

## HISTORIC AND DESIGN REVIEW COMMISSION

November 15, 2023

**HDRC CASE NO:** 2023-428  
**ADDRESS:** 901 RIGSBY AVE  
**LEGAL DESCRIPTION:** NCB 3307 BLK 39 LOT 1 THRU 26  
**ZONING:** R-4  
**CITY COUNCIL DIST.:** 3  
**DISTRICT:** Public Property  
**APPLICANT:** Raymond Aguilar | MP Studio LA  
**OWNER:** City of San Antonio  
**TYPE OF WORK:** Park improvements  
**APPLICATION RECEIVED:** October 18, 2023  
**60-DAY REVIEW:** December 17, 2023  
**CASE MANAGER:** Bryan Morales

### REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to improve the park including modifications to the existing sidewalk design.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

#### 1. Topography

##### A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

#### 2. Fences and Walls

##### A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

##### B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

### C. PRIVACY FENCES AND WALLS

- i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.
- ii. *Location* – Do not use privacy fences in front yards.

## 3. Landscape Design

### A. PLANTINGS

- i. *Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

### B. ROCKS OR HARDSCAPE

- i. *Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

### C. MULCH

*Organic mulch* – Organic mulch should not be used as a wholesale replacement for plant material. Organic mulch with appropriate plantings should be incorporated in areas where appropriate such as beneath a tree canopy.

- i. *Inorganic mulch* – Inorganic mulch should not be used in highly-visible areas and should never be used as a wholesale replacement for plant material. Inorganic mulch with appropriate plantings should be incorporated in areas where appropriate such as along a foundation wall where moisture retention is discouraged.

### D. TREES

- i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.
- iii. *Maintenance* – Proper pruning encourages healthy growth and can extend the lifespan of trees. Avoid unnecessary or harmful pruning. A certified, licensed arborist is recommended for the pruning of mature trees and heritage trees.

## 4. Residential Streetscapes

### A. PLANTING STRIPS

- i. *Street trees*—Protect and encourage healthy street trees in planting strips. Replace damaged or dead trees with trees of a similar species, size, and growth habit as recommended by the City Arborist.
- ii. *Lawns*—Maintain the use of traditional lawn in planting strips or low plantings where a consistent pattern has been retained along the block frontage. If mulch or gravel beds are used, low-growing plantings should be incorporated into the design.

iii. *Alternative materials*—Do not introduce impervious hardscape, raised planting beds, or other materials into planting strips where they were not historically found.

#### B. PARKWAYS AND PLANTED MEDIANS

i. *Historic plantings*—Maintain the park-like character of historic parkways and planted medians by preserving mature vegetation and retaining historic design elements. Replace damaged or dead plant materials with species of a like size, growth habit, and ornamental characteristics.

ii. *Hardscape*—Do not introduce new pavers, concrete, or other hardscape materials into parkways and planted medians where they were not historically found.

#### C. STREET ELEMENTS

i. *Site elements*—Preserve historic street lights, street markers, roundabouts, and other unique site elements found within the public right-of-way as street improvements and other public works projects are completed over time.

ii. *Historic paving materials*—Retain historic paving materials, such as brick pavers or colored paving, within the public right-of-way and repair in place with like materials.

### 5. Sidewalks, Walkways, Driveways, and Curbing

#### A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.

v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

#### B. DRIVEWAYS

i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

#### C. CURBING

i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.

ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

### 6. Non-Residential and Mixed Use Streetscapes

#### A. STREET FURNITURE

i. *Historic street furniture*—Preserve historic site furnishings, including benches, lighting, tree grates, and other features.

ii. *New furniture*—Use street furniture such as benches, trash receptors, tree grates, and tables that are simple in design and are compatible with the style and scale of adjacent buildings and outdoor spaces when historic furnishings do not exist.

#### B. STREET TREES

i. *Street trees*—Protect and maintain existing street trees. Replace damaged or dead trees with trees of a similar species, size, and growth habit.

### 7. Off-Street Parking

#### A. LOCATION

i. *Preferred location*—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.

- ii. *Front*—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.
- iii. *Access*—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

#### B. DESIGN

- i. *Screening*—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.
- ii. *Materials*—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.
- iii. *Parking structures*—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding historic district when new parking structures are necessary.

### 8. Americans with Disabilities Act (ADA) Compliance

#### A. HISTORIC FEATURES

- i. *Avoid damage*—Minimize the damage to the historic character and materials of the building and sidewalk while complying with all aspects of accessibility requirements.
- ii. *Doors and door openings*—Avoid modifying historic doors or door openings that do not conform to the building and/or accessibility codes, particularly on the front façade. Consider using a discretely located addition as a means of providing accessibility.

#### B. ENTRANCES

- i. *Grade changes*—Incorporate minor changes in grade to modify sidewalk or walkway elevation to provide an accessible entry when possible.
- ii. *Residential entrances*—The preferred location of new ramps is at the side or rear of the building when convenient for the user.
- iii. *Non-residential and mixed use entrances*—Provide an accessible entrance located as close to the primary entrance as possible when access to the front door is not feasible.

#### C. DESIGN

- i. *Materials*—Design ramps and lifts to compliment the historic character of the building and be visually unobtrusive as to minimize the visual impact, especially when visible from the public right-of-way.
- ii. *Screening*—Screen ramps, lifts, or other elements related to ADA compliance using appropriate landscape materials. Refer to Guidelines for Site Elements for additional guidance.
- iii. *Curb cuts*—Install new ADA curb cuts on historic sidewalks to be consistent with the existing sidewalk color and texture while minimizing damage to the historical sidewalk.

### FINDINGS:

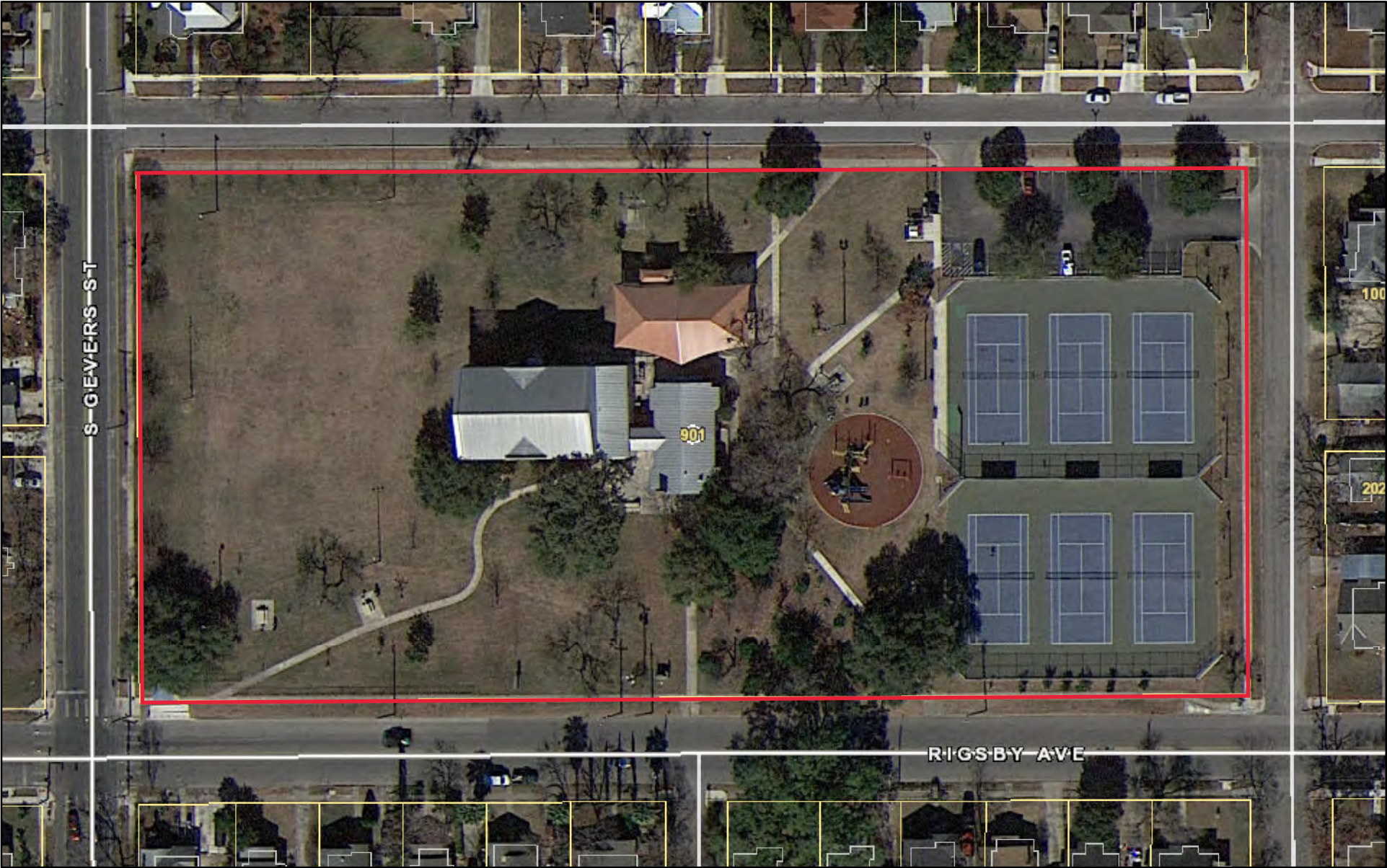
- a. The property located at 901 Rigsby Ave is commonly known as Highland Park. Highland Park is located within District 3 and features a six tennis courts, a basketball court, the James A. Bode Community Center, and a playground area. The property is owned by the City of San Antonio.
- b. **SIDEWALK INSTALLATION** – The applicant is requesting to add additional sidewalks to the park. The Historic Design Guidelines for Site Elements 5.A.iii. states to follow the alignment, configuration, and width of sidewalks and walkways present on site. Staff finds the proposed installation of sidewalks generally appropriate.

### RECOMMENDATION:

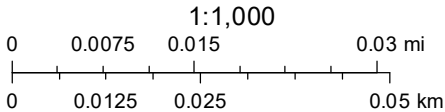
Staff recommends approval of the request based on findings a and b.



City of San Antonio One Stop



November 8, 2023





# DISTRICT 3 PARK IMPROVEMENTS

# HIGHLAND PARK

900 RIGSBY AVENUE, SAN ANTONIO, TX 78210

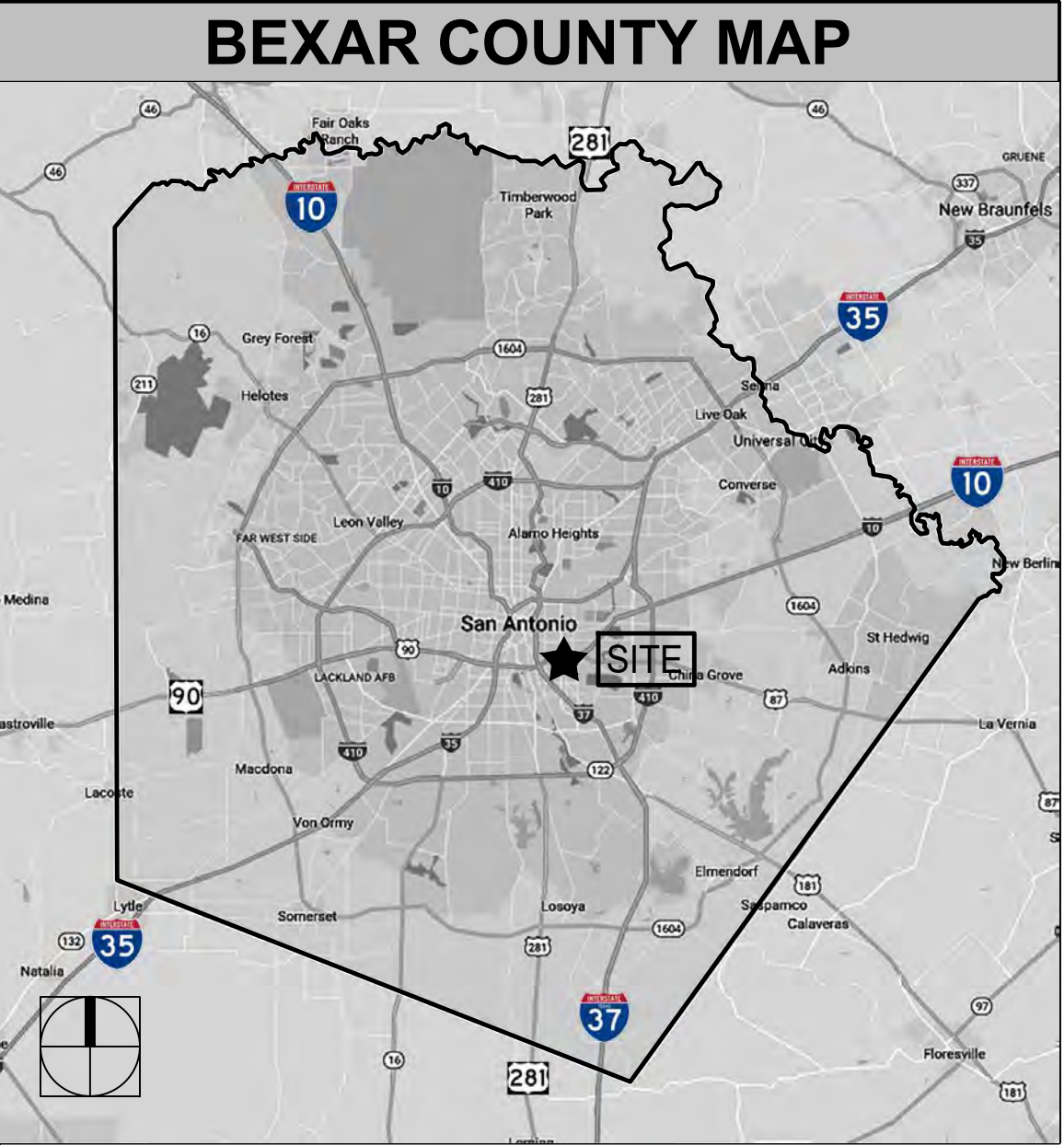
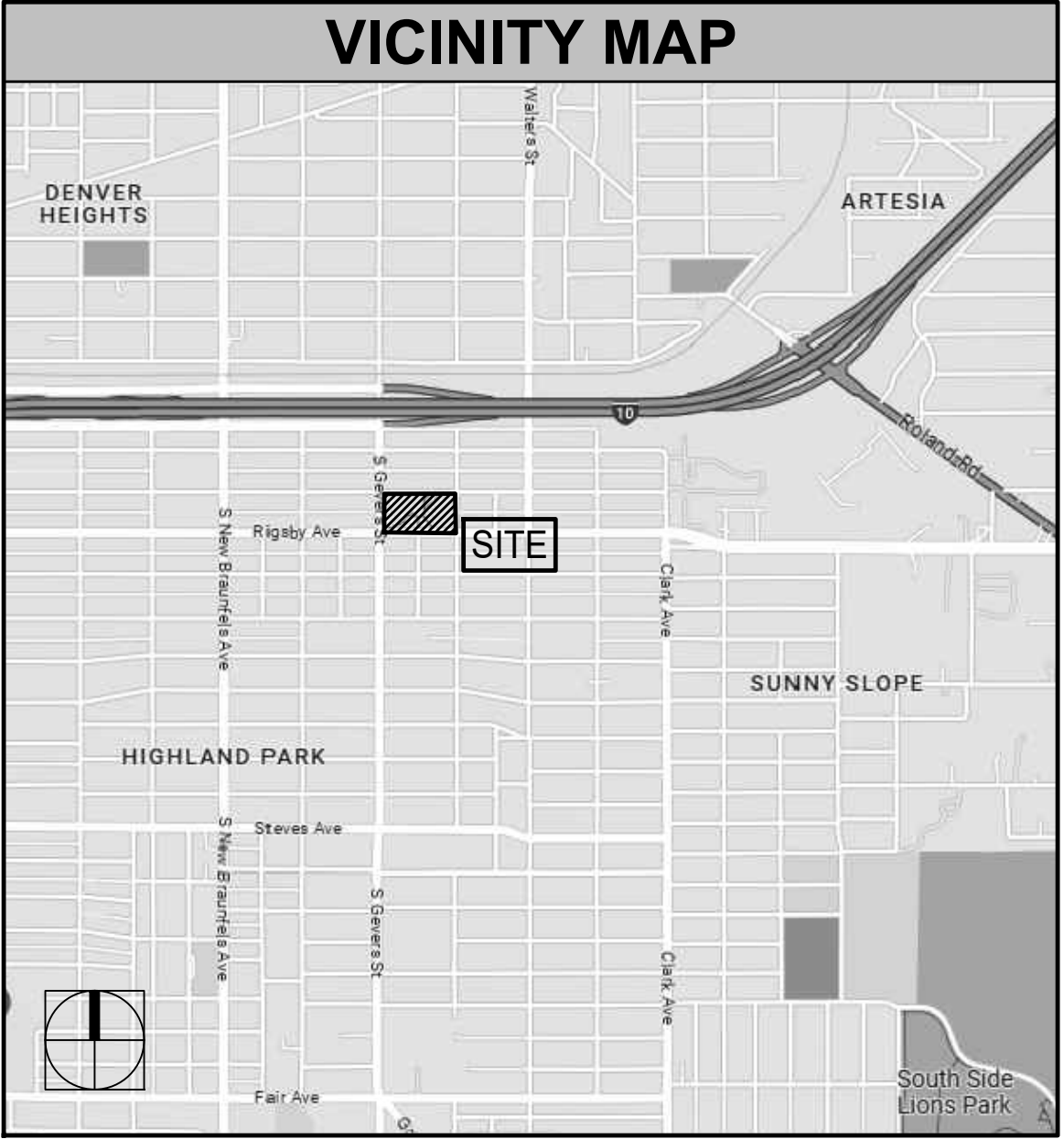
SCOPE OF WORK: PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS NECESSARY TO CONSTRUCT PROPOSED PARK FACILITIES TO INCLUDE DEMOLITION OF EXISTING PLAYGROUND & PLAYGROUND SURFACE, INSTALLATION OF PLAYGROUND, PLAYGROUND SURFACE, PLAYGROUND SUB-DRAINAGE MODIFICATION, ASSOCIATED SIDEWALKS AND PAVING AND OTHER AMENITIES AS SHOWN PER THE PLANS AND SPECIFICATIONS.

CITY OF SAN ANTONIO	
mayor	council district 5
RON NIRENBERG	TERI CASTILLO
city manager	council district 6
ERIK WALSH	MELISSA CABELLO HAVRDA
director of parks & recreation	council district 7
HOMER GARCIA	MARINA ALDERETE GAVITO
council district 1	council district 8
SUKH KAUR	MANNY PELAEZ
council district 2	council district 9
JALEN MCKEE-RODRIGUEZ	JOHN COURAGE
council district 3	council district 10
PHYLLIS VIAGRAN	MARC WHYTE
council district 4	
ADRIANA ROCHA GARCIA	

INDEX OF SHEETS			
DATE	ISSUE	SHEET TITLE	SHEET NO.
REFERENCE			
OCTOBER 20, 2023	100% CD SET	COVER SHEET	LC 1.0
OCTOBER 20, 2023	100% CD SET	GENERAL NOTES & MATERIAL SCHEDULE OVERALL REFERENCE PLAN	LC 1.1
TREE PRESERVATION			
OCTOBER 20, 2023	100% CD SET	TREE PRESERVATION PLAN	TP 1.1
DEMOLITION			
OCTOBER 20, 2023	100% CD SET	DEMOLITION PLAN	LD 1.1
GRADING			
OCTOBER 20, 2023	100% CD SET	GRADING PLAN	LG 1.1
SITEWORK			
OCTOBER 20, 2023	100% CD SET	SITE WORK PLAN	LS 1.1
OCTOBER 20, 2023	100% CD SET	SITE WORK DIMENSION PLAN	LS 1.3
OCTOBER 20, 2023	100% CD SET	SITE WORK DETAILS	LS 2.1
OCTOBER 20, 2023	100% CD SET	SITE WORK DETAILS	LS 2.2
PLANTING			
OCTOBER 20, 2023	100% CD SET	PLANTING PLAN	LP 1.1
OCTOBER 20, 2023	100% CD SET	LANDSCAPE NOTES	LP 2.1

A PROJECT BY	
owner	landscape architect
CITY OF SAN ANTONIO - PUBLIC WORKS DEPARTMENT	MP STUDIO
CONTACT: ALMA NUNEZ 114 WEST COMMERCE ST. SAN ANTONIO, TEXAS 78283 O: 210.207.6123 E: Alma.nunez@sanantonio.gov	CONTACT: MARK PADILLA 201 GROVETON STREET SAN ANTONIO, TEXAS 78210 O: 210.314.5582 E: mark@mpstud.io

PRIME CONSULTANT



201 GROVETON | SATX 78210  
210.314.5582 | MPSTUD.IO

STATUS



10-20-2022

PROJECT

HIGHLAND  
PARK

PROJECT ADDRESS

900 RIGSBY AVENUE  
SAN ANTONIO, TEXAS 78210

OWNER | CLIENT

CITY OF SAN ANTONIO  
114 W. COMMERCE  
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

ALMA NUNEZ  
210.207.6123  
ALMA.NUNEZ@SANANTONIO.GOV

SUBCONSULTANT

REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

NO.	DATE	DESCRIPTION

SHEET INFORMATION

PROJECT NO.

23002

DATE ISSUED

OCTOBER 20, 2023

SHEET NAME





COVER SHEET







SHEET NUMBER

LC 1.0


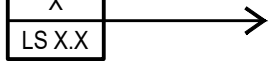
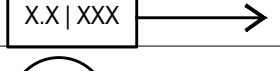
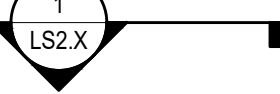
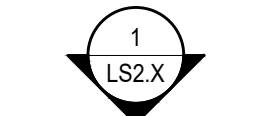
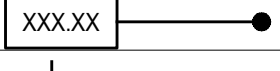
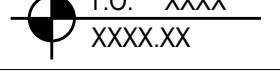
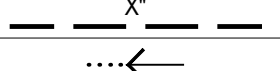




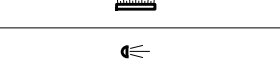


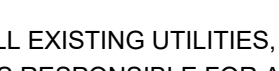





MATERIALS SCHEDULE						
04 00 00 - MASONRY						
KEY	PHOTO	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
M.1		<b>MESA GRANDE BLOCK:</b> LIMESTONE BLOCK - bench size: 18"HT X 18"W X 60"L leuder size: 18"HT X 12"W X 60"L	CREAM	SAWN & CHOPPED	co: AUSTIN BLOCK CO. phone: 833.400.9255 or <i>Approved Substitute</i>	• CONTRACTOR TO CONFIRM BLOCKS SHALL BE FREE FROM CRACK & FLAKING ALONG ALL FACES & EDGES.
32 10 00 - BASES, BALLASTS, PAVING						
KEY	PHOTO	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
B.1		<b>STANDARD CONCRETE</b> 3000 PSI MINIMUM	GREY	LIGHT BROOM	LOCAL SOURCE	•CONTRACTOR TO SUBMIT PRODUCT DATA & SAMPLES FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO ORDERING AND INSTALLATION
B.2		<b>POUR IN PLACE RUBBER SURFACING</b>	TAN AND GREY	STANDARD	co: LANDSCAPE STRUCTURES contact: MINDY LONG phone: 210.620.6300 email: mlong@whitrix.com	
B.4		<b>STAMPED CONCRETE</b> model #: BST4000	U-20 SMOKE	TEXTURED	co: BUTTERFIELD COLOR phone: 800.282.3388	

MATERIALS SCHEDULE, CONT.						
11 68 00 - PLAY FIELD EQUIPMENT AND STRUCTURE						
KEY	PHOTO	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
G.1		<b>PLAYGROUND STRUCTURE</b> model: LSI	prosielf post: SPROUT prosielf clamp: LEAF prosielf component: LIMON permalene primary: <b>BUTTERCUP</b> permalene secondary: LIMON polyethylene primary: LEAF shade fabric: TAN RF	STANDARD	co: LANDSCAPE STRUCTURES contact: MINDY LONG phone: 210.620.6300 email: mlong@whitrix.com	•CONTRACTOR TO SUBMIT PRODUCT DATA & SAMPLES FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO ORDERING AND INSTALLATION •INSTALL PER MANUFACTURERS' RECOMMENDATION •SUPPLY SPECS FOR APPROVE ALTERNATE
G.2		<b>FORGE CLIMBER</b> model: #307425	prosielf post: SPROUT prosielf clamp: LEAF prosielf component: LIMON permalene primary: <b>BUTTERCUP</b> permalene secondary: LIMON polyethylene primary: LEAF netting: TAN	STANDARD		
G.3		<b>FOX DEN HANGOUT</b> model: #307431	prosielf post: SPROUT prosielf clamp: LEAF prosielf component: LIMON permalene primary: <b>BUTTERCUP</b> permalene secondary: LIMON polyethylene primary: LEAF netting: TAN	STANDARD		
G.4		<b>OODLE SWING</b> model: #173592	prosielf post: SPROUT prosielf clamp: LEAF prosielf component: LIMON permalene primary: <b>BUTTERCUP</b> permalene secondary: LIMON polyethylene primary: LEAF netting: TAN	STANDARD		
G.5		<b>PERFORATED PIPE</b> NDS EZ DRAIN model: SKU #EZ-1001F size: 4" DIA.	N/A	N/A	LOCAL SOURCE	
G.6		<b>DRY WELL</b> NDS FLOW WELL KIT model: SKU FWAS24WH	N/A	N/A	LOCAL SOURCE	

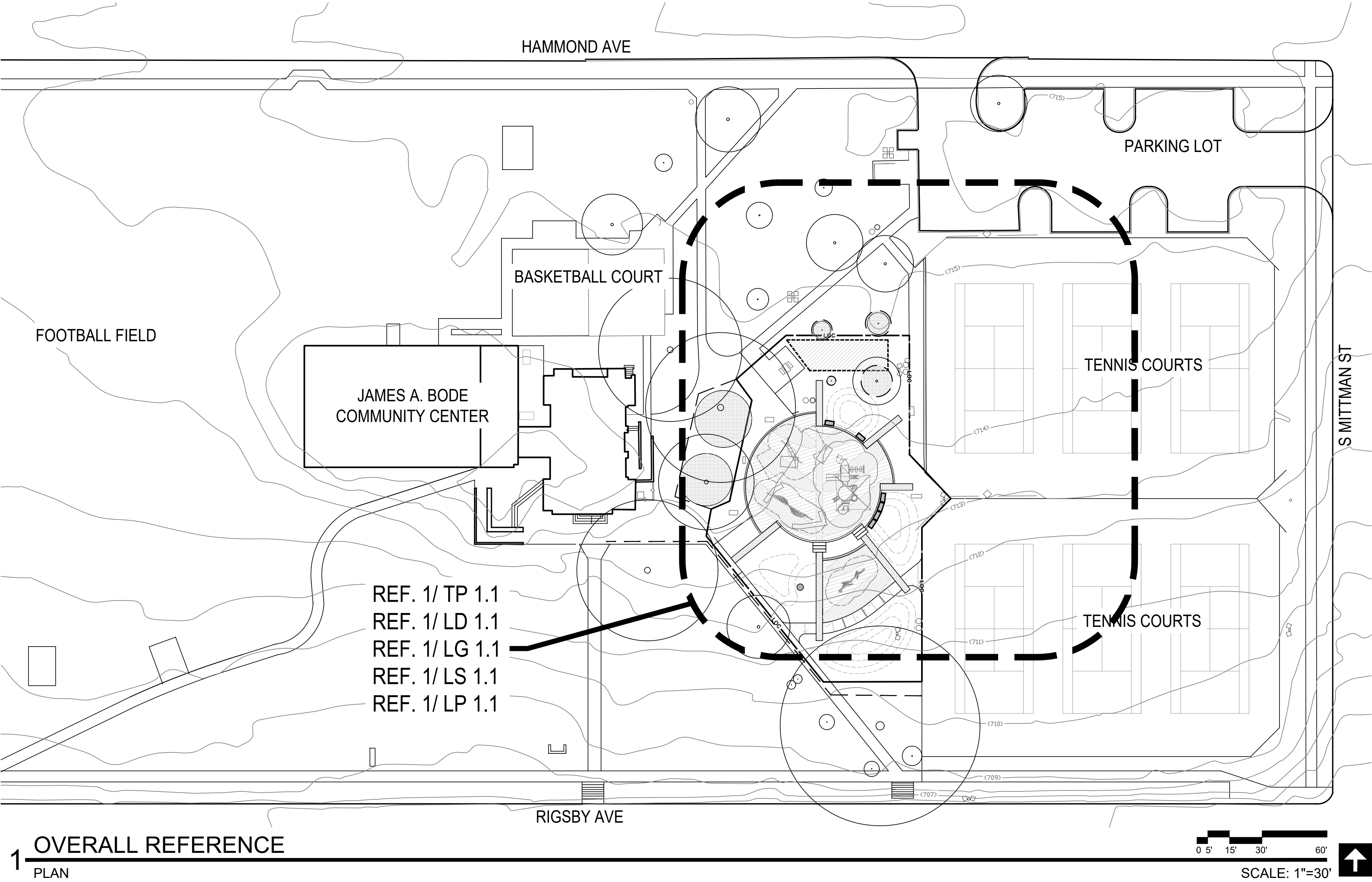
GENERAL LEGEND	
ABBREVIATIONS	
SYMBOL	DESCRIPTION
AD	AREA DRAIN
BC	BOTTOM OF CURB
BOC	BACK OF CURB
BW	BOTTOM OF WALL
CL	CENTER LINE
ESMT	EASEMENT
EOP	EDGE OF PAVEMENT
EJ	EXPANSION JOINT
FOC	FACE OF CURB
FFE	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
HP	HIGH POINT
INV	INVERT OF PIPE
L.O.C.	LIMITS OF CONSTRUCTION
N.I.C.	NOT IN CONTRACT
OC	ON CENTER
OCWE	ON CENTER EACH WAY
OHE	OVERHEAD ELECTRIC
PD	PLANTER DRAIN
PA	PLANTING AREA
PP	POWER POLE
POB	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
TAN	POINT OF TANGENCY
SD	STORM DRAIN
SS	SANITARY SEWER
TD	TOP OF DRAIN
TPC	TOP OF POOL COPING
TC	TOP OF CURB
TF	TOP OF FOOTING
TW	TOP OF WALL
UGE	UNDERGROUND ELECTRIC
U.N.O.	UNLESS NOTED OTHERWISE
WD	WATER DEPTH
WL	WATER LEVEL

GENERAL LEGEND	
SYMBOLS & LINE TYPES	
SYMBOL	DESCRIPTION
REF:	
	ENLARGEMENT AREA W/ CALLOUT
	DETAIL CALLOUT
	MATERIALS & FINISHES CALLOUT
	SECTION CALLOUT
	ELEVATION CALLOUT
XXXXX	SITework LABEL
QTY-XXX	PLANTING LABEL
--- XXX ---	EXISTING TOPOGRAPHY - MINOR
--- XXX ---	EXISTING TOPOGRAPHY - MAJOR
--- XXX ---	PROPOSED TOPOGRAPHY - MINOR
--- XXX ---	PROPOSED TOPOGRAPHY - MAJOR
	PROPOSED SPOT ELEVATION
	PROPOSED DATUM ELEVATION
	PIPE SIZE
	WATER FLOW / SWALE DIRECTION
	ELECTRICAL METER
	JUNCTION BOX
	CONDUIT
	HOME RUN
	SIGN LIGHT
	TREE OR SIGN BULLET UPLIGHT
	POLE LIGHT
	GFI ELECTRICAL OUTLET

GENERAL NOTES:

- CONTRACTOR SHALL LOCATE AND VERIFY THE CONDITION OF ALL EXISTING UTILITIES, INCLUDING CONTACTING LINE LOCATION SERVICES, PRIOR TO ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR ANY COSTS INCURRED FOR BODILY INJURY AND/OR DAMAGE TO THE OWNER'S PROPERTY OR SAID UTILITIES.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ASPECTS OF A SAFE WORK SITE INCLUDING, BUT NOT LIMITED TO, PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION AND COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS ON, OR ADJACENT TO, THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS CAUSED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK REQUIRING INSPECTION IN COORDINATING THE PROJECT SCHEDULE.
- ANY PROPOSED ALTERNATES OR SUBSTITUTIONS TO THE WORK BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND/OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF TRASH ON A DAILY BASIS AND MAINTAINING A CLEAN JOBSITE.
- CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVICING TEMPORARY TOILET FACILITIES.
- UNLESS SPECIFIED OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYMENT OF ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT WITH COSTS INCLUDED IN THE BID. (PLAN REVIEW FEES ARE PAID BY OWNER.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME AWARE OF REQUIRED INSPECTIONS THAT ARE ASSOCIATED WITH PERMITS ISSUED FOR THE WORK AND TO SCHEDULE THESE INSPECTIONS AT THE APPROPRIATE STAGE OF CONSTRUCTION. (EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, ROUGH-IN ELECTRICAL, ROUGH-IN PLUMBING, IRRIGATION PIPING, FOUNDATION STEEL FOR STRUCTURES, INCLUDING WALLS, FIRE INSPECTIONS RELATED TO ENTRY GATES AND STRUCTURES, AND OTHER INSPECTIONS AS THEY MAY APPLY.)
- CONTRACTOR SHALL COORDINATE THE WORK OF SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS COORDINATE CONSTRUCTION ACTIVITIES WITH OTHER CONTRACTORS WORKING ON THE SITE.
- CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK ANY VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO APPROVAL, CONTRACTOR SHALL PROVIDE PROTECTION OF ALL FINISHED WORK IN PLACE, THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH AND CONSTRUCTION DEBRIS AND REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTLING OR EROSION THAT HAS OCCURRED DUE TO CONSTRUCTION ACTIVITIES.
- UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR SUBSTANTIAL COMPLETION INSPECTION TO THE OWNER AND LANDSCAPE ARCHITECT TO DETERMINE ACCEPTABILITY. WHERE INSPECTED WORK DOES NOT COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL REPLACE REJECTED WORK AND NOTIFY THE OWNER OR LANDSCAPE ARCHITECT FOR REINSPECTION AS APPROPRIATE FOR ACCEPTANCE AND PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.

END OF NOTES



1 OVERALL REFERENCE  
PLAN



201 GROVETON | SATX 78210  
210.314.5582 | MPSTUD.IO

STATUS



10-20-2022

PROJECT

HIGHLAND  
PARK

PROJECT ADDRESS

900 RIGSBY AVENUE  
SAN ANTONIO, TEXAS 78210

OWNER | CLIENT

CITY OF SAN ANTONIO

114 W. COMMERCE  
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

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SUBCONSULTANT

REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

NO.	DATE	DESCRIPTION

SHEET INFORMATION

PROJECT NO.

23002

DATE ISSUED

OCTOBER 20, 2023

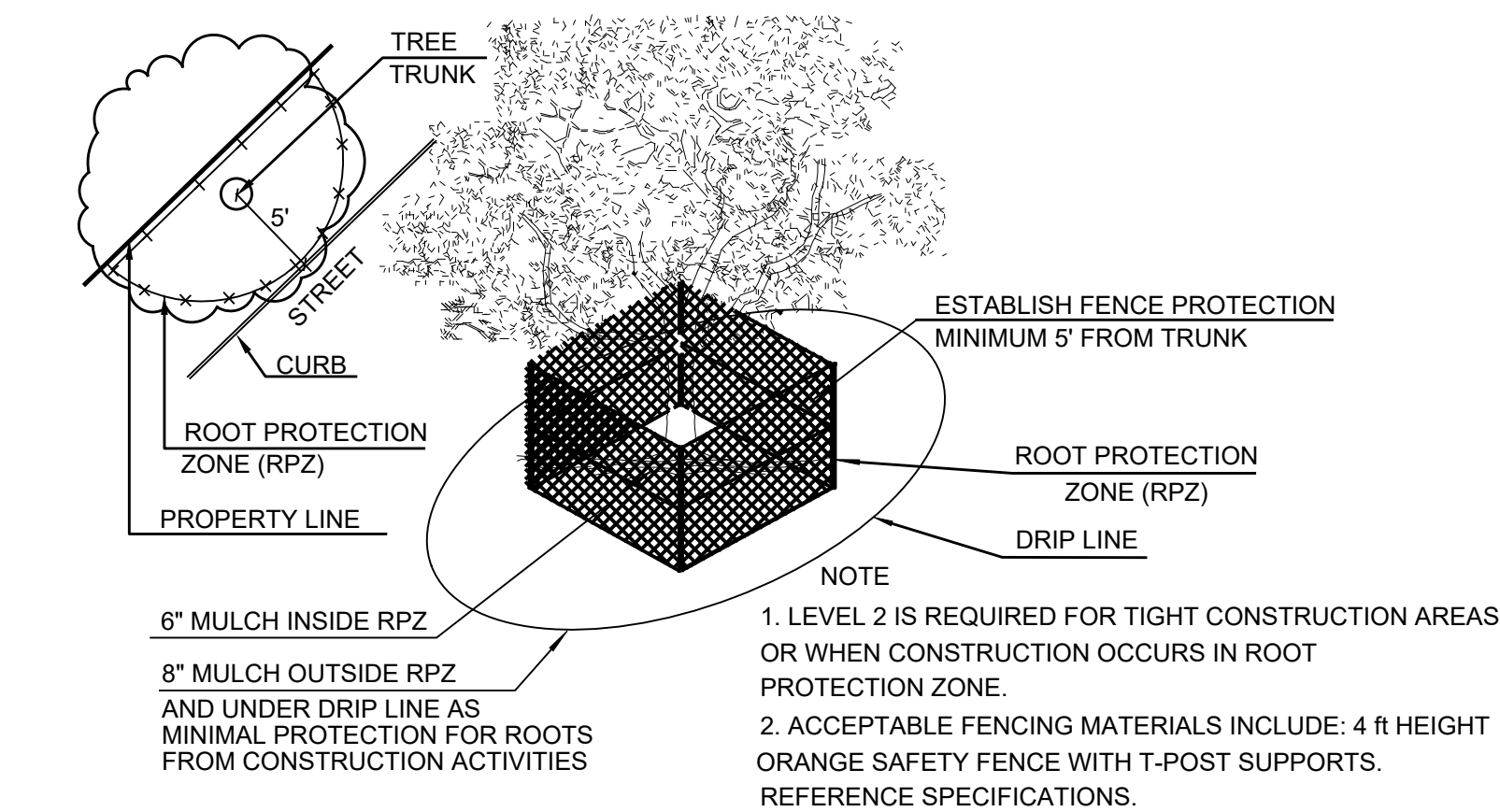
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MATERIALS SCHEDULE -  
GENERAL NOTES &  
REFERENCE PLAN

SHEET NUMBER

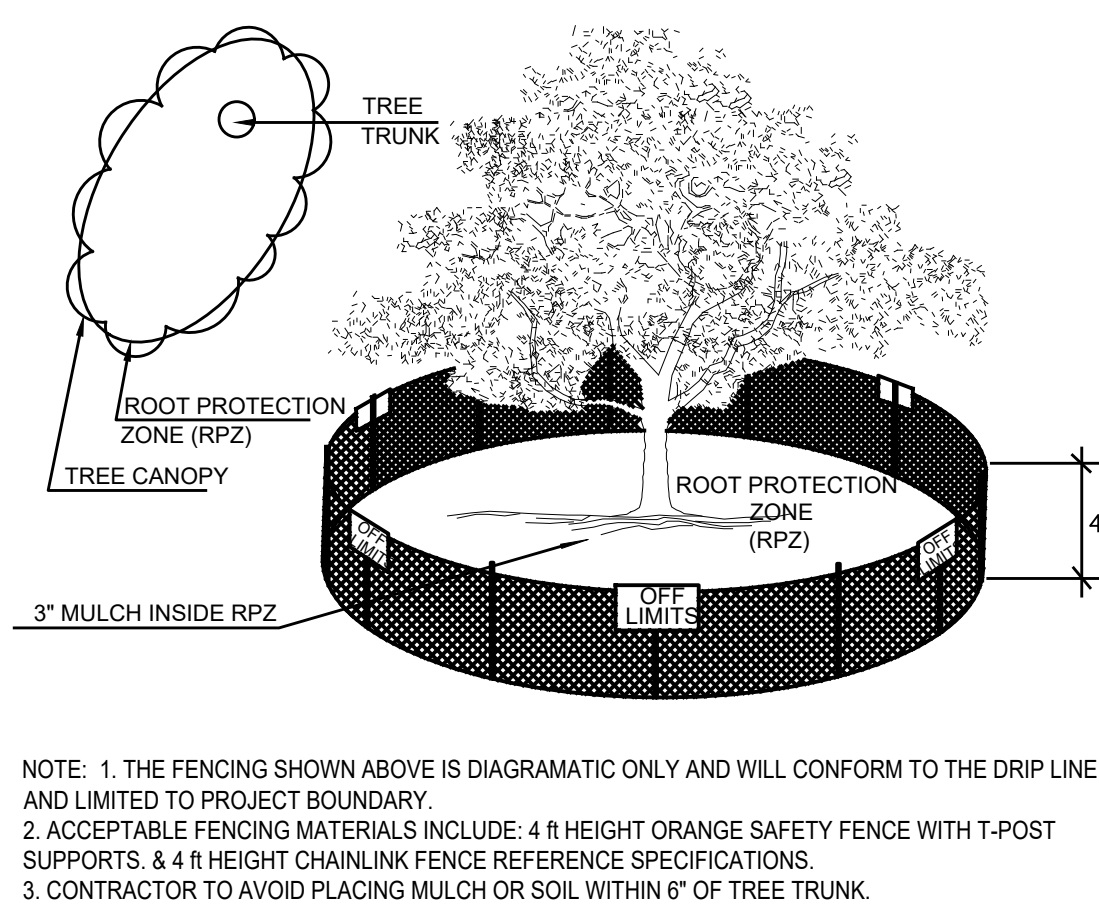
LC 1.1





3 LEVEL II A TREE PROTECTION  
ELEVATION NOT TO SCALE

HIGHLAND PARK TREE INVENTORY													
Tag #	Species	Tree Caliper	Understory Species*		Significant Tree		Significant Tree**		Heritage 3:1		Heritage 1:1		Additional Inches Preserved for Mitigation ***
			5.0" - 11.5"	11.5" - 23.5"	23.5" - 34.5"	34.5" - 45.5"	45.5" - 56.5"	56.5" - 67.5"	67.5" - 78.5"	78.5" - 89.5"	89.5" - 100.5"	100.5" - 111.5"	
311	Oak	11"											
312	Red Bud	2"											2
313	Red Bud	4"											
314	Oak	22"											
315	Mesquite	34.5"											
Sub. Tot. Inches=			0	0	0	33	0	34.5	0	0	0	0	2
Total inches by category=						33		34.5					0
Preservation percentage=			#DIV/0!		Significant		100%		Heritage Preservation:		#DIV/0!		
Mitigation required (Commercial) =			0		Commercial (inches)=		-40.5		Heritage Mitigation (inches)=		0		
Mitigation required (Residential) =					Residential (inches)=								



2 EXISTING I-A TREE PROTECTION  
ELEVATION - PLAN - 3D VIEW NOT TO SCALE

TREE PRESERVATION

MANDATORY CRITERIA SEC. 35-523

TREES SURVEYED

UNDERSTORY TREE: 0 TOTAL INCHES X 40% REQ. PRESERVED:

SIGNIFICANT TREE: 33 TOTAL INCHES X 40% REQ. PRESERVED:

HERITAGE TREE: 34.5 TOTAL INCHES X 100% REQ. PRESERVED:

HERITAGE TREE INCH. PRESERVED:

REQUIRED HERITAGE MITIGATION:

TOTAL REQUIRED MITIGATION:

0 INCH.

13.2 INCH.

33 INCH. (100%)

0" REQ. MITIGATION

34.5 INCH. (100%)

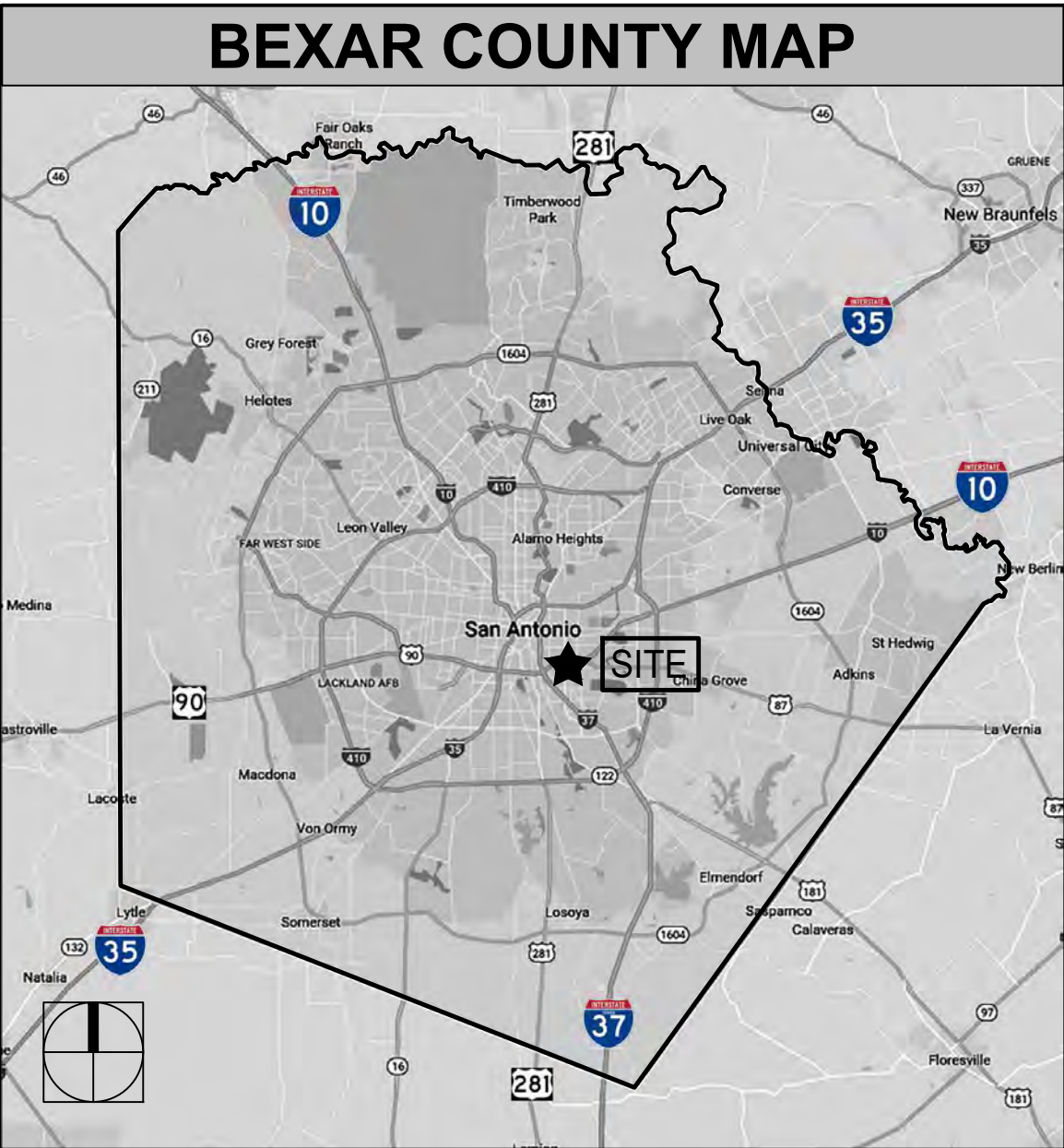
34.5 INCH. (100%)

0" REQ. MITIGATION

0 INCHES REQUIRED

PRESERVED TREES

REMOVED TREES



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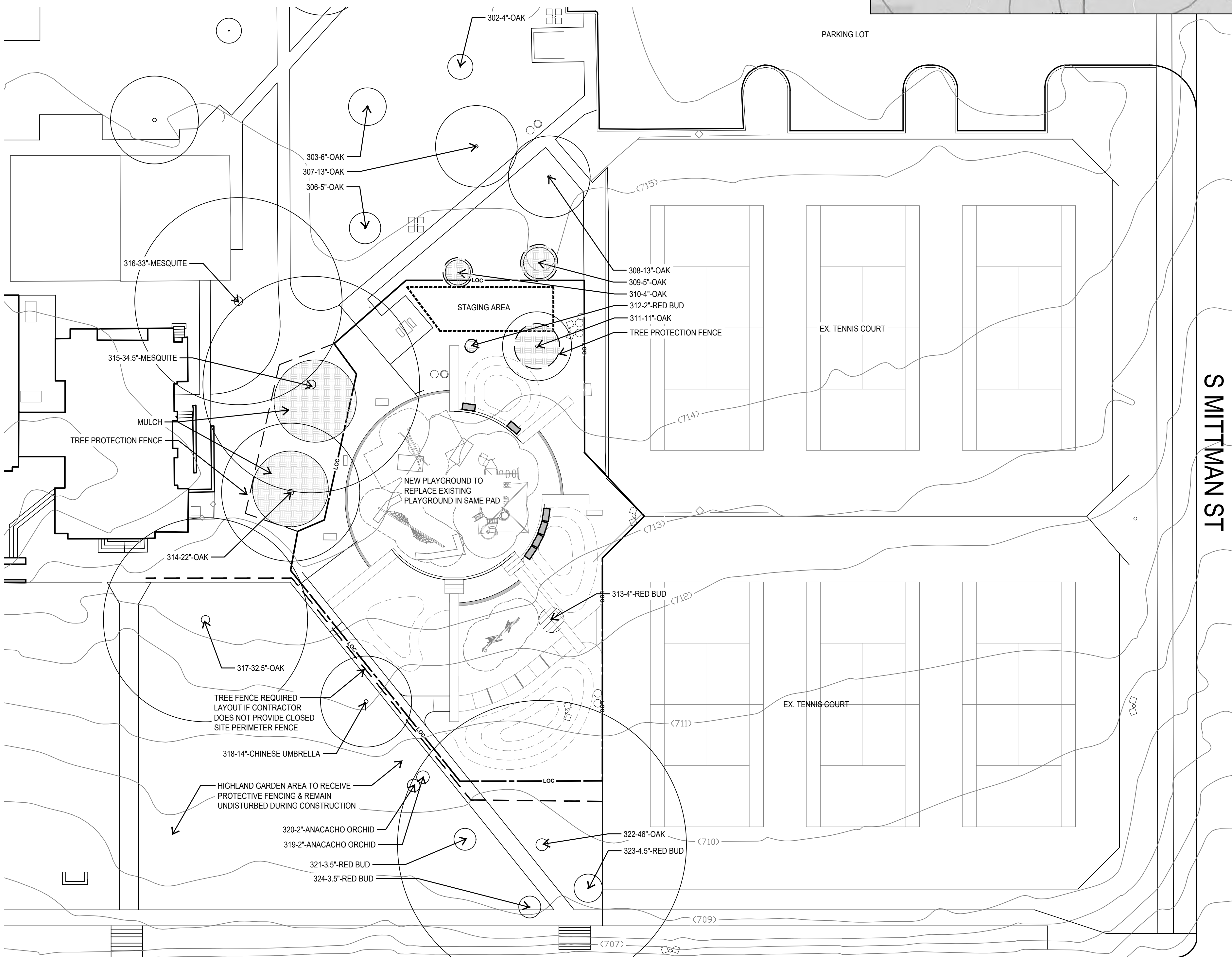
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SUBCONSULTANT

## EXISTING TREE NOTES

- ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE PROTECTION AS SHOWN ON TREE PROTECTION DETAIL ON THIS SHEET.
- ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
- NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY CITY INSPECTOR.
- TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
- THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
- THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS 1 FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE WOULD HAVE A 5-FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. LIVE OAK WOUNDS SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT OAK WILT.
- ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.
- GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.
- TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.
- TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION IN PENALTY PAYMENT FEES.
- EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.

**HAND-WATERING** NOTES: IN ADDITION TO TREE FENCING, CONTRACTOR TO APPLY 6" MIN. LAYER OF DOUBLE SHREDDED HARDWOOD MULCH WITHIN THE EXISTING TREES ROOT ZONE. CONTRACTOR SHALL HAND-WATER EXISTING TREES DURING THE CONSTRUCTION LIFETIME UNTIL COMPLETION WITH THE FOLLOWING SCHEDULE:  
ONE-INCH TO ONE & ONE-HALF INCH EVERY 3 DAYS (EXACT NEED DEPENDS ON TIME OF YEAR, SITE CONDITIONS, TREE TYPE  
NOTE: CONTRACTOR TO AVOID HAND-WATERING DURING THE HOTTEST PART OF THE DAY — 10 A.M. TO 6 P.M. — TO CONSERVE WATER TO EVAPORATION



RIGSBY AVE

## 1 TREE PRESERVATION

PLAN

0 5' 10' 20' 40'

SCALE: 1"=20'



REVISIONS		
NO.	DATE	DESCRIPTION

ISSUE SETS		
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SHEET INFORMATION	
PROJECT NO.	

23002

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OCTOBER 20, 2023

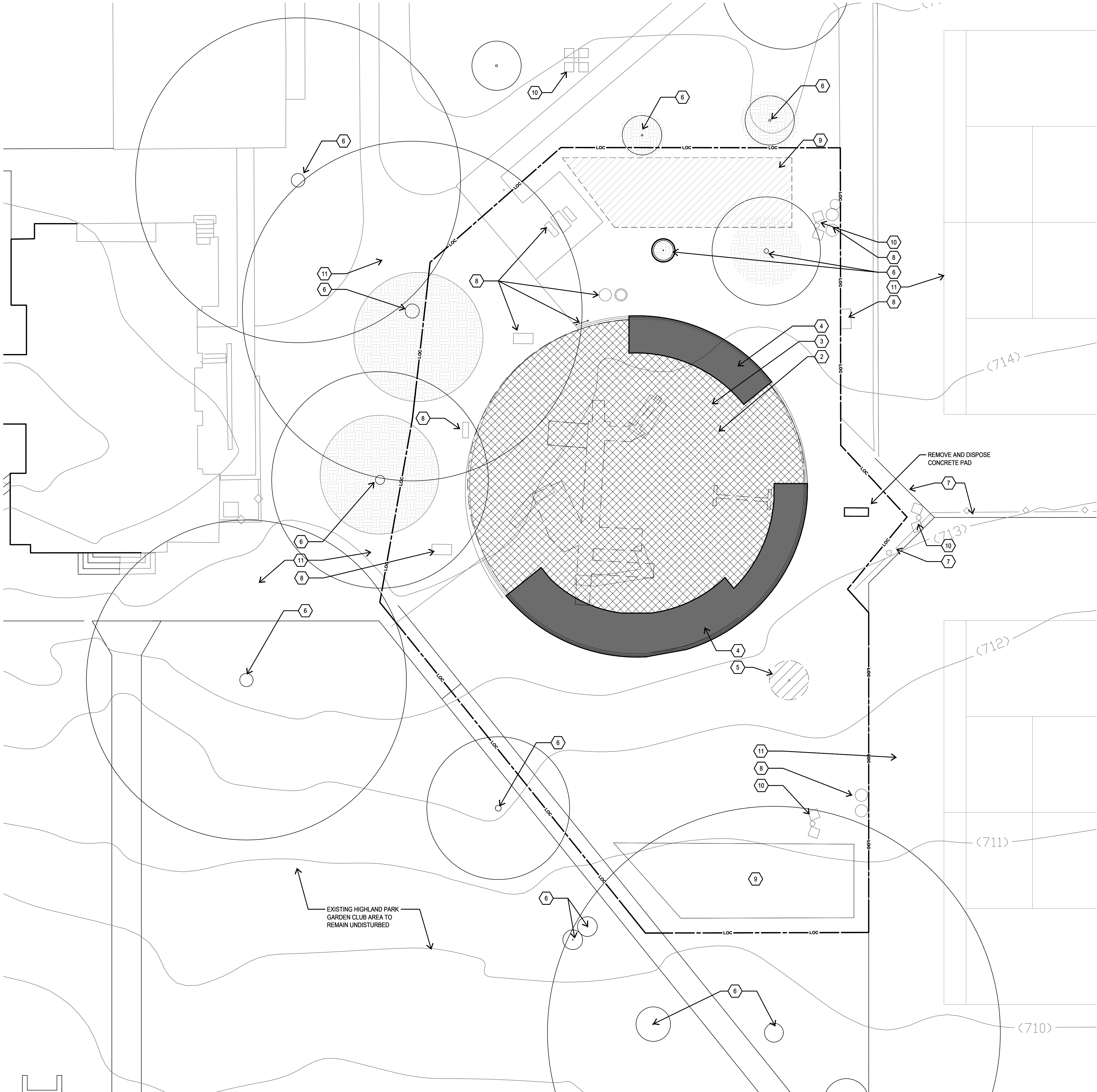
SHEET NAME

TREE  
PRESERVATION  
PLAN

SHEET NUMBER

TP 1.1





DEMOLITION LEGEND

- 1 CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY EXCAVATION
- 2 EXISTING PLAYGROUND EQUIPMENT TO BE REMOVED, COORDINATE WITH CITY PARKS REP. FOR WASTE DISPOSAL
- 3 EXISTING PLAYGROUND RUBBER SURFACING TO BE REMOVED, NOTE SUB-DRAIN SYSTEM TO REMAIN FOR RE-USE
- 4 REMOVE/ REDUCE SEGMENTS OF PLAYGROUND OUTER CIRCULAR FOR NEW FORM
- 5 EXISTING TREE TO REMOVE
- 6 EXISTING TREE TO REMAIN UNDISTURBED, REFERENCE TP 1.1 FOR TREE PROTECTION FENCING
- 7 EXISTING PARK FENCING TO REMAIN
- 8 EXISTING PARK SIGNAGE & SITE FURNISHINGS TO BE UNDISTURBED. CONTRACTOR TO PROTECT PARK FURNISHINGS DURING DEMOLITION AND INSTALLATION OF NEW PARK EQUIPMENT IN CLOSE PROXIMITY
- 9 STAGING AREA/ CONSTRUCTION CLEANING AREA
- 10 EXISTING LIGHT POLE TO REMAIN
- 11 CONTRACTOR TO MINIMIZE ANY DAMAGE TO THE EXISTING TENNIS COURT/ OR CONCRETE WALK TO BE PRESERVED.

NOTE: ALL DISTURBED AREAS TO BE LEVELED AND RAKED OUT. G.C. WILL CALL AND ARRANGE FOR UTILITY LOCATING WITH THE PUBLIC ENTITIES STAKE-OUT PROVIDERS. ALL PUBLIC UTILITIES TO BE STAKED OUT PRIOR TO GROUNDBREAKING. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION (LOC) TO BE CLEANED AND SMOOTHED FOR FINISH GRADE, APPLY HYDROMULCH AS NOTED ON PLANS. ALL DISTURBED AREAS FOR SITE WORK AND UTILITY TRENCHING SHALL BE CONSIDERED AS PART OF SCOPE AND RE-ESTABLISHED WITH TEMP. IRRIGATION BY G.C. PRIOR TO FINAL APPROVAL



201 GROVETON | SATX 78210  
210.314.5582 | MPSTUD.IO

STATUS



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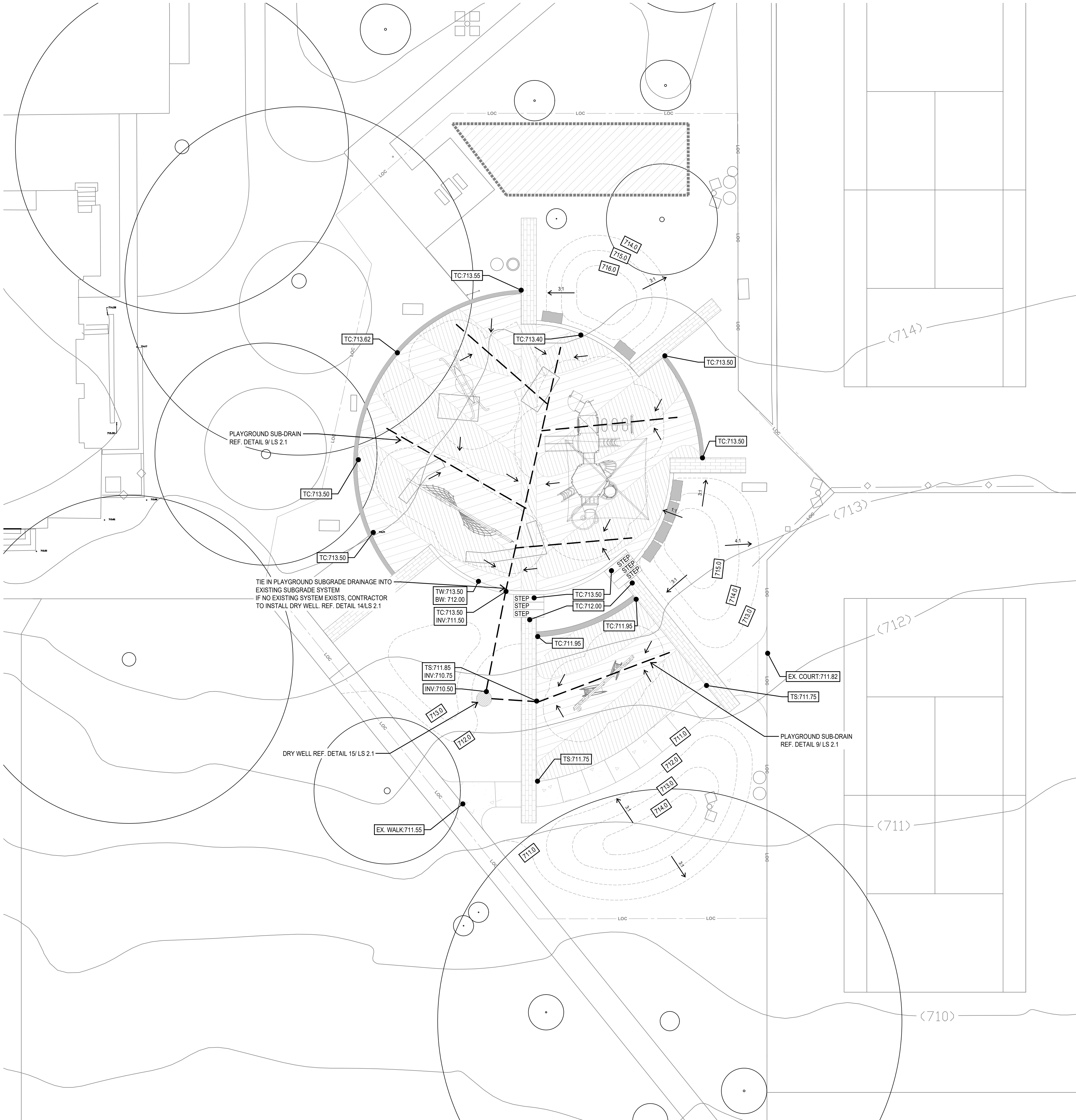
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DEMOLITION PLAN

SHEET NUMBER

LD 1.1





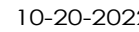
NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION



The logo for MP Studio, featuring the letters 'MP' in a large, stylized font above the word 'STUDIO' in a smaller, sans-serif font.

STATUS



PROJECT

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SUBCONSULTANT

## LS 1.1







James A. Bode  
Community Center

900

Highland Park  
Tennis Courts





HIGHLAND PARK

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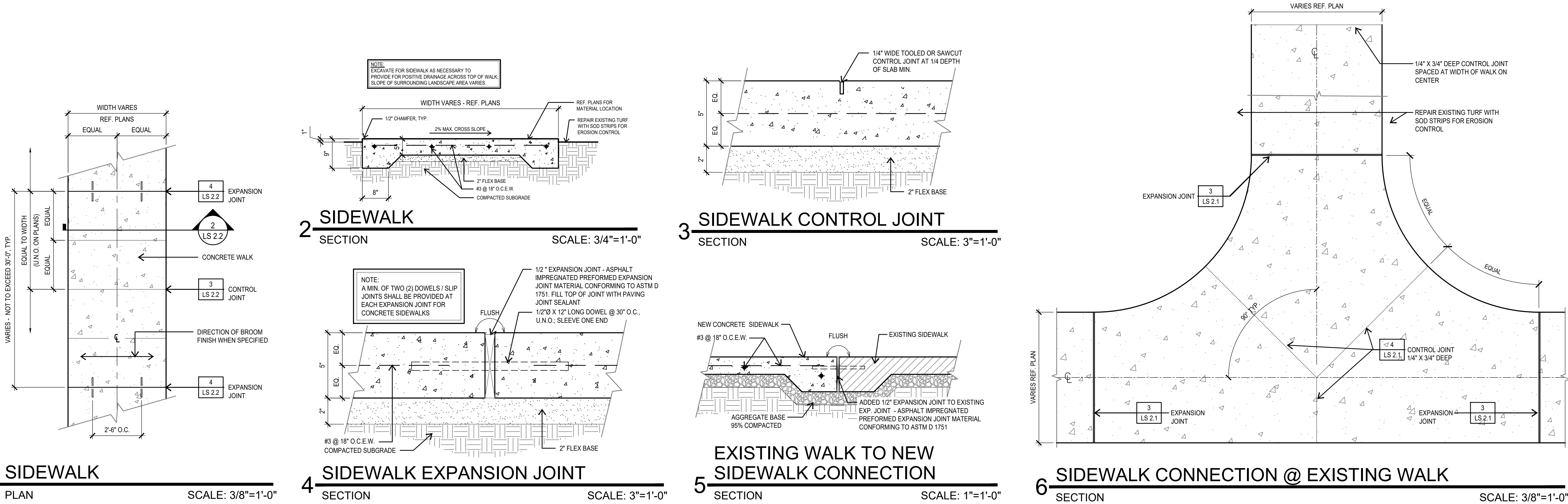
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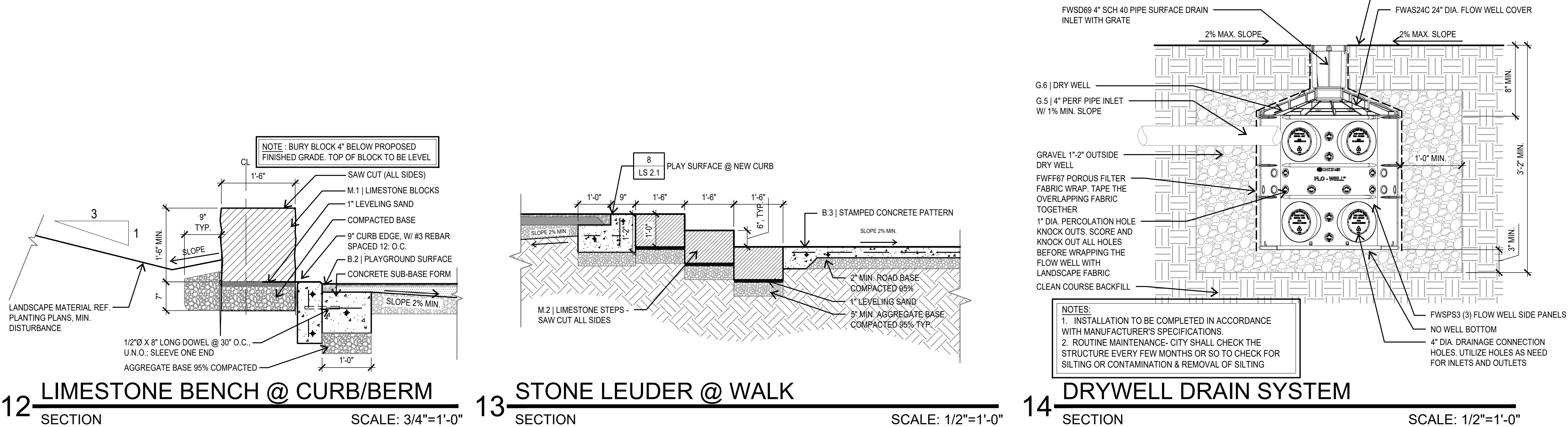
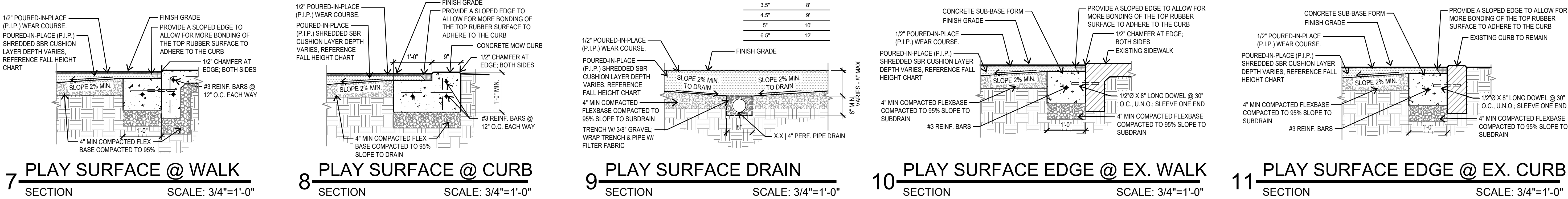
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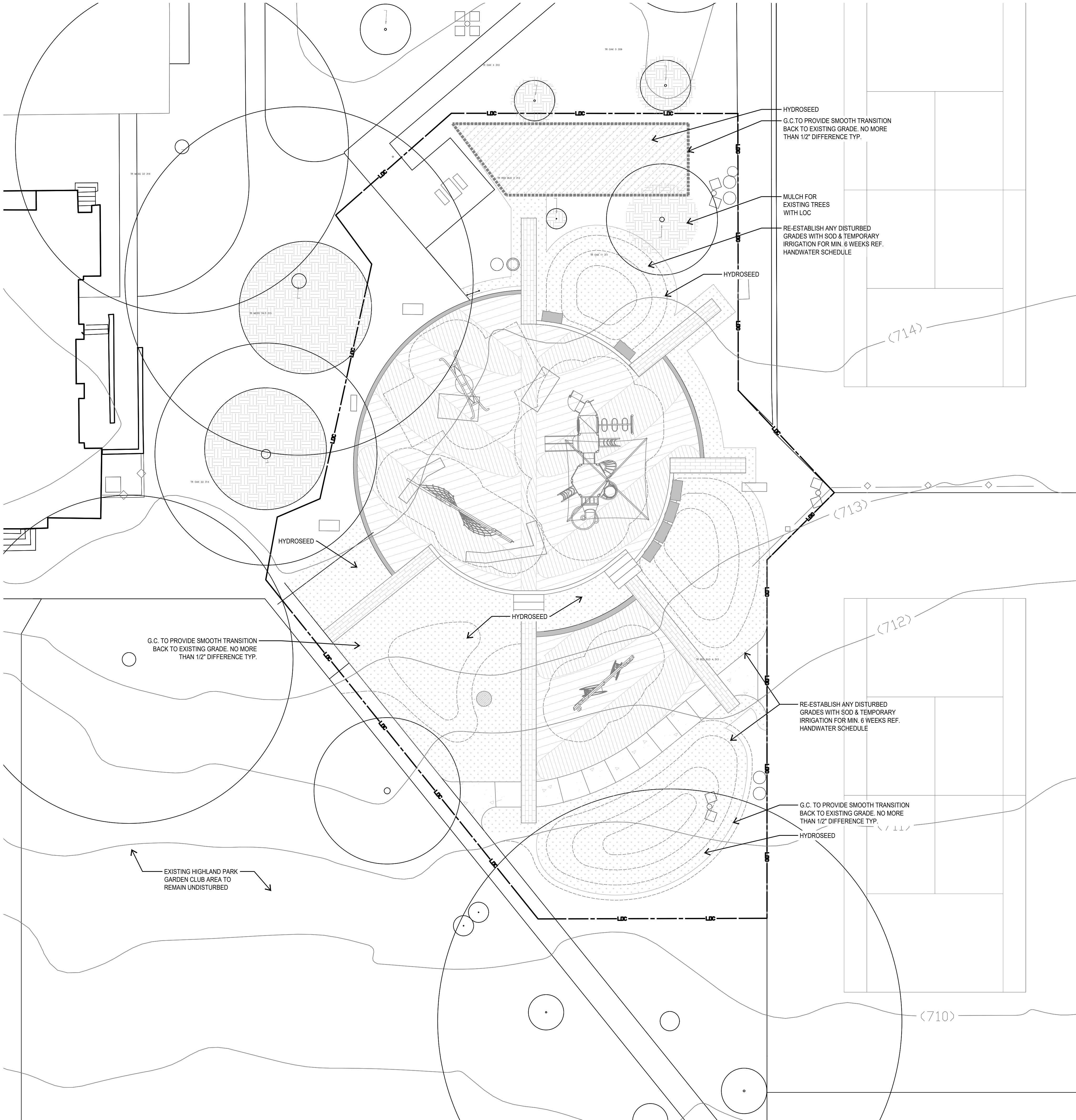
LS 2.1



FALL HEIGHT CHART	
DEPTH	FALL HEIGHT
1.75"	4"
2.25"	5"
2.5"	6"
3"	7"
3.5"	8"
4.5"	9"
5"	10"
6.5"	12"







NOTE: CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY EXCAVATION. ALL NEW SITE WORK, STRUCTURES, & UTILITY LINES (ELECTRIC, IRRIGATION, ETC.) TO AVOID IMPACTS/ TRENCHING WITHIN TREES IDENTIFIED TO BE PRESERVED INCLUDING THEIR INDIVIDUAL TREE CRITICAL ROOT PROTECTION ZONES OR OUTLINE OF TREE.

ALL DISTURBED AREAS TO BE LEVELED AND RAKED OUT. G.C. WILL CALL AND ARRANGE FOR UTILITY LOCATING WITH THE PUBLIC ENTITIES STAKE OUT PROVIDERS. ALL PUBLIC UTILITIES TO BE STAKED OUT PRIOR TO GROUNDBREAKING. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION (LOC) TO BE CLEANED AND SMOOTHED FOR FINISH GRADE. APPLY HYDROMULCH AS NOTED ON PLANS.

ALL DISTURBED AREAS FOR SITE WORK AND UTILITY TRENCHING SHALL BE CONSIDERED AS PART OF SCOPE AND RE-ESTABLISHMENT BY G.C PRIOR TO FINAL APPROVAL

HYDRO MULCH TO BE TIFWAY 419 BERMUDA FROM KING RANCH OR APPROVED EQUAL



201 GROVETON | SATX 78210  
210.314.5582 | MPSTUD.IO

STATUS



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PROJECT

## HIGHLAND PARK

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SAN ANTONIO, TEXAS 78210

OWNER | CLIENT

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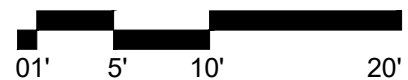
SHEET NAME

### PLANTING PLAN

SHEET NUMBER

LP 1.1

1 PLANTING  
PLAN



SCALE: 1"=10'





GENERAL LANDSCAPE NOTES

PART 1 :

LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE IN ITS EXISTING CONDITION AND SHALL TIE NEW WORK TO EXISTING CONDITIONS AND CONTROLS (SUCH AS EXISTING GRADES AND WALK ELEVATIONS) AS NECESSARY TO MEET THE INTENT OF THE PLANS.

BEFORE PROCEEDING WITH ANY WORK IN AN AREA, LANDSCAPE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LAYOUTS AND SIZES AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS. IF ANY UTILITIES OR OBSTRUCTIONS ARE DISCOVERED DURING CONTRACT WHICH MAY NOT HAVE BEEN KNOWN DURING DESIGN, CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT BEFORE PRECEDING. LANDSCAPE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGE IF WORK PROCEEDS IN EITHER OF THE ABOVE SITUATIONS WITHOUT NOTIFYING LANDSCAPE ARCHITECT.

PRIOR TO ANY EXCAVATION, LANDSCAPE CONTRACTOR SHALL CONTACT APPROPRIATE AUTHORITIES INCLUDING, BUT NOT LIMITED TO, TEXAS ONE CALL SYSTEM AT 1-800-245-4545 TO LOCATE EXISTING UNDERGROUND UTILITIES.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY DAMAGE TO ANY UTILITIES OR PROPERTY THAT MAY OCCUR IN THE EXECUTION OF HIS CONTRACT WORK. WHEN WORK REQUIRES CROSSING EXISTING WALKS OR CURBS WITH EQUIPMENT, LANDSCAPE CONTRACTOR SHALL PROVIDE APPROVED BRIDGE MATERIAL SUCH AS WOOD PLANKS AND EARTH TO PREVENT DAMAGE TO FINISHED WORK. LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS THAT MAY BE WORKING ON THE SITE SIMULTANEOUSLY AND SHALL COORDINATE STAGING OF HIS WORK WITH OWNER AND LANDSCAPE ARCHITECT. ALL TRASH AND DEBRIS GENERATED FROM CONTRACT OPERATIONS SHALL BE REMOVED ON A DAILY BASIS. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY IN CONJUNCTION WITH HIS CONTRACT WORK.

REFERENCES

- A) AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z60.1 - NURSERY STOCK.
- B) TEXAS STATE DEPARTMENT OF AGRICULTURE (TDA) - NURSERY FLORAL LICENSING PROGRAM.

1.1 SUBMITTALS FOR REVIEW

- A) PRODUCT DATE: LIST OF CHEMICALS TO BE USED ON SITE.

B) SAMPLES:

- 1. 1 QUART SAMPLES OF EACH SOIL AMENDMENT WITH ANALYTICAL DATA FROM A RECOGNIZED TESTING LABORATORY SHOWING MANUFACTURER'S GUARANTEED ANALYSIS.
- 2. 1 CUBIC FOOT SAMPLES OF PREMIXED BACKFILL MIXES.

C) TEST RESULTS:

- 1. PROVIDE SOIL SAMPLE TEST RESULTS INDICATING PH, FERTILITY LEVELS, AND PERCENTAGES OF SAND, SILT, AND CLAY.
- 2. PROVIDE RECOMMENDATIONS FOR SOIL AMENDMENTS AND FERTILIZERS BASED ON SOIL ANALYSIS; FOR CONTRACT PURPOSES, USE MIXTURE SPECIFIED IN THIS SECTION.

- D) NURSERY QUALIFICATIONS: COMPANY SPECIALIZING IN GROWING AND CULTIVATING PLANTS SPECIFIED IN THIS SECTION WITH MINIMUM THREE YEAR DOCUMENTED EXPERIENCE, AND CERTIFIED BY THE STATE OF TEXAS.

E) INSTALLER QUALIFICATIONS:

- 1. COMPANY SPECIALIZING IN LANDSCAPE INSTALLATION WITH MINIMUM THREE YEARS DOCUMENTED EXPERIENCE.
- 2. PROVIDE FULL-TIME SUPERINTENDENT ON-SITE DURING INSTALLATION.

F.) PLANT MATERIALS:

- 1. PLANT MATERIALS ARE SUBJECT TO EXAMINATION BY LANDSCAPE ARCHITECT AT PLACE OF GROWTH OR UPON DELIVERY TO PROJECT.

1.2 DELIVERY, STORAGE AND HANDLING

- A) DELIVER FERTILIZER IN WATERPROOF BAGS SHOWING WEIGHT, GUARANTEED CHEMICAL ANALYSIS, MANUFACTURER AND BRAND NAME, AND APPROVALS OF AUTHORITIES HAVING JURISDICTION.
- B) DELIVER PLANT MATERIAL WITH IDENTIFICATION TAG SHOWING BOTANICAL NAME AND PLANT SIZE.
- C) DELIVER PLANT MATERIAL IMMEDIATELY PRIOR TO INSTALLATION; PLANT MATERIALS ON SAME DAY AS DELIVERED. IF PLANTING CANNOT BE ACCOMPLISHED ON SAME DAY AS DELIVERY, PROVIDE ADDITIONAL PROTECTION TO MAINTAIN PLANTS IN HEALTHY AND VIGOROUS CONDITION.
- D) KEEP PLANT MATERIAL MOIST AND PROTECT FROM DAMAGE AND DESICCATION OF LEAVES UNTIL PLANTING.
- E) DO NOT HANDLE PLANT MATERIALS BY STEM OR TRUNK.
- F.) KEEP CONTAINERS INTACT UNTIL JUST PRIOR TO PLANTING.

1.3 SEQUENCING

- A) INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWNS.

1.4 WARRANTY

- A) FURNISH WRITTEN WARRANTY THAT PLANT MATERIALS WILL BE IN HEALTHY, VIGOROUS, GROWING CONDITION ONE (1) YEAR AFTER FINAL ACCEPTANCE. DAMAGE DUE TO ACTS OF GOD, VANDALISM, OR NEGLIGENCE BY OWNER IS EXCLUDED.
- B) REPLACE DEAD, UNHEALTHY AND UNSIGHTLY PLANT MATERIALS WITHIN WARRANTY PERIOD, UPON NOTIFICATION BY OWNER OR LANDSCAPE ARCHITECT.
- C) NOTIFY OWNER AND LANDSCAPE ARCHITECT 30 DAYS PRIOR TO EXPIRATION OF WARRANTY PERIOD AND ARRANGE FINAL ACCEPTANCE INSPECTION BY ALL PARTIES.
  - 1. REMOVE DEAD, UNHEALTHY, AND UNSIGHTLY PLANT MATERIALS.
  - 2. REMOVE GUYING AND STAKING MATERIALS.
  - 3. WARRANT REPLACEMENT PLANTS UNDER SAME PROVISIONS AND FOR SAME TIME PERIOD AS ORIGINAL PLANTS.

1.5 MAINTENANCE

- 1. MAINTAIN PLANT LIFE IMMEDIATELY AFTER PLACEMENT AND FOR NINETY (90 DAYS) AFTER FINAL ACCEPTANCE...
- 2. REPLACE DEAD OR DYING PLANTS WITH PLANTS OF SAME SIZE AND SPECIES SPECIFIED.
- 3. REMOVE TRASH, DEBRIS, AND LITTER, WATER, PRUNE, FERTILIZE, WEED, AND MOW. SPOT APPLY HERBICIDES, AND FUNGICIDE ONLY AS REQUIRED.
- 4. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
- 5. COORDINATE WITH OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM IRRIGATION SYSTEM.
- 6. RESET SETTLED PLANTS.
- 7. REAPPLY MULCH TO BARE AND THIN AREAS.

1.6 MATERIALS

A.) PLANT MATERIALS:

- 1. CERTIFIED IN ACCORDANCE WITH TDA REQUIREMENTS.
- 2. SPECIES AND SIZE AS INDICATED IN PLANT SCHEDULE. LARGER SIZE MAY BE SUBSTITUTE WITHOUT ADDITIONAL COST TO OWNER, PROVIDED ROOT BALL OR SPREAD INCREASES PROPORTIONATELY.
- 3. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
- 4. GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE AT SITE. FREE FROM DISEASE, INSECT INFESTATIONS, DEFECTS INCLUDING WEAK OR BROKEN LIMBS, CROTCHES, AND DAMAGED TRUNKS, ROOTS OR LEAVES, SUN SCALD, FRESH BARK ABRASIONS, EXCESSIVE ABRASIONS, AND OBJECTIONABLE DISFIGUREMENTS.
- 5. EXHIBIT NORMAL GROWTH HABITS; VIGOROUS, HEALTHY, FULL, WELL-PROPORTIONED, AND SYMMETRICAL.
- 6. TREE TRUNKS TO BE STURDY AND EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
- 7. NOT PRUNED, TRIMMED, OR TOPPED.
- 8. CONTAINER-GROWN STOCK: GROWN IN CONTAINERS FROM SEEDLING.

B.) TOPSOIL:

- 1. USE SITE GENERATED SOIL FROM PLANTING PREPARATIONS, REASONABLY FREE FROM CLAY LUMPS, COARSE SANDS, STONES, ROOTS, FOREIGN MATTER.
- 2. IF SUFFICIENT ON-SITE MATERIALS DO NOT EXIST, PROVIDE SIMILAR OFF-SITE TOPSOIL FROM APPROVED LOCAL SOURCE. SUBMIT SAMPLE AND SOURCE FOR APPROVAL PRIOR TO DELIVERY OF ANY SOIL TO SITE.

C.) MULCH:

- 1. SHREDDED, COMPOSTED HARDWOOD BARK OF VARYING LENGTH BY NEW EARTH LLC ph. 210-6615180 OR APPROVED SUBSTITUTE. PARTIALLY DECOMPOSED; FREE FROM STICKS, STONES, CLAY, AND GROWTH AND GERMINATION-INHIBITING INGREDIENTS.

D.) SOIL AMENDMENTS:

- 1. SOIL SULFUR: AGRICULTURAL GRADE SULFUR CONTAINING MINIMUM 99 PERCENT SULFUR EXPRESSED AS ELEMENTAL.
- 2. IRON SULFATE: 20 PERCENT IRON EXPRESSED AS METALLIC IRON DERIVED FROM FERRIC AND FERROUS SULFATE AND 10 PERCENT SULFUR EXPRESSED AS ELEMENTAL WHEN REQUIRED BY SOIL TESTS.
- 3. GYPSUM: AGRICULTURAL GRADE, CONTAINING MINIMUM 98 PERCENT CALCIUM SULFATE, WHEN REQUIRED BY SOIL TEST.
- 4. HERBICIDE: PRE-EMERGENT TYPE, SURFLAN OR APPROVED SUBSTITUTE.
- 5. FERTILIZER FOR TREES AT PLANTING: PLANT HEALTH CARE GROUP "PHC TREE SAVER" APPLIED AS PER P.H.C.G. DIRECTIONS AND APPLICATION RATES.
- 6. FERTILIZER FOR LAWN: PLANT HEALTH CARE GROUP "PHC FOR TURF 15-1-6" APPLIED AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET.
- 7. SOIL INOCULATES FOLLOWING TREE PLANTING: PLANT HEALTH CARE GROUP "PHC INJECTABLE INOCULANT FOR TREES", APPLIED AS PER PHCG MIXING DIRECTIONS AND APPLICATION RATES.
- 8. FERTILIZER FOR PLANTER BED MIX: PLANT HEALTH CARE GROUP "HEALTHY START 3-4-3" APPLIED AT A RATE OF 25 POUNDS CUBIC YARD OF PLANT BED MIX.

H.) TURF:

- 1. ALL SEED USED SHALL BE HIGH QUALITY, EXTRA FANCY, TREATED LAWN TYPE SEED AT 98% PURITY AND 85% GERMINATION, AND SHALL BE FURNISHED IN SEALED STANDARD CONTAINERS WITH SIGNED COPIES OF A STATEMENT FROM THE VENDOR CERTIFYING THAT EACH CONTAINER OF SEED DELIVERED IS FULLY LABELED IN ACCORDANCE WITH THE TEXAS STATE AGRICULTURAL CODE AND IS EQUAL TO OR BETTER THAN THE REQUIREMENT OF THESE SPECIFICATIONS. LAWN SEED TO BE FREE OF WEEDS OR NOXIOUS GRASS SEEDS.
- 2. SEED WHICH HAS BECOME WET, MOLDY OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE WILL NOT BE ACCEPTED.
- 3. GRASS SEED SCHEDULE:
  - A. BERMUDA GRASS SEED:
  - B. MARCH- OCTOBER SHALL BE SPECIFIED BERMUDA.
  - C. OCTOBER- MARCH SHALL BE ANNUAL RYE GRASS.
  - 4. "HYDRO-MULCH" AS MANUFACTURED BY CONWED, OR APPROVAL EQUAL.
  - 5. THE HYDRO-MULCH SHALL BE COMPOSED OF WOOD CELLULOSE FIBER AND CONTAIN NO GERMINATION OR GROWTH-INHIBITING FACTORS.
  - 6. HYDRO-SEEDING ADDITIVE (BINDER): ECOLOGY CONTROL-M BINDER ORGANIC SEEDING ADDITIVE.
  - 7. SOD: PROVIDE FULL, DARK GREEN, UNIFORM, STRONGLY ROOTED SOD IN 16" X 24" STRIPS FREE FROM WEEDS, UNDESIRABLE GRASSES, DISEASES AND PESTS. SOD SHALL BE CUT FROM THE FIELD NO LONGER THAN 48 HOURS BEFORE PLANTING. ROOTS OF SOD SHALL BE KEPT MOIST.
  - 8. BRACING: TREE ANCHORS SHALL BE AS PER DETAILS.
  - 9. TREE PAINT: MORRISON TREE SEAL, CABORT TREE PAINT, OR OTHER PRODUCT APPROVED BY LANDSCAPE ARCHITECT.
  - 10. PLANTER BED EDGING SHALL BE 3/16"X 4" STEEL EDGING WITH MANUFACTURERS STANDARD GREEN FINISH.

F.) MIXES:

- 1. PLANT BED MIX:  
PLANT BED MIX (BACKFILL MIX) SHALL BE NEW EARTH'S 4 WAY MIX AS PRODUCED BY NEW EARTH LLC PH. 210-661-5180. DOCUMENTATION OF PURCHASE OF THIS SPECIFIC MIX SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT. IF EQUAL IS PROPOSED, CONTRACTOR SHALL SUBMIT SAMPLE AND COMPLETE ANALYSIS WITH TEST RESULTS AND METHOD OF PRODUCTION FOR EVALUATION AS AN EQUAL SUBSTITUTE.

PART 2 EXECUTION:

2.1 PREPARATION

LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE AT APPROXIMATELY FINISH GRADE LESS ANY SETTLEMENT THAT MAY HAVE OCCURRED SINCE SITE CONSTRUCTION AND BACKFILLING. THIS GRADE SHALL BE RAKED TO REMOVE ALL DEBRIS INCLUDING STICKS, CLODS, AND STONES AND SHALL BE FINE GRADED TO ELIMINATE ALL HUMPS, RUTS, DEPRESSIONS AND ABRUPT CHANGES IN GRADE AND ANY AREA THAT COULD CAUSE WATER TO POND.

- A.) IF VEGETATION IS GROWING IN PLANTING/LAWN AREA, APPLY HERBICIDE AT RATES RECOMMENDED BY MANUFACTURER. ALLOW TO DIE, AND THEN GRUB OUT ROOTS TO MINIMUM 1/2 INCH DEPTH.
- B) MARK LOCATION OF TREES AND OUTLINES OF PLANTS BEDS USING COLORED WOOD STAKES OR FLAGS PRIOR TO BEGINNING PLANTING; OBTAIN LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PROCEEDING.

2.2 PLANTING TREES AND SHRUBS

- A.) REMOVE CONTAINERS WITHOUT DAMAGE TO ROOTS.
- B) REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS; REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING. PREVENT DAMAGE TO ROOTS.
- C) REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAP TREES AFTER PLACEMENT.
- D) PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. PULL ANY WEEDS GROWING IN TREE BALL AND EXPOSE ROOT FLARE (THIS WILL BE THE TOP MOST IDENTIFIABLE ROOT), REMOVE ANY GIRDLING ROOTS AND SET PLANT SO THAT ROOT FLARE IS 1" ABOVE FINISH GRADE. ORIENT PLANTS FOR BEST APPEARANCE. BACKFILL THE BOTTOM 1/3 OF THE EXCAVATION WITH SOIL CUT FROM EXCAVATION OF PIT AND THOROUGHLY WATER THIS SOIL TO SETTLE IN. BACKFILL THE REMAINDER OF THE EXCAVATION WITH A 50/50 MIX OF NEW EARTH'S 4 WAY MIX AND NATIVE SOIL EXCAVATED FROM THE PIT. PLACE PLANT HEALTH CARE GROUP'S "TREE SAVER" IN BACKFILL AS PER P.H.C.G. DIRECTION AND APPLICATION RATES. LIGHTLY TAMP AND WATER SOIL TO REMOVE ALL AIR POCKETS. FOR PLANTS OUTSIDE OF PLANTING BEDS, CONSTRUCT 3 INCH HIGH WATER CONTAINMENT RING AROUND PLANT, SPREAD MULCH TO MINIMUM 4 INCH DEPTH OVER PLANT BASIN.
- E) ADJUST PLANT HEIGHT IF SETTLEMENT OCCURS AFTER BACKFILL AND STAKE AS DETAILED.
  - 1. TWO TO THREE WEEKS FOLLOWING PLANTING, INJECT PLANT HEALTH CARE INJECTABLE INOCULANT AROUND ROOT BALL FOLLOWING MANUFACTURER'S DIRECTIONS AND APPLICATION RATES. CONTACT LANDSCAPE ARCHITECT TO OBSERVE THIS OPERATION.

- F.) TRIM PLANTS TO REMOVE DEAD AND INJURED BRANCHES ONLY. TREAT CUTS OVER 3/4 INCH DIAMETER WITH TREE PAINT.
- G.) BRACE PLANTS OVER 85 GALLONS SIZE IMMEDIATELY AFTER PAINTING:
  - 1. FOR TREES 2" CAL. AND GREATER PROVIDE STAKING AS DETAILED. POSITION TO PREVENT HAZARDS TO PEDESTRIANS.
  - 2. DO NOT RESTRICT PLANT MOVEMENT UNDER LIGHT WIND LOADS OR DAMAGE BARK.

2.3 PLANTING MASS SHRUBS, GROUNDCOVERS, AND ANNUALS (SEE DETAILS)

- A) EXCAVATE PLANT BED TO DEPTH AS DETAILED ON PLANS.
- B) BACKFILL WITH SPECIFIED 4-WAY MIX AND TILL IN SPECIFIED PLANT HEALTH CARE'S, "HEALTHY START 3-4-3" AT A RATE OF 25 LBS. PER CUBIC YARD OF PLANT BED MIX.
- C) INSTALL METAL EDGINGS TO SEPARATE ALL PLANTER BEDS FROM TURF AND AT LOCATIONS INDICATED ON PLANS.
- D) PLACE PLANTS IN STRAIGHT, EVENLY SPACED ROWS AT SPACING INDICATED ON DRAWINGS, TO UNIFORMLY FILL BEDS. USE TRIANGULAR SPACING METHOD UNLESS OTHERWISE INDICATED.
- E) WATER PLANTS THOROUGHLY IMMEDIATELY AFTER PLANTING. REPAIR SETTLED AREAS.
- F) ADJUST FINAL GRADES TO 1/2 INCH BELOW ADJACENT PAVING CURBS.
- G) SPREAD MULCH TO MINIMUM 4 INCH DEPTH OVER PLANTING BEDS AS DETAILED.

2.4 CLEANING AND ADJUSTING

- A) REMOVE PLANT CONTAINERS, TRASH, RUBBISH, AND EXCESS SOILS FROM SITE DAILY AND AT COMPLETION OF TREE, SHRUBS AND GROUND COVER PLANTING.
- B) REPAIR RUTS, HOLES AND SCARS IN GROWING SURFACE.

2.4 LAWN APPLICATION (AT COMPLETION OF TREE, SHRUB AND GROUND COVER PLANTINGS)

A) COORDINATION:

- 1. HYDROMULCH AND SOD AFTER TREE, SHRUB AND GROUND COVER INSTALLATION IS COMPLETE.
- 1. CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR TO INSURE FUNCTIONAL IRRIGATION SYSTEM PRIOR TO ANY LAWN INSTALLATION.

B) PREPARATION:

- 1. PRE-PLANT WEED CONTROL:  
IF WEEDS EXIST WITHIN PROPOSED LANDSCAPE AREAS AT THE BEGINNING OF WORK, SPRAY WITH A NON SELECTIVE SYSTEMIC CONTACT HERBICIDE, AS RECOMMENDED AND APPLIED BY AN APPROVED LICENSED APPLICATOR. CLEAR AND REMOVE THESE EXISTING WEEDS UPON HERBICIDE'S COMPLETED ACTION BY GRUBBING OFF ALL PLANTS AT LEAST 1/2'-1' BELOW THE SURFACE OF THE SOIL.  
CONTRACTOR TO SCARIFY GROUND SURFACE TO A MINIMUM 2" DEPTH FOR ALL GRASSES AND REMOVE ALL STICKS, TRASH, ROCKS AND OTHER DEBRIS AND DISPOSE OFF SITE.
- 2. IF EXISTING SOIL IN AN AREA IS FOUND TO BE CONTAMINATED OR OTHERWISE UNSUITABLE, CONTRACTOR SHALL PROVIDE COST PER CUBIC YARD TO REPLACE WITH SOIL SUITABLE FOR TURF.
- 4. CONTRACTOR TO RAKE ENTIRE AREA, LEVELING ANY IMPERFECTIONS IN THE GRADE. LANDSCAPE CONTRACTOR TO ENSURE THAT THERE WILL BE POSITIVE DRAINAGE AND NO PONDING ON SITE. FINISHED GRADE OF LAWN AREAS TO BE 1/2" BELOW TOP OF CURBS, SIDEWALKS AND OTHER PAVEMENTS. REMOVE ANY LARGE (GREATER THAN 1") DIRT CLODS, ROCKS, AND TRASH AND PREPARE A SMOOTH, LEVEL, LOOSE AND COARSE SURFACE. LANDSCAPE ARCHITECT TO APPROVE FINE GRADING PRIOR TO ANY LAWN INSTALLATION. LAWN BED SHALL BE MOIST (BUT NOT MUDDY) TO RECEIVE SEED AND SOD.

C) HYDROMULCH APPLICATION:

- 1. FOR ALL HYDROMULCH AREAS, INSTALL SOD STRIPS OF BERMUDA GRASS AT ALL BACKS OF CURBS WITHIN THE LIMITS OF CONSTRUCTION.
- 2. LAWN AREAS TO BE SEEDDED IMMEDIATELY AFTER PREPARATION OF THE BED. APPLY A UNIFORM COAT OF HYDROMULCH AT THE RATES SPECIFIED BELOW:
  - A. SEED (REF. SCHEDULE, 1.6 H-3):
    - 1) BERMUDA (HULLED)- 2 LBS./1,000 S.F.
    - 2) ANNUAL RYE GRASS- 8 LBS./1,000 S.F.
  - B. WOOD CELLULOSE FIBER MULCH- 60 LBS./1,000 S.F.
  - C. FERTILIZER: "PHC FOR TURF" AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET.
  - D. INCORPORATE A TACKIFIER WITH MULCH CAP. DELAY IRRIGATION 8 HOURS TO PERMIT TACKIFIER TO SET.
- 3. SEED AREAS WITHIN SEEDING LIMITS INDICATED ON THE PLAN AND AREAS DISTURBED BY CONSTRUCTION OPERATIONS.
- 4. PROTECT EXISTING UTILITIES (INCLUDING IRRIGATION SYSTEM), PLANTING, PAVING, FENCING, AND OTHER SITE AMENITIES FROM DAMAGE CAUSED BY HYDROMULCHING OPERATION.
- 5. IMMEDIATELY FOLLOWING APPLICATION OF HYDROMULCH, THE CONTRACTOR SHALL WASH EXCESS HYDROMULCHING MATERIAL FROM PREVIOUSLY PLANTED MATERIAL, ARCHITECTURAL FEATURES, ETC. CARE SHALL BE EXERCISED TO AVOID WASHING OR ERODING MULCH MATERIALS FROM LAWN AREA. UPON ESTABLISHMENT OF LAWN, APPLY A POST EMERGENT HERBICIDE FOR CONTROL OF NUT GRASS AND WEEDS. FERTILIZE AT 45 DAY INTERVALS WITH SPECIFIED PLANT HEALTH GROUP'S FERTILIZER AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET DURING AT 45 DAY INTERVALS DURING THE 90 DAY MAINTENANCE PERIOD.
- 7. DURING THE MONTHS OF OCTOBER THROUGH MARCH CONTRACTOR SHALL HYDROSEED ALL LAWN AREAS WITH ANNUAL RYE GRASS. THE CONTRACTOR SHALL RETURN TO THE SITE BETWEEN APRIL 1ST AND MAY 15 TO RE-PREPARE SEED BED AND HYDROMULCH WITH SPECIFIED BERMUDA SEED IN ORDER TO ESTABLISH A PERMANENT TURF COVER IN ALL LAWN AREAS.

D) SOD INSTALLATION:

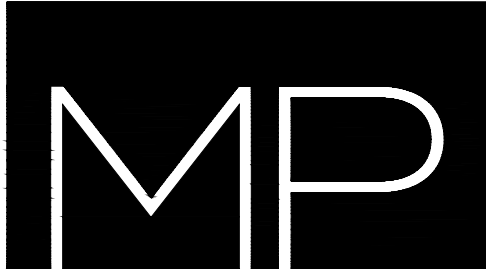
- 1. INCORPORATE SPECIFIED LAWN FERTILIZER AT SEVEN (7) POUNDS PER 1000 SQUARE FEET OF LAWN AREA FOR SOD.
- 2. PRE- EMERGE HERBICIDE APPLICATION: APPLY RECOMMENDED HERBICIDE TO LABEL INSTRUCTIONS IN TWO APPLICATIONS. THE FIRST APPLICATION WILL BE UP TO 10 DAYS PRIOR TO PLANTING. THE SECOND APPLICATION WILL BE 5 DAYS PRIOR TO PLANTING. USE CARE TO AVOID WIND DRIFT OR RUNOFF TO ADJACENT ORNAMENTAL TREE OR SHRUB PLANTINGS.
- 3. LAY SOD WITHIN 24 HOURS FROM TIME OF STRIPPING.
- 2. LAY SOD TO FORM SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS, STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD; REMOVE EXCESS SOD TO AVOID SMOTHERING ADJACENT GRASS.
- 5. SOD PADS SHALL BE OF FULLEST SIZE POSSIBLE-NO SOD SLIVERS WILL BE PERMITTED.
- 6. FINISHED GRADE OF NEW SOD SHALL BE FLUSH WITH ADJACENT LAWN AND PAVEMENT. ENSURE POSITIVE DRAINAGE.
- 7. ROLL ENTIRE SODDED AREA WITH SOD ROLLER. WATER SOD THOROUGHLY.
- 8. CONTRACTOR SHALL OVERSEED SOD AREAS WITH ANNUAL RYE GRASS IF LAWN INSTALLATION OCCURS SEPTEMBER 15 THROUGH APRIL 15 AT 8 LBS. 1,000 S.F.
- 9. SHOULD LAWN AREAS BE SEEDDED WITH ANNUAL RYE GRASS THE CONTRACTOR SHALL RETURN TO THE SITE BETWEEN APRIL 15 AND MAY 15 TO RE-PREPARE SEED BED AND SEED WITH BERMUDA.

2.5 ACCEPTANCE

- A) PRIOR TO SCHEDULING A SUBSTANTIAL COMPLETION INSPECTION LANDSCAPE CONTRACTOR SHALL THOROUGHLY CLEAN SITE OF ALL DEBRIS AND TRASH AND REPAIR ANY DAMAGE TO FINISH GRADE. WHEN LANDSCAPE WORK IS COMPLETE A SUBSTANTIAL COMPLETION INSPECTION WILL BE HELD. FOLLOWING COMPLETION OF ANY PUNCH LIST ITEMS GENERATED FROM THE SUBSTANTIAL COMPLETION INSPECTION A FINAL INSPECTION WILL BE HELD AND IF FOUND ACCEPTABLE A CERTIFICATE OF FINAL ACCEPTANCE WILL BE ISSUED.
- B) LANDSCAPE CONTRACTOR SHALL CONTINUE MAINTENANCE UNTIL FINAL ACCEPTANCE AT WHICH TIME THE SPECIFIED MAINTENANCE PERIOD WILL BEGIN.

END OF SPECIFICATIONS

REV11/27/07



201 GROVETON | SATX 78210  
210.314.5582 | MPSTUD.IO

STATUS



10-20-2022

PROJECT

HIGHLAND PARK

PROJECT ADDRESS

900 RIGSBY AVENUE  
SAN ANTONIO, TEXAS 78210

OWNER | CLIENT

CITY OF SAN ANTONIO

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OWNER'S REPRESENTATIVE

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SUBCONSULTANT

REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

NO.	DATE	DESCRIPTION

SHEET INFORMATION

PROJECT NO.

23002

DATE ISSUED

OCTOBER 20, 2023

SHEET NAME

PLANTING NOTES & DETAILS

SHEET NUMBER

LP 2.1



# HIGHLAND PARK

New playground and surrounding sidewalk connections to  
replace the existing swings and playground equipment

901 RIGSBY AVE. SAN ANTONIO, TX 78210





New basketball court and walk trails connecting to the existing trail system

