

HISTORIC AND DESIGN REVIEW COMMISSION
November 15, 2023

HDRC CASE NO: 2023-428
ADDRESS: 901 RIGSBY AVE
LEGAL DESCRIPTION: NCB 3307 BLK 39 LOT 1 THRU 26
ZONING: R-4
CITY COUNCIL DIST.: 3
DISTRICT: Public Property
APPLICANT: Raymond Aguilar | MP Studio LA
OWNER: City of San Antonio
TYPE OF WORK: Park improvements
APPLICATION RECEIVED: October 18, 2023
60-DAY REVIEW: December 17, 2023
CASE MANAGER: Bryan Morales

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to improve the park including modifications to the existing sidewalk design.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

1. Topography

A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

2. Fences and Walls

A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

C. PRIVACY FENCES AND WALLS

- i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.
- ii. *Location* – Do not use privacy fences in front yards.

3. Landscape Design

A. PLANTINGS

- i. *Historic Gardens*— Maintain front yard gardens when appropriate within a specific historic district.
- ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

- i. *Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

C. MULCH

Organic mulch – Organic mulch should not be used as a wholesale replacement for plant material. Organic mulch with appropriate plantings should be incorporated in areas where appropriate such as beneath a tree canopy.

- i. *Inorganic mulch* – Inorganic mulch should not be used in highly-visible areas and should never be used as a wholesale replacement for plant material. Inorganic mulch with appropriate plantings should be incorporated in areas where appropriate such as along a foundation wall where moisture retention is discouraged.

D. TREES

- i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.
- iii. *Maintenance* – Proper pruning encourages healthy growth and can extend the lifespan of trees. Avoid unnecessary or harmful pruning. A certified, licensed arborist is recommended for the pruning of mature trees and heritage trees.

4. Residential Streetscapes

A. PLANTING STRIPS

- i. *Street trees*—Protect and encourage healthy street trees in planting strips. Replace damaged or dead trees with trees of a similar species, size, and growth habit as recommended by the City Arborist.
- ii. *Lawns*— Maintain the use of traditional lawn in planting strips or low plantings where a consistent pattern has been retained along the block frontage. If mulch or gravel beds are used, low-growing plantings should be incorporated into the design.

iii. *Alternative materials*—Do not introduce impervious hardscape, raised planting beds, or other materials into planting strips where they were not historically found.

B. PARKWAYS AND PLANTED MEDIANS

i. *Historic plantings*—Maintain the park-like character of historic parkways and planted medians by preserving mature vegetation and retaining historic design elements. Replace damaged or dead plant materials with species of a like size, growth habit, and ornamental characteristics.

ii. *Hardscape*—Do not introduce new pavers, concrete, or other hardscape materials into parkways and planted medians where they were not historically found.

C. STREET ELEMENTS

i. *Site elements*—Preserve historic street lights, street markers, roundabouts, and other unique site elements found within the public right-of-way as street improvements and other public works projects are completed over time.

ii. *Historic paving materials*—Retain historic paving materials, such as brick pavers or colored paving, within the public right-of-way and repair in place with like materials.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.

v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.

ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

6. Non-Residential and Mixed Use Streetscapes

A. STREET FURNITURE

i. *Historic street furniture*—Preserve historic site furnishings, including benches, lighting, tree grates, and other features.

ii. *New furniture*—Use street furniture such as benches, trash receptors, tree grates, and tables that are simple in design and are compatible with the style and scale of adjacent buildings and outdoor spaces when historic furnishings do not exist.

B. STREET TREES

i. *Street trees*—Protect and maintain existing street trees. Replace damaged or dead trees with trees of a similar species, size, and growth habit.

7. Off-Street Parking

A. LOCATION

i. *Preferred location*—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.

ii. *Front*—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.

iii. *Access*—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

B. DESIGN

i. *Screening*—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.

ii. *Materials*—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.

iii. *Parking structures*—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding historic district when new parking structures are necessary.

8. Americans with Disabilities Act (ADA) Compliance

A. HISTORIC FEATURES

i. *Avoid damage*—Minimize the damage to the historic character and materials of the building and sidewalk while complying with all aspects of accessibility requirements.

ii. *Doors and door openings*—Avoid modifying historic doors or door openings that do not conform to the building and/or accessibility codes, particularly on the front façade. Consider using a discretely located addition as a means of providing accessibility.

B. ENTRANCES

i. *Grade changes*—Incorporate minor changes in grade to modify sidewalk or walkway elevation to provide an accessible entry when possible.

ii. *Residential entrances*—The preferred location of new ramps is at the side or rear of the building when convenient for the user.

iii. *Non-residential and mixed use entrances*—Provide an accessible entrance located as close to the primary entrance as possible when access to the front door is not feasible.

C. DESIGN

i. *Materials*—Design ramps and lifts to compliment the historic character of the building and be visually unobtrusive as to minimize the visual impact, especially when visible from the public right-of-way.

ii. *Screening*—Screen ramps, lifts, or other elements related to ADA compliance using appropriate landscape materials. Refer to Guidelines for Site Elements for additional guidance.

iii. *Curb cuts*—Install new ADA curb cuts on historic sidewalks to be consistent with the existing sidewalk color and texture while minimizing damage to the historical sidewalk.

FINDINGS:

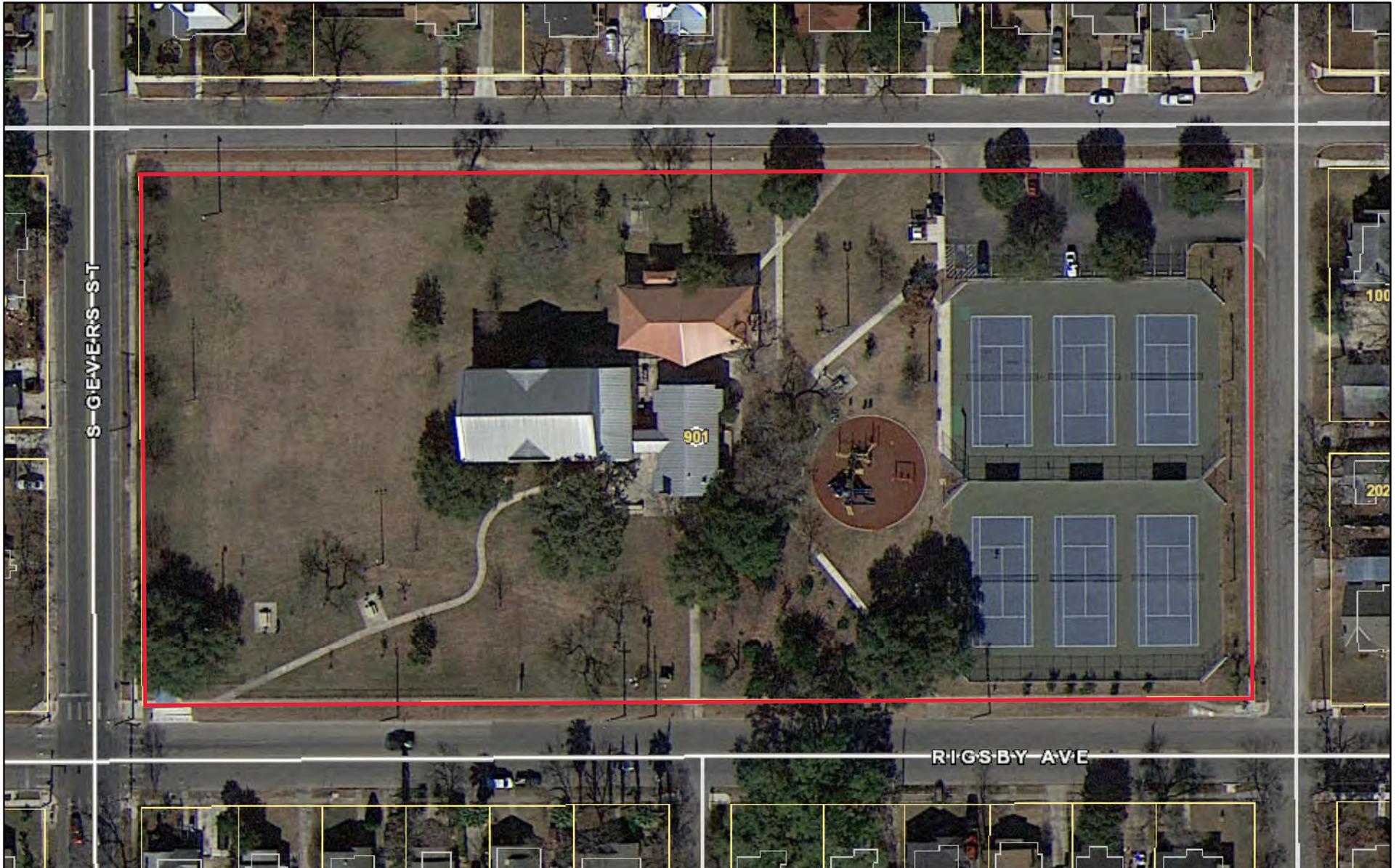
a. The property located at 901 Rigsby Ave is commonly known as Highland Park. Highland Park is located within District 3 and features a six tennis courts, a basketball court, the James A. Bode Community Center, and a playground area. The property is owned by the City of San Antonio.

b. **SIDEWALK INSTALLATION** – The applicant is requesting to add additional sidewalks to the park. The Historic Design Guidelines for Site Elements 5.A.iii. states to follow the alignment, configuration, and width of sidewalks and walkways present on site. Staff finds the proposed installation of sidewalks generally appropriate.

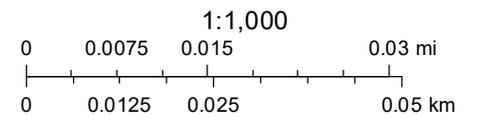
RECOMMENDATION:

Staff recommends approval of the request based on findings a and b.

City of San Antonio One Stop



November 8, 2023



DISTRICT 3 PARK IMPROVEMENTS HIGHLAND PARK



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

STATUS



10-20-2022

PROJECT

**HIGHLAND
PARK**

PROJECT ADDRESS

900 RIGSBY AVENUE
SAN ANTONIO, TEXAS 78210

OWNER | CLIENT

CITY OF SAN ANTONIO
114 W. COMMERCE
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

ALMA NUNEZ
210.207.6123
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900 RIGSBY AVENUE, SAN ANTONIO, TX 78210

SCOPE OF WORK: PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS NECESSARY TO CONSTRUCT PROPOSED PARK FACILITIES TO INCLUDE DEMOLITION OF EXISTING PLAYGROUND & PLAYGROUND SURFACE, INSTALLATION OF PLAYGROUND, PLAYGROUND SURFACE, PLAYGROUND SUB-DRAINAGE MODIFICATION, ASSOCIATED SIDEWALKS AND PAVING AND OTHER AMENITIES AS SHOWN PER THE PLANS AND SPECIFICATIONS.

CITY OF SAN ANTONIO

mayor
RON NIRENBERG

city manager
ERIK WALSH

director of parks & recreation
HOMER GARCIA

council district 1
SUKH KAUR

council district 2
JALEN MCKEE-RODRIGUEZ

council district 3
PHYLLIS VIAGRAN

council district 4
ADRIANA ROCHA GARCIA

council district 5
TERI CASTILLO

council district 6
MELISSA CABELLO HAVRDA

council district 7
MARINA ALDERETE GAVITO

council district 8
MANNY PELAEZ

council district 9
JOHN COURAGE

council district 10
MARC WHYTE

INDEX OF SHEETS

DATE	ISSUE	SHEET TITLE	SHEET NO.
REFERENCE			
OCTOBER 20, 2023	100% CD SET	COVER SHEET	LC 1.0
OCTOBER 20, 2023	100% CD SET	GENERAL NOTES & MATERIAL SCHEDULE OVERALL REFERENCE PLAN	LC 1.1
TREE PRESERVATION			
OCTOBER 20, 2023	100% CD SET	TREE PRESERVATION PLAN	TP 1.1
DEMOLITION			
OCTOBER 20, 2023	100% CD SET	DEMOLITION PLAN	LD 1.1
GRADING			
OCTOBER 20, 2023	100% CD SET	GRADING PLAN	LG 1.1
SITWORK			
OCTOBER 20, 2023	100% CD SET	SITE WORK PLAN	LS 1.1
OCTOBER 20, 2023	100% CD SET	SITE WORK DIMENSION PLAN	LS 1.3
OCTOBER 20, 2023	100% CD SET	SITE WORK DETAILS	LS 2.1
OCTOBER 20, 2023	100% CD SET	SITE WORK DETAILS	LS 2.2
PLANTING			
OCTOBER 20, 2023	100% CD SET	PLANTING PLAN	LP 1.1
OCTOBER 20, 2023	100% CD SET	LANDSCAPE NOTES	LP 2.1

A PROJECT BY

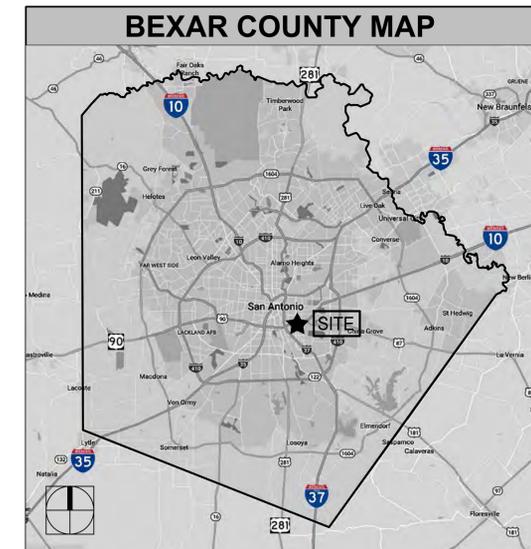
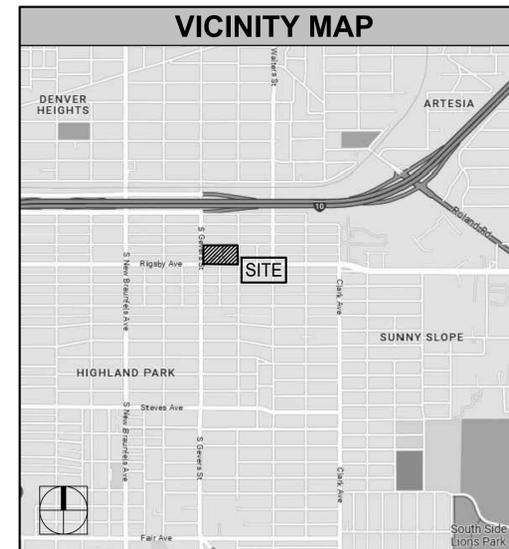
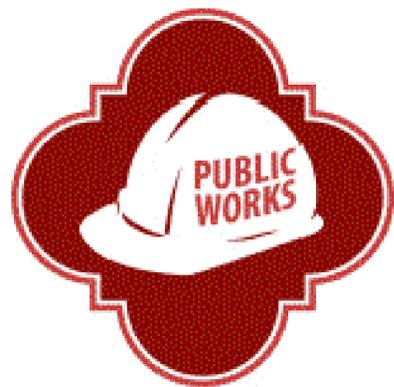
owner
**CITY OF SAN ANTONIO -
PUBLIC WORKS
DEPARTMENT**

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landscape architect
MP STUDIO

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PRIME CONSULTANT



REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

NO.	DATE	DESCRIPTION

SHEET INFORMATION

PROJECT NO.
23002

DATE ISSUED
OCTOBER 20, 2023

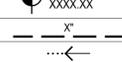
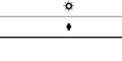
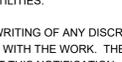
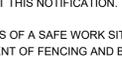
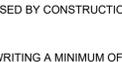
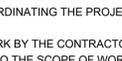
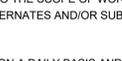
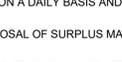
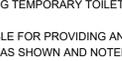
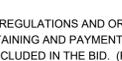
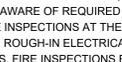
SHEET NAME
COVER SHEET

SHEET NUMBER
LC 1.0

MATERIALS SCHEDULE						
04 00 00 - MASONRY						
KEY	PHOTO	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
M.1		MESA GRANDE BLOCK: LIMESTONE BLOCK - bench size: 18"HT X 18"W X 60"L leader size: 18"HT X 12"W X 60"L	CREAM	SAWN & CHOPPED	CO: AUSTIN BLOCK CO. phone: 833.400.9255 or Approved Substitute	CONTRACTOR TO CONFIRM BLOCKS SHALL BE FREE FROM CRACK & FLAKING ALONG ALL FACES & EDGES.
32 10 00 - BASES, BALLASTS, PAVING						
KEY	PHOTO	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
B.1		STANDARD CONCRETE 3000 PSI MINIMUM	GREY	LIGHT BROOM	LOCAL SOURCE	CONTRACTOR TO SUBMIT PRODUCT DATA & SAMPLES FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO ORDERING AND INSTALLATION
B.2		POUR IN PLACE RUBBER SURFACING	TAN AND GREY	STANDARD	CO: LANDSCAPE STRUCTURES contact: MINDY LONG phone: 210.620.6300 email: mlong@whitx.com	
B.4		STAMPED CONCRETE model #: BST4000	U-20 SMOKE	TEXTURED	CO: BUTTERFIELD COLOR phone: 800.282.3388	

MATERIALS SCHEDULE, CONT.						
11 68 00 - PLAY FIELD EQUIPMENT AND STRUCTURE						
KEY	PHOTO	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
G.1		PLAYGROUND STRUCTURE model: LSI	proshield post: SPROUT proshield clamp: LEAF proshield component: LIMON permalene primary: BUTTERCUP permalene secondary: LIMON polyethylene primary: LEAF shade fabric: TAN RF	STANDARD	CO: LANDSCAPE STRUCTURES contact: MINDY LONG phone: 210.620.6300 email: mlong@whitx.com	CONTRACTOR TO SUBMIT PRODUCT DATA & SAMPLES FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO ORDERING AND INSTALLATION INSTALL PER MANUFACTURERS' RECOMMENDATION SUPPLY SPECS FOR APPROVE ALTERNATE
G.2		FORGE CLIMBER model: #307425	proshield post: SPROUT proshield clamp: LEAF proshield component: LIMON permalene primary: BUTTERCUP permalene secondary: LIMON polyethylene primary: LEAF netting: TAN	STANDARD		
G.3		FOX DEN HANGOUT model: #307431	proshield post: SPROUT proshield clamp: LEAF proshield component: LIMON permalene primary: BUTTERCUP permalene secondary: LIMON polyethylene primary: LEAF netting: TAN	STANDARD		
G.4		OODLE SWING model: #173592	proshield post: SPROUT proshield clamp: LEAF proshield component: LIMON permalene primary: BUTTERCUP permalene secondary: LIMON polyethylene primary: LEAF netting: TAN	STANDARD		
G.5		PERFORATED PIPE NDS EZ DRAIN model: SKU #EZ-1001F size: 4" DIA.	N/A	N/A	LOCAL SOURCE	
G.6		DRY WELL NDS FLOW WELL KIT model: SKU FWAS24WH	N/A	N/A	LOCAL SOURCE	

GENERAL LEGEND	
ABBREVIATIONS	
SYMBOL	DESCRIPTION
AD	AREA DRAIN
BC	BOTTOM OF CURB
BOC	BACK OF CURB
BW	BOTTOM OF WALL
CL	CENTER LINE
ESMT	EASEMENT
EOP	EDGE OF PAVEMENT
EJ	EXPANSION JOINT
FOC	FACE OF CURB
FFE	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
HP	HIGH POINT
INV	INVERT OF PIPE
L.O.C.	LIMITS OF CONSTRUCTION
N.I.C.	NOT IN CONTRACT
OC	ON CENTER
OCWE	ON CENTER EACH WAY
OHE	OVERHEAD ELECTRIC
PD	PLANTER DRAIN
PA	PLANTING AREA
PP	POWER POLE
POB	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
TAN	POINT OF TANGENCY
SD	STORM DRAIN
SS	SANITARY SEWER
TD	TOP OF DRAIN
TPC	TOP OF POOL COPING
TC	TOP OF CURB
TF	TOP OF FOOTING
TW	TOP OF WALL
UGE	UNDERGROUND ELECTRIC
U.N.O.	UNLESS NOTED OTHERWISE
WD	WATER DEPTH
WL	WATER LEVEL

GENERAL LEGEND	
SYMBOLS & LINE TYPES	
SYMBOL	DESCRIPTION
REF:	
	ENLARGEMENT AREA W/ CALLOUT
	DETAIL CALLOUT
	MATERIALS & FINISHES CALLOUT
	SECTION CALLOUT
	ELEVATION CALLOUT
	SITEWORK LABEL
	PLANTING LABEL
	EXISTING TOPOGRAPHY - MINOR
	EXISTING TOPOGRAPHY - MAJOR
	PROPOSED TOPOGRAPHY - MINOR
	PROPOSED TOPOGRAPHY - MAJOR
	PROPOSED SPOT ELEVATION
	PROPOSED DATUM ELEVATION
	PIPE SIZE
	WATER FLOW / SWALE DIRECTION
	ELECTRICAL METER
	JUNCTION BOX
	CONDUIT
	HOME RUN
	SIGN LIGHT
	TREE OR SIGN BULLET UPLIGHT
	POLE LIGHT
	GFI ELECTRICAL OUTLET



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

STATUS



10-20-2022

PROJECT

HIGHLAND PARK

PROJECT ADDRESS

900 RIGSBY AVENUE
SAN ANTONIO, TEXAS 78210

OWNER | CLIENT

CITY OF SAN ANTONIO

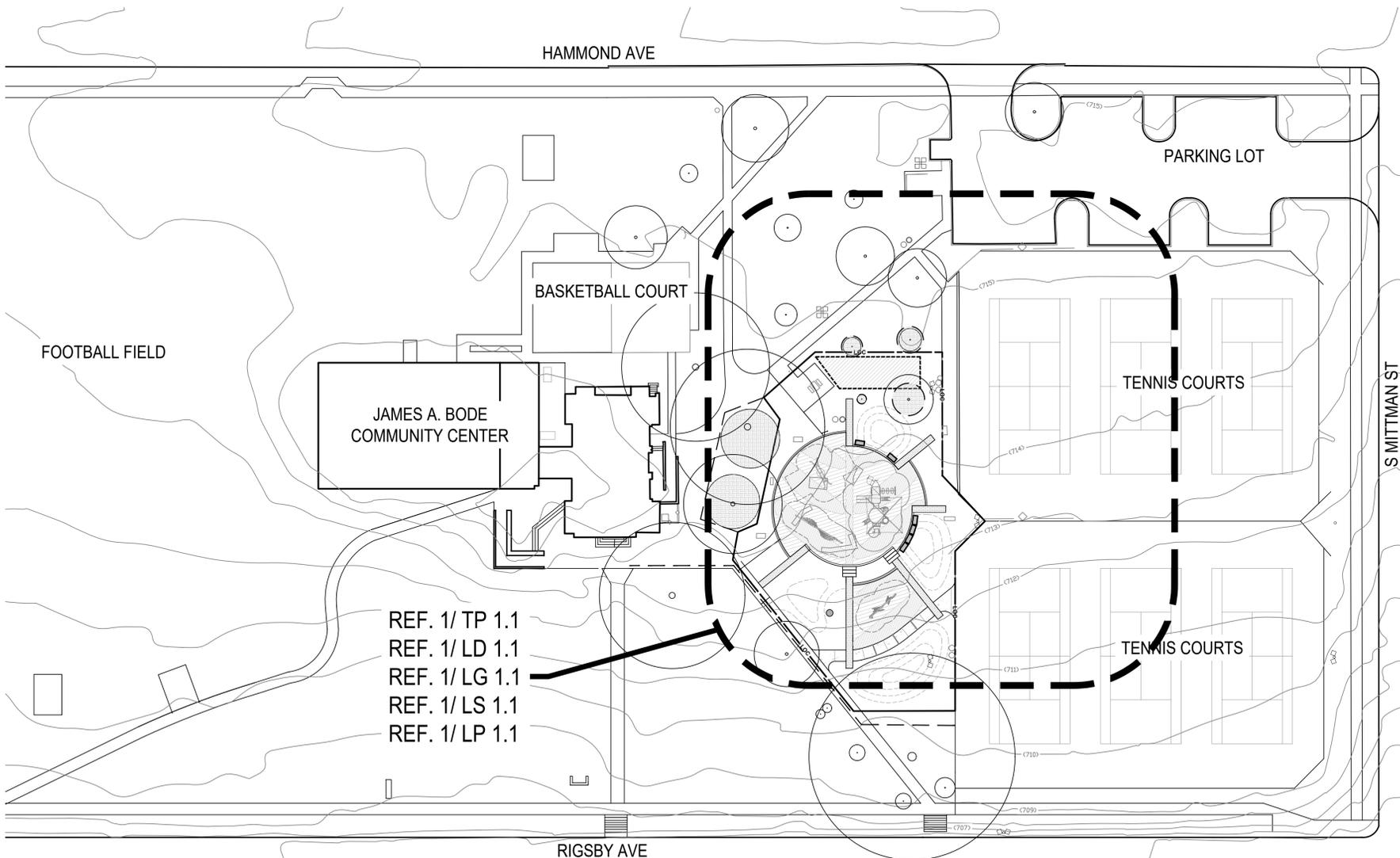
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SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

ALMA NUNEZ

210.207.6123

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GENERAL NOTES:

- CONTRACTOR SHALL LOCATE AND VERIFY THE CONDITION OF ALL EXISTING UTILITIES, INCLUDING CONTACTING LINE LOCATION SERVICES, PRIOR TO ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR ANY COSTS INCURRED FOR BODILY INJURY AND/OR DAMAGE TO THE OWNER'S PROPERTY OR SAID UTILITIES.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ASPECTS OF A SAFE WORK SITE INCLUDING, BUT NOT LIMITED TO, PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION AND COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS ON OR ADJACENT TO, THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS CAUSED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK REQUIRING INSPECTION IN COORDINATING THE PROJECT SCHEDULE.
- ANY PROPOSED ALTERNATES OR SUBSTITUTIONS TO THE WORK BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND/OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF TRASH ON A DAILY BASIS AND MAINTAINING A CLEAN JOBSITE.
- CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVICING TEMPORARY TOILET FACILITIES.
- UNLESS SPECIFIED OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYMENT OF ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT WITH COSTS INCLUDED IN THE BID. (PLAN REVIEW FEES ARE PAID BY OWNER.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME AWARE OF REQUIRED INSPECTIONS THAT ARE ASSOCIATED WITH PERMITS ISSUED FOR THE WORK AND TO SCHEDULE THESE INSPECTIONS AT THE APPROPRIATE STAGE OF CONSTRUCTION. (EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, ROUGH-IN ELECTRICAL, ROUGH-IN PLUMBING, IRRIGATION PIPING, FOUNDATION STEEL FOR STRUCTURES, INCLUDING WALLS, FIRE INSPECTIONS RELATED TO ENTRY GATES AND STRUCTURES, AND OTHER INSPECTIONS AS THEY MAY APPLY.)
- CONTRACTOR SHALL COORDINATE THE WORK OF SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS COORDINATE CONSTRUCTION ACTIVITIES WITH OTHER CONTRACTORS WORKING ON THE SITE.
- CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK ANY VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO APPROVAL, CONTRACTOR SHALL PROVIDE PROTECTION OF ALL FINISHED WORK IN PLACE, THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH AND CONSTRUCTION DEBRIS AND REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTLING OR EROSION THAT HAS OCCURRED DUE TO CONSTRUCTION ACTIVITIES.
- UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR SUBSTANTIAL COMPLETION INSPECTION TO THE OWNER AND LANDSCAPE ARCHITECT TO DETERMINE ACCEPTABILITY. WHERE INSPECTED WORK DOES NOT COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL REPLACE REJECTED WORK AND NOTIFY THE OWNER OR LANDSCAPE ARCHITECT FOR REINSPECTION AS APPROPRIATE FOR ACCEPTANCE AND PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.

END OF NOTES

1 OVERALL REFERENCE PLAN



SCALE: 1"=30'

SUBCONSULTANT

REVISIONS

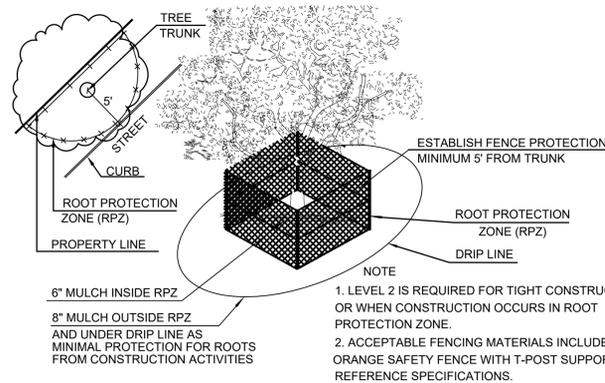
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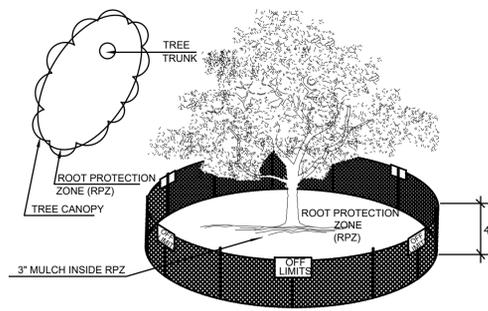
NO.	DATE	DESCRIPTION

SHEET INFORMATION

PROJECT NO.	23002
DATE ISSUED	OCTOBER 20, 2023
SHEET NAME	MATERIALS SCHEDULE - GENERAL NOTES & REFERENCE PLAN
SHEET NUMBER	LC 1.1



3 LEVEL II A TREE PROTECTION
ELEVATION NOT TO SCALE



2 EXISTING I-A TREE PROTECTION
ELEVATION - PLAN - 3D VIEW NOT TO SCALE

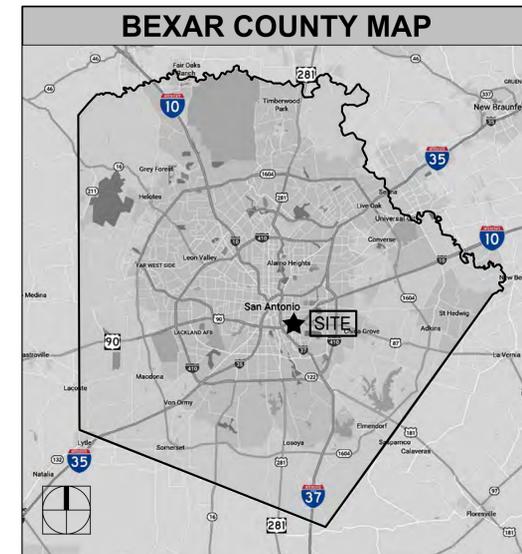
TREE PRESERVATION

MANDATORY CRITERIA SEC. 35-523

TREES SURVEYED	0 INCH.
UNDERSTORY TREE: 0 TOTAL INCHES X 40% REQ. PRESERVED:	0 INCH.
SIGNIFICANT TREE: 33 TOTAL INCHES X 40% REQ. PRESERVED:	13.2 INCH.
SIGNIFICANT TREE INCH. PRESERVED:	33 INCH. (100%)
REQUIRED SIGNIFICANT MITIGATION:	0" REQ. MITIGATION
HERITAGE TREE: 34.5 TOTAL INCHES X 100% REQ. PRESERVED:	34.5 INCH. (100%)
HERITAGE TREE INCH. PRESERVED:	34.5 INCH. (100%)
REQUIRED HERITAGE MITIGATION:	0" REQ. MITIGATION
TOTAL REQUIRED MITIGATION:	0 INCHES REQUIRED

PRESERVED TREES

REMOVED TREES



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

STATUS



PROJECT

HIGHLAND PARK

PROJECT ADDRESS

900 RIGSBY AVENUE
SAN ANTONIO, TEXAS 78210

OWNER | CLIENT

CITY OF SAN ANTONIO

114 W. COMMERCE
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

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SUBCONSULTANT

REVISIONS

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ISSUE SETS

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PROJECT NO.

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DATE ISSUED

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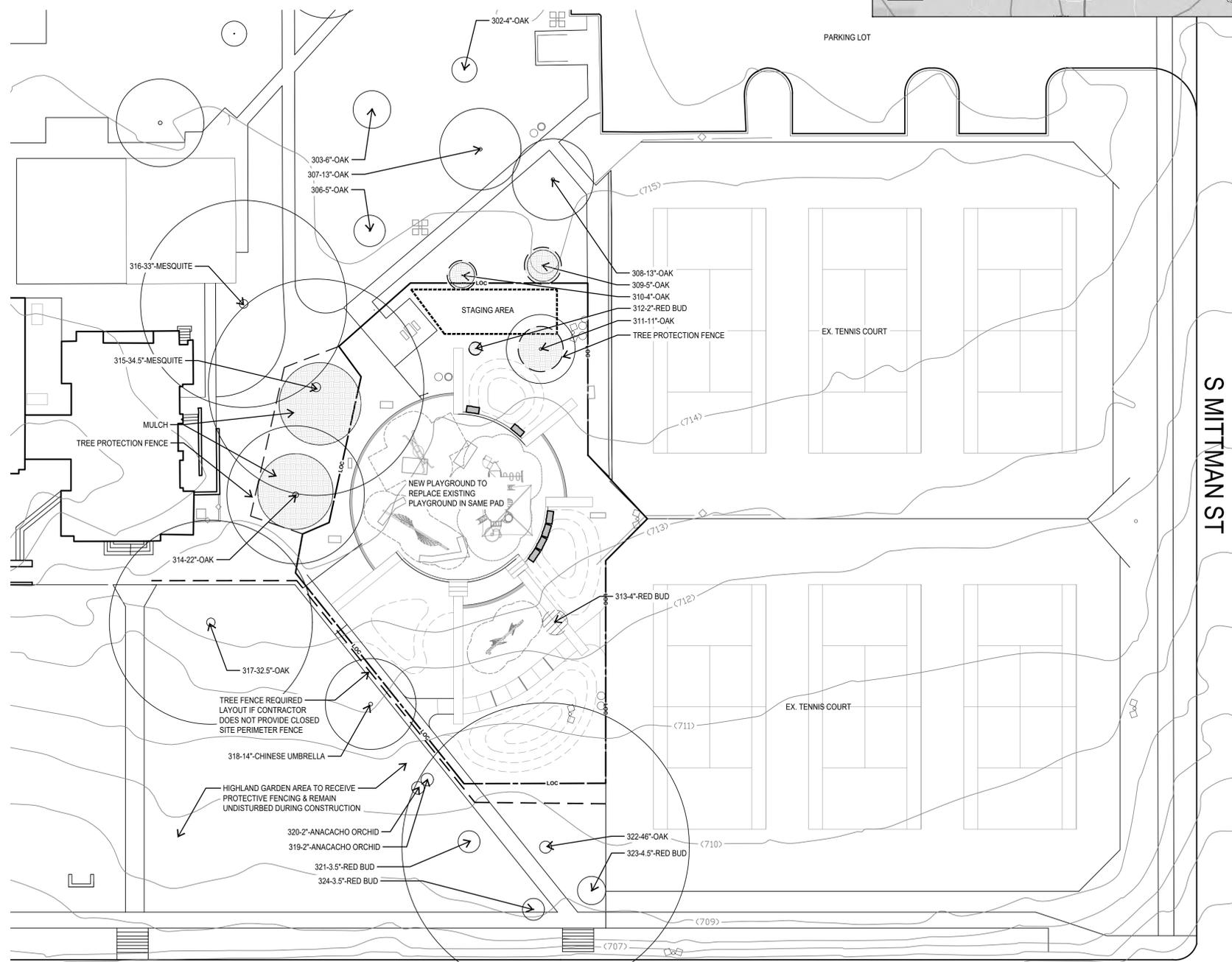
SHEET NAME

TREE PRESERVATION PLAN

SHEET NUMBER

TP 1.1

HIGHLAND PARK TREE INVENTORY														
Tag #	Species	Tree Caliper	Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Additional Inches Preserved for Mitigation ***	
			Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved		
311	Oak	11"				11								
312	Red Bud	2"												2
313	Red Bud	4"												
314	Oak	22"				22								
315	Mesquite	34.5"					34.5							
Sub. Tot. Inches=			0	0	0	33	0	34.5	0	0	0	0	0	2
Total inches by category=					0	33	0	34.5					0	
Preservation percentage=			#DIV/0!		Significant		100%		Heritage Preservation:		#DIV/0!			
Mitigation required (Commercial)=			0		Commercial (inches)=		-40.5		Heritage Mitigation (inches)=		0			
Mitigation required (Residential)=					Residential (inches)=									



RIGSBY AVE

1 TREE PRESERVATION
PLAN

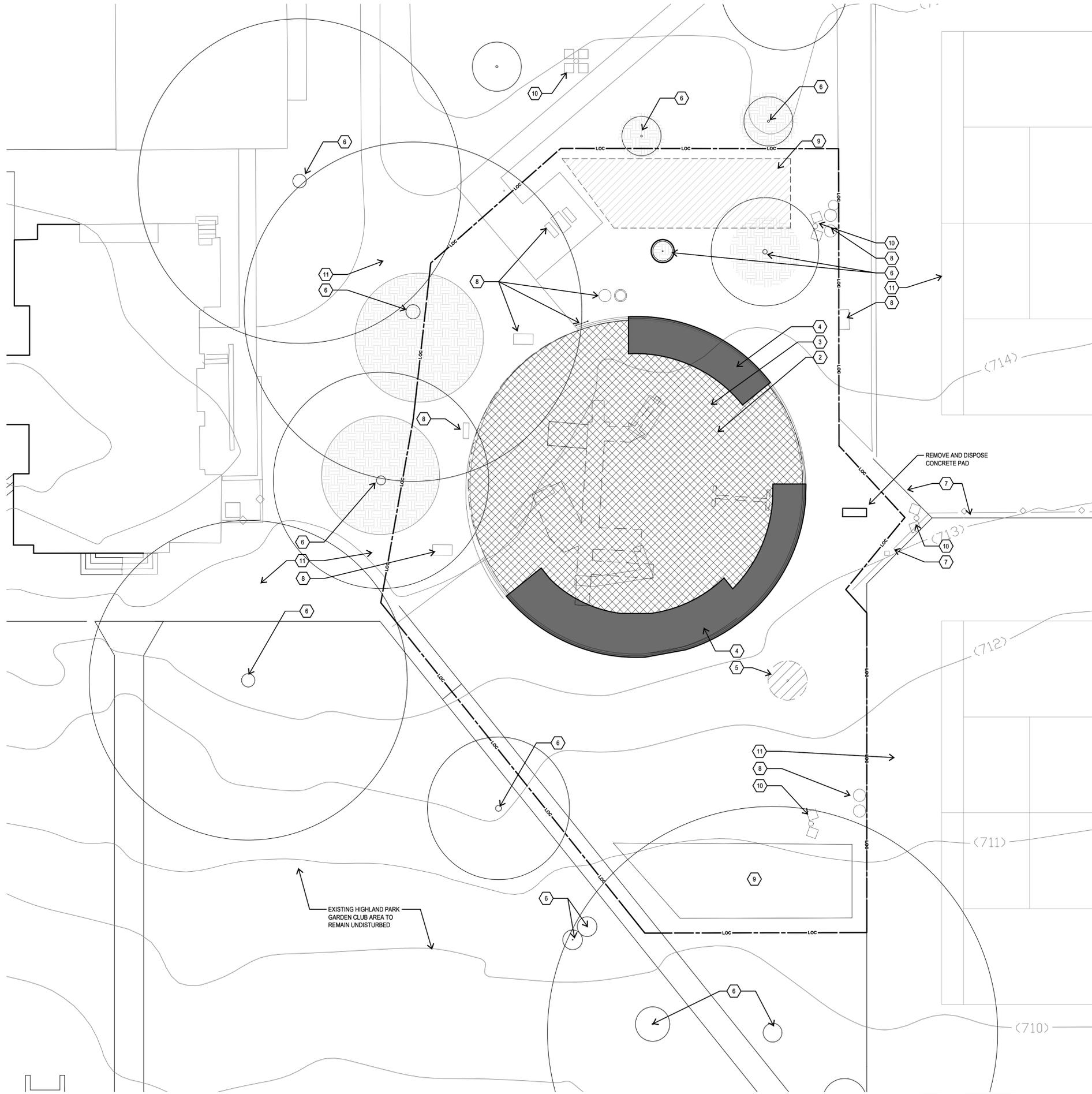
EXISTING TREE NOTES

- ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE PROTECTION AS SHOWN ON TREE PROTECTION DETAIL ON THIS SHEET.
- ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
- NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY CITY INSPECTOR.
- TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
- THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
- THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS 1 FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE WOULD HAVE A 5-FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. LIVE OAK WOUNDS SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT OAK WILT.
- ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.
- GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.
- TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.
- TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION IN PENALTY PAYMENT FEES.
- EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.

HAND-WATERING NOTES: IN ADDITION TO TREE FENCING, CONTRACTOR TO APPLY 6" MIN. LAYER OF DOUBLE SHREDDED HARDWOOD MULCH WITHIN THE EXISTING TREES ROOT ZONE. CONTRACTOR SHALL HAND-WATER EXISTING TREES DURING THE CONSTRUCTION LIFETIME UNTIL COMPLETION WITH THE FOLLOWING SCHEDULE:
ONE-INCH TO ONE & ONE-HALF INCH EVERY 3 DAYS (EXACT NEED DEPENDS ON TIME OF YEAR, SITE CONDITIONS, TREE TYPE)
NOTE: CONTRACTOR TO AVOID HAND-WATERING DURING THE HOTTEST PART OF THE DAY — 10 A.M. TO 6 P.M. — TO CONSERVE WATER TO EVAPORATION



SCALE: 1"=20'



DEMOLITION LEGEND

- 1 CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY EXCAVATION
- 2 EXISTING PLAYGROUND EQUIPMENT TO BE REMOVED, COORDINATE WITH CITY PARKS REP. FOR WASTE DISPOSAL
- 3 EXISTING PLAYGROUND RUBBER SURFACING TO BE REMOVED, NOTE SUB-DRAIN SYSTEM TO REMAIN FOR RE-USE
- 4 REMOVE/ REDUCE SEGMENTS OF PLAYGROUND OUTER CIRCULAR FOR NEW FORM
- 5 EXISTING TREE TO REMOVE
- 6 EXISTING TREE TO REMAIN UNDISTURBED, REFERENCE TP 1.1 FOR TREE PROTECTION FENCING
- 7 EXISTING PARK FENCING TO REMAIN
- 8 EXISTING PARK SIGNAGE & SITE FURNISHINGS TO BE UNDISTURBED. CONTRACTOR TO PROTECT PARK FURNISHINGS DURING DEMOLITION AND INSTALLATION OF NEW PARK EQUIPMENT IN CLOSE PROXIMITY
- 9 STAGING AREA/ CONSTRUCTION CLEANING AREA
- 10 EXISTING LIGHT POLE TO REMAIN
- 11 CONTRACTOR TO MINIMIZE ANY DAMAGE TO THE EXISTING TENNIS COURT/ OR CONCRETE WALK TO BE PRESERVED.

NOTE: ALL DISTURBED AREAS TO BE LEVELLED AND RAKED OUT. G.C. WILL CALL AND ARRANGE FOR UTILITY LOCATING WITH THE PUBLIC ENTITIES STAKE OUT PROVIDERS. ALL PUBLIC UTILITIES TO BE STAKED OUT PRIOR TO GROUNDBREAKING. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION (LOC) TO BE CLEANED AND SMOOTHED FOR FINISH GRADE, APPLY HYDROMULCH AS NOTED ON PLANS. ALL DISTURBED AREAS FOR SITE WORK AND UTILITY TRENCHING SHALL BE CONSIDERED AS PART OF SCOPE AND RE-ESTABLISHED WITH TEMP. IRRIGATION BY G.C. PRIOR TO FINAL APPROVAL



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

STATUS



10-20-2022
PROJECT

HIGHLAND PARK

PROJECT ADDRESS
900 RIGSBY AVENUE
SAN ANTONIO, TEXAS 78210

OWNER | CLIENT

CITY OF SAN ANTONIO
114 W. COMMERCE
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

ALMA NUNEZ
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ALMA.NUNEZ@SANANTONIO.GOV

SUBCONSULTANT

REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

NO.	DATE	DESCRIPTION

SHEET INFORMATION

PROJECT NO.

23002

DATE ISSUED

OCTOBER 20, 2023

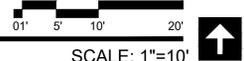
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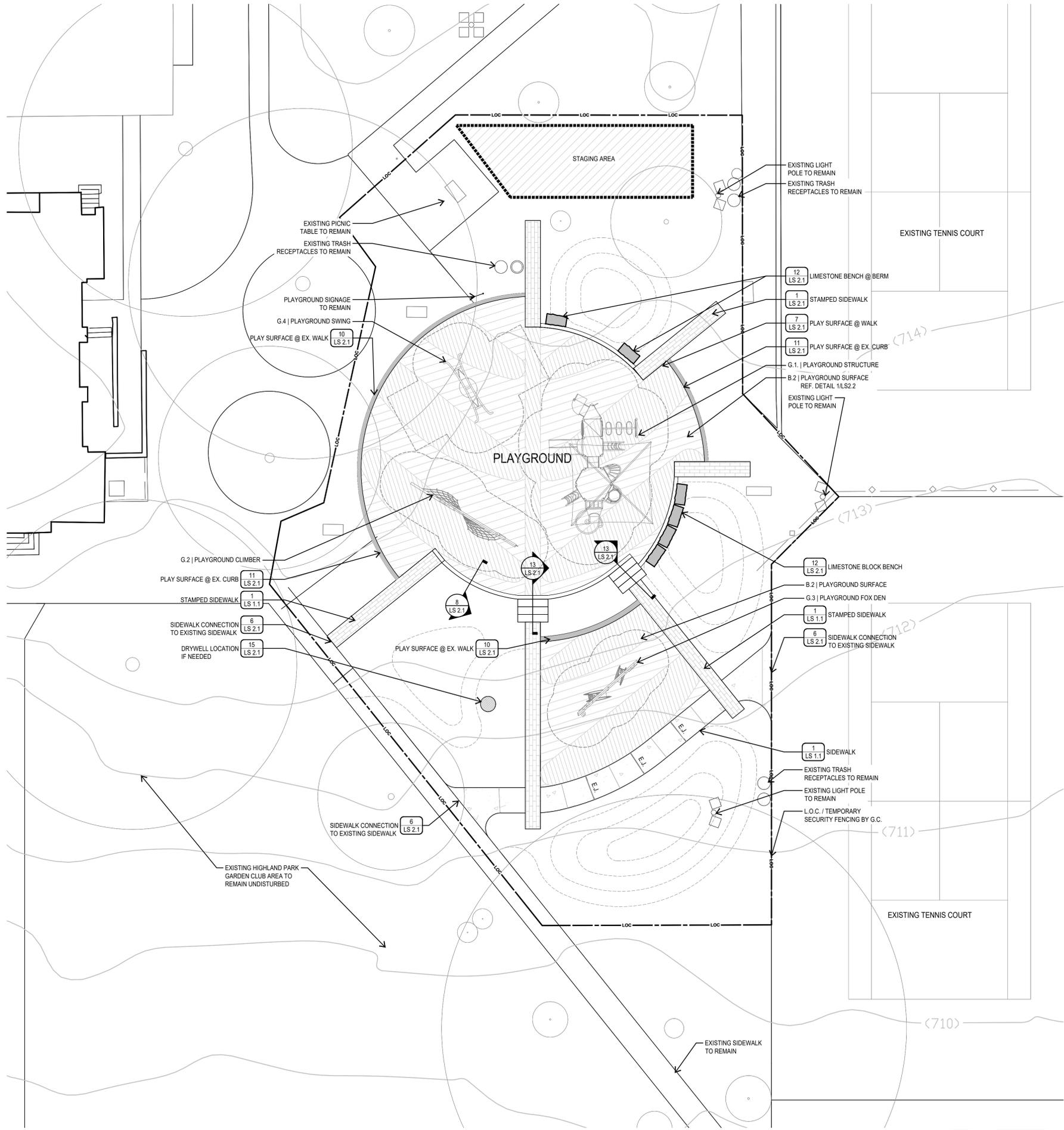
DEMOLITION PLAN

SHEET NUMBER

LD 1.1

1 DEMOLITION PLAN





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ALL DISTURBED AREAS TO BE LEVELED AND RAKED OUT. G.C. WILL CALL AND ARRANGE FOR UTILITY LOCATING WITH THE PUBLIC ENTITIES STAKE OUT PROVIDERS. ALL PUBLIC UTILITIES TO BE STAKED OUT PRIOR TO GROUNDBREAKING. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION (L.O.C.) TO BE CLEANED AND SMOOTHED FOR FINISH GRADE. APPLY HYDROMULCH AS NOTED ON PLANS.

ALL DISTURBED AREAS FOR SITE WORK AND UTILITY TRENCHING SHALL BE CONSIDERED AS PART OF SCOPE AND RE-ESTABLISHMENT BY G.C. PRIOR TO FINAL APPROVAL.



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

STATUS



PROJECT

HIGHLAND PARK

PROJECT ADDRESS

900 RIGSBY AVENUE
SAN ANTONIO, TEXAS 78210

OWNER | CLIENT

CITY OF SAN ANTONIO
114 W. COMMERCE
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

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SUBCONSULTANT

REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

NO.	DATE	DESCRIPTION

SHEET INFORMATION

PROJECT NO.

23002

DATE ISSUED

OCTOBER 20, 2023

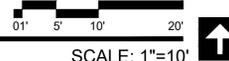
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SITWORK PLAN

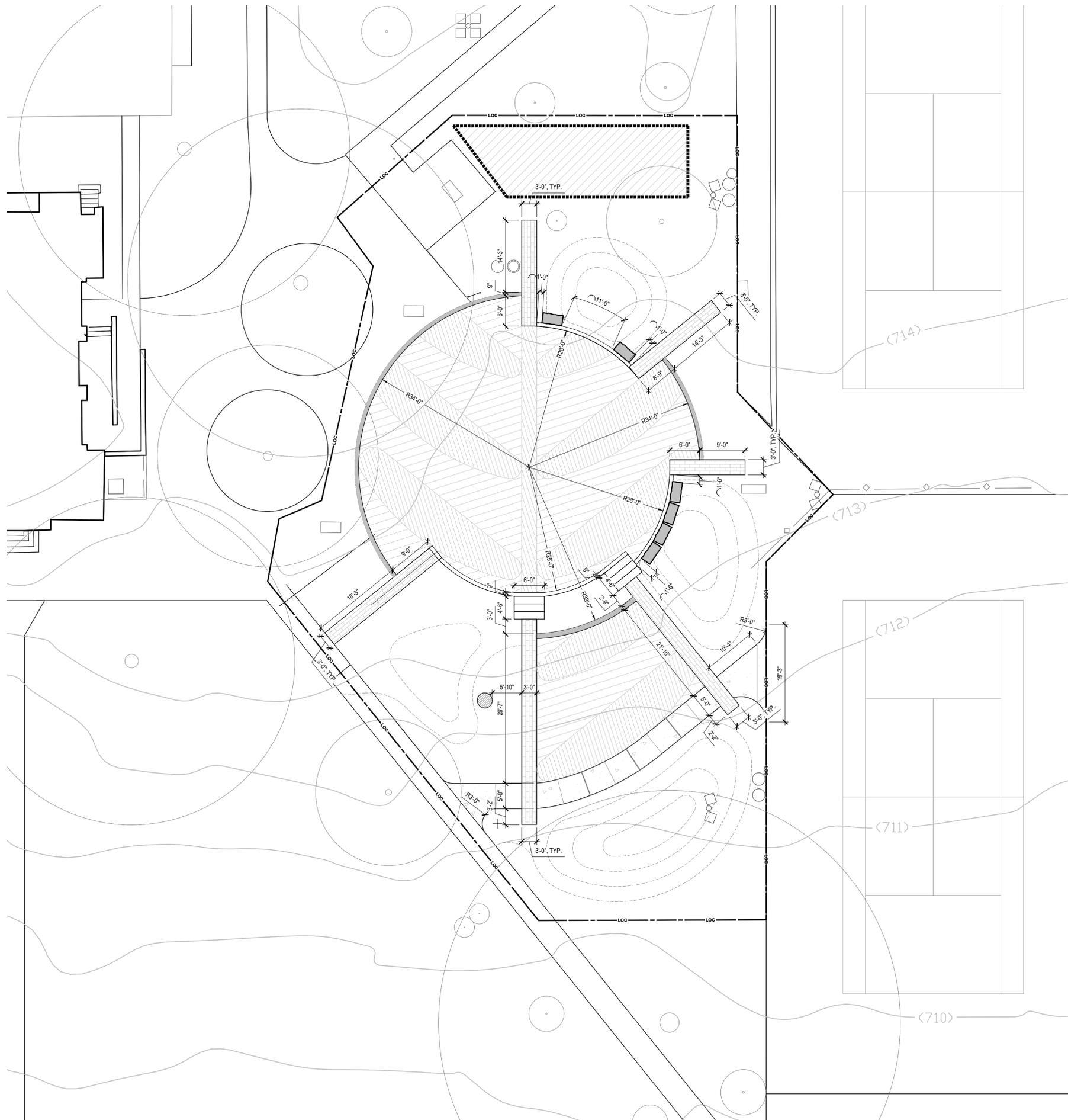
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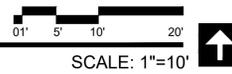
1 SITWORK PLAN



SCALE: 1"=10'



1 SITework DIMENSION
PLAN



**HIGHLAND
PARK**

PROJECT ADDRESS
900 RIGSBY AVENUE
SAN ANTONIO, TEXAS 78210

OWNER | CLIENT
CITY OF SAN ANTONIO
114 W. COMMERCE
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NO.	DATE	DESCRIPTION

SHEET INFORMATION

PROJECT NO.	23002
DATE ISSUED	OCTOBER 20, 2023
SHEET NAME	SITework DIMENSION PLAN
SHEET NUMBER	

James A. Bode
Community Center



900

Highland Park
Tennis Courts





HIGHLAND PARK

900 RIGSBY AVENUE
SAN ANTONIO, TEXAS 78210

CITY OF SAN ANTONIO

114 W. COMMERCE
SAN ANTONIO, TX 78283

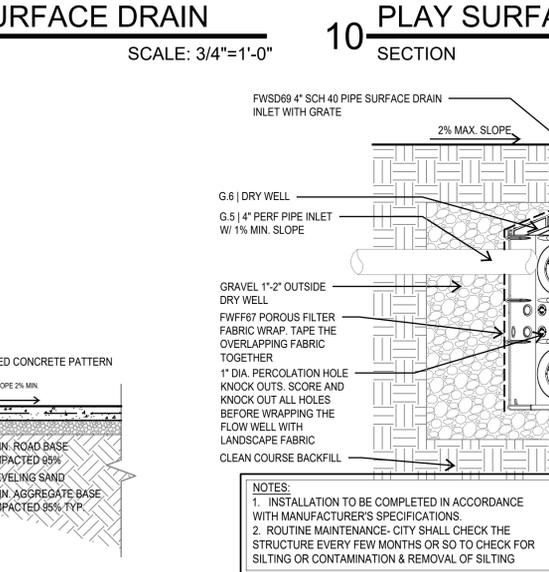
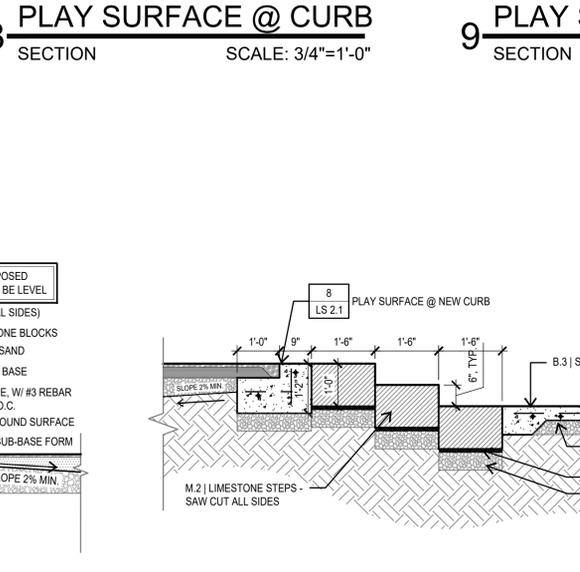
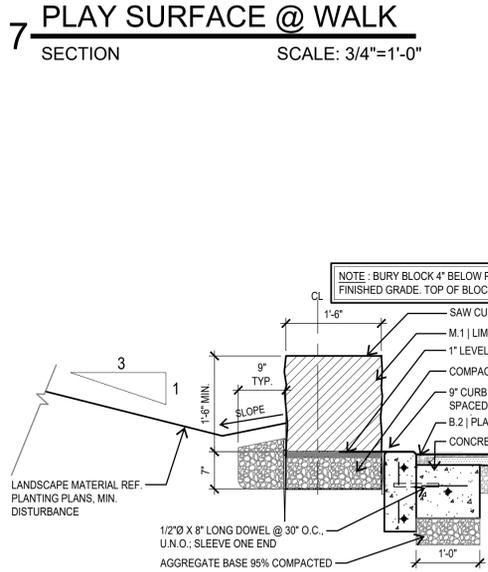
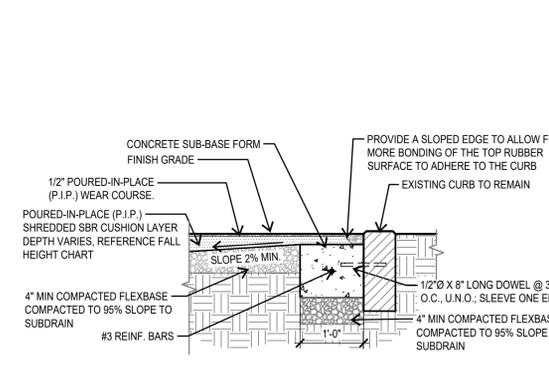
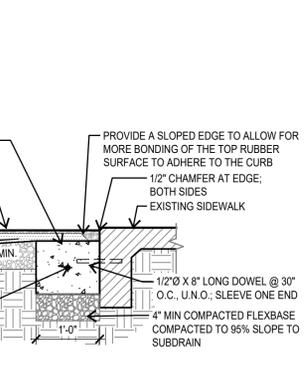
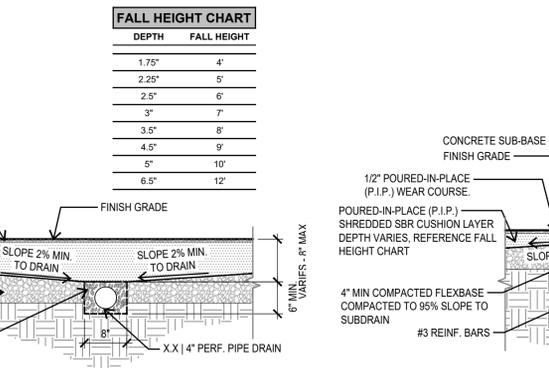
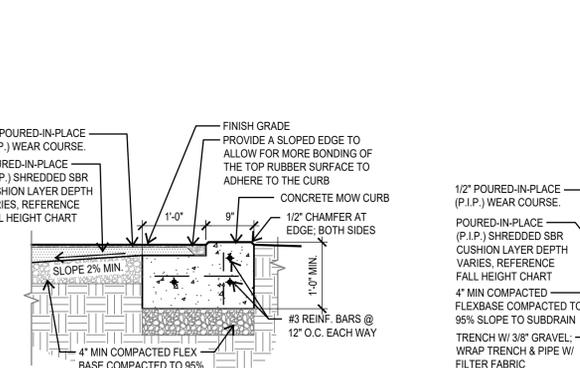
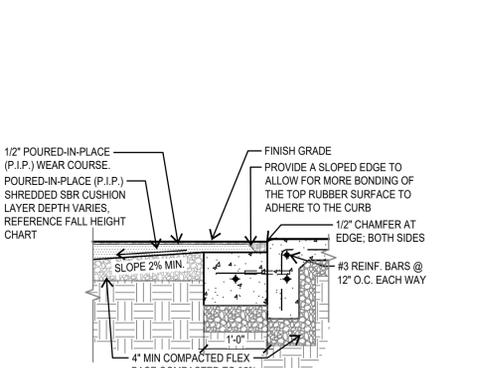
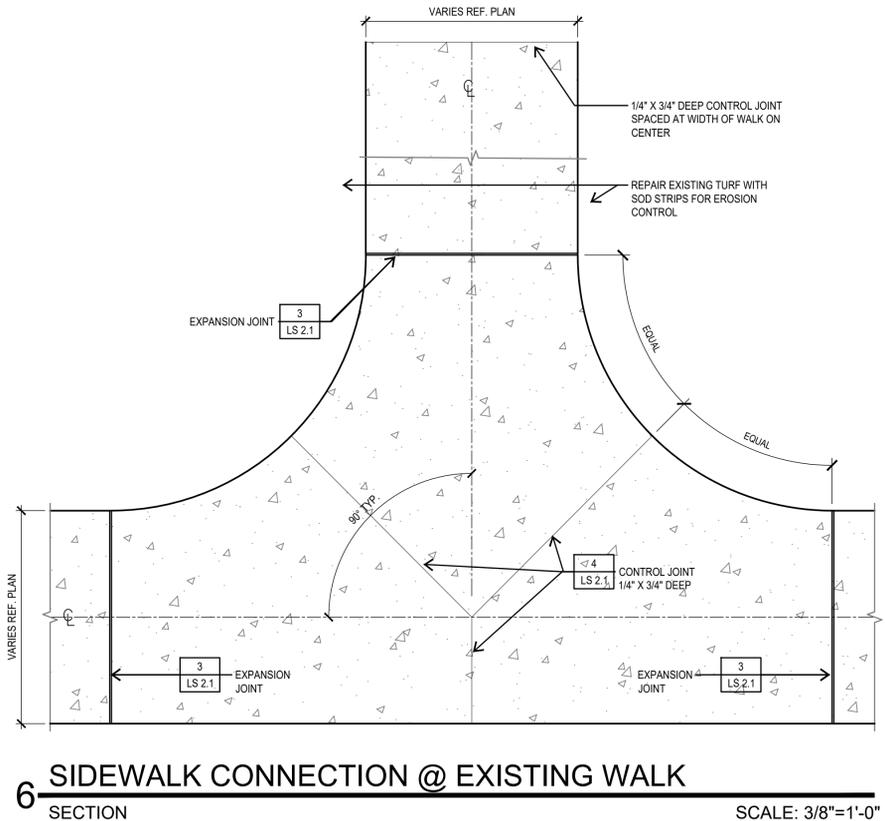
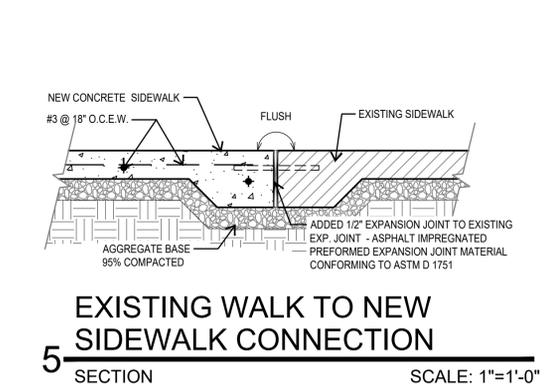
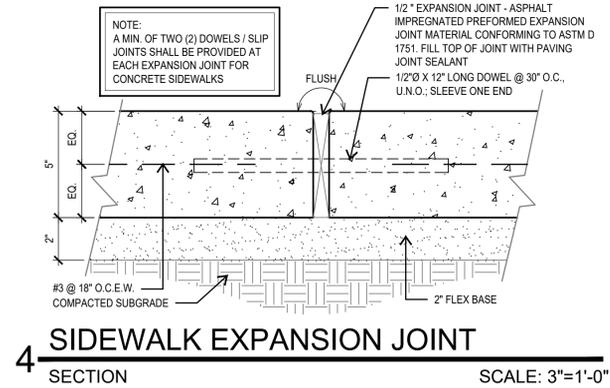
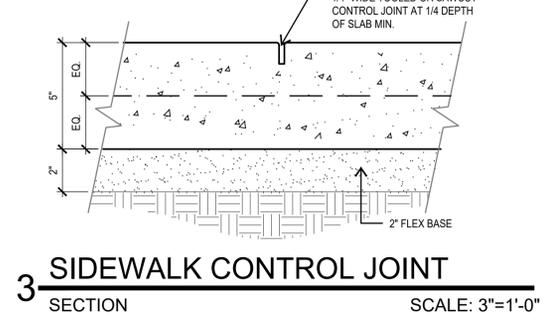
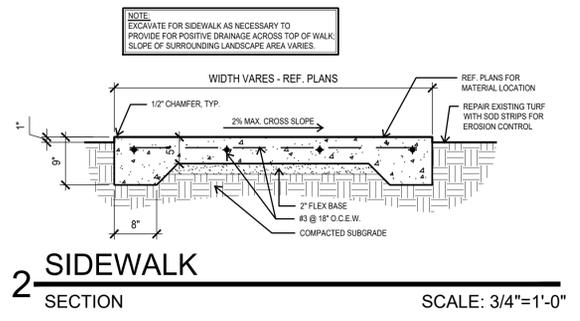
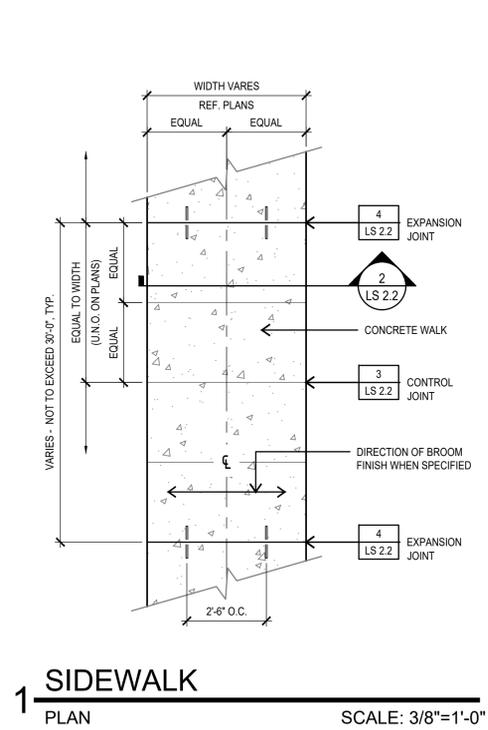
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NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

PROJECT NO.	DATE ISSUED	SHEET NAME	SITWORK DETAILS	SHEET NUMBER
23002	OCTOBER 20, 2023			

LS 2.1



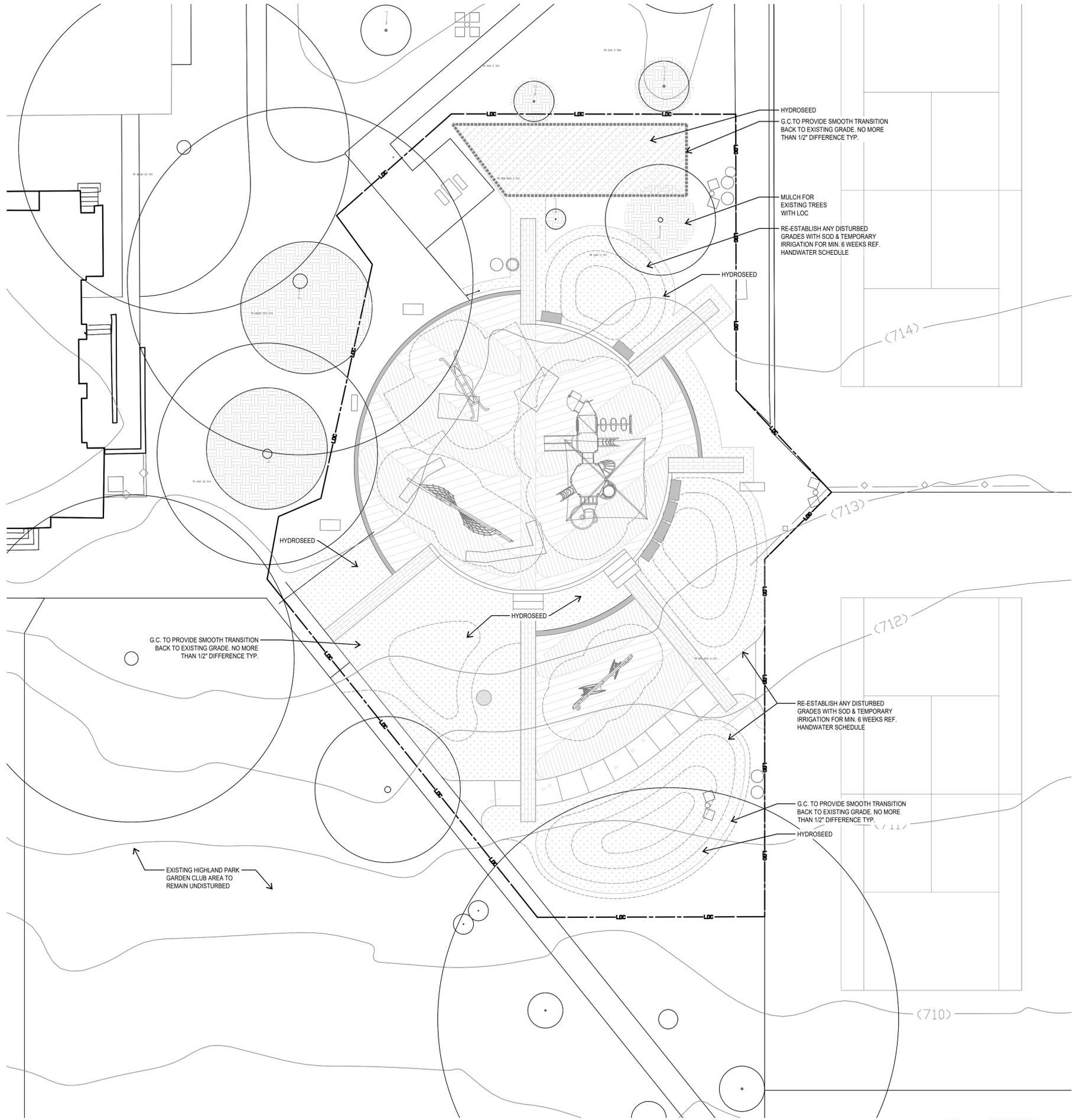
12 LIMESTONE BENCH @ CURB/BERM SECTION SCALE: 3/4"=1'-0"

13 STONE LEUDER @ WALK SECTION SCALE: 1/2"=1'-0"

14 DRYWELL DRAIN SYSTEM SECTION SCALE: 1/2"=1'-0"

FALL HEIGHT CHART

DEPTH	FALL HEIGHT
1.75"	4"
2.25"	5"
2.5"	6"
3"	7"
3.5"	8"
4.5"	9"
5"	10"
6.5"	12"



NOTE: CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY EXCAVATION. ALL NEW SITE WORK, STRUCTURES, & UTILITY LINES (ELECTRIC, IRRIGATION, ETC.) TO AVOID IMPACTS/ TRENCHING WITHIN TREES IDENTIFIED TO BE PRESERVED INCLUDING THEIR INDIVIDUAL TREE CRITICAL ROOT PROTECTION ZONES OR OUTLINE OF TREE.

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ALL DISTURBED AREAS FOR SITE WORK AND UTILITY TRENCHING SHALL BE CONSIDERED AS PART OF SCOPE AND RE-ESTABLISHMENT BY G.C PRIOR TO FINAL APPROVAL.

HYDRO MULCH TO BE TIFWAY 419 BERMUDA FROM KING RANCH OR APPROVED EQUAL.



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

STATUS



PROJECT

HIGHLAND PARK

PROJECT ADDRESS

900 RIGSBY AVENUE
SAN ANTONIO, TEXAS 78210

OWNER | CLIENT

CITY OF SAN ANTONIO
114 W. COMMERCE
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

ALMA NUNEZ
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SUBCONSULTANT

REVISIONS

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SHEET INFORMATION

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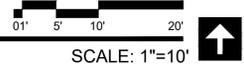
SHEET NAME

PLANTING PLAN

SHEET NUMBER

LP 1.1

1 PLANTING
PLAN



SCALE: 1"=10'

HIGHLAND PARK

New playground and surrounding sidewalk connections to replace the existing swings and playground equipment

901 RIGSBY AVE. SAN ANTONIO, TX 78210



New basketball court and walk trails connecting to the existing trail system

