood construction. Historic evidence may support installing stone, masonry, or stucco walls. They should be set back from the front façade of the building, rather than aligning them with the front façade of the structure, to reduce their visual prominence.
- FRONT FENCE – Front yard fences should match in height of neighboring fences or be limited to 4 feet in height and be compatible with the heights of adjacent historic fences. Historic evidence may support installing stone, masonry, or stucco walls and fence bases.
- FENCE STYLES – While maintaining respect to individual architecture styles and historic districts, the most common appropriate fence type includes (a) black wrought iron, (b) painted wood picket, and (c) garden-loop.
- NONCONFORMING FENCES – Chain-link, barbed wire, corrugated metal, and make-shift fences should be avoided. Grandfathered items may be replaced with appropriate fencing, but should not be reconstructed or expanded upon.
- PEDESTRIAN GATES – Pedestrian gates should be located at the intersection of the property’s walkway and the public sidewalk. Pedestrian gates should relate to the design of the fence while maintaining a 4-foot height limit.
- VEHICLE GATES – Vehicle gates should be set behind the front façade plane of the house and not span across the front of the driveway. A Front vehicle gate may be considered if the site features an atypical condition including: (a) a wraparound porch, (b) a narrow driveway less than 10 feet wide, and/or (c) front driveways abutting rear yards or commercial properties. Electrical, mechanical, or solar collector equipment should be concealed and minimally visible if used.

FINDINGS:

- a. The property located at 403 Stieren St is a one-story, single-family residence constructed c. 1920 and first appears in the 1931 Sanborn Map. The property features a metal cross-gable roof, a large porch covering, wood window screens throughout, 117 wood siding, and a front yard open-picket wood garden fence. This property contributes to the King William Historic District.
- b. ADMINISTRATIVE APPROVAL – The applicant has requested a Certificate of Appropriateness for approval to paint the exterior, install a brick paver walkway, install a setback driveway gate, and install porch railing at 403 Stieren St to match existing railing at 330 Mission St. The requested scopes of work are eligible for administrative approval and do not require review by the Historic and Design Review Commission (HDRC).
- c. MASSING AND FORM (CARPORT) – The applicant is requesting to construct an attached carport on the eastern façade of the primary structure. The Historic Design Guidelines for Additions 1.A.i. states to site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. Additions 1.B.i. states to design residential additions to be subordinate to the principal façade of the original structure in terms of their scale and mass. Additions 1.B.v. states the height of new additions should be consistent with the height of the existing structure and that the height should never be so contrasting as to overwhelm or distract from the existing structure. Staff finds the construction of a carport on the eastern façade of the primary structure generally appropriate; however, the carport should be detached from the historic structure.
- d. ARCHITECTURAL FEATURES (CARPORT) – The proposed carport features square wood columns with a braced design and a shed metal roof with a slope from 11’ to 9’. Additions 4.A.ii. states to incorporate architectural details that are in keeping with the architectural style of the original structure, details should be simple in design and compliment the character of the original structure, and that architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition. Staff finds the proposed architectural features of the proposed carport generally appropriate.
- e. MATERIALS (CARPORT) – The applicant is requesting approval to construct an attached carport on the western façade of the primary structure to feature wood columns and a metal roof. Additions 3.A.i. states to use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible and that any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure. Staff finds the proposed materials generally conforms to guidelines; however, the wood columns and metal roof should conform to staff’s recommendations below.
- f. FRONT YARD FENCE REPLACEMENT – The applicant is requesting approval to replace the existing 3’ tall wood picket fence with a 6’ tall wood privacy fence. The *Fences in Historic Districts* policy document states that front yard fences should be limited to 4’ in height. Staff finds the installation of a 6’ tall wood privacy fence does not conform to Guidelines.
- g. WINDOW AWNINGS – The applicant is requesting to install 84x30” wood-member metal awnings on the two pairs of ganged windows on the left elevation at 403 Stieren St. Exterior Maintenance and Alterations 11.B.ii. states to add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. Staff finds the installation of the window awnings does not conform to Guidelines.

RECOMMENDATION:

- Item 1: Staff recommends approval for the carport construction, based on the findings, with the following stipulations:
- i. That the applicant install a standing seam metal roof featuring panels that are 18 to 21 inches wide, seams that are 1 to 2 inches high, a crimped ridge seam, and match the current finish or a standard galvalume finish. Panels should be smooth without striation or corrugation. Ridges are to feature a double-munch or crimped ridge configuration; no vented ridge caps or end caps are allowed. All chimney, flue, and related existing roof details must be preserved. An inspection must be scheduled with OHP staff prior to the start of work to verify that the roofing material matches the approved specifications. No modifications to the roof pitch or roof form are requested or approved at this time.
 - ii. That new wood columns be a maximum of 6x6” in width and feature a traditional cap and base and chamfered corners.
 - iii. That the carport be detached from the primary structure and updated construction documents submitted to staff for final review prior to the issuance of a Certificate of Appropriateness.
 - iv. That the applicant meets all setback standards as required by city zoning and obtain a variance from the Board of Adjustment if applicable.

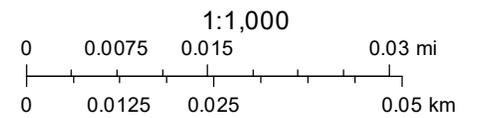
Item 2: Staff does not recommend approval of the fence replacement, based on the findings. Staff recommends the applicant retain the existing front yard fence configuration.

Item 3: Staff does not recommend approval of the wood-member metal awning installation, based on the findings. Staff recommends the applicant work with staff for alternative solutions to solar heat gain.

City of San Antonio One Stop



January 31, 2025





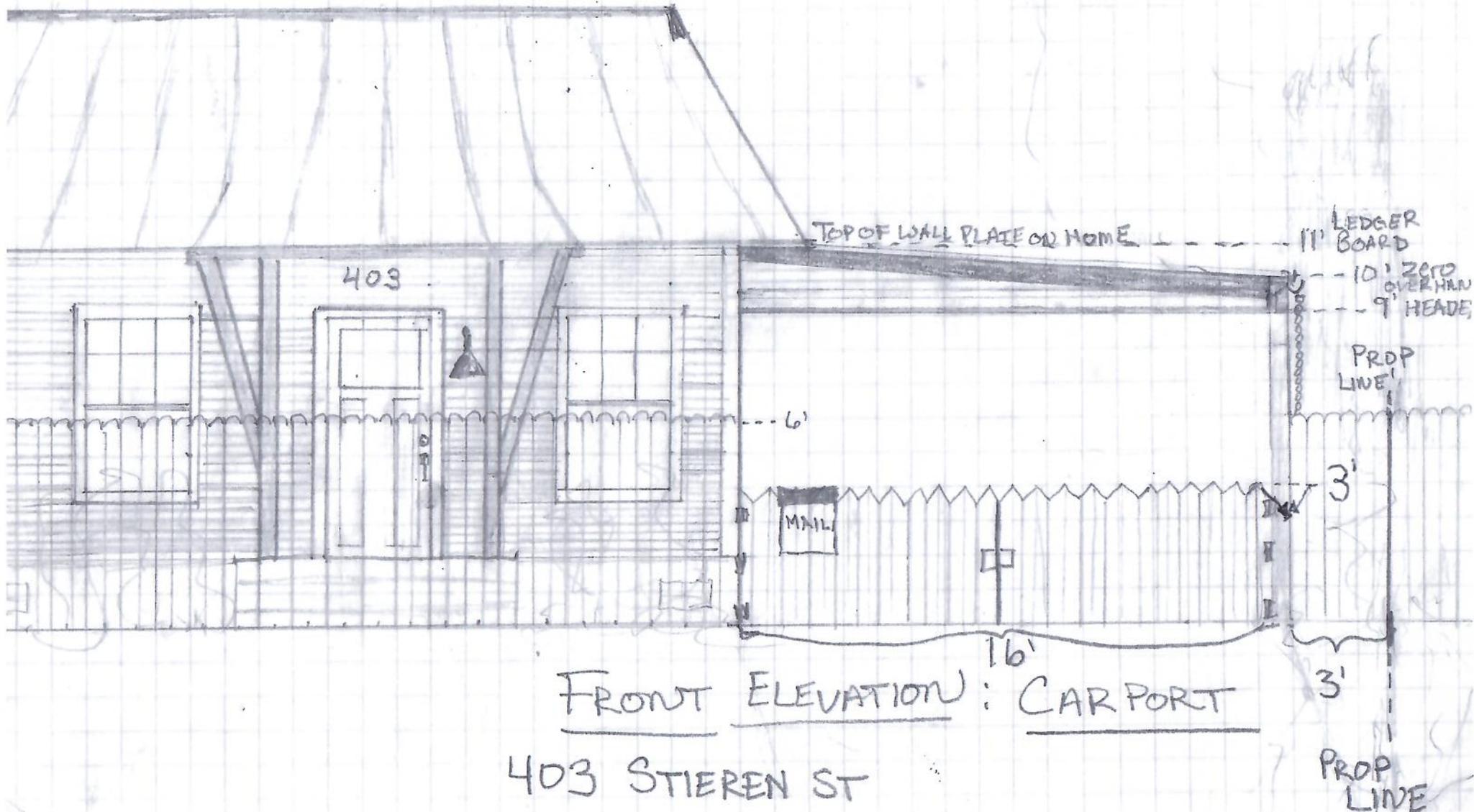
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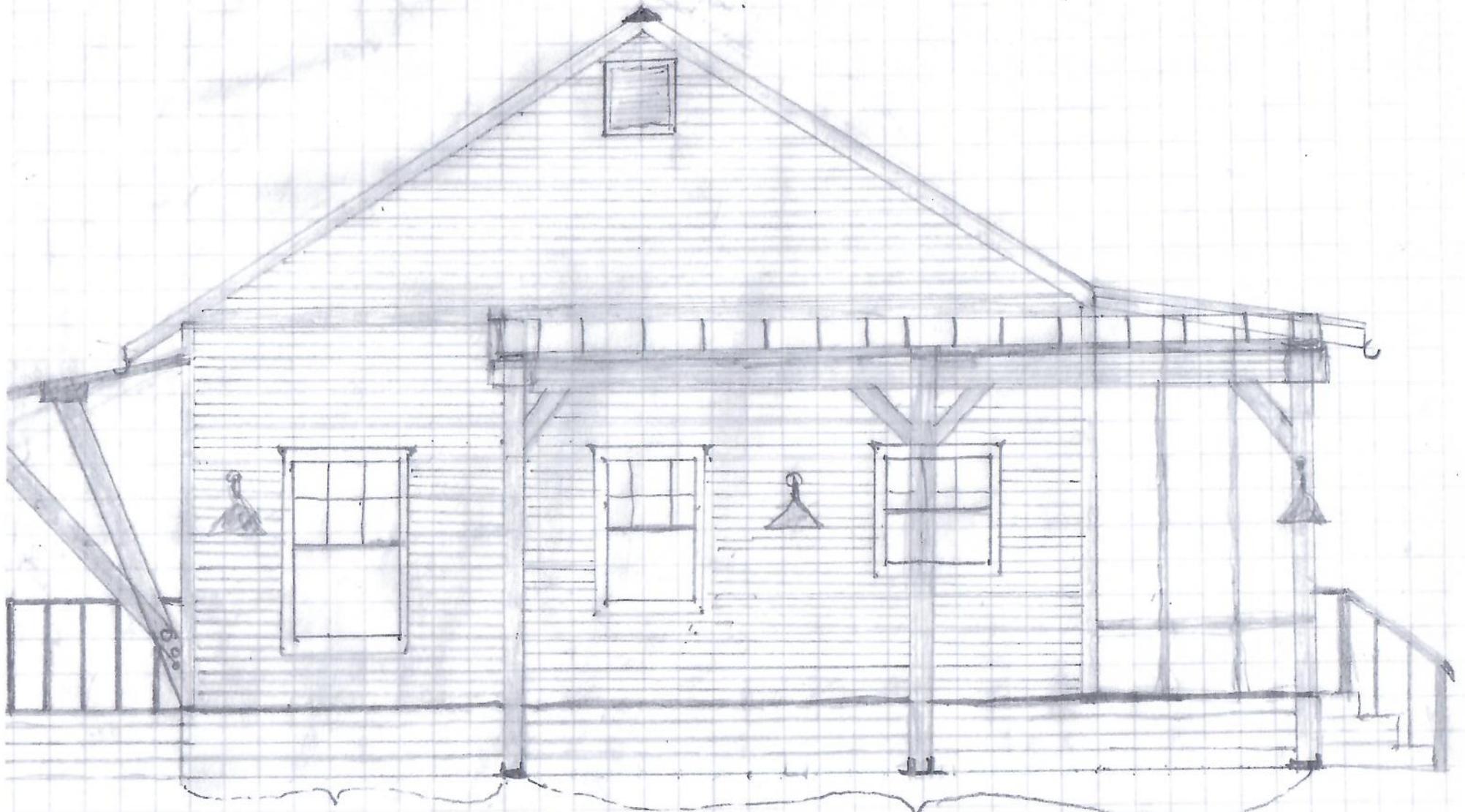




MICHAEL A. PEREZ
MP2 URBAN DEVELOPMENT



MICHAEL A PEREZ
MP& URBAN DEVELOPMENT

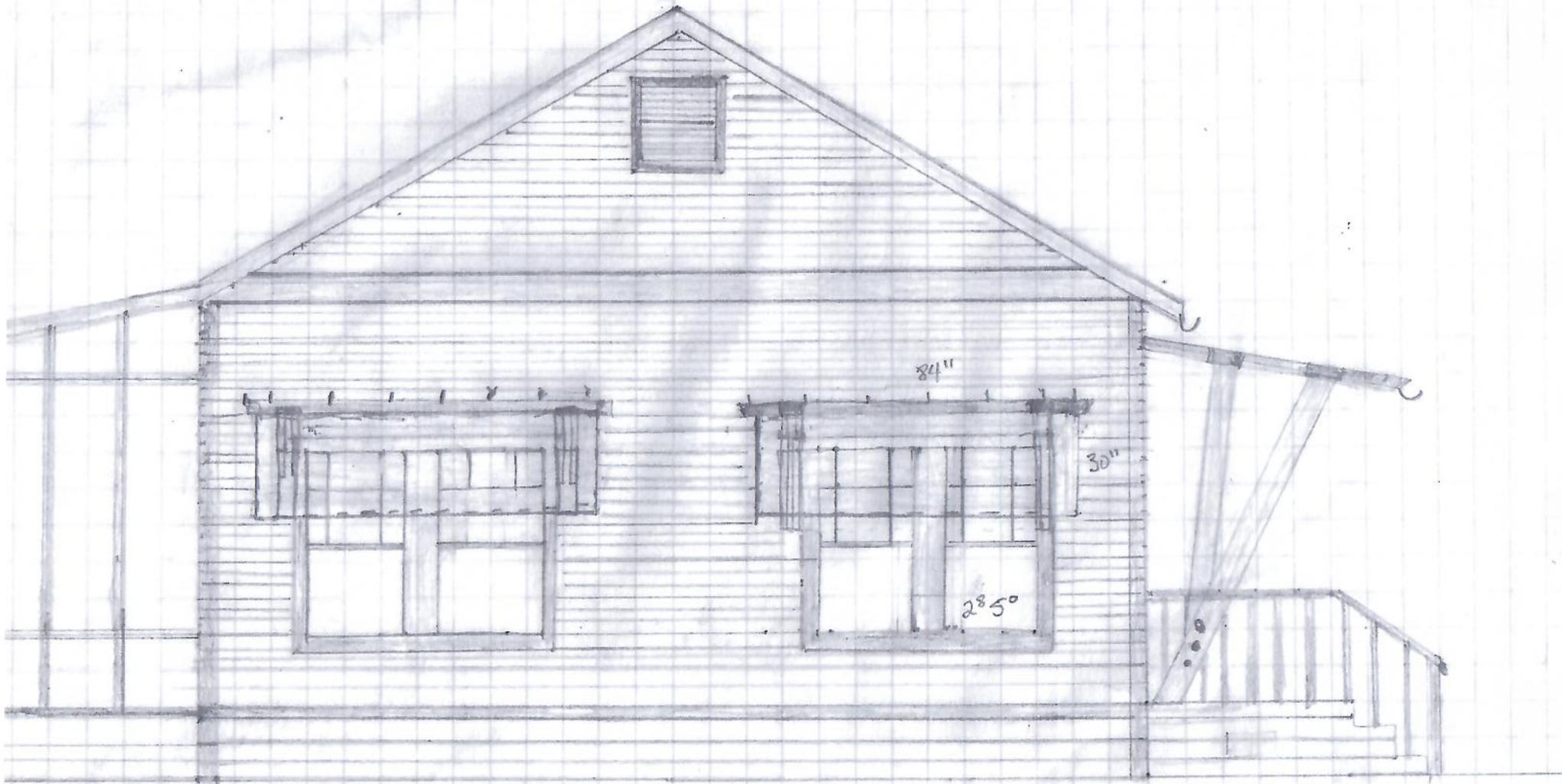


9.25'

RIGHT SIDE ELEVATION 23.15' CARPORT

403 STEREN ST

MICHAEL A. PEREZ
MP2 URBAN DEVELOPMENT



LEFT ELEVATION : TIMBER AWNINGS

403 STIEREN









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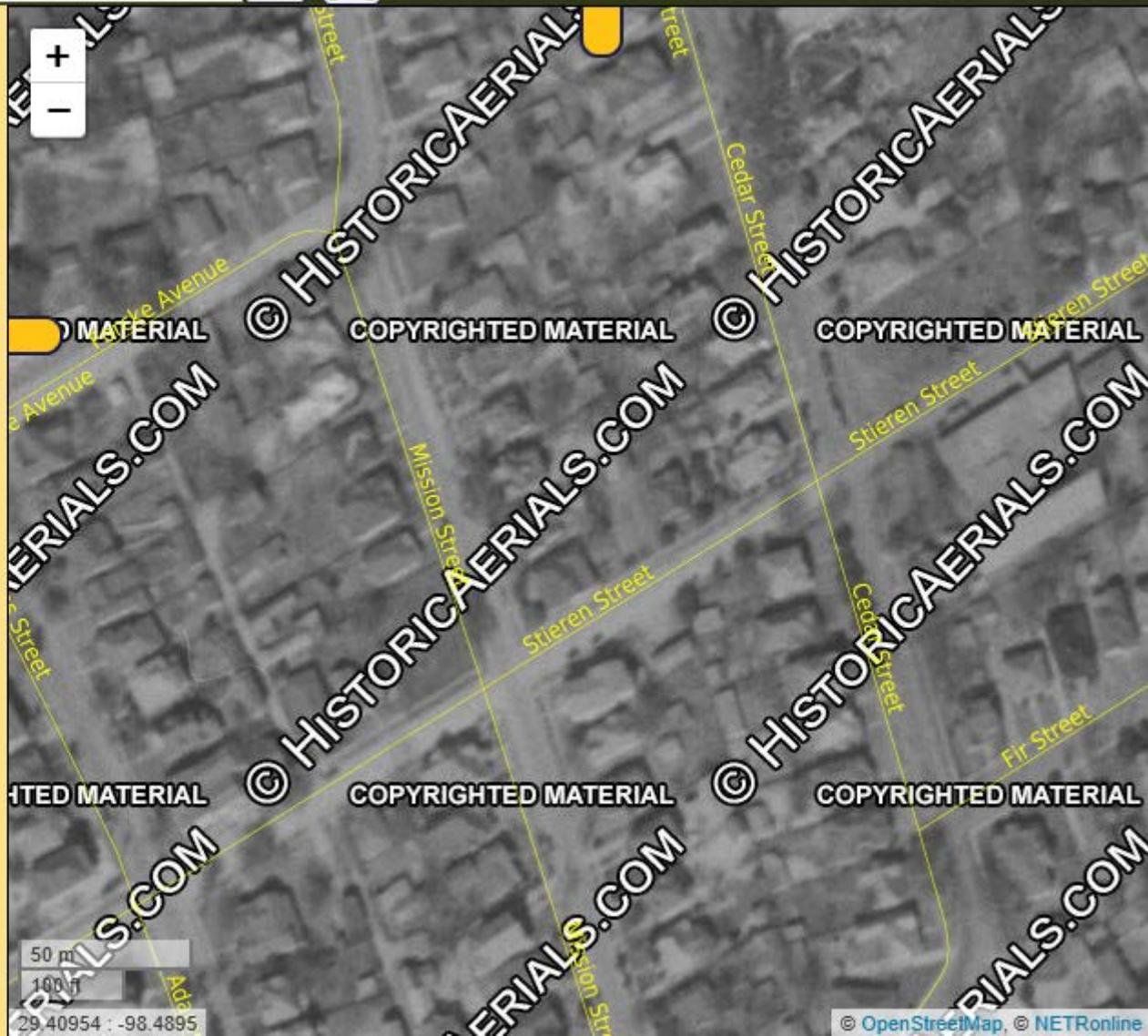


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