

P. 210.835.6300	

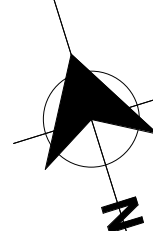
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1. ALL ASBESTOS CONTAINING MATERIALS TO BE ABATED BY OWNER PRIOR TO CONSTRUCTION CONTRACT AGREEMENT TO INCLUDE REQUIRED THIRD PARTY TESTING AND AIR MONITORING.
2. EXAMINE THE AREAS TO BE DEMOLISHED AND DETERMINE WORK VOLUME TO BE PERFORMED. THE CONTRACTOR SHALL REMEYD CONDITIONS DETRIMENTAL TO THE PROPER AND SAFE CONDUCT OF WORK. WORK SHALL PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
3. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
4. PROVIDE INTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF EXISTING WALLS THAT ARE TO REMAIN.
5. ALL HISTORIC WOOD FINISHES TO BE RETAINED, PROTECTED AND RESTORED AS NOTED.
6. REMOVE ALL DEBRIS AND LOOSE MATERIAL FROM PROJECT, INCLUDING BUT NOT LIMITED TO, TRASH, BOXES, PAINT CANS, WASTE, ETC. AND MAINTAIN PROPERLY SCHEDULED DISPOSAL.
7. STORE ALL MATERIAL OF HISTORIC SIGNIFICANCE FOR INSPECTION BY ARCHITECT AND OWNER FOR REUSE OR REPAIR.
8. REMOVE FROM SITE ACCUMULATED DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OR REMOVAL OF COMBUSTIBLE MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
9. WORK SHALL BE SCHEDULED TO MAINTAIN THE SECURITY OF THE SITE.
10. DEMOLISH AND REMOVE ALL PARTITIONS, MATERIALS, AND DEBRIS AS SHOWN ON THE SPECIFICATIONS AND DEMOLITION SCHEDULE, REMOVAL AS DESCRIBED HEREIN SHALL BE ACCOMPLISHED WITHOUT STORING EXCESSIVE QUANTITIES OF ANY MATERIALS, DIRT, DEBRIS OR WASTE OF ANY KIND AND WITHIN THE AREA OF CONSTRUCTION OR ADJACENT AREAS.

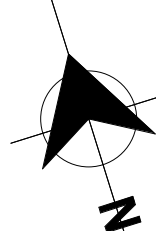
EXISTING TO REMAIN

PARTIALLY REMOVE

EXISTING TO BE REMOVED



Architectural drawing of a basement foundation plan. The drawing shows a large rectangular area with diagonal hatching, indicating the area to be excavated. A smaller rectangular area within the hatched region is also hatched, indicating a removal. A dashed line outlines the existing foundation. A solid line outlines the new foundation. A note points to the excavation area: "EXCAVATE EXISTING BASEMENT TO ACCOMMODATE NEW HOUSE BASEMENT FOUNDATION - SHORE EXISTING STRUCTURE." Another note points to the removal area: "REMOVE ADDITION IN ITS ENTIRETY (NOT ORIGINAL TO HOUSE)".



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[illegible]



IMAGE - MAUSOLEUM EAST

1/4" = 1'-0"

REMOVE EXISTING DOOR- CONSULT WITH OWNER- SALVAGE FOR FUTURE USE

REMOVE EXISTING WINDOW INFILL- PREP FOR NEW WINDOW



IMAGE - MAUSOLEUM NORTH

3/16" = 1'-0"

CONSULT WITH STUCTURAL ENGINEER PRIOR TO BEGINING WORK ON BRICK STACK WALL TO DETERMINE STUCTURAL SOUNDNESS OF THE STRUCTURE



IMAGE - MAUSOLEUM WEST

1/4" = 1'-0"

REMOVE EXISTING ROOF STRUCTURE- CONSULT STRUCTURAL ENGINEER FOR REPLACEMENT

CONSULT WITH STUCTURAL ENGINEER PRIOR TO BEGINING WORK ON BRICK STACK WALL TO DETERMINE STUCTURAL SOUNDNESS OF THE STRUCTURE



IMAGE - MAUSOLEUM SOUTH

1/4" = 1'-0"

REMOVE EXISTING WINDOW INFILL- PREP FOR NEW WINDOW



IMAGE - HOUSE NORTH

1/4" = 1'-0"

REMOVE EXISTING INFILL WALL-VERIFY EXISTING STRUCTURE STABLE AND INTACT- PRIOR TO REMOVAL

REMOVE SHINGLE ROOF AND PREP FOR NEW STANDING SEAM METAL ROOF

REPAIR FACIA AND SOFFIT

REMOVE EXISTING WINDOW TO BE REPLACE WITH NEW WINDOW TO MATCH ORIGINALEXISTING DESIGN
REMOVE EXISTING VENT PIPING

REMOVE ADDITION IN ITS ENTIRETY (NOT ORIGINAL TO HOUSE)

REMOVE WINDOW (NOT ORIGINAL TO HOUSE) AND PREP AS NEEDED FOR FUTURE DOORS

REMOVE SHINGLE ROOD AND PREP FOR NEW STANDING SEAM METAL ROOF

REMOVE EXISTING WINDOW TO BE REPLACE WITH NEW WINDOW TO MATCH ORIGINALEXISTING DESIGN

INFILL WINDOW OPENING. REMOVE TRIM AND REPLACE WITH PTD. SIDING TO MATCH EXISTING

REMOVE WINDOW (NOT ORIGINAL TO HOUSE) AND INFILL TO MATCH EXISTING HOUSE. RE. STRUCTURAL DRAWINGS FOR NEW FOUADATION REQUIREMENTS



IMAGE - HOUSE WEST

1/4" = 1'-0"

REPAIR FACIA AND SOFFIT

REMOVE EXISTING WINDOW TO BE REPLACE WITH NEW WINDOW TO MATCH ORIGINALEXISTING DESIGN

REMOVE ADDITION IN ITS ENTIRETY (NOT ORIGINAL TO HOUSE)



IMAGE - HOUSE SOUTH

1/4" = 1'-0"

REMOVE EXISTING DOOR - PREP FOR NEW WINDOW

REMOVE ADDITION IN ITS ENTIRETY (NOT ORIGINAL TO HOUSE)

REMOVE EXISTING WINDOW TO BE REPLACE WITH NEW WINDOW TO MATCH ORIGINALEXISTING DESIGN

REMOVE SHINGLE ROOF AND PREP FOR NEW STANDING SEAM METAL ROOF

REPAIR FACIA AND SOFFIT

REMOVE EXISTING INFILL WALL-VERIFY EXISTING STRUCTURE STABLE AND INTACT- PRIOR TO REMOVAL

REMOVE EXISTING UTILITIES- CONFIRM THAT THEY HAVE BEEN DISCONNECTED AND SHUT DOWN PRIOR TO REMOVAL

REMOVE WINDOW (NOT ORIGINAL TO HOUSE) AND INFILL TO MATCH EXISTING HOUSE SIDING

REMOVE EXISTING WINDOW TO BE REPLACE WITH NEW WINDOW TO MATCH ORIGINALEXISTING DESIGN

REMOVE EXISTING WINDOW TO BE REPLACE WITH NEW WINDOW TO MATCH ORIGINALEXISTING DESIGN

REMOVE SHINGLE ROOF AND PREP FOR NEW STANDING SEAM METAL ROOF



IMAGE - HOUSE EAST

1/4" = 1'-0"

REMOVE INFILL TO EXPOSE ORIGINAL WINDOW- PREP FOR NEW WINDOW

REPAIR FACIA AND SOFFIT

REMOVE EXISTING INFILL WALL- VERIFY EXISTING STRUCTURE STABLE AND INTACT- PRIOR TO REMOVAL

REMOVE DOOR (NOT ORIGINAL TO HOUSE) AND PREP AS NEEDED FOR FUTURE WINDOW

REMOVE EXISTING INFILL WALL- VERIFY EXISTING STRUCTURE STABLE AND INTACT- PRIOR TO REMOVAL

REMOVE EXISTING CONCRETE CURB AND SLAB

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NUM. DATE: ISSUE DESCRIPTION:

CLIENT
KENEDY JUNCTION,
LTD

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PROJECT NAME

MEIER MP

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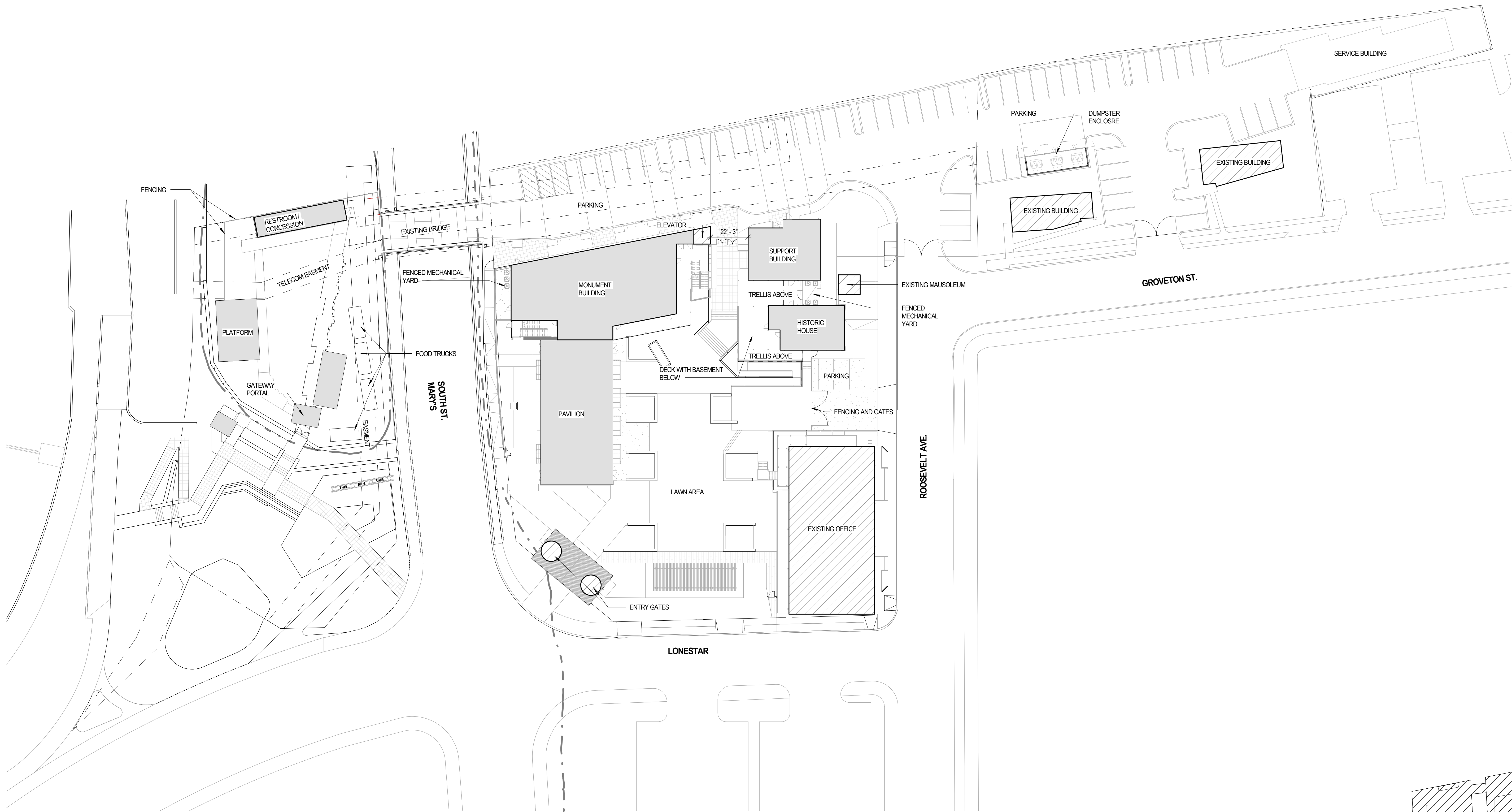
Gerald E. Lammers TX: 12909

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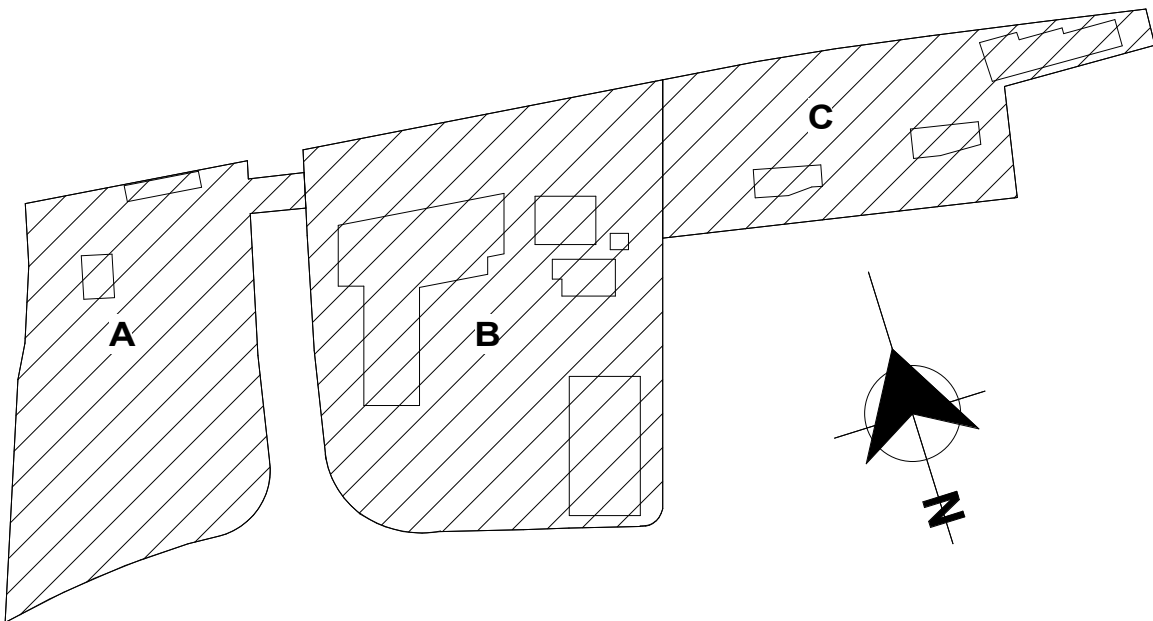
SHEET TITLE

DEMOLITION
HOUSE
ELEVATIONS

D5.02



1 OVERALL SITE PLAN
1" = 30'-0"



- GENERAL NOTES - SITE PLAN**
- G1. PRIOR TO THE COMMENCEMENT OF WORK THE CONTRACTOR SHALL WALK THROUGH THE STAGING AREA(S) AND THE ENTIRE SITE WITH OWNER. CONTRACTOR SHALL OUTLINE SEQUENCE OF WORK AND SPECIAL ACCESS REQUIRED OUTSIDE OF THE INDICATED WORK AREA SHOWN ON SITE PLAN, TO INSURE THAT ONGOING AND TIMELY OPERATIONS WILL NOT BE HINDERED IN ANY WAY.
- G2. CONTRACTOR SHALL LIMIT SITE WORK AND STAGING AREAS ONLY THAT WHICH IS NECESSARY FOR INSTALLING OF NEW WORK. CONTRACTOR SHALL PROTECT EXISTING TREES FROM DAMAGE AND SOILS EROSION. ANY DAMAGE TO EXISTING SITE DUE TO CONSTRUCTION ACTIVITIES OR SITE ACCESS SHALL BE RESTORED TO ITS ORIGINAL CONDITION. REFER TO TREE PROTECTION PLAN.
- G3. EXISTING CURB CUTS AND CONCRETE DRIVEWAYS SHALL BE PROTECTED FROM DAMAGE AND DESTRUCTION.
- G4. ALL SITE DEBRIS AND CLEARED MATERIALS SHALL BE REMOVED AND DISCARDED FROM THE SITE PER PROJECT MANUAL SPECIFICATIONS. ABSOLUTELY NO DEBRIS OR CLEARED SITE REFUSE SHALL BE BURIED.
- G5. REFER TO LANDSCAPE PLAN FOR TREE PRESERVATION REQUIREMENTS.
- G6. UNDER NO CIRCUMSTANCES EITHER BY CONTRACTOR OR UTILITY CONTRACTOR, SHALL ANY TREES OF ANY SIZE WHICH ARE NOTED TO BE REMOVED ON THE LANDSCAPE PLANS BE DEMOLISHED OR PARTIALLY REMOVED WITHOUT FIRST OBTAINING PERMISSION BY THE OWNER AND ALSO WITHOUT NOTIFICATION AND RESPONSE TO PROCEED FROM THE LANDSCAPE ARCHITECT.
- G7. CONTRACTOR SHALL BE RESPONSIBLE FOR REROUTING ANY EXISTING SERVICES THAT MAY BE AFFECTED BY CONSTRUCTION IN SUCH A MANNER THAT WOULD ENABLE CONTINUATION OF LIFE SAFETY SERVICES WITHOUT HINDERANCE.
- G8. ANY TEMPORARY INTERRUPTION OF UTILITY SERVICES SHALL BE DECLARED TO THE OWNER WITH ADVANCE NOTIFICATION. CONTRACTOR SHALL ABIDE TO THE PROJECT MANUAL SPECIFICATIONS.
- G9. AT THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR WALKING THE SITE AND SECURING ANY ACCESS GATES OR FENCE OPENINGS THAT MAY ALLOW UNAUTHORIZED ACCESS TO THE CONSTRUCTION SITE.

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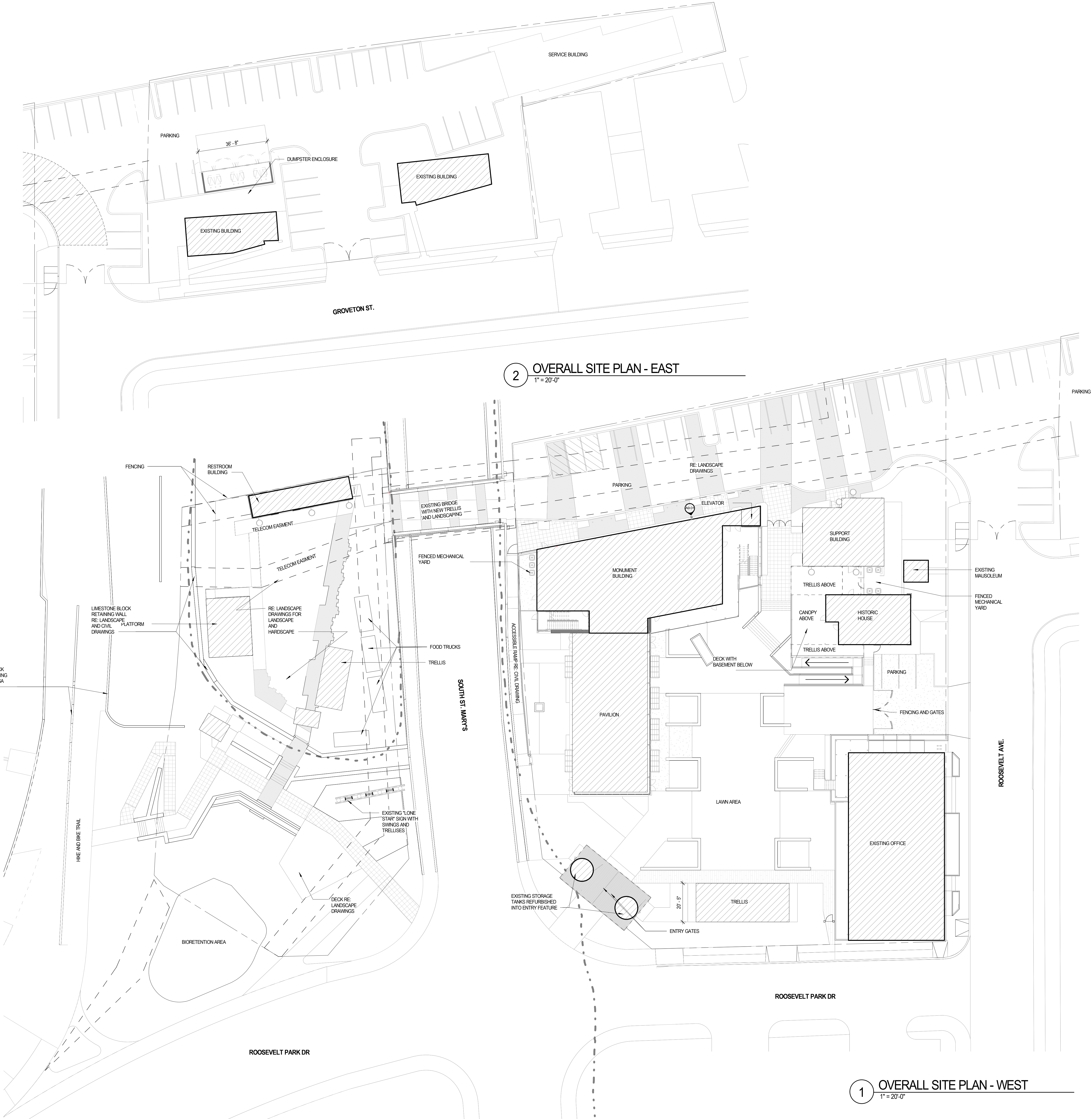
ARCHITECTURAL
SITE PLAN

A1.01

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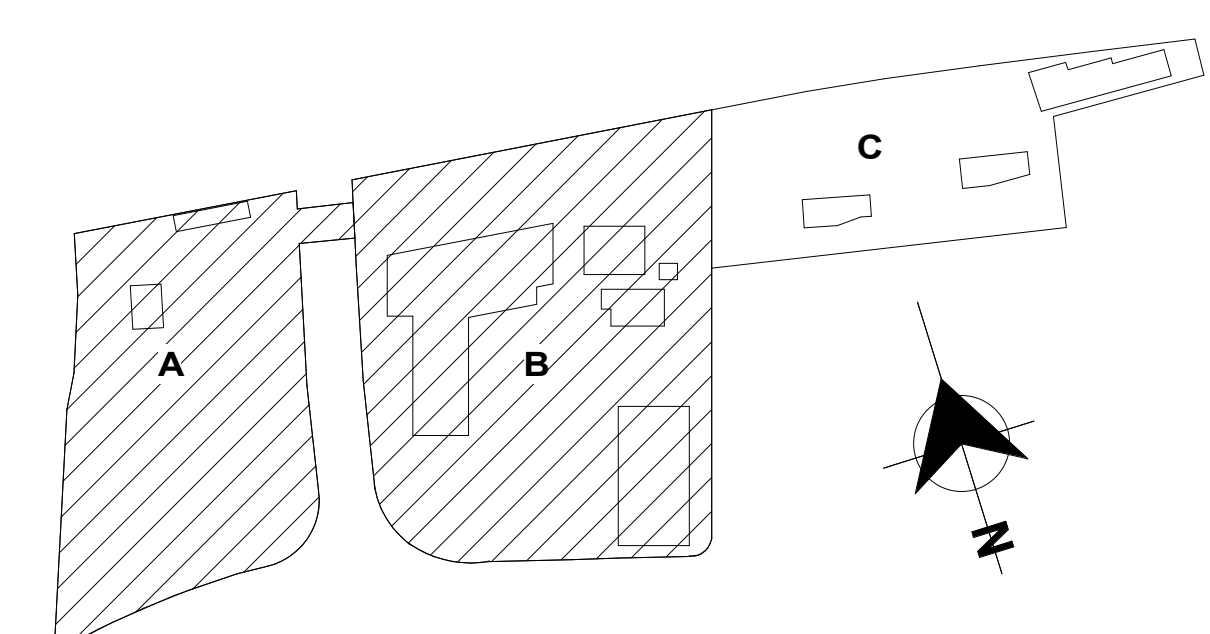
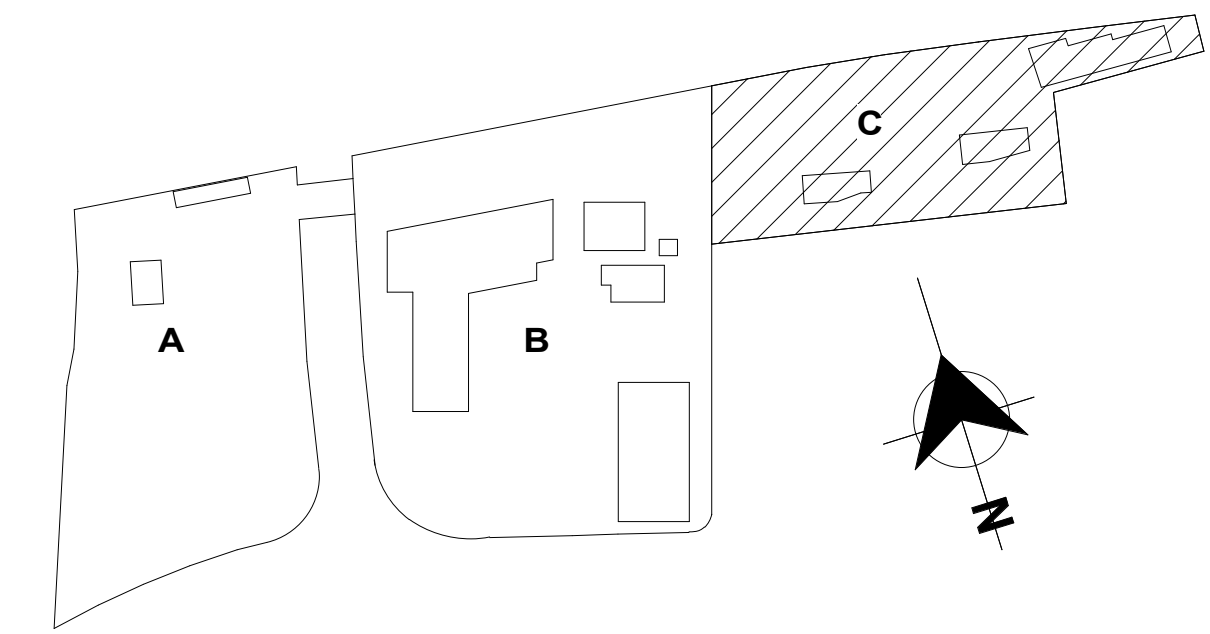
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2 OVERALL SITE PLAN - EAST
1" = 20'-0"

1 OVERALL SITE PLAN - WEST
1" = 20'-0"



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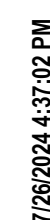
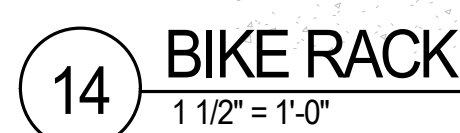
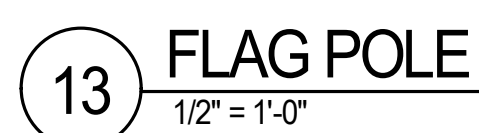
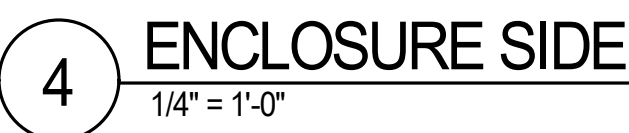
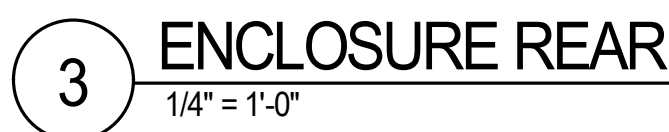
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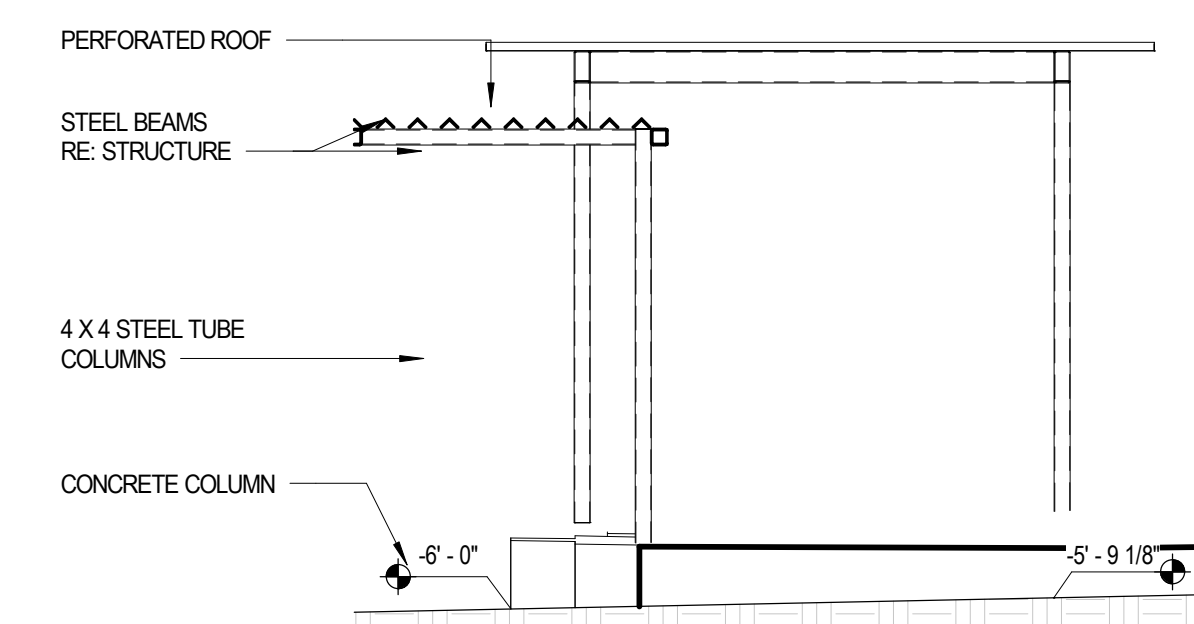
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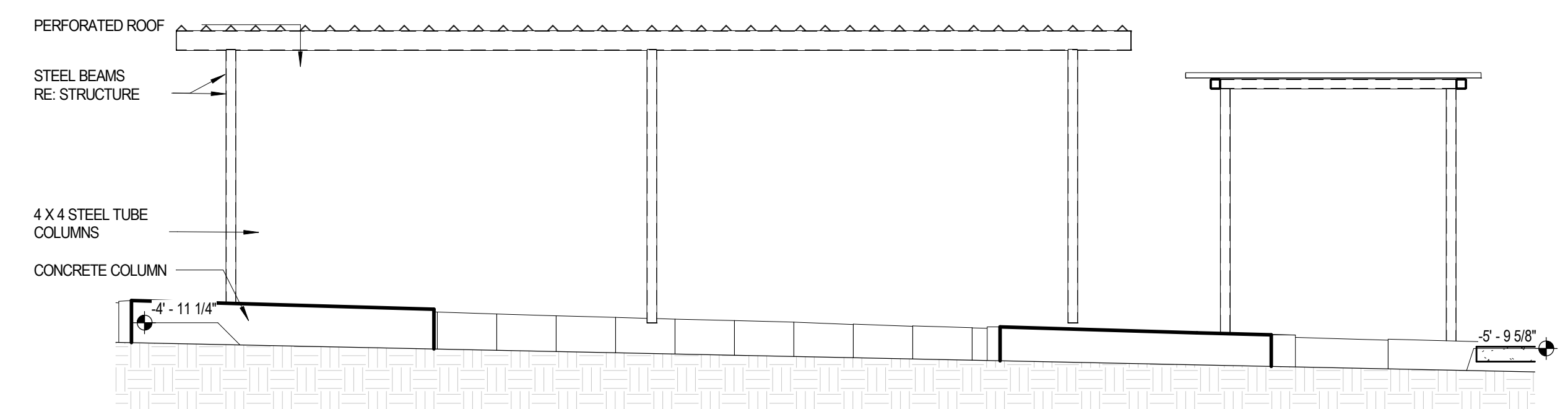
ENLARGED
ARCHITECTURAL
SITE PLAN

A1.02

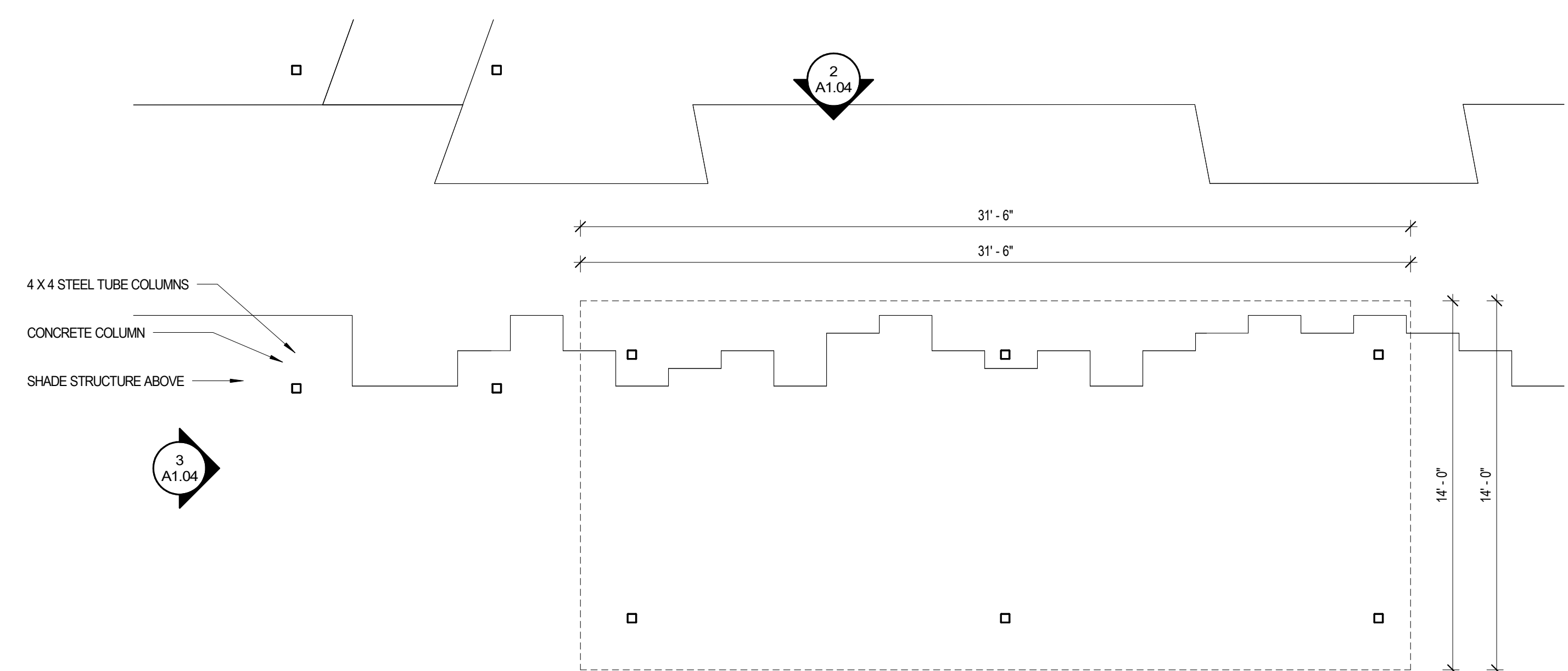




3 RIVERSIDE SITE TRELLIS SOUTH ELEVATION
1/4" = 1'-0"



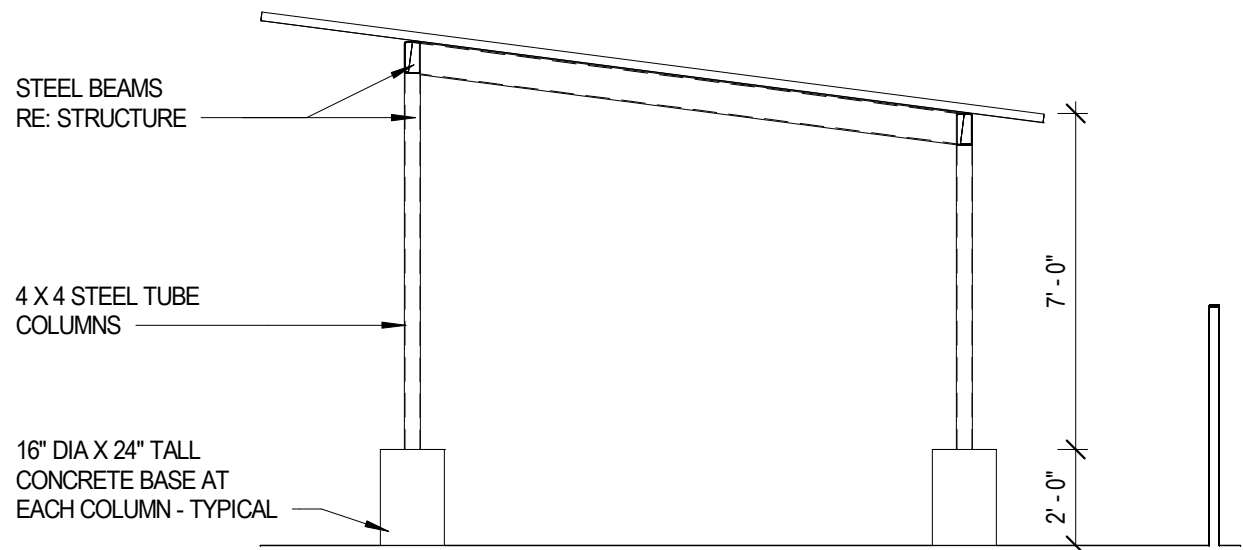
2 RIVERSIDE SITE TRELLIS WEST ELEVATION
1/4" = 1'-0"



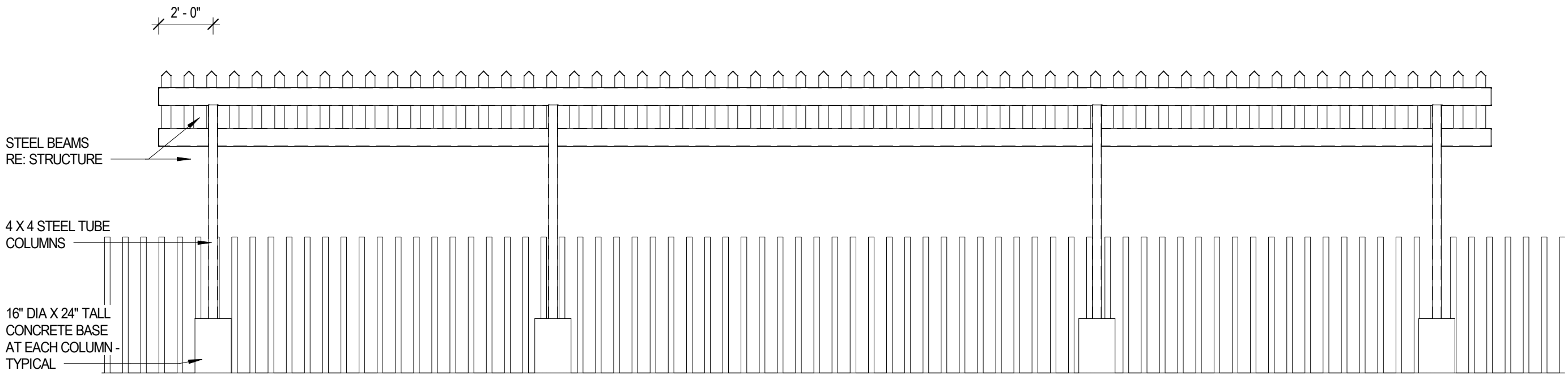
1 RIVERSIDE SITE TRELLIS STRUCTURE FLOOR PLAN
1/4" = 1'-0"

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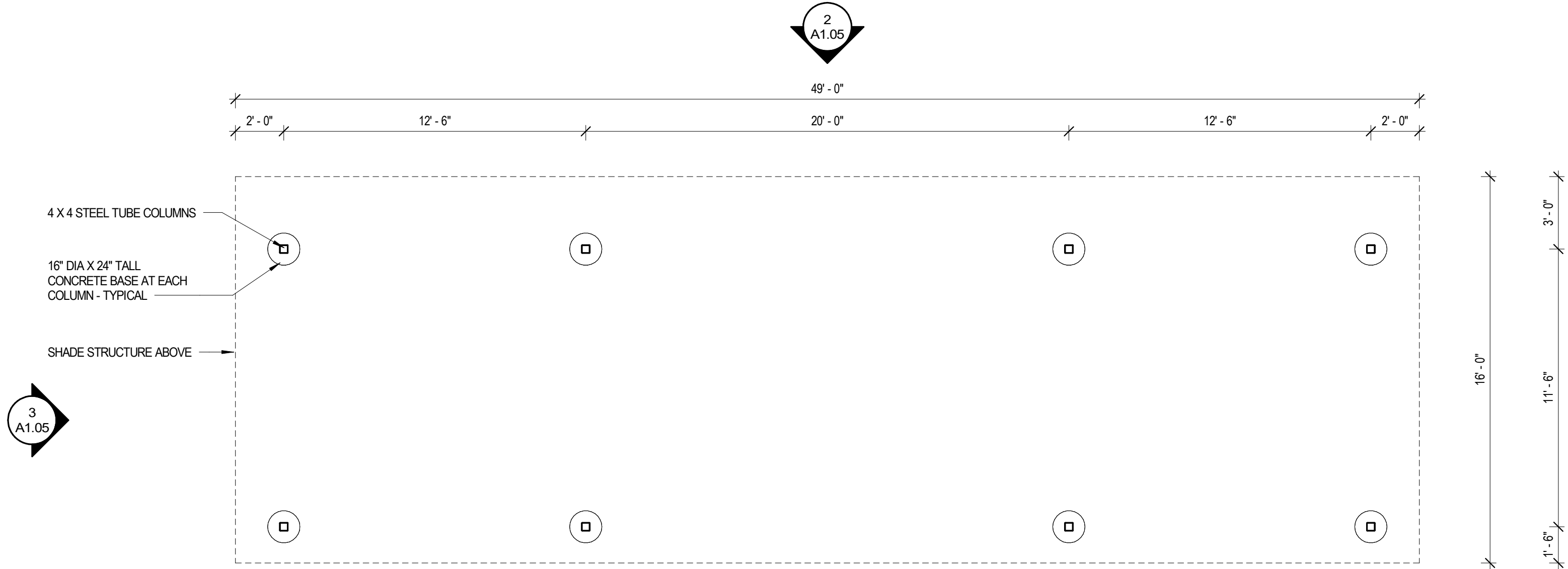
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3 MAIN LAWN TRELLIS STRUCTURE WEST ELEVATION
1/4" = 1'-0"



2 MAIN LAWN TRELLIS STRUCTURE NORTH ELEVATION
1/4" = 1'-0"



1 MAIN LAWN TRELLIS STRUCTURE FLOOR PLAN
1/4" = 1'-0"



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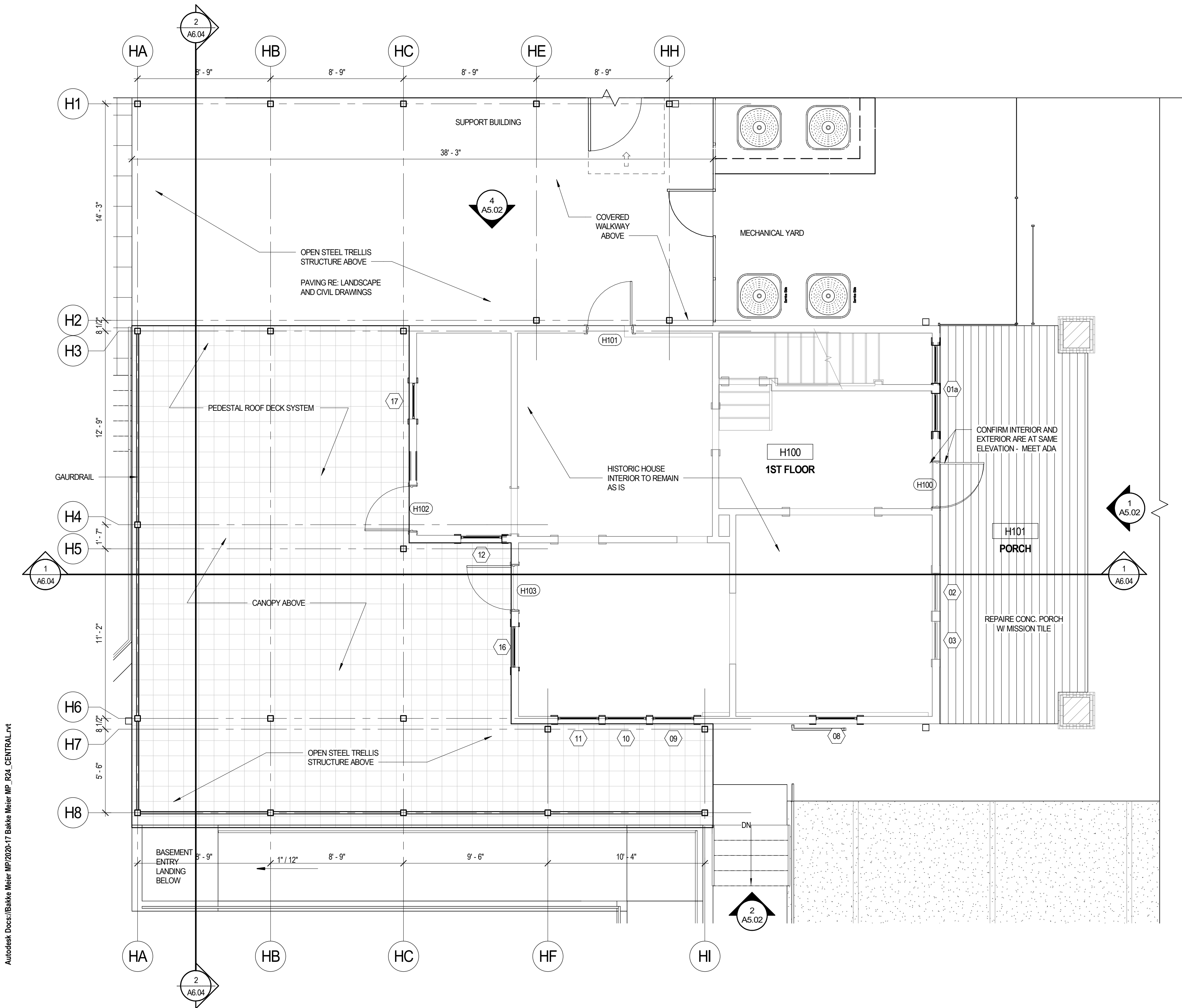
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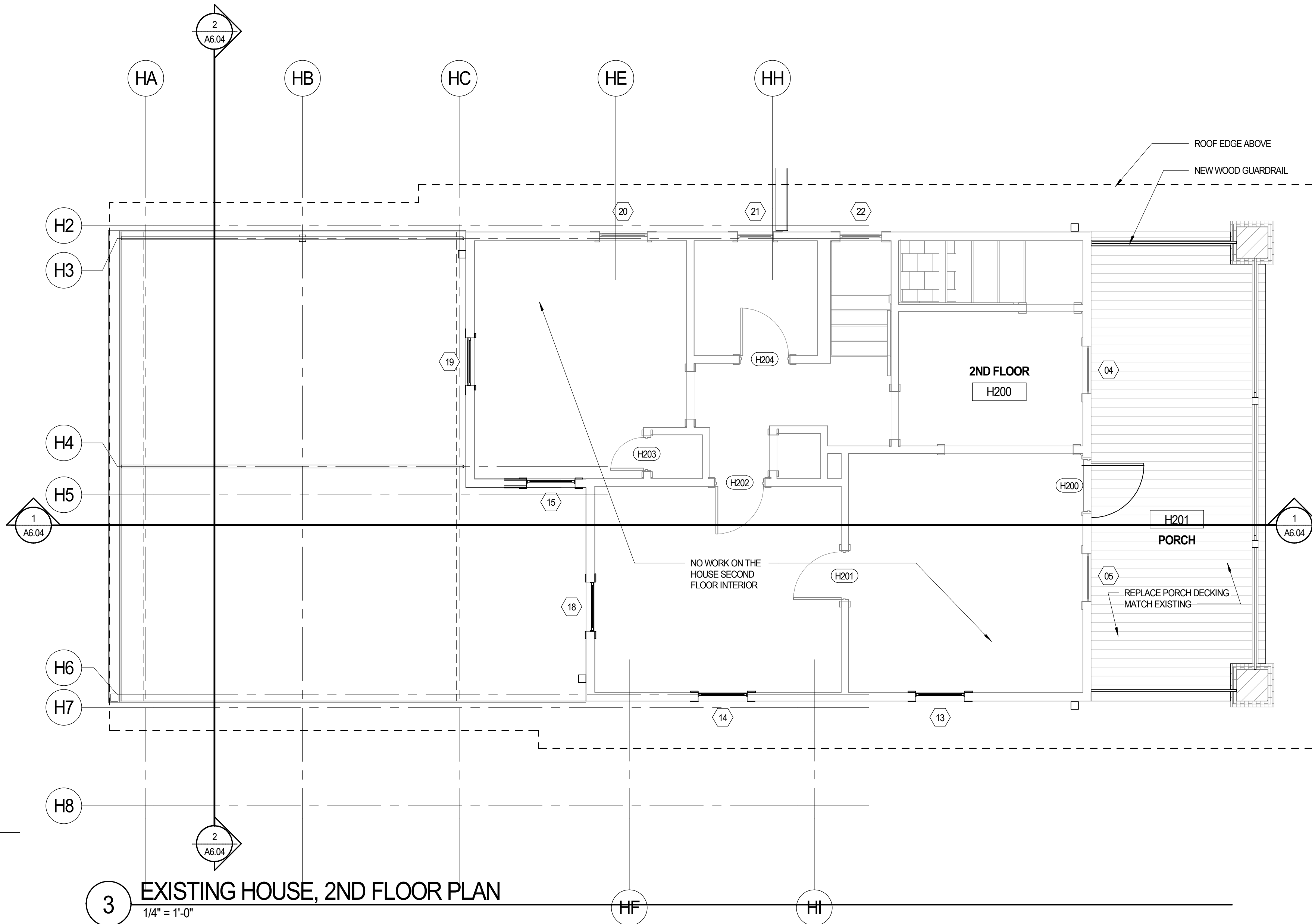
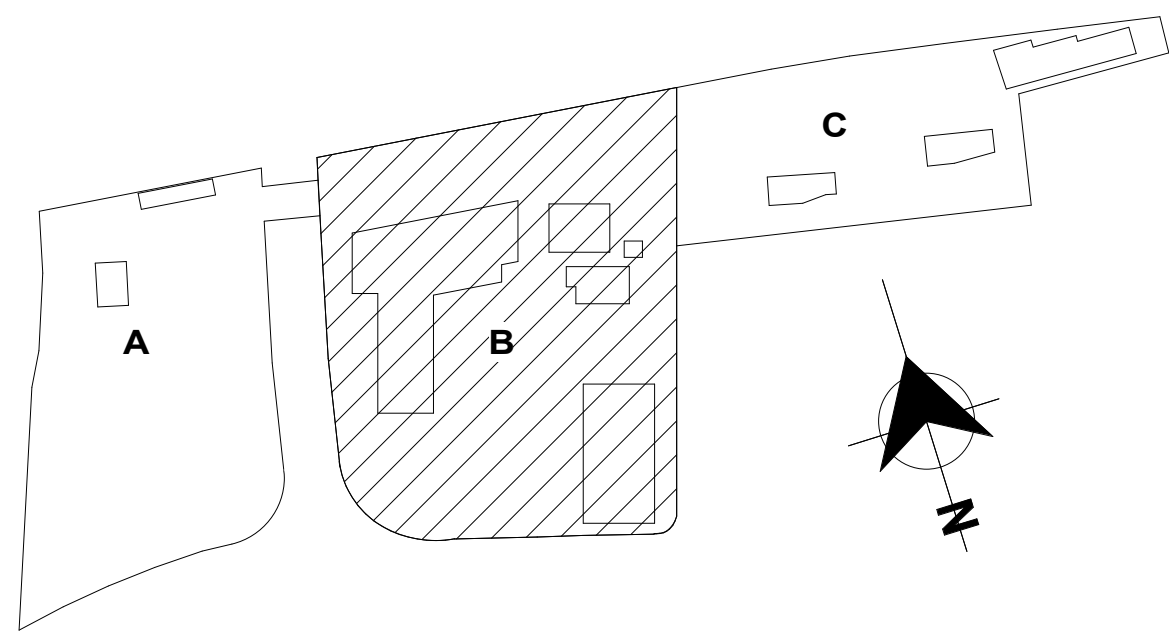
LEASEABLE AREA CALCULATIONS		
	ALAMO	MIBC
MONUMENT 1ST FLOOR	4,116 SF	4,200 SF
MONUMENT 2ND FLOOR	3,878 SF	4,200 SF
MONUMENT ROOFTOP BAR (COVERED)	3,015 SF	5,000 SF

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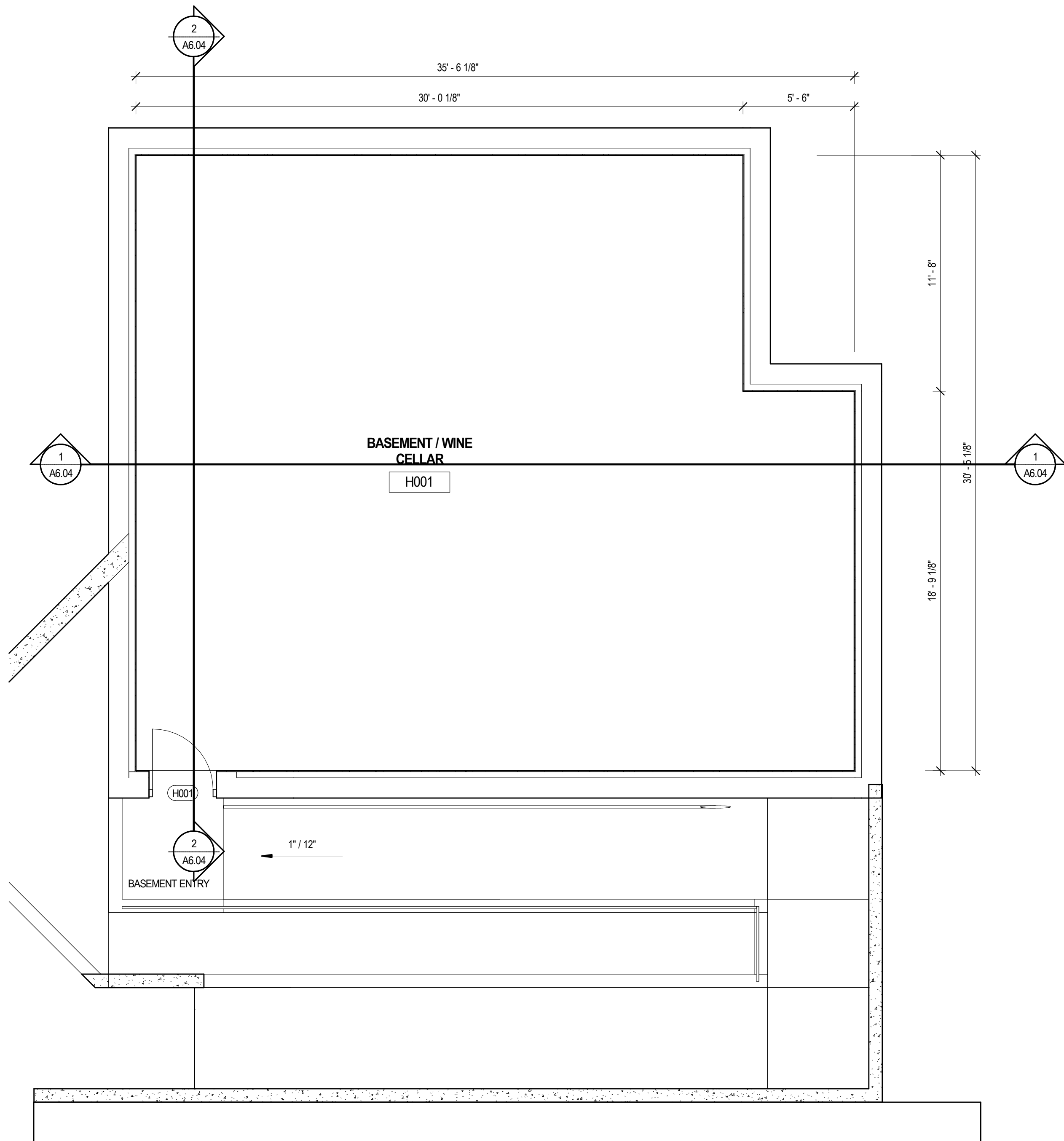
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2 EXISTING HOUSE/ NEW DECK 1ST FLOOR PLAN
1/4" = 1'-0"



3 EXISTING HOUSE, 2ND FLOOR PLAN
1/4" = 1'-0"



1 EXISTING HOUSE, EXPANDED BASEMENT FLOOR PLAN

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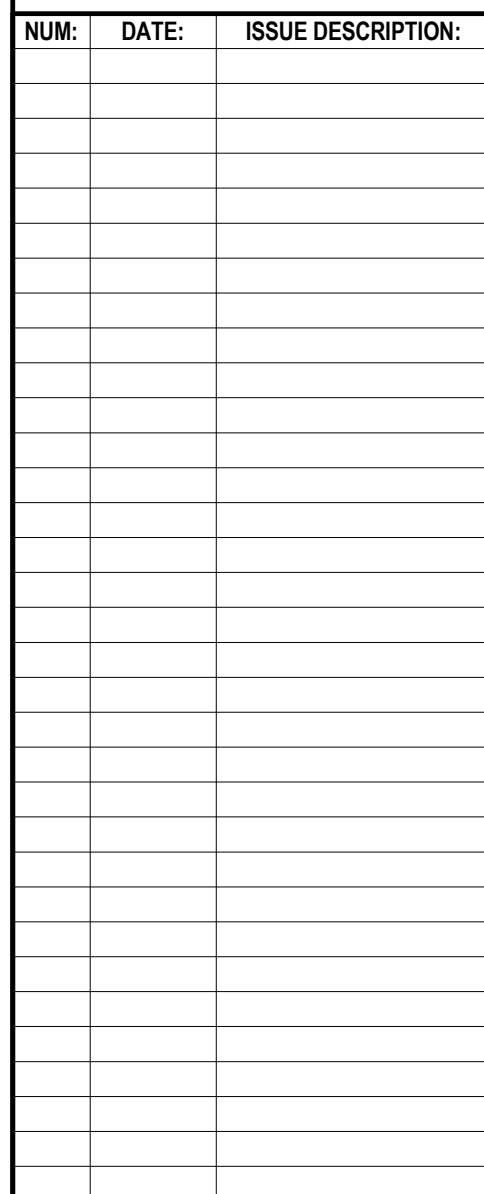
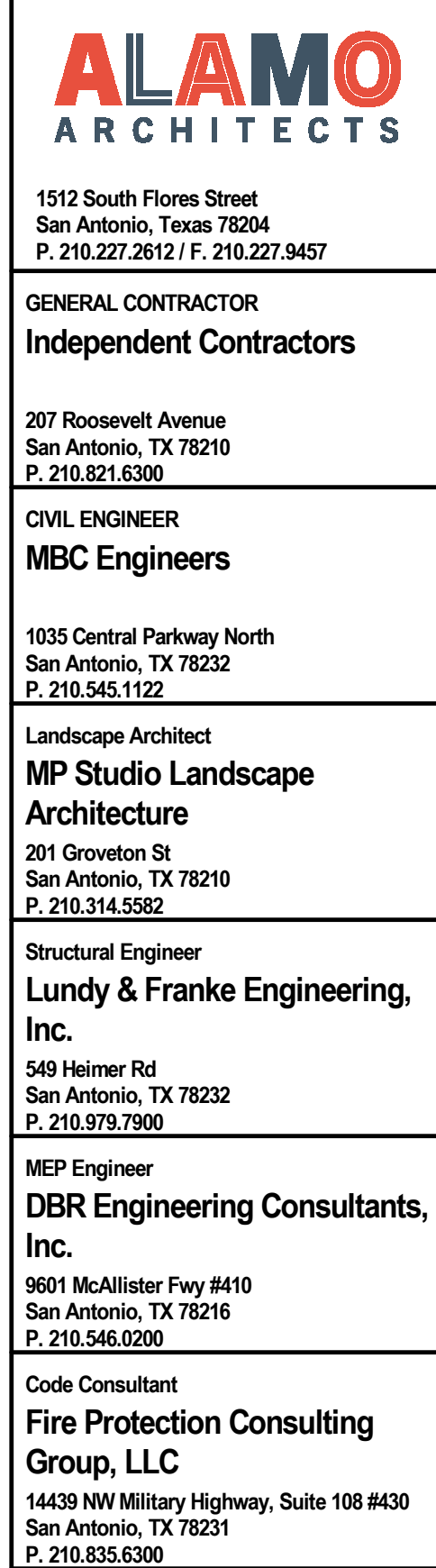
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SHEET TITLE
HOUSE FLOOR
PLANS

A2.02



A2.03

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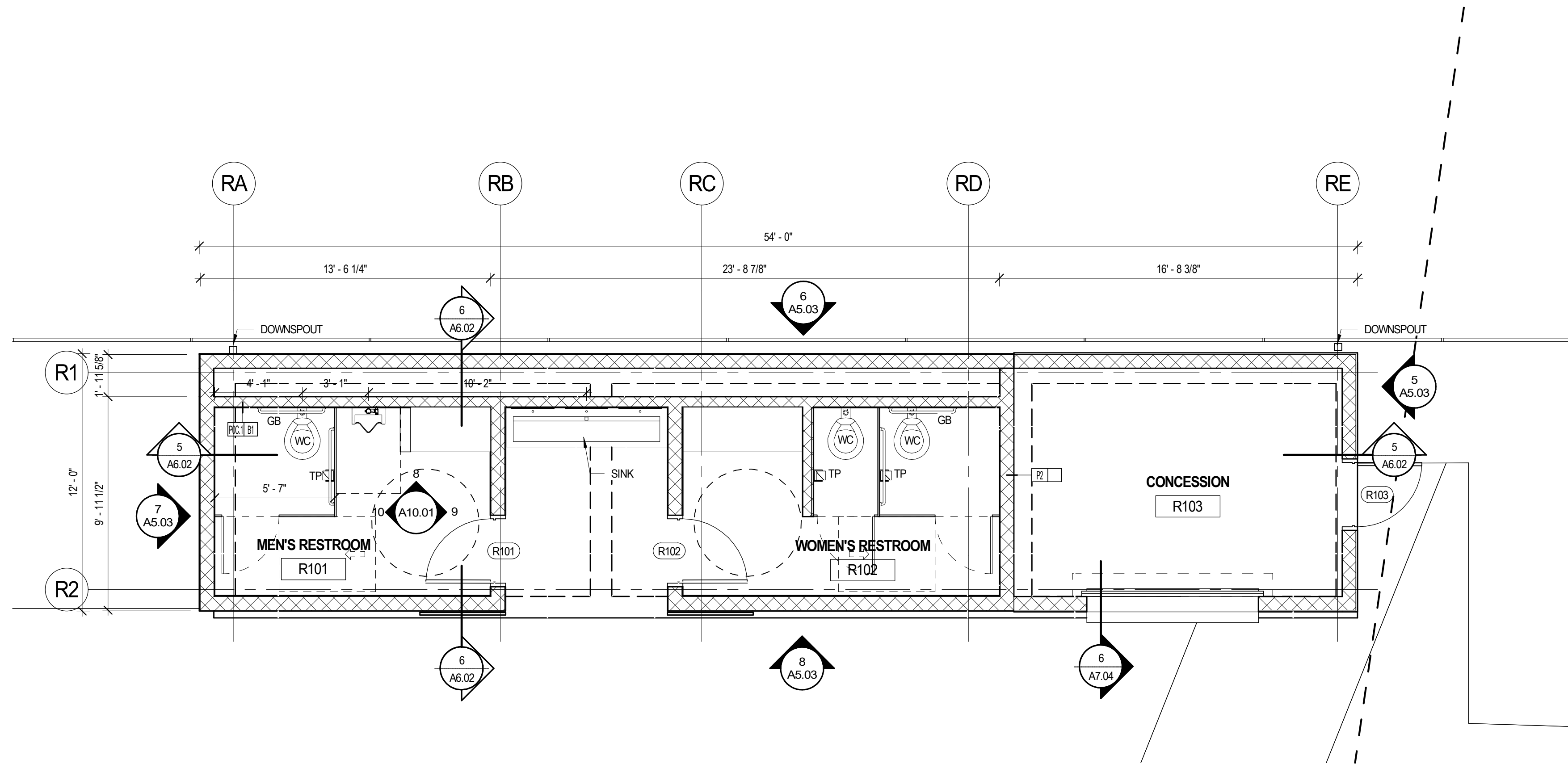
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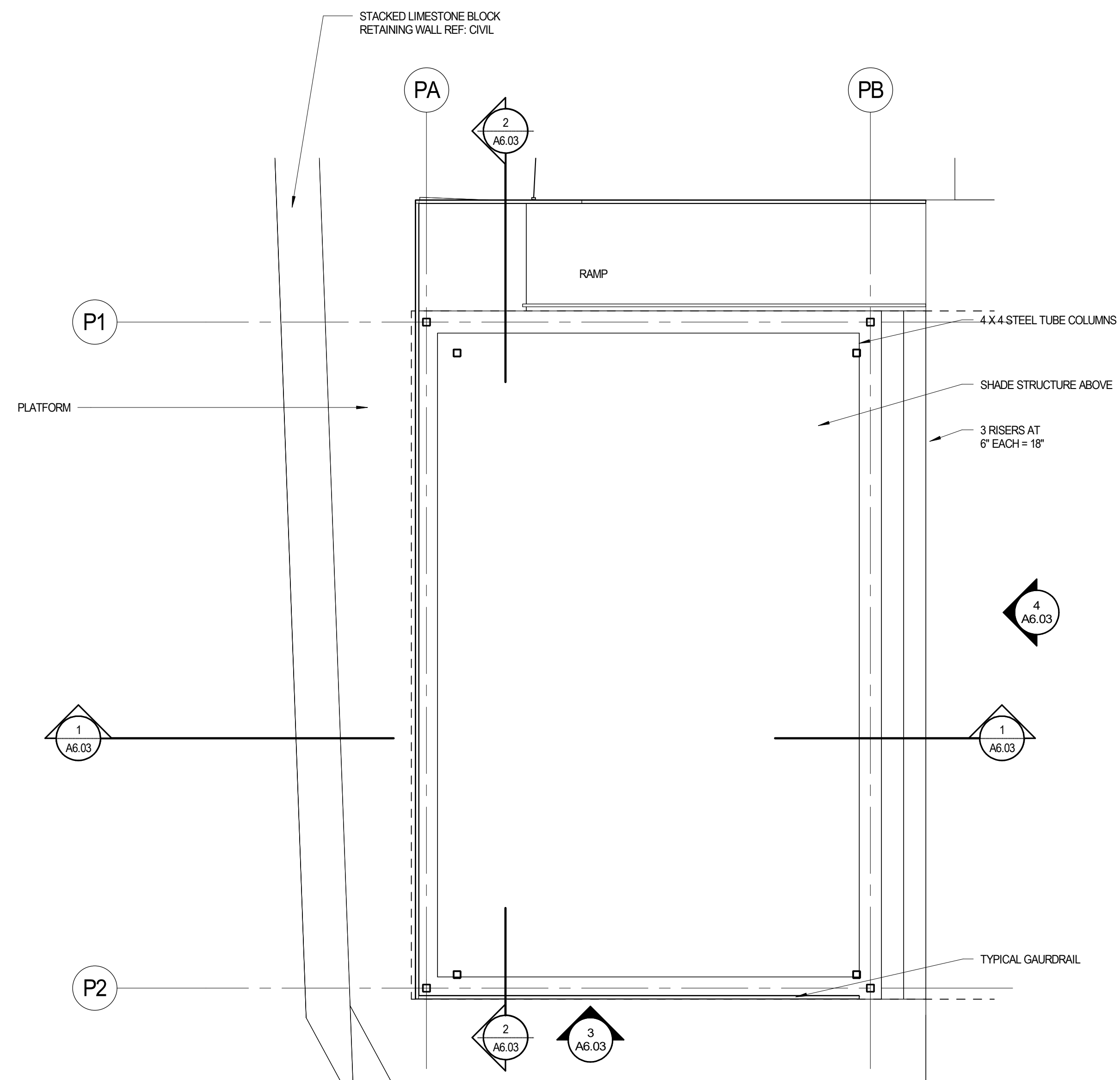
90% CD

RESTROOM & PLATFORM PLANS - EAST

A2.04



2 RIVERSIDE SITE RESTROOM BUILDING FLOOR PLAN
1/4" = 1'-0"



1 RIVERSIDE SITE, PLATFORM FLOOR PLAN
1/4" = 1'-0"

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SHEET TITLE

ROOF PLANS
SUPPORT
HOUSE &
MAUSOLEUM
BUILDING

A4.02

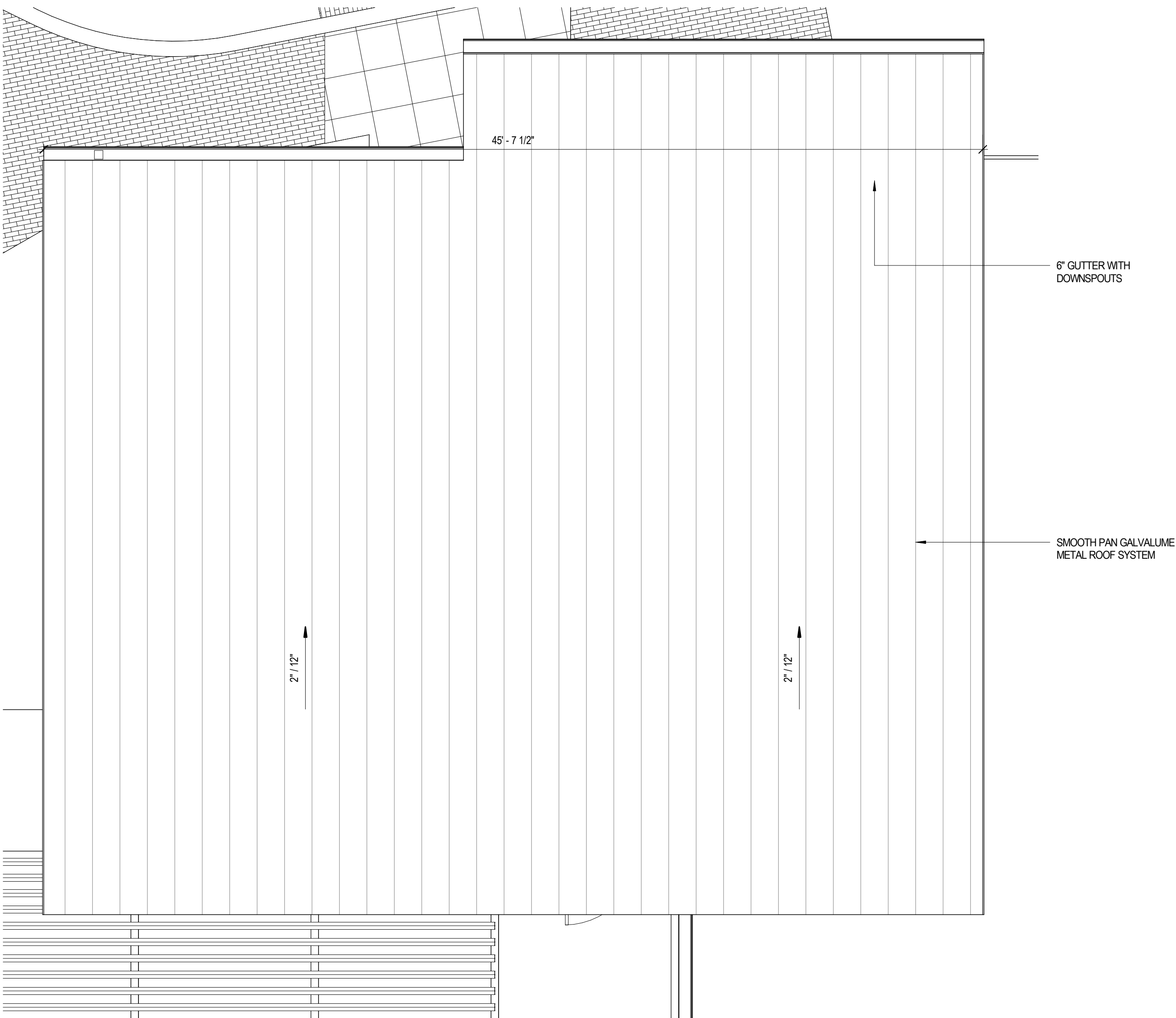
GENERAL NOTES - ROOF PLAN

G1. ALL ROOFING DETAILS SHALL CONFORM WITH "SMACNA" AND "NRCA" REQUIREMENTS.

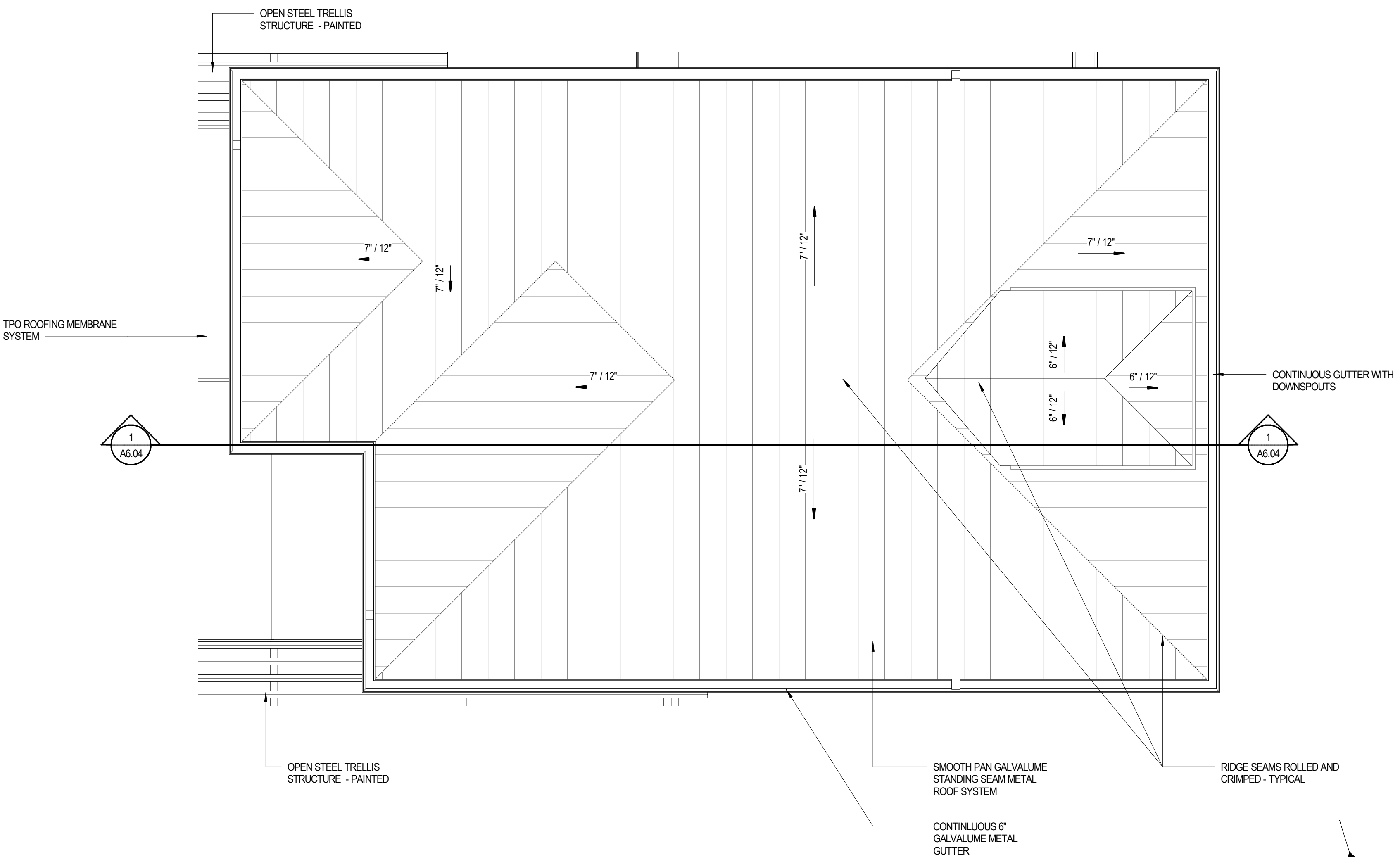
G2. ALL DIMENSIONS ARE TO FACE OF FINISH.

G3. STANDING SEAM METAL ROOF SYSTEM MUST COMPLY WITH COSA MISSION AND RIVER OVERLAY GUIDELINES.

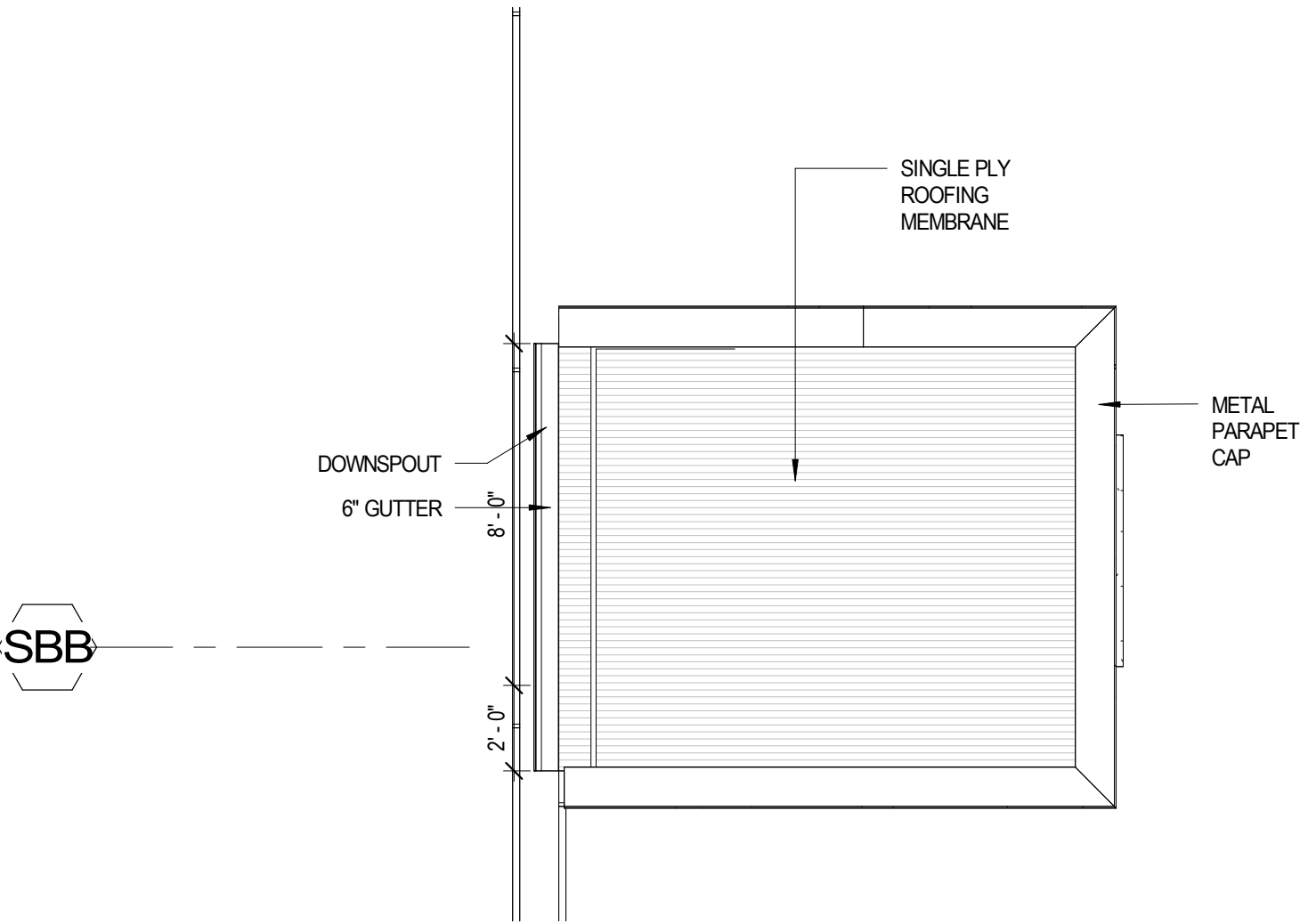
- GALVALUME FINISH
- SMOOTH PANEL - NO MD PANEL RIDGES
- PANEL WIDTH MUST BE BETWEEN 18" AND 21"
- RIDGE HEIGHT MUST BE BETWEEN 1 1/2" AND 2"
- GABLE RIDGE MUST BE SEALED



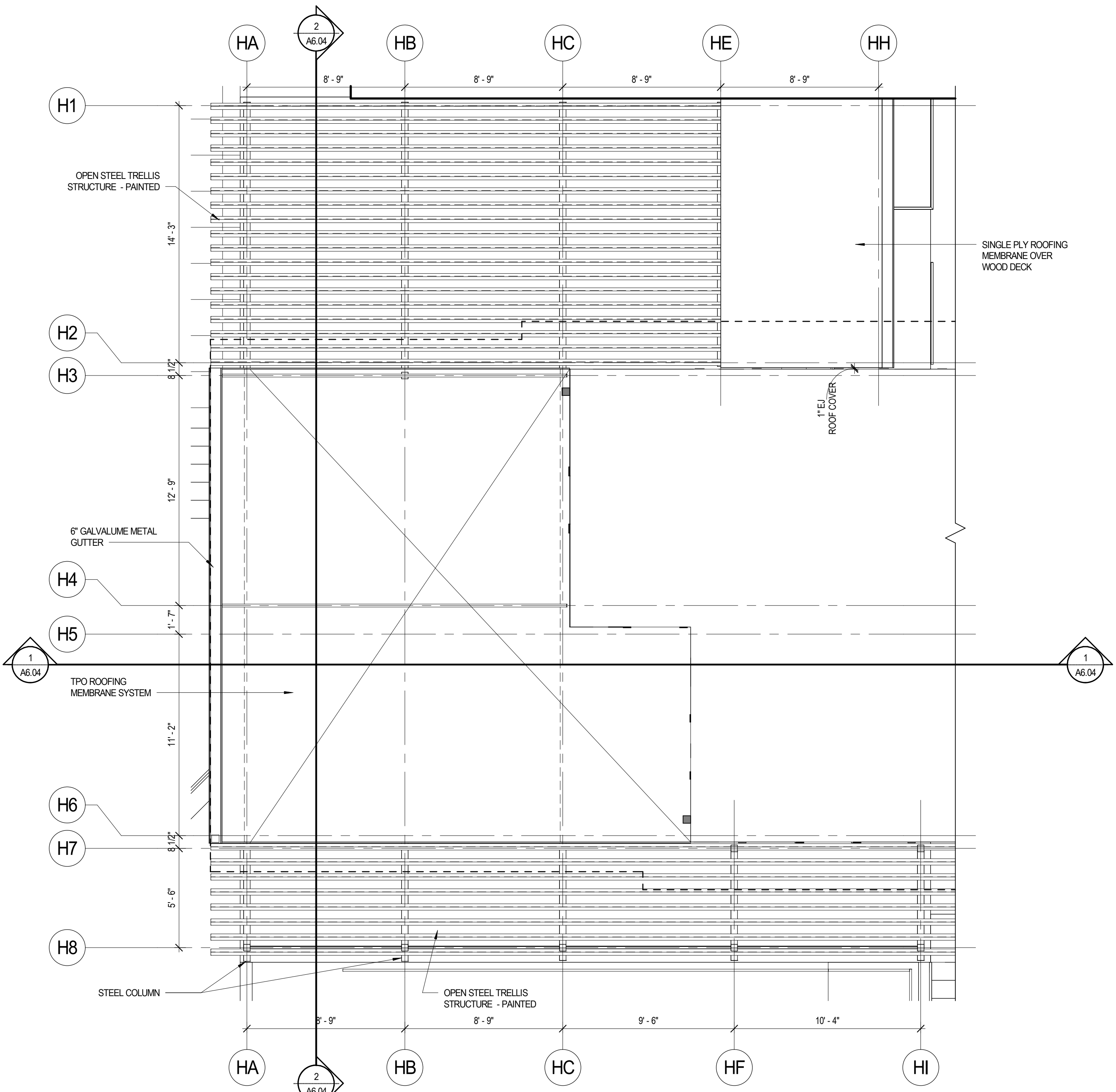
3 SUPPORT BUILDING ROOF PLAN
1/4" = 1'-0"



1 EXISTING HOUSE ROOF PLAN
1/4" = 1'-0"

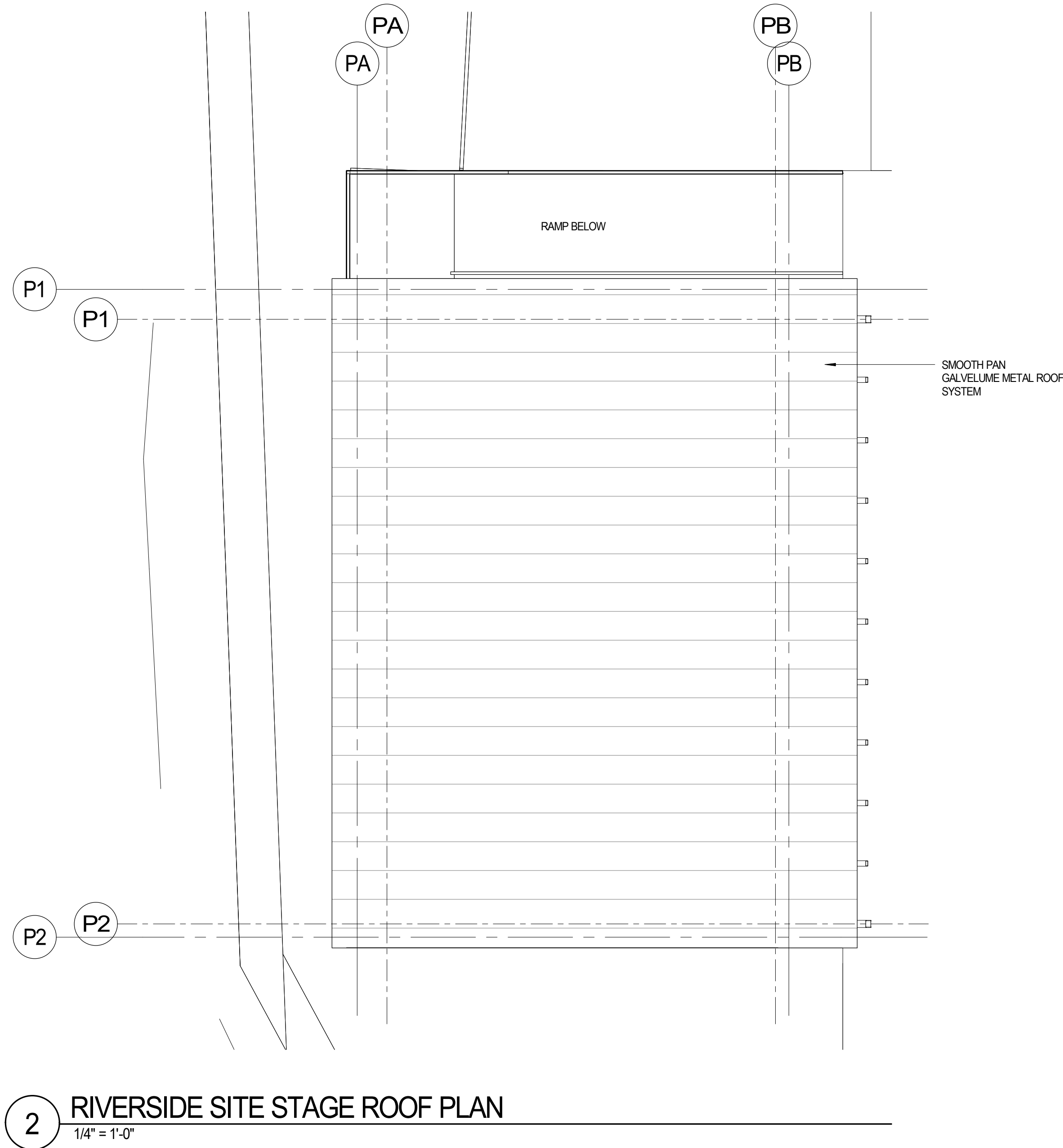


4 MAUSOLEUM ROOF PLAN
1/4" = 1'-0"

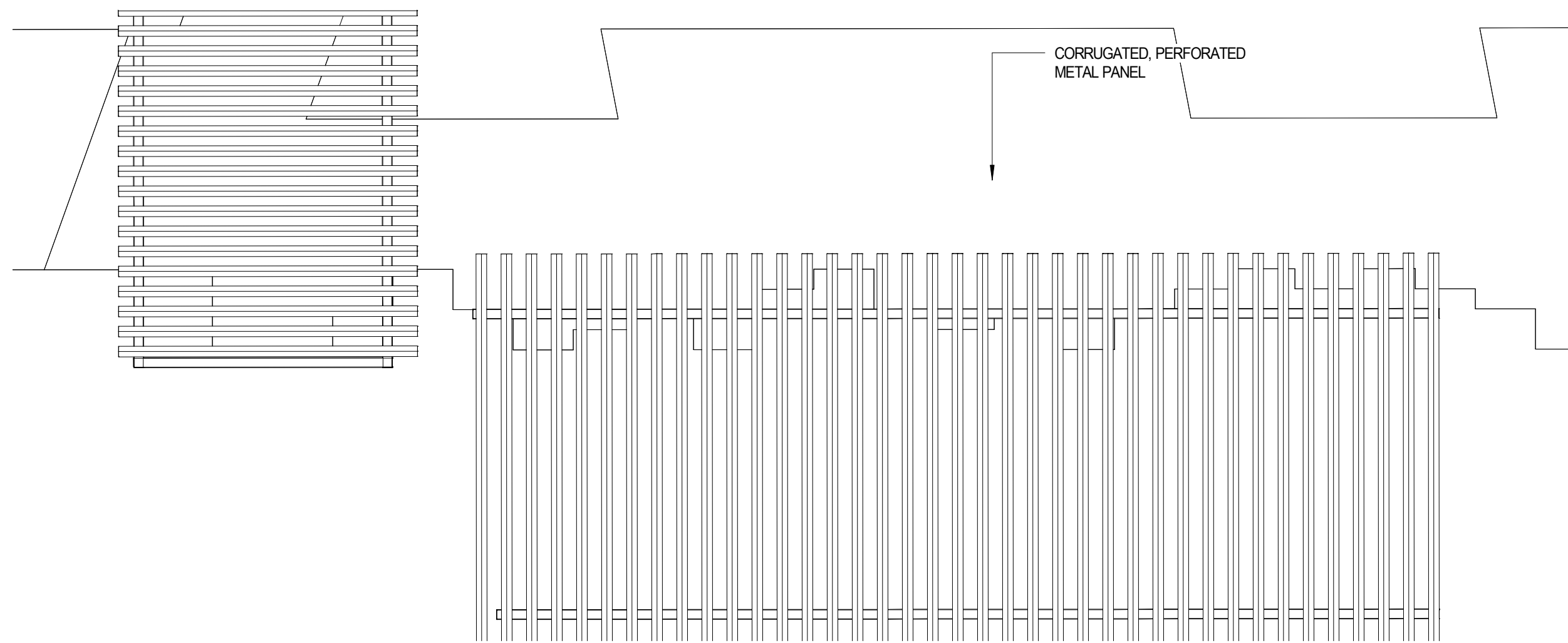


2 TRELLIS & HOUSE BACK PORCH ROOF PLAN
1/4" = 1'-0"

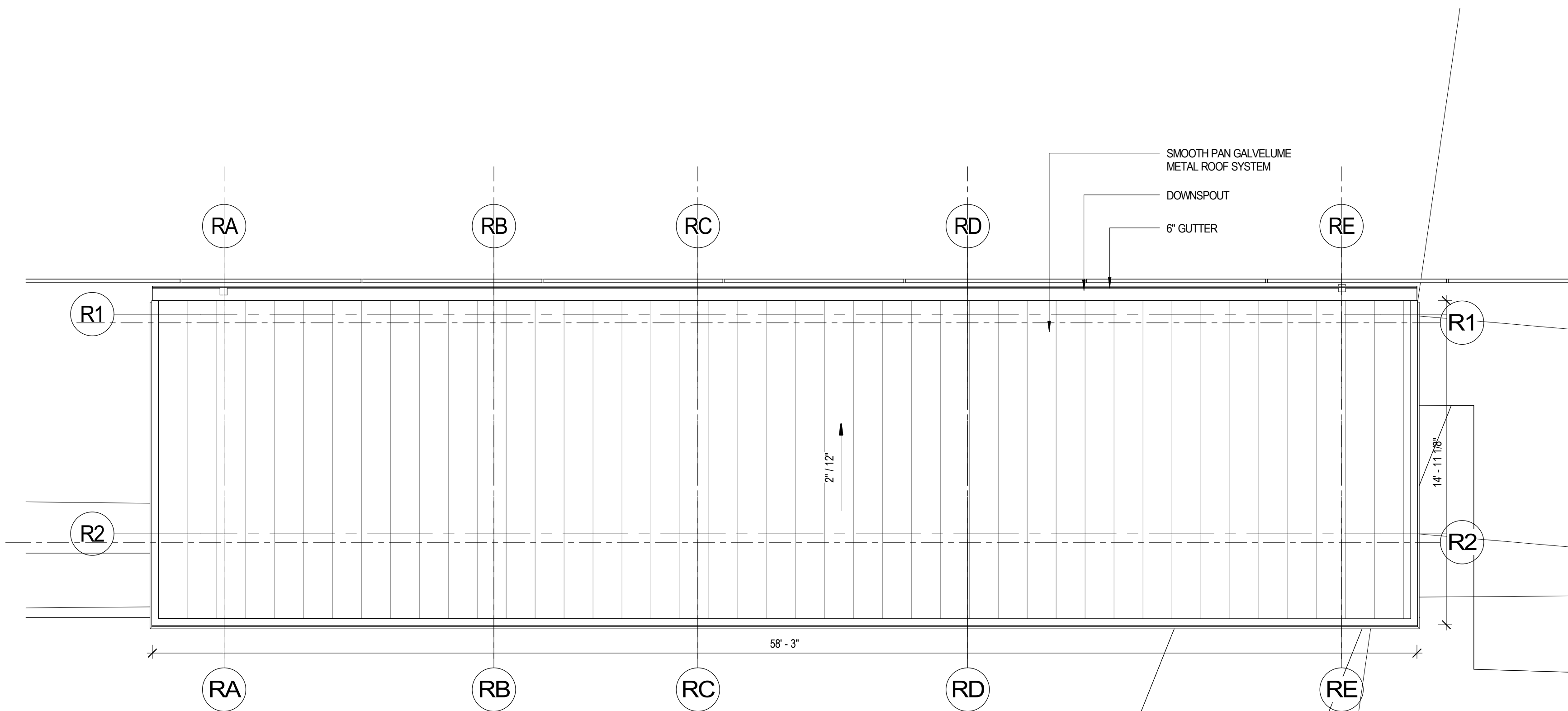
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2 RIVERSIDE SITE STAGE ROOF PLAN
1/4" = 1'-0"



3 RIVERSIDE SITE TRELLIS STRUCTURE ROOF PLAN
1/4" = 1'-0"



1 RIVERSIDE SITE RESTROOM BUILDING ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES - ROOF PLAN

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Gerald E. Lammers

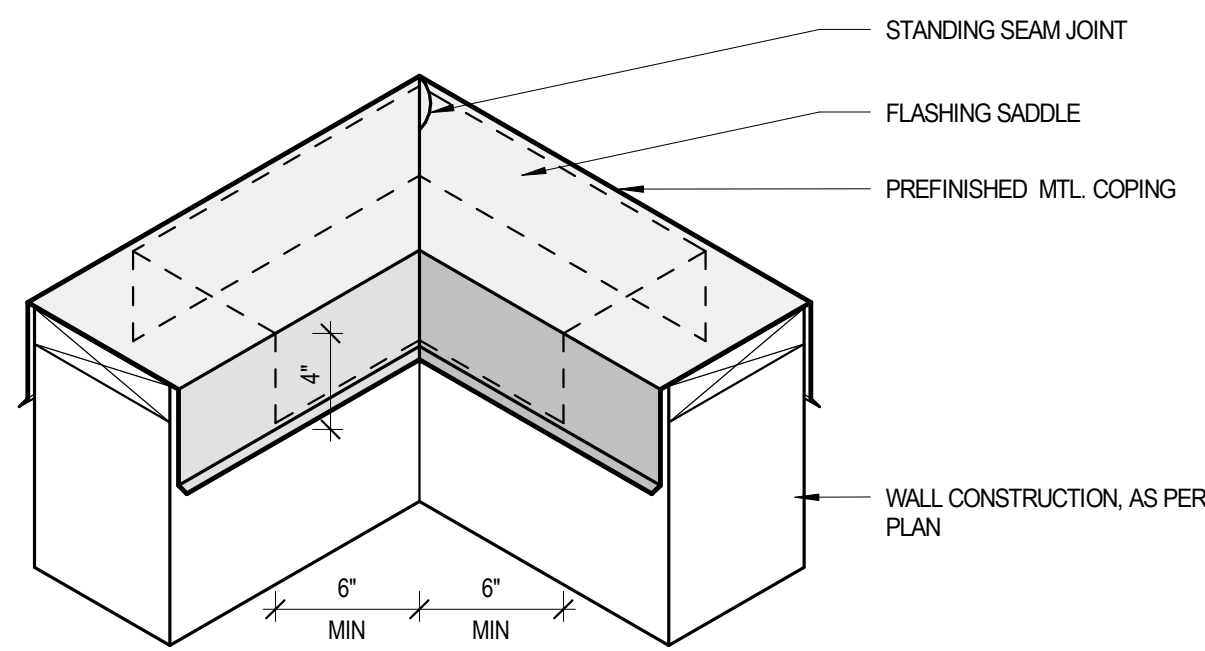
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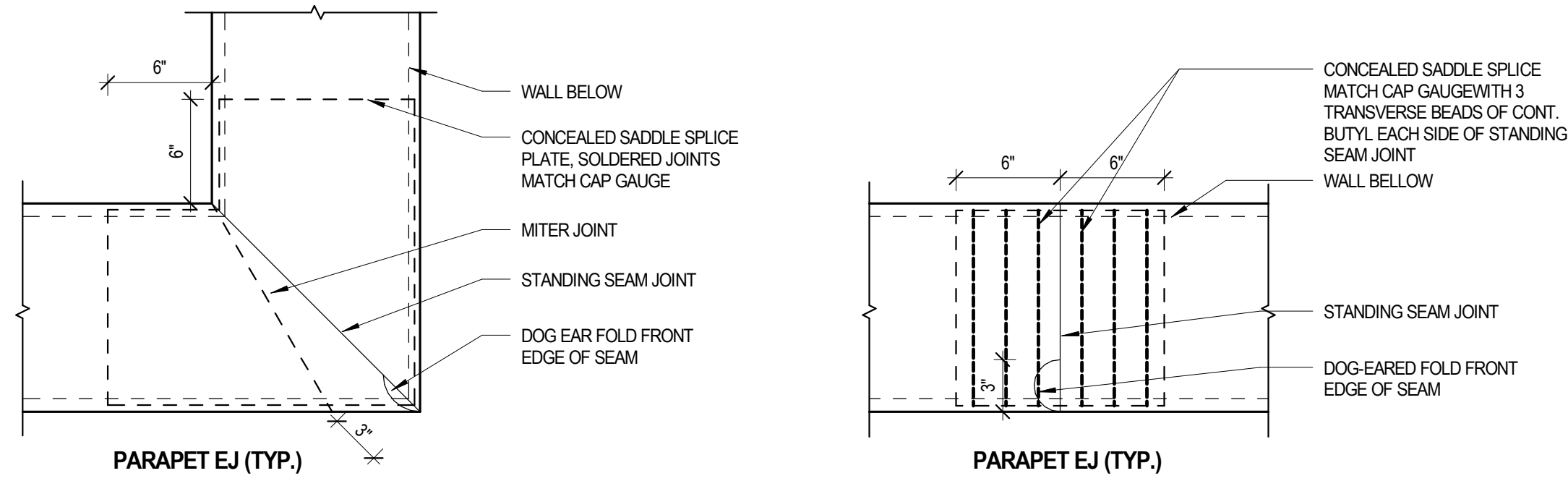
SHEET TITLE

ROOF PLANS
RESTROOM

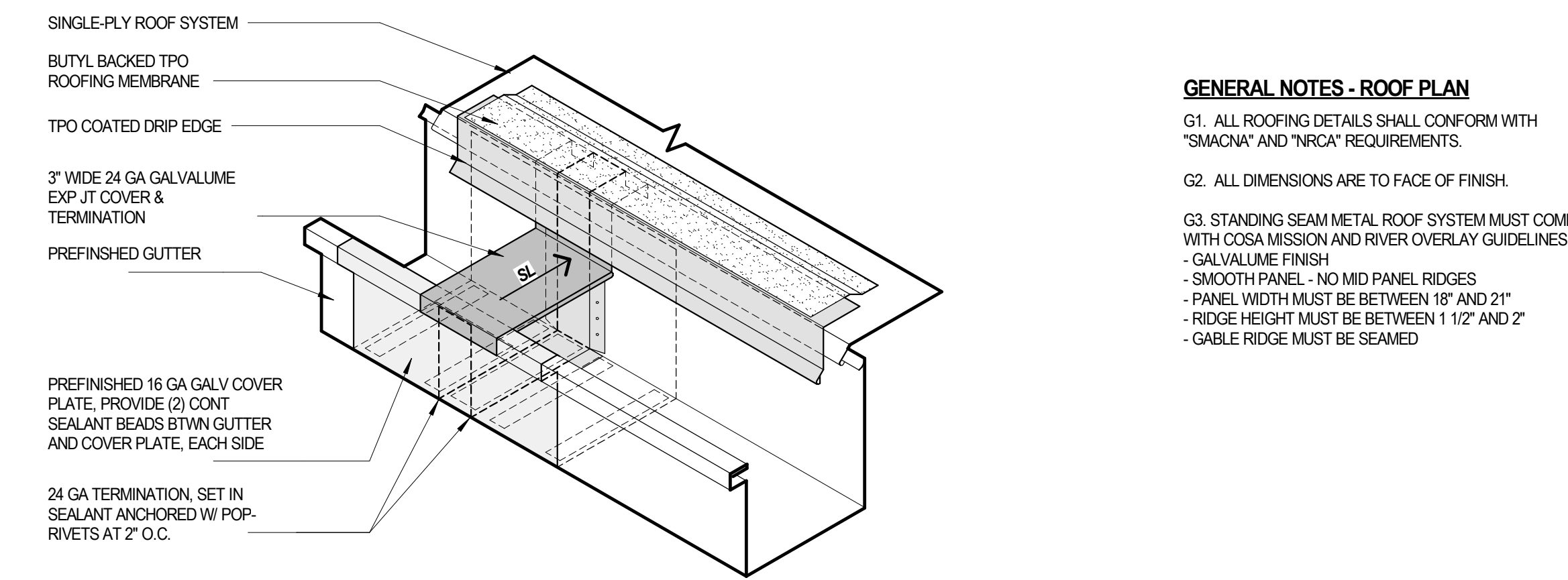
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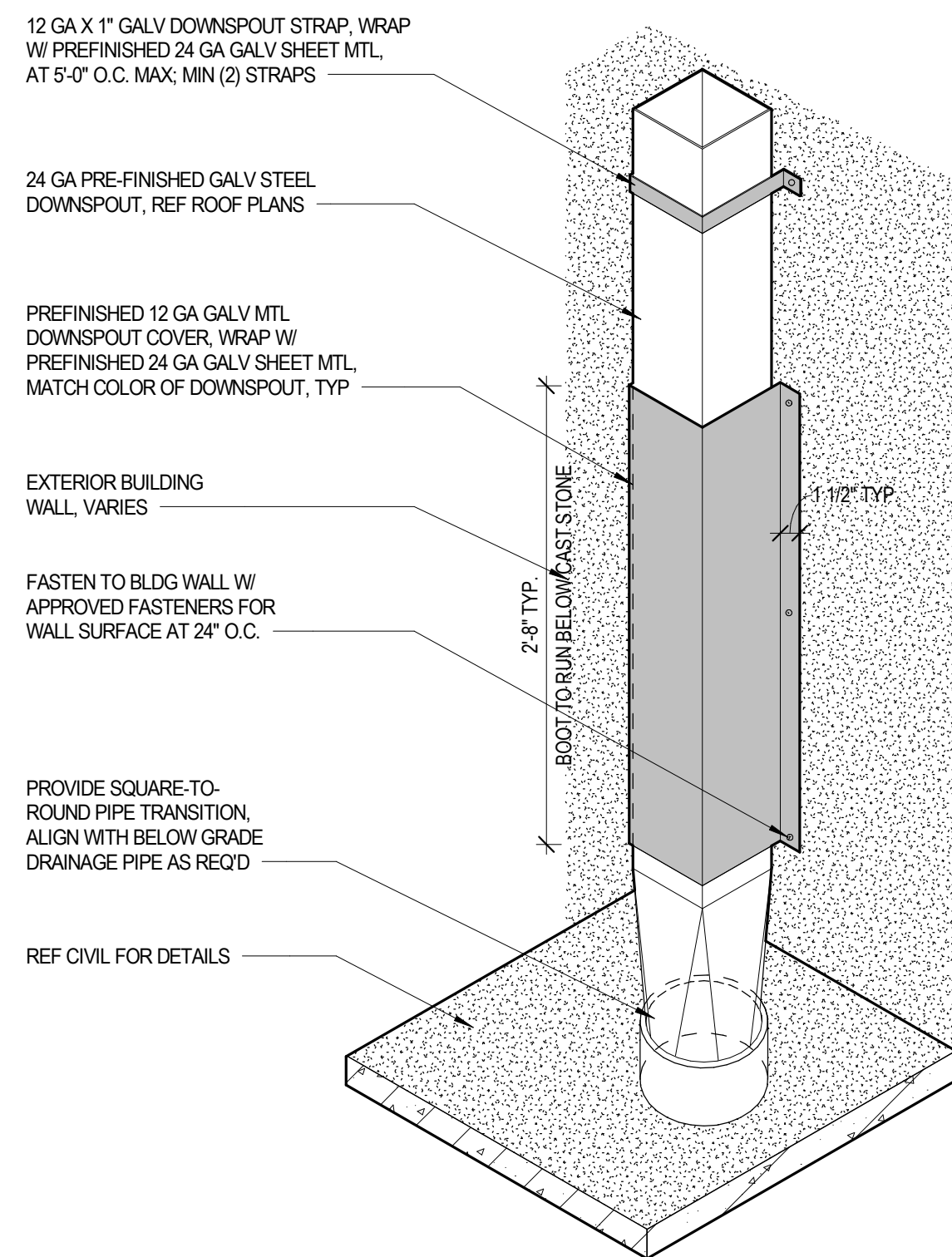
8 PARAPET CAP CORNER SPLICE DETAIL
1 1/2" = 1'-0"



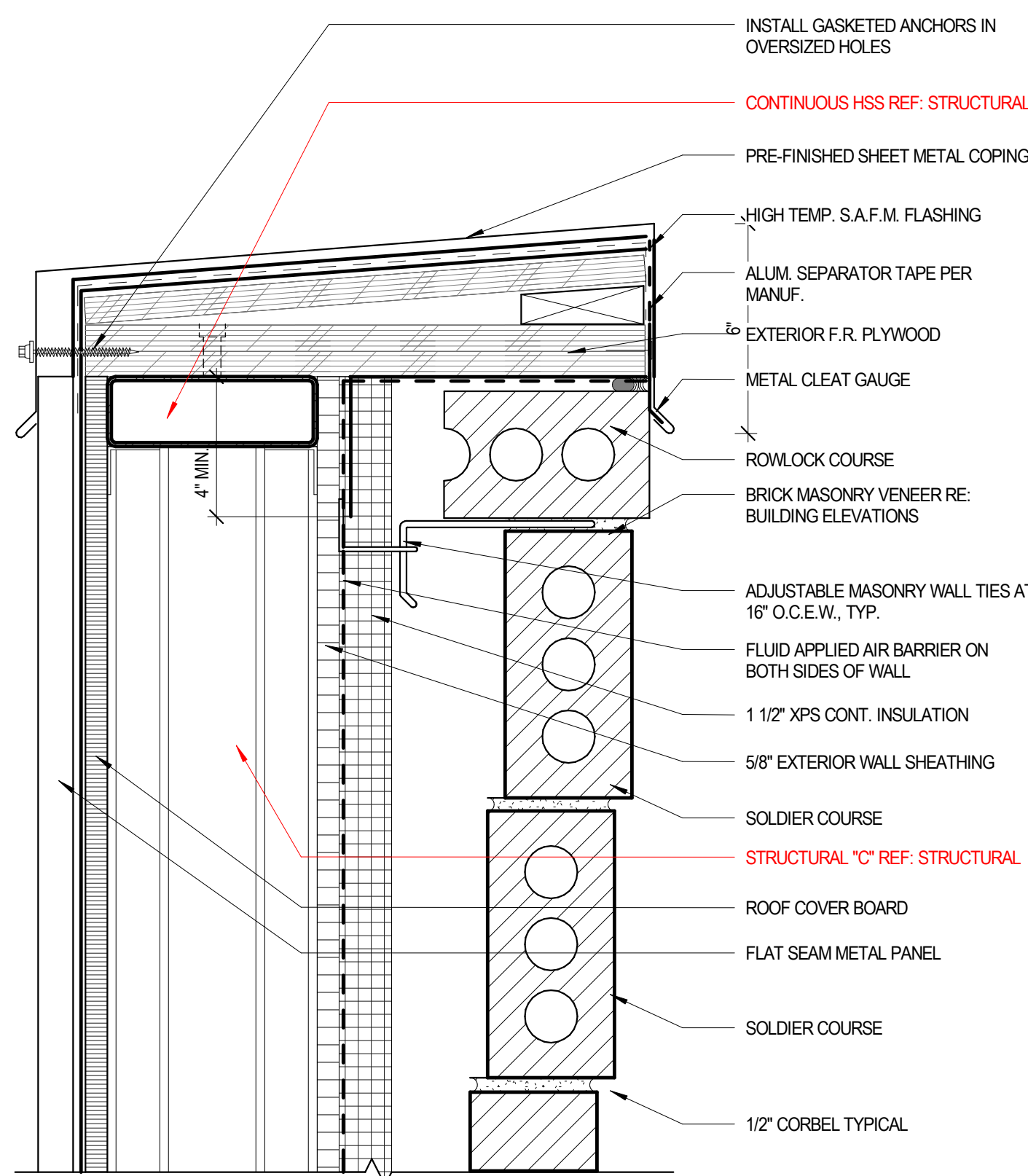
7 PARAPET CAP SPLICE PLAN DETAIL
1 1/2" = 1'-0"



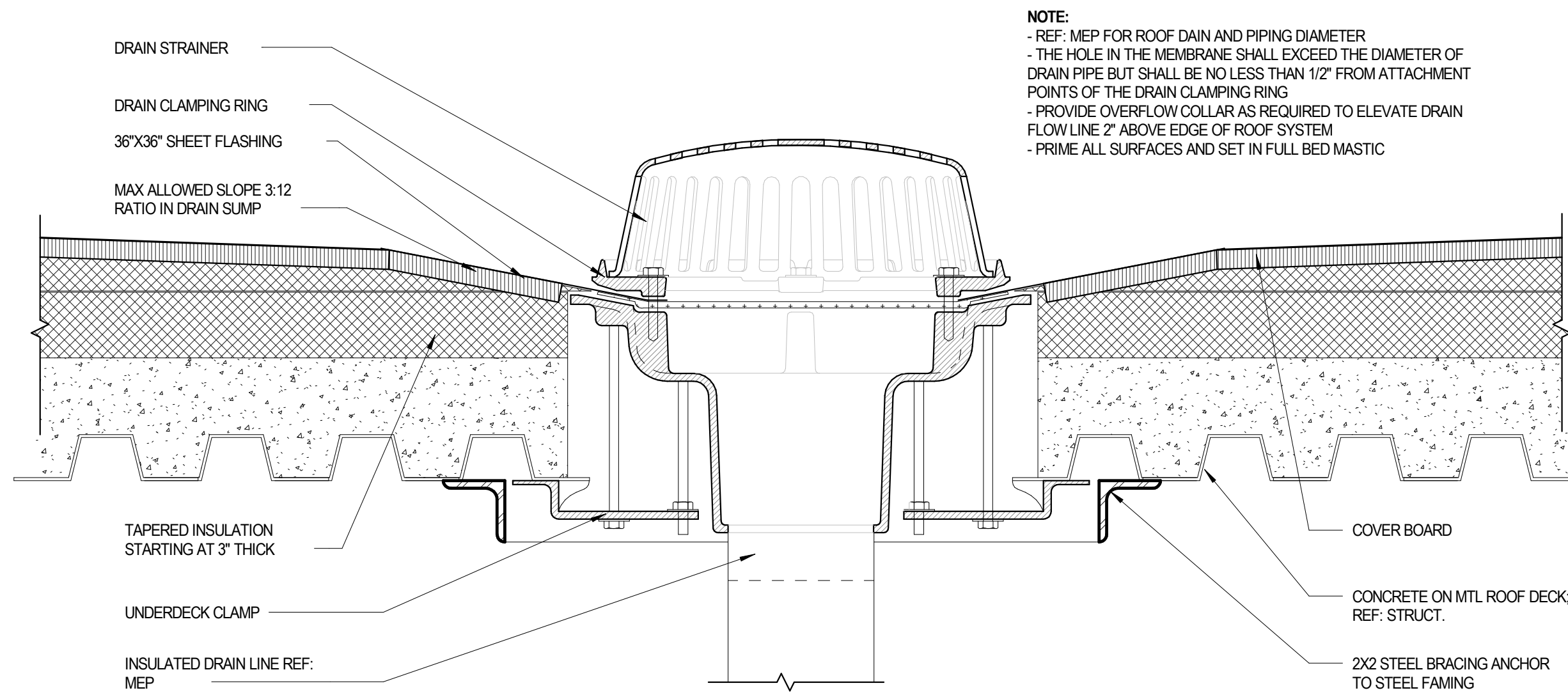
6 GUTTER EXPANSION JOINT
1 1/2" = 1'-0"



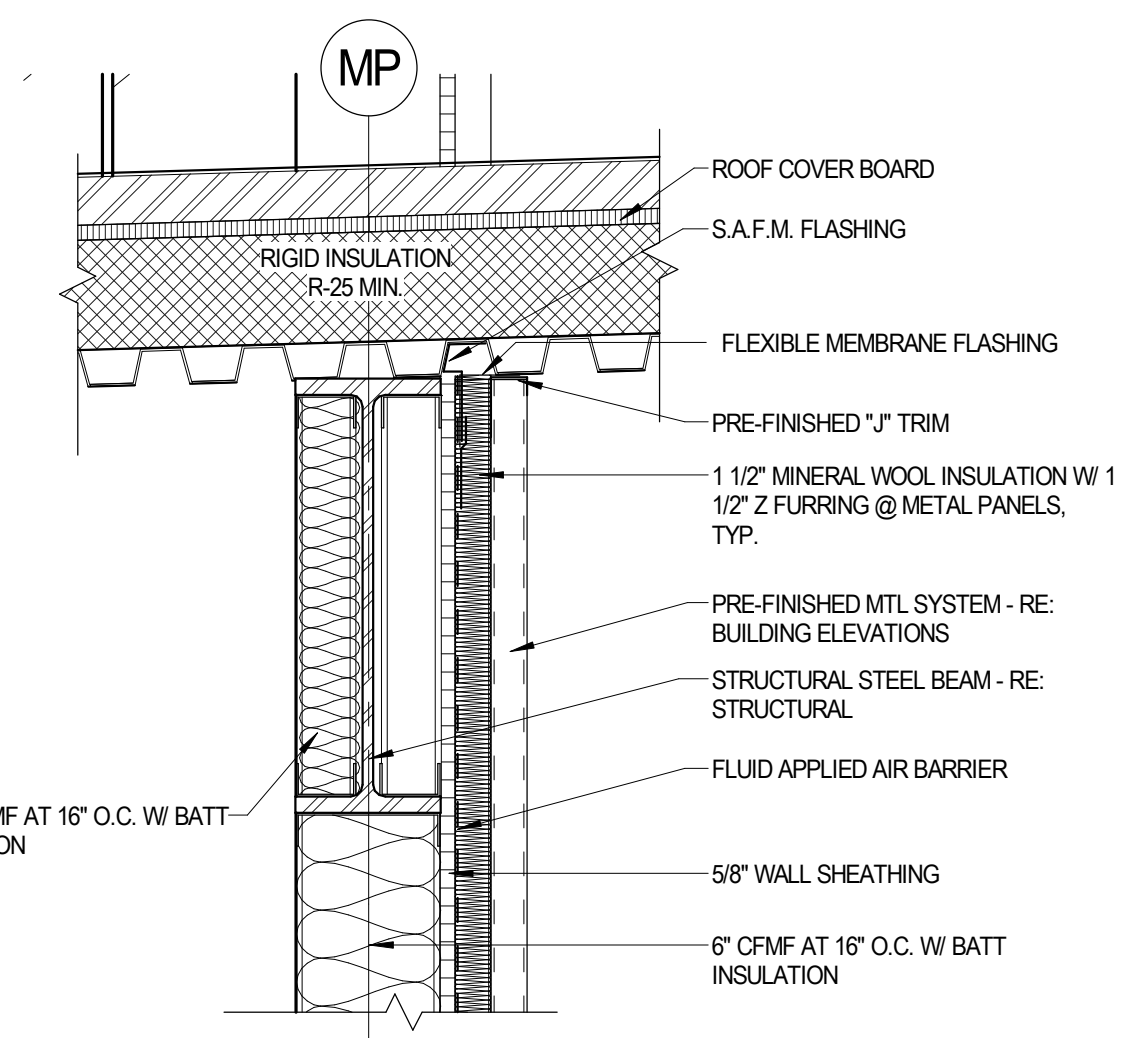
3 DOWNSPOUT BOOT TO STORM
3" = 1'-0"



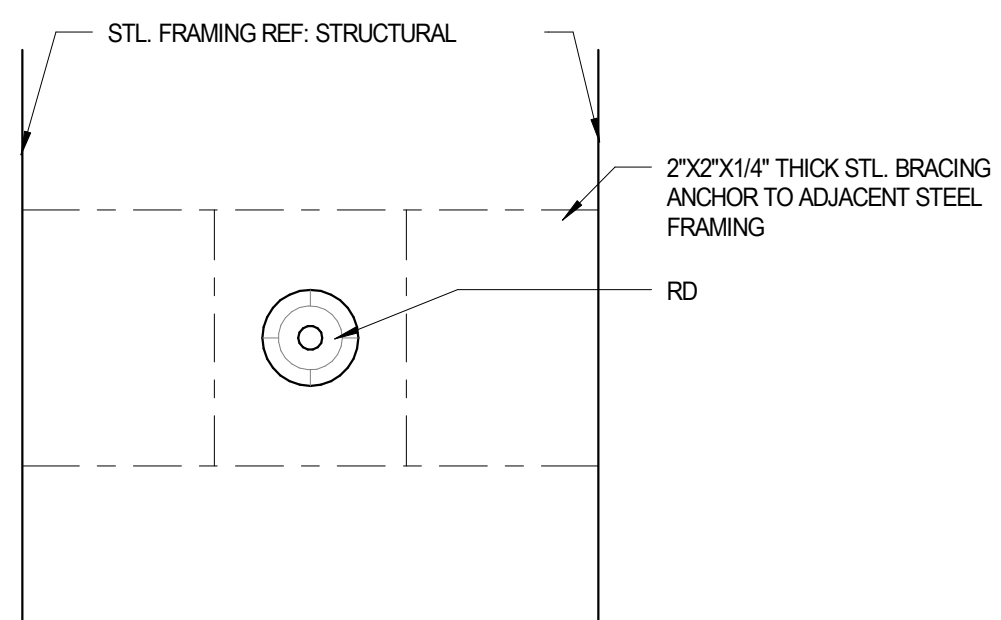
9 PARAPET CAP @ BRICK
3" = 1'-0"



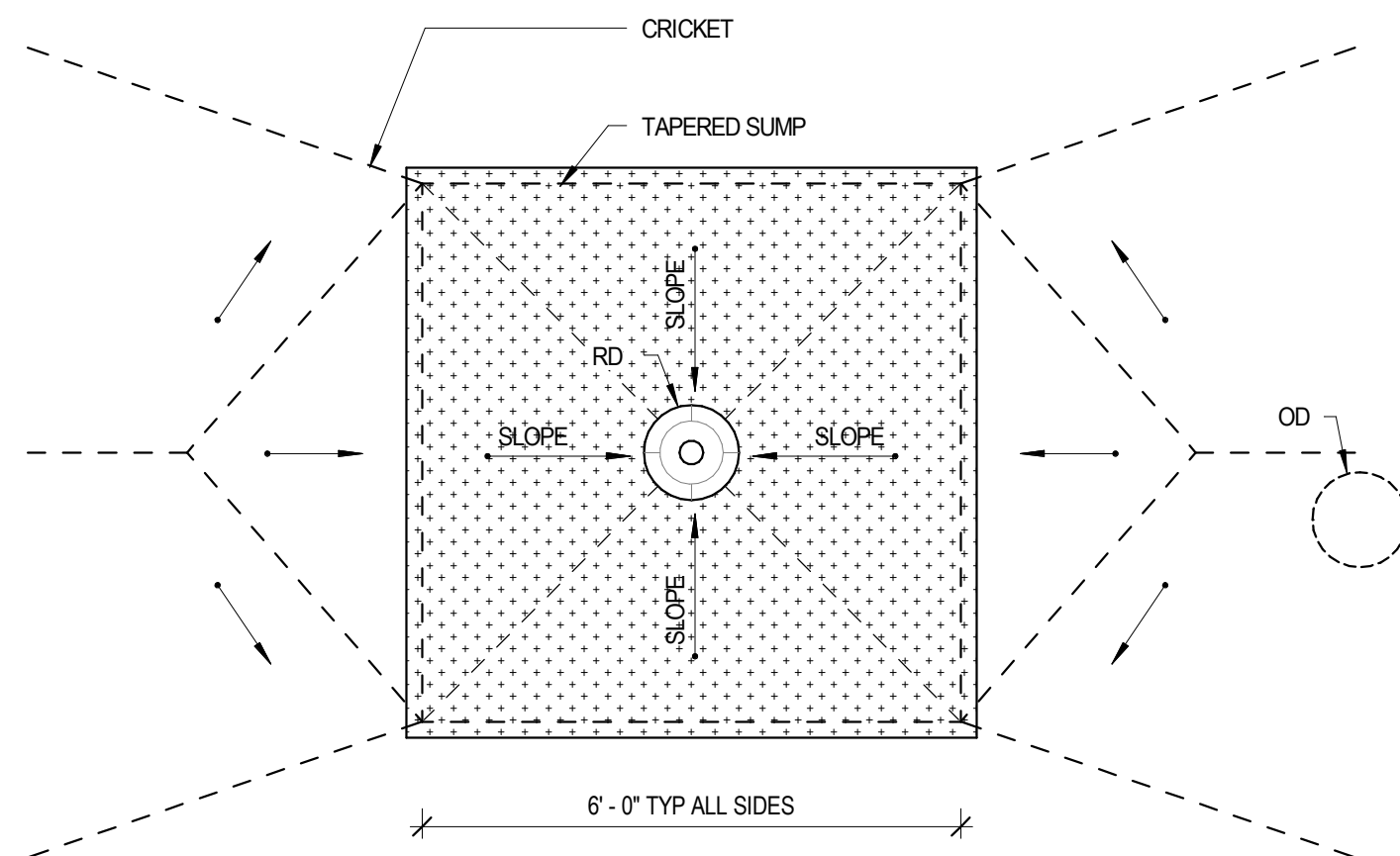
10 TPO - PRIMARY ROOF DRAIN - SECTION VIEW
3" = 1'-0"



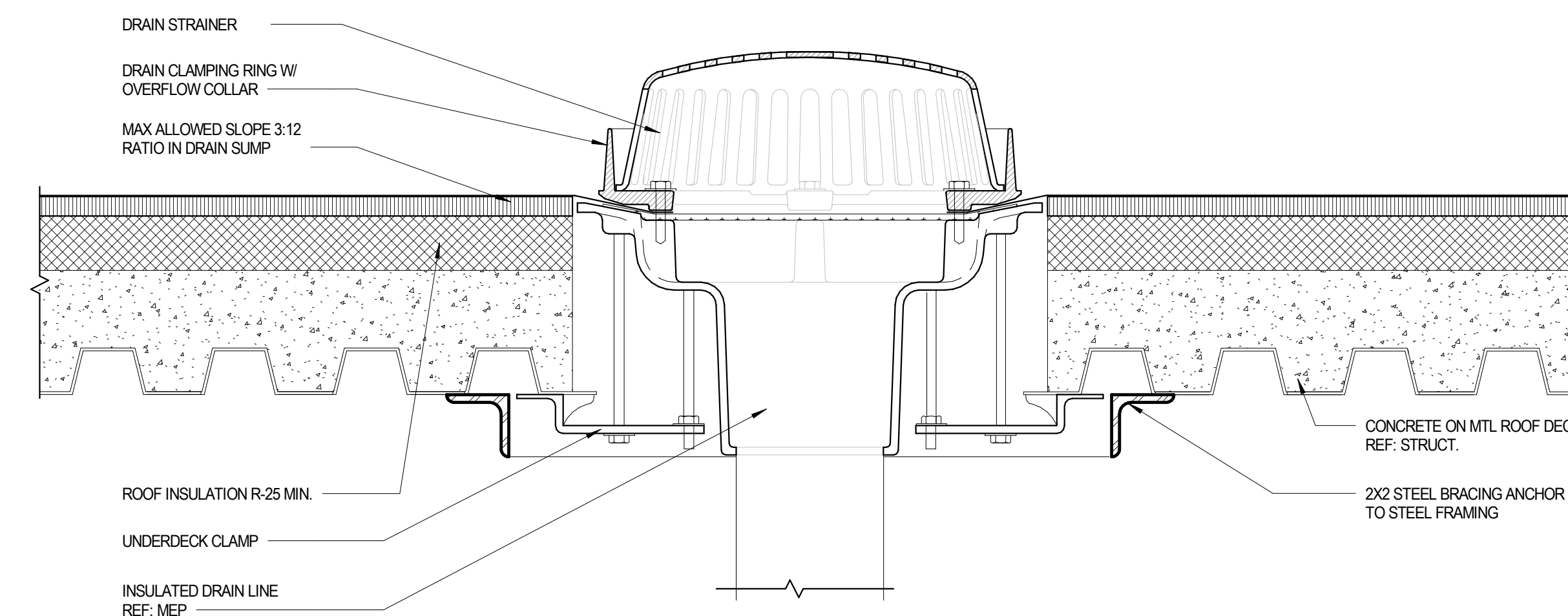
5 SECTION DETAIL
1 1/2" = 1'-0"



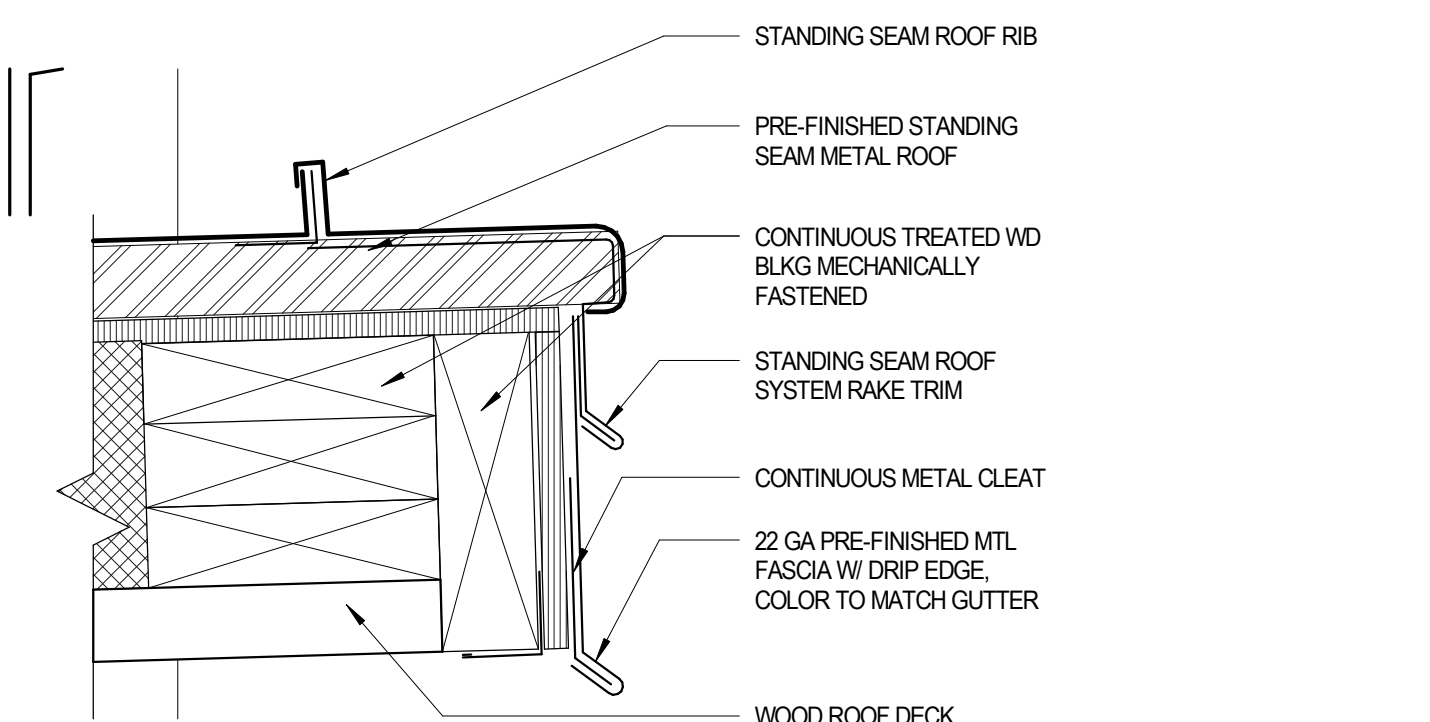
13 ROOF DRAIN FRAMING - PLAN VIEW
1/2" = 1'-0"



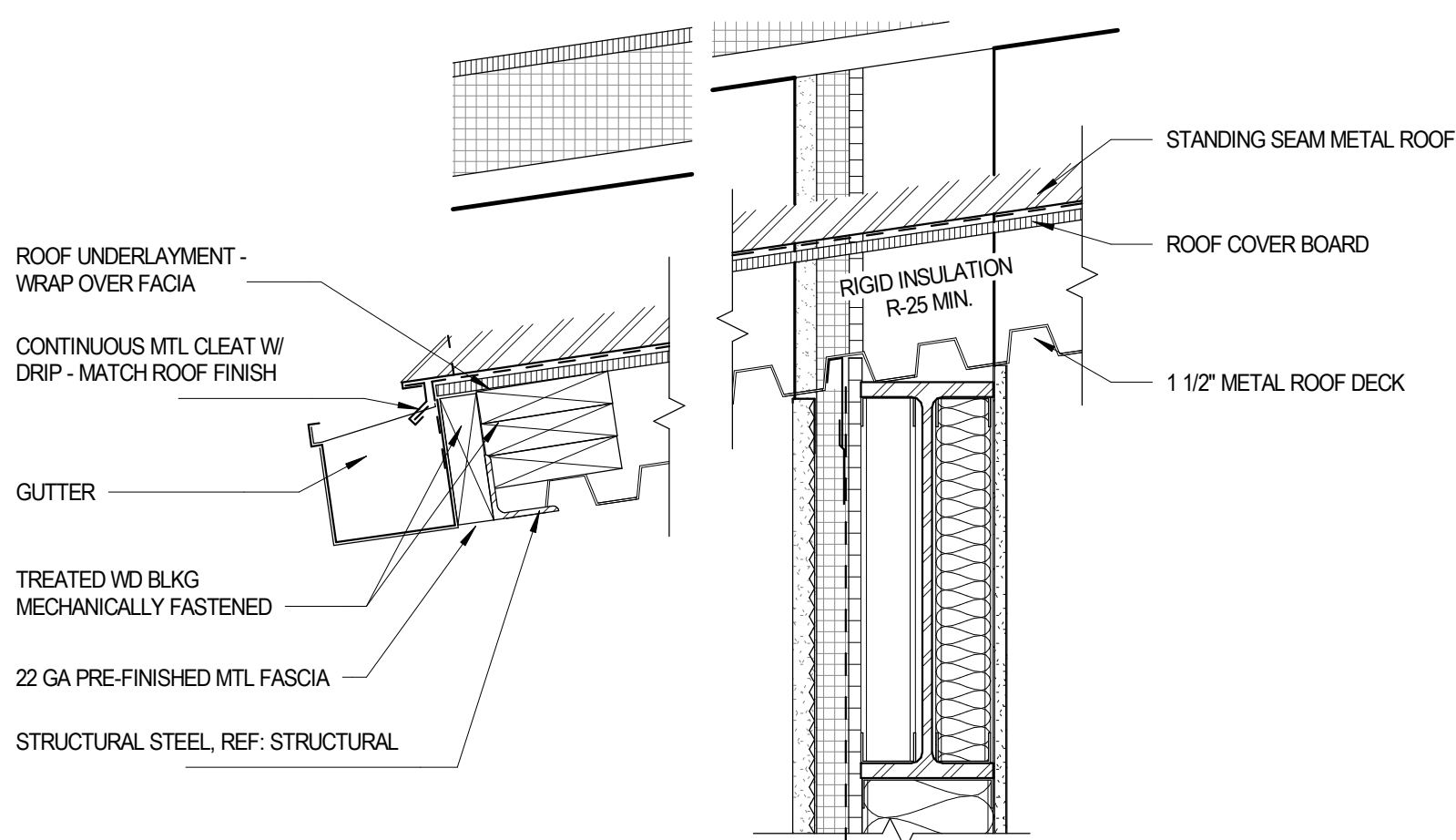
12 ROOF DRAIN - PLAN VIEW
1/2" = 1'-0"



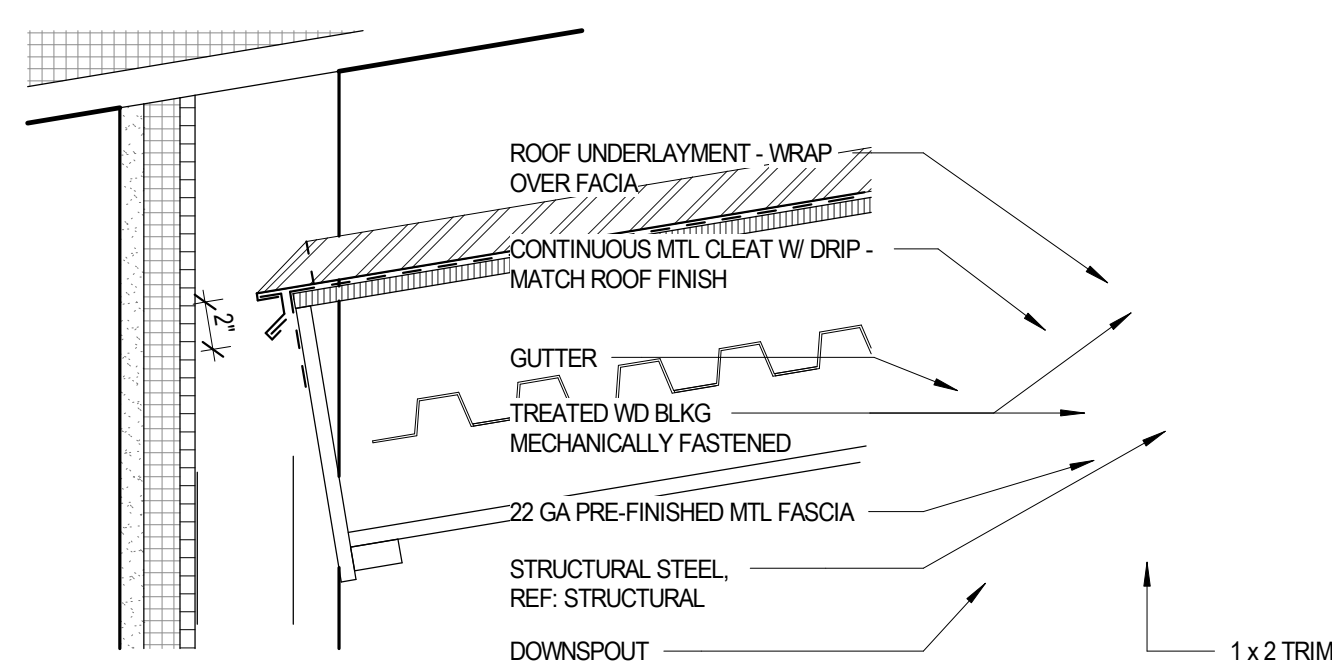
11 TPO - OVERFLOW ROOF DRAIN - SECTION VIEW
3" = 1'-0"



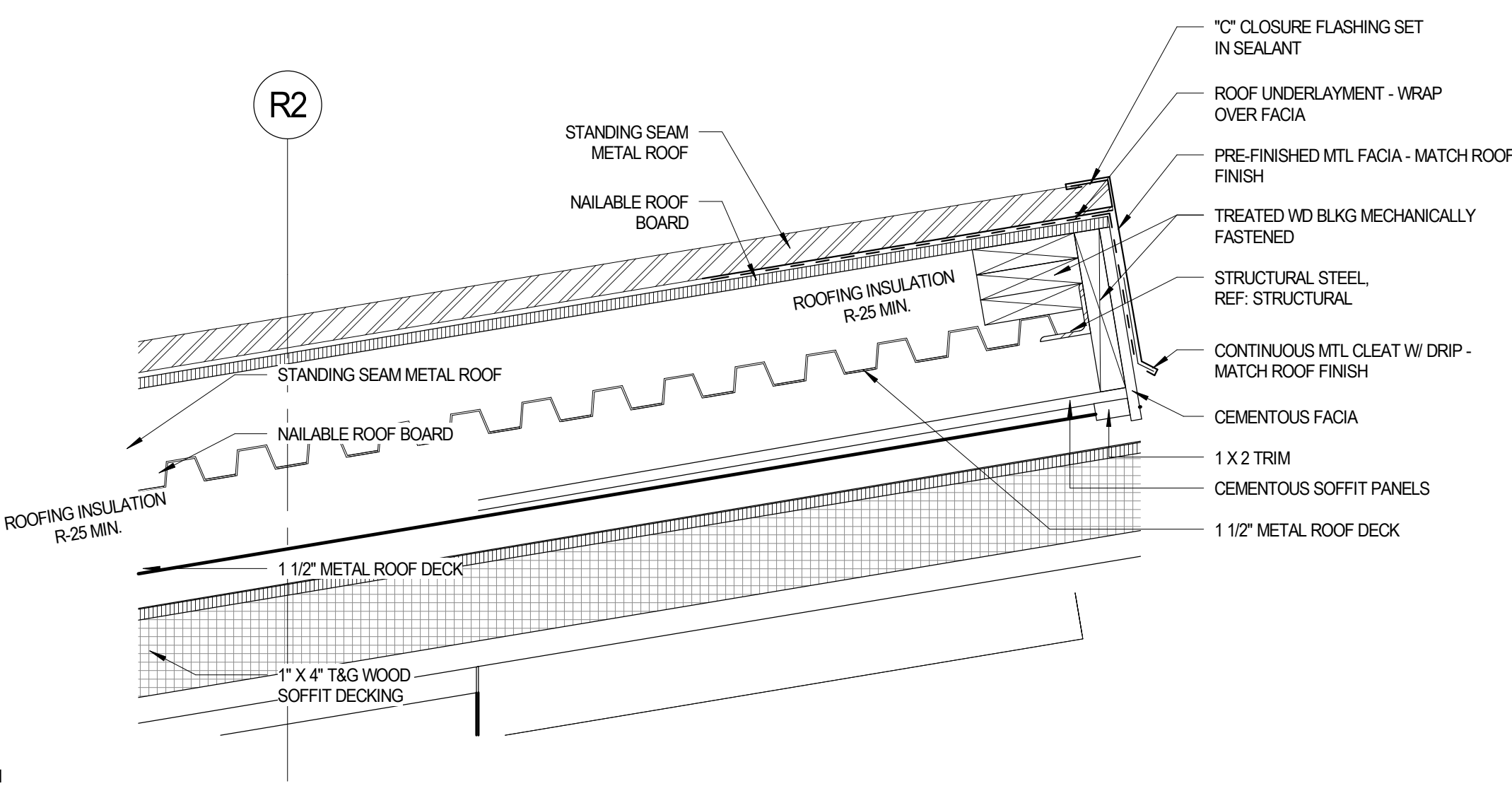
4 FASCIA
3" = 1'-0"



1 GUTTER
1 1/2" = 1'-0"



14 ROOF DETAIL
1 1/2" = 1'-0"



2 ROOF DETAIL
1 1/2" = 1'-0"

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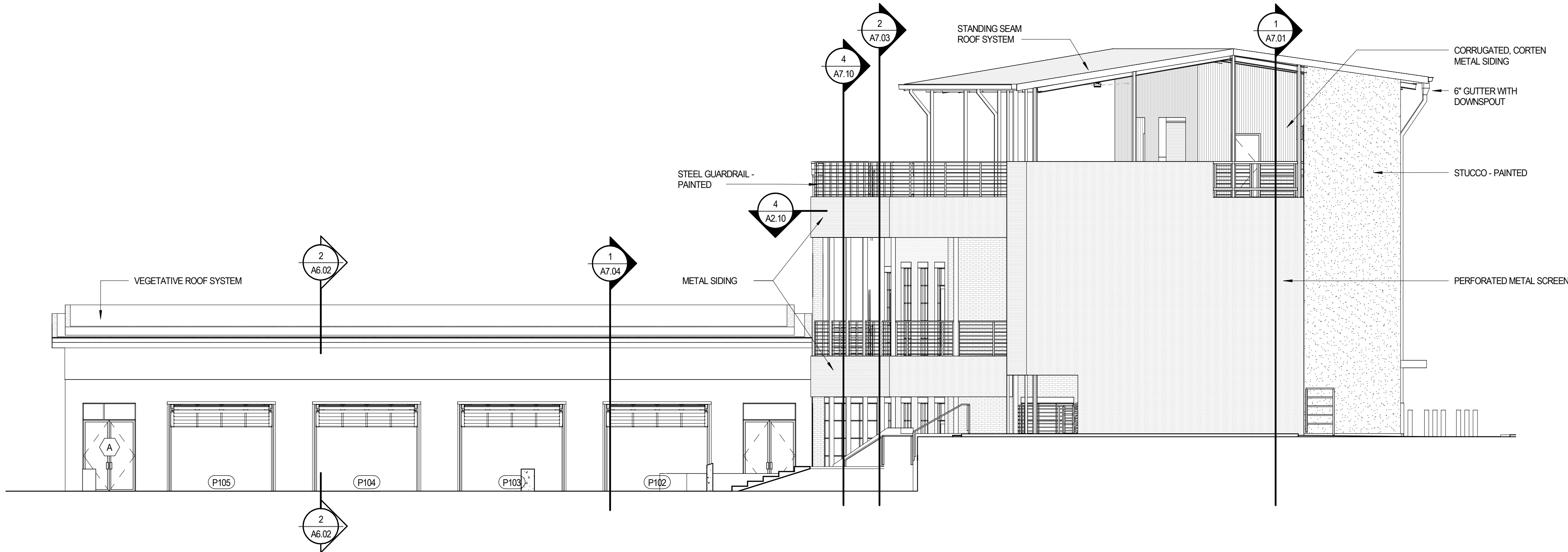
MEP Engineer
DBR Engineering Consultants, Inc.

9601 McAllister Fwy #410
San Antonio, TX 78216
P. 210.546.0200

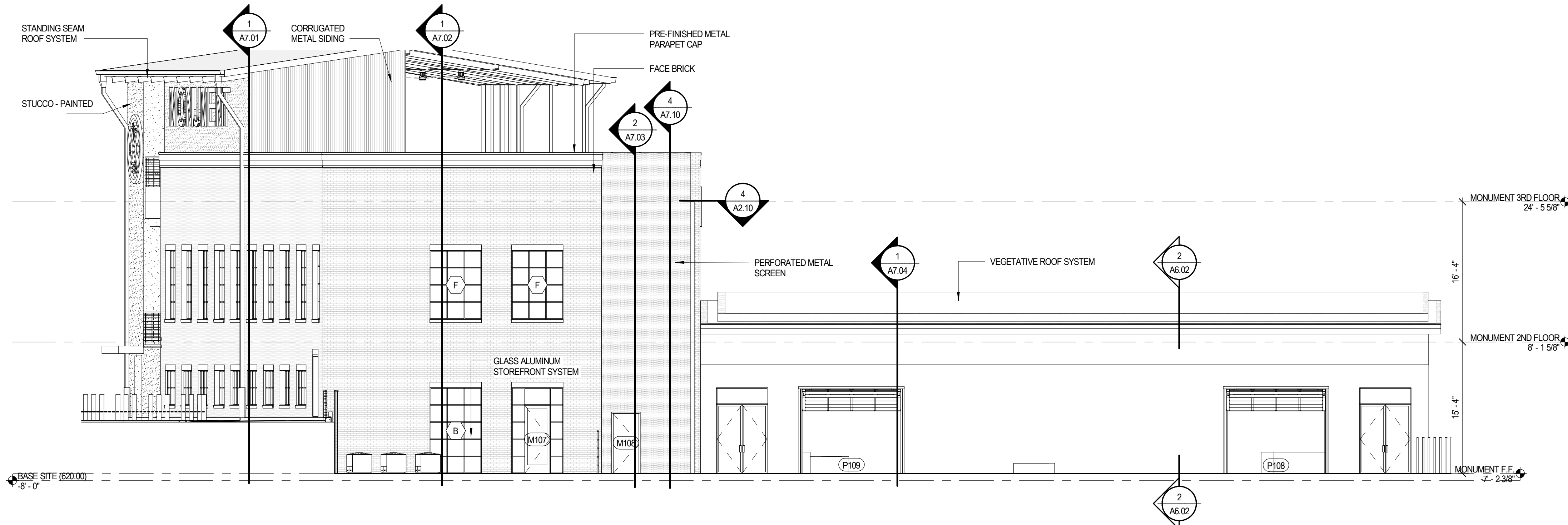
Code Consultant
Fire Protection Consulting Group, LLC

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San Antonio, TX 78251
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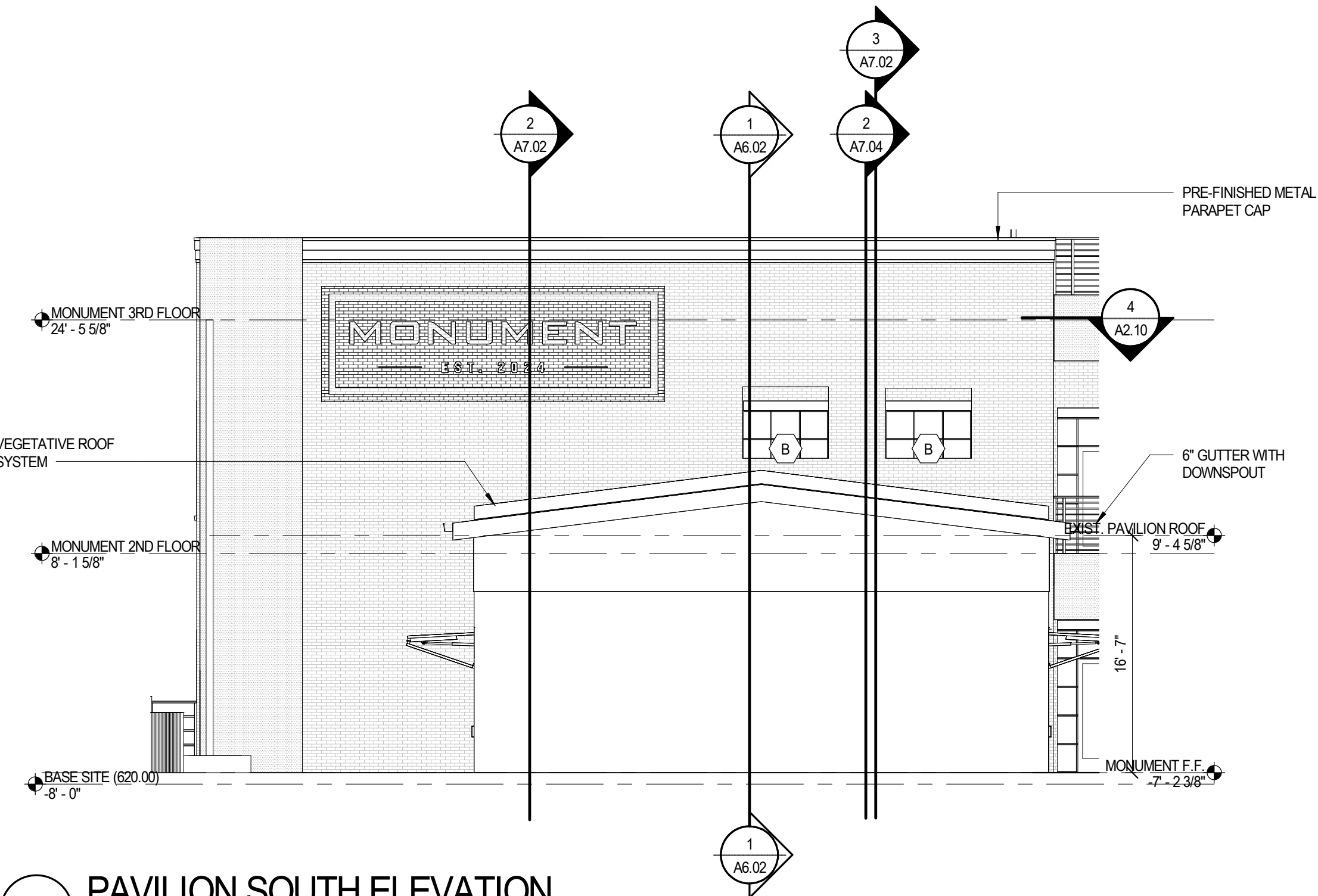
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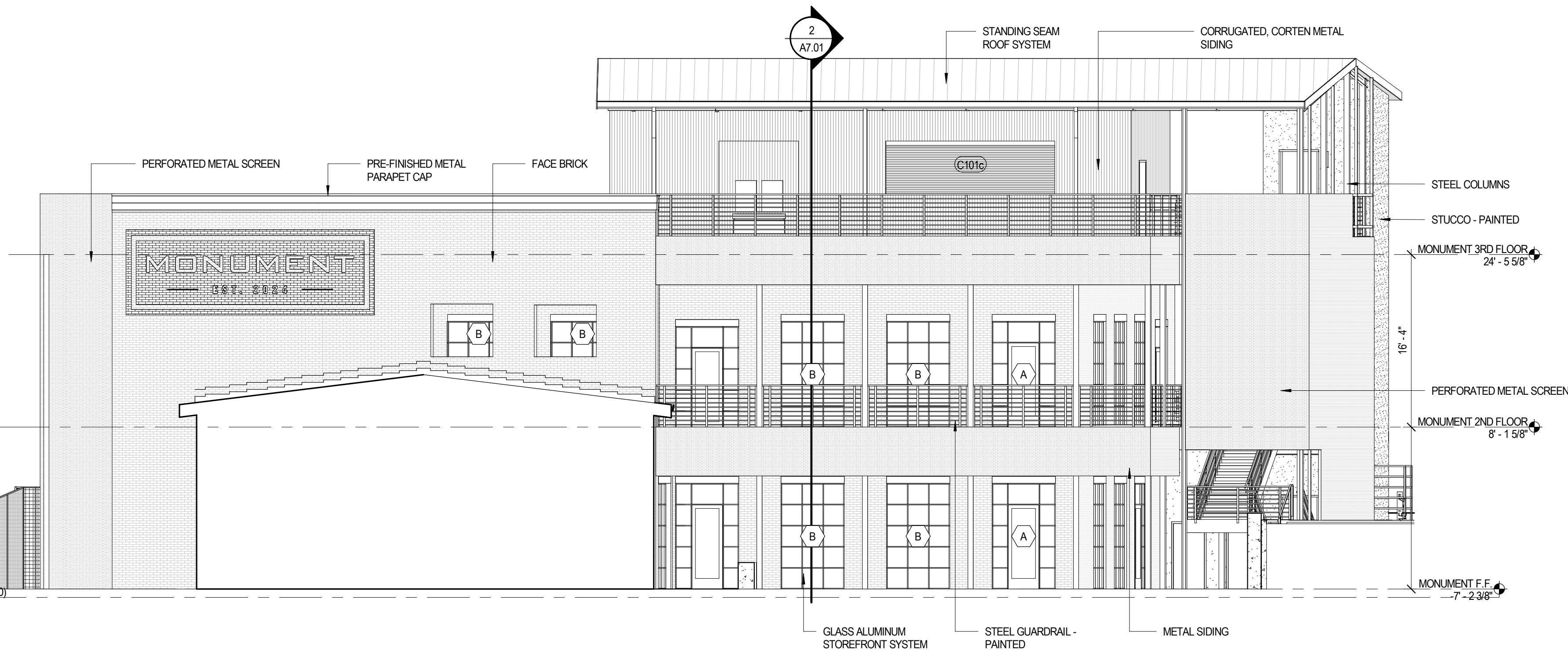
5 MONUMENT & PAVILION NORTH ELEVATION
1/8" = 1'-0"



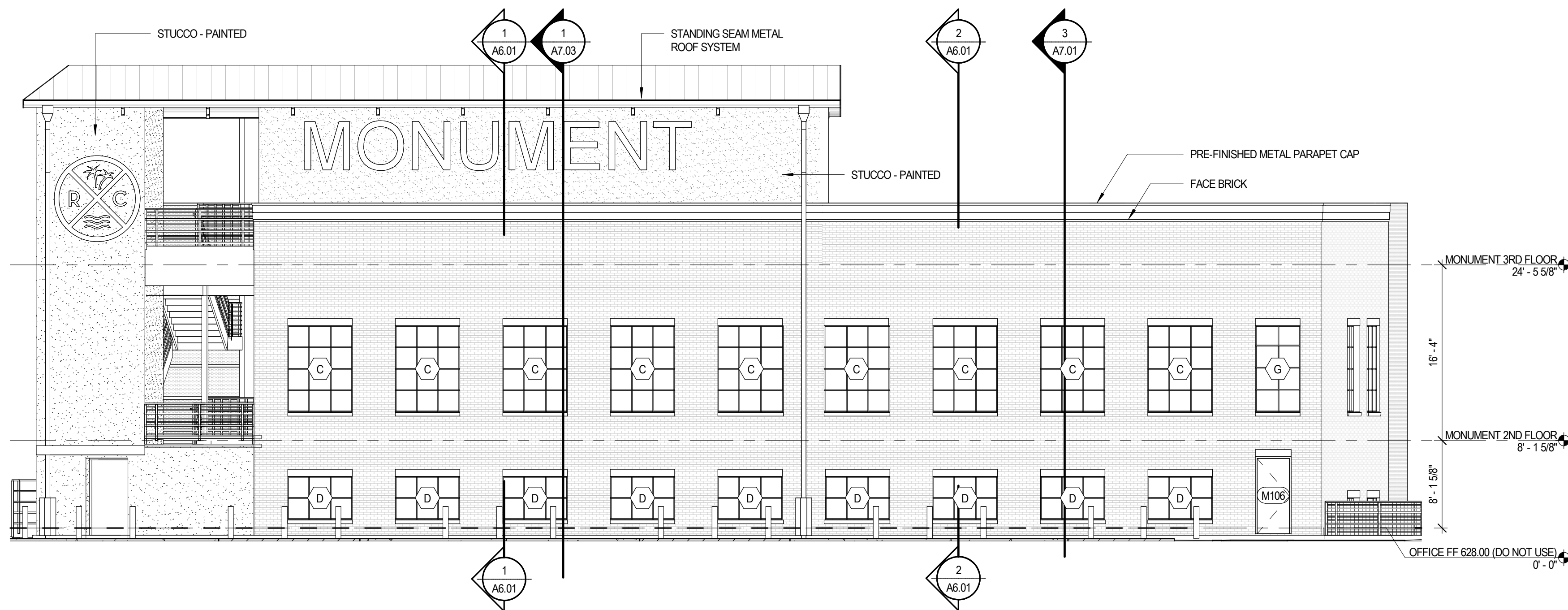
3 MONUMENT & PAVILION SOUTH ELEVATION
1/8" = 1'-0"



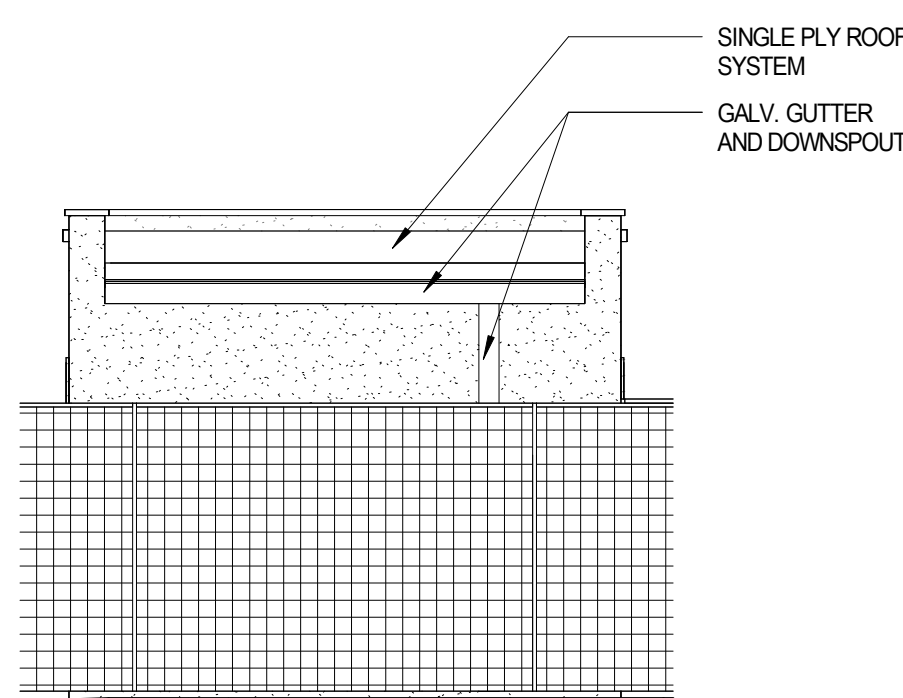
4 PAVILION SOUTH ELEVATION
1/8" = 1'-0"



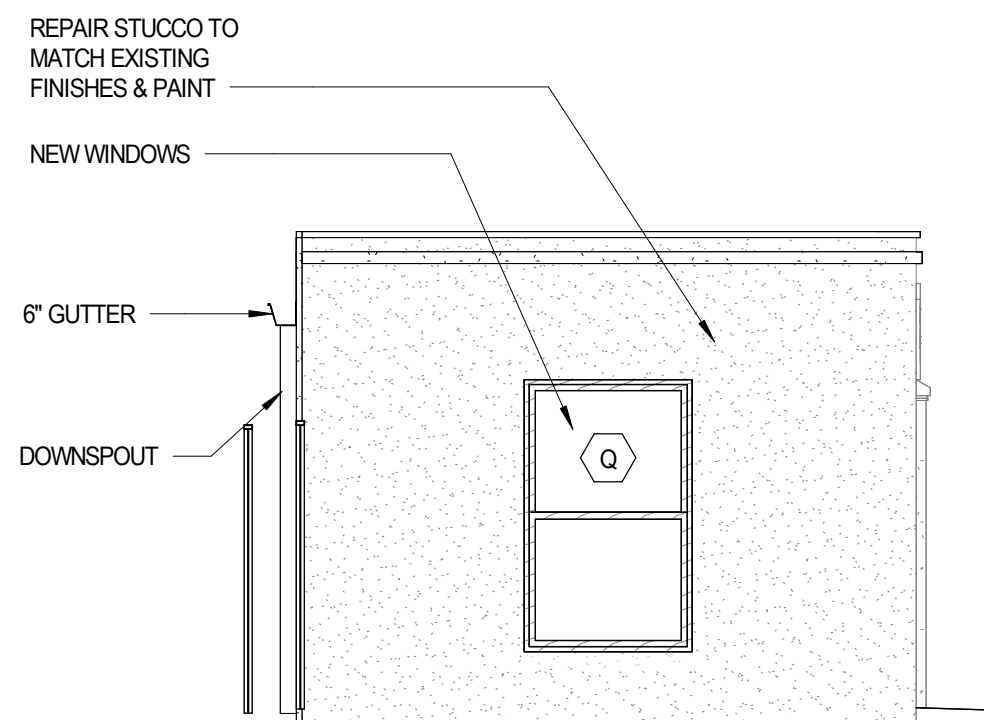
2 MONUMENT EAST ELEVATION
1/8" = 1'-0"



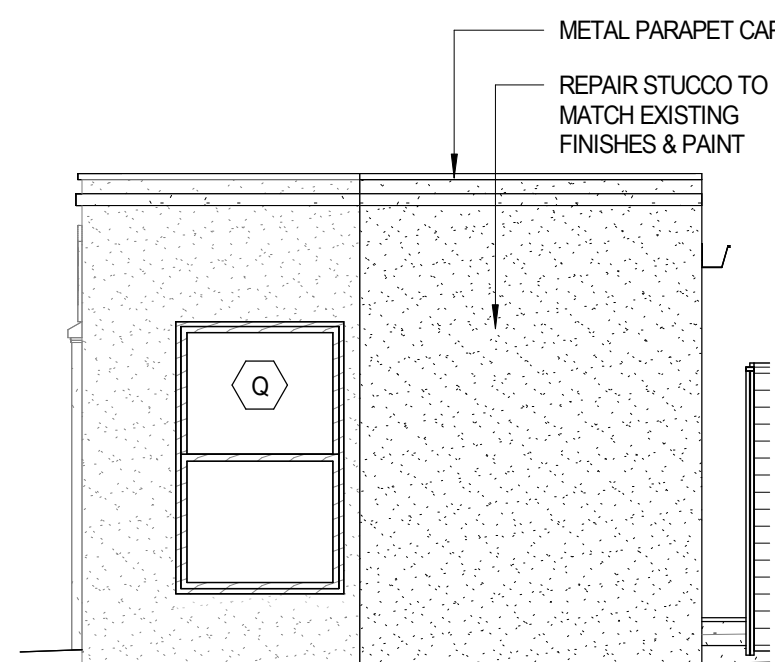
1 MONUMENT WEST ELEVATION
1/8" = 1'-0"



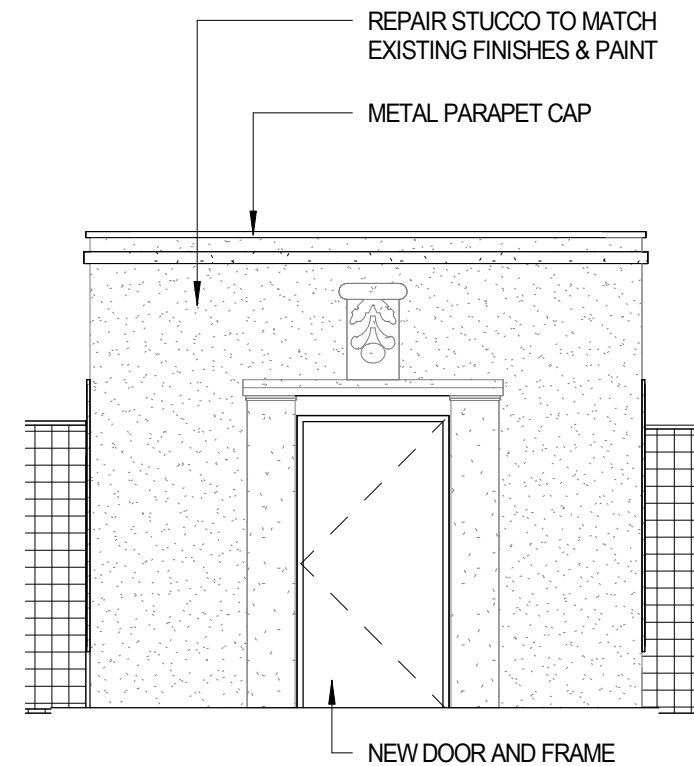
8 EXISTING MAUSOLEUM BUILDING WEST ELEVATION
1/4" = 1'-0"



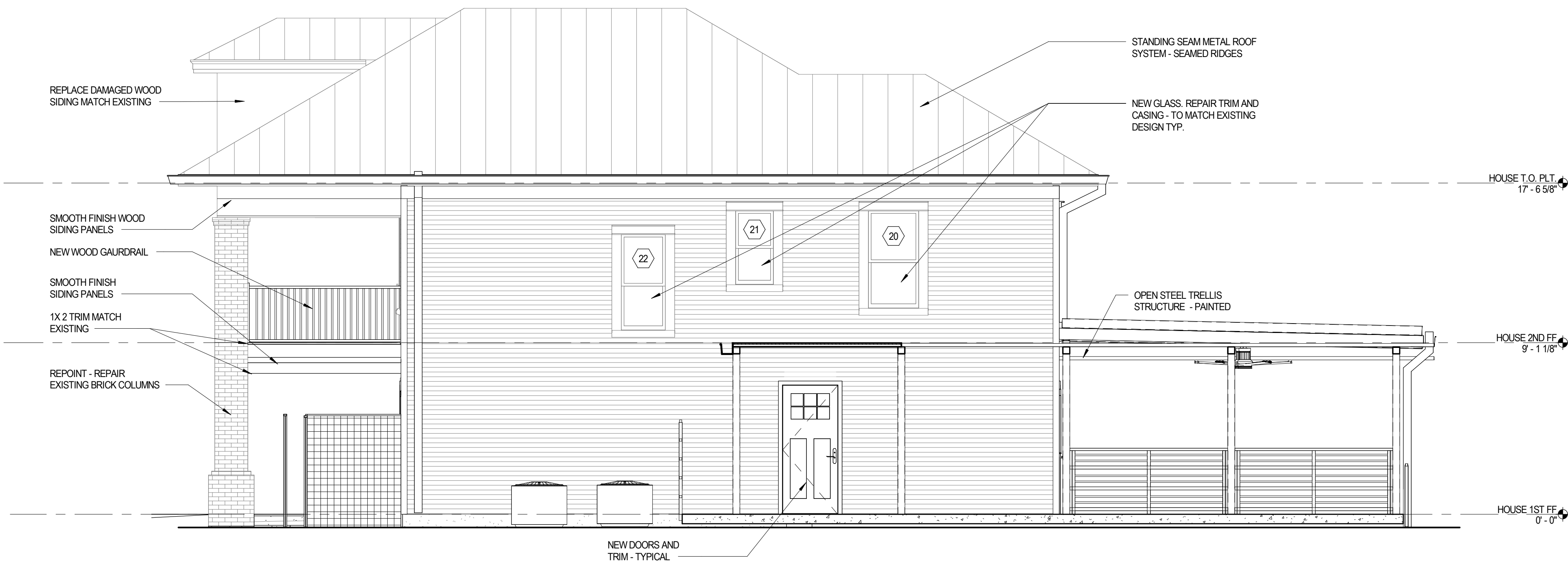
7 EXISTING MAUSOLEUM BUILDING SOUTH ELEVATION
1/4" = 1'-0"



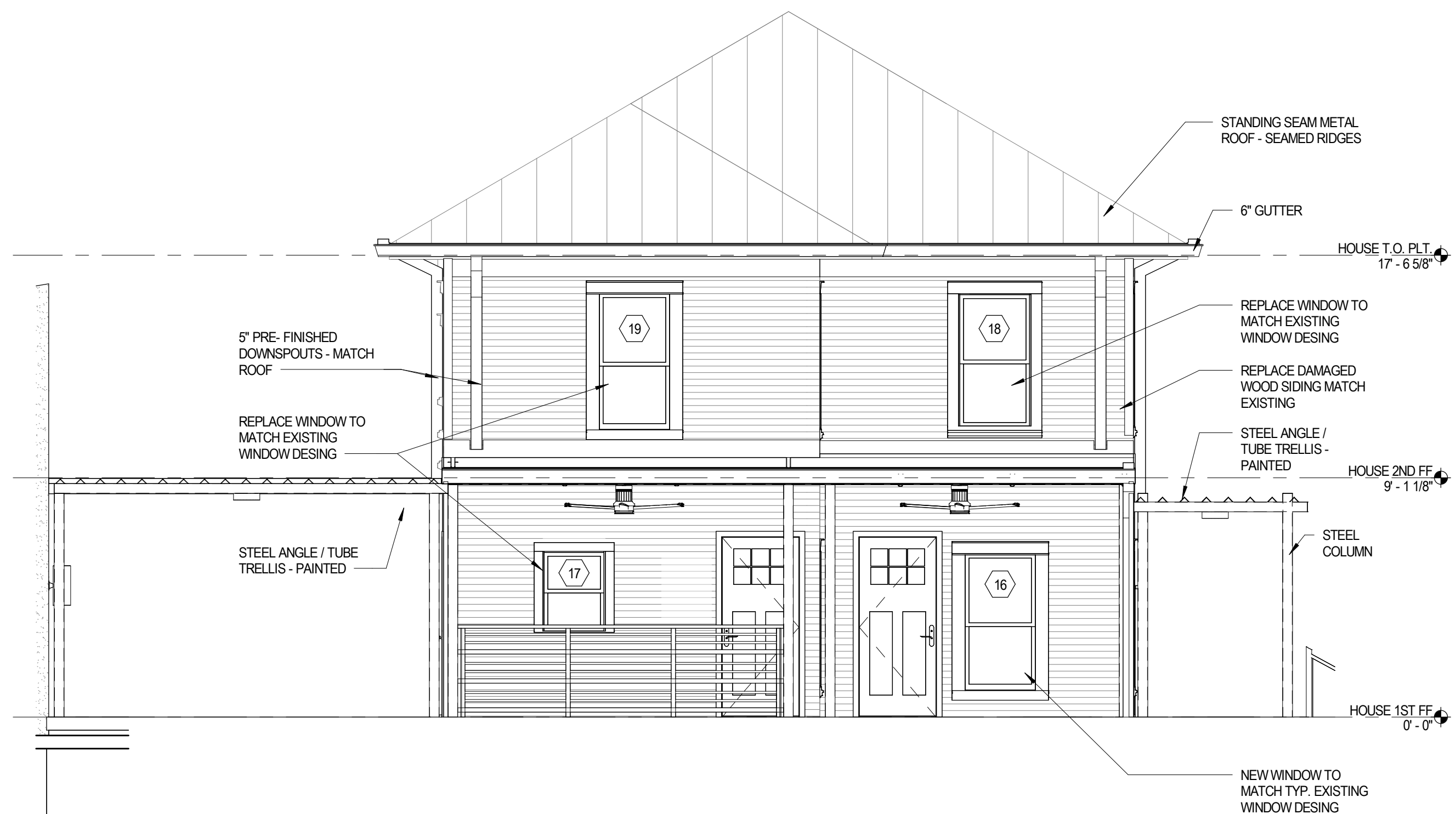
6 EXISTING MAUSOLEUM BUILDING NORTH ELEVATION
1/4" = 1'-0"



5 EXISTING MAUSOLEUM BUILDING EAST ELEVATION
1/4" = 1'-0"



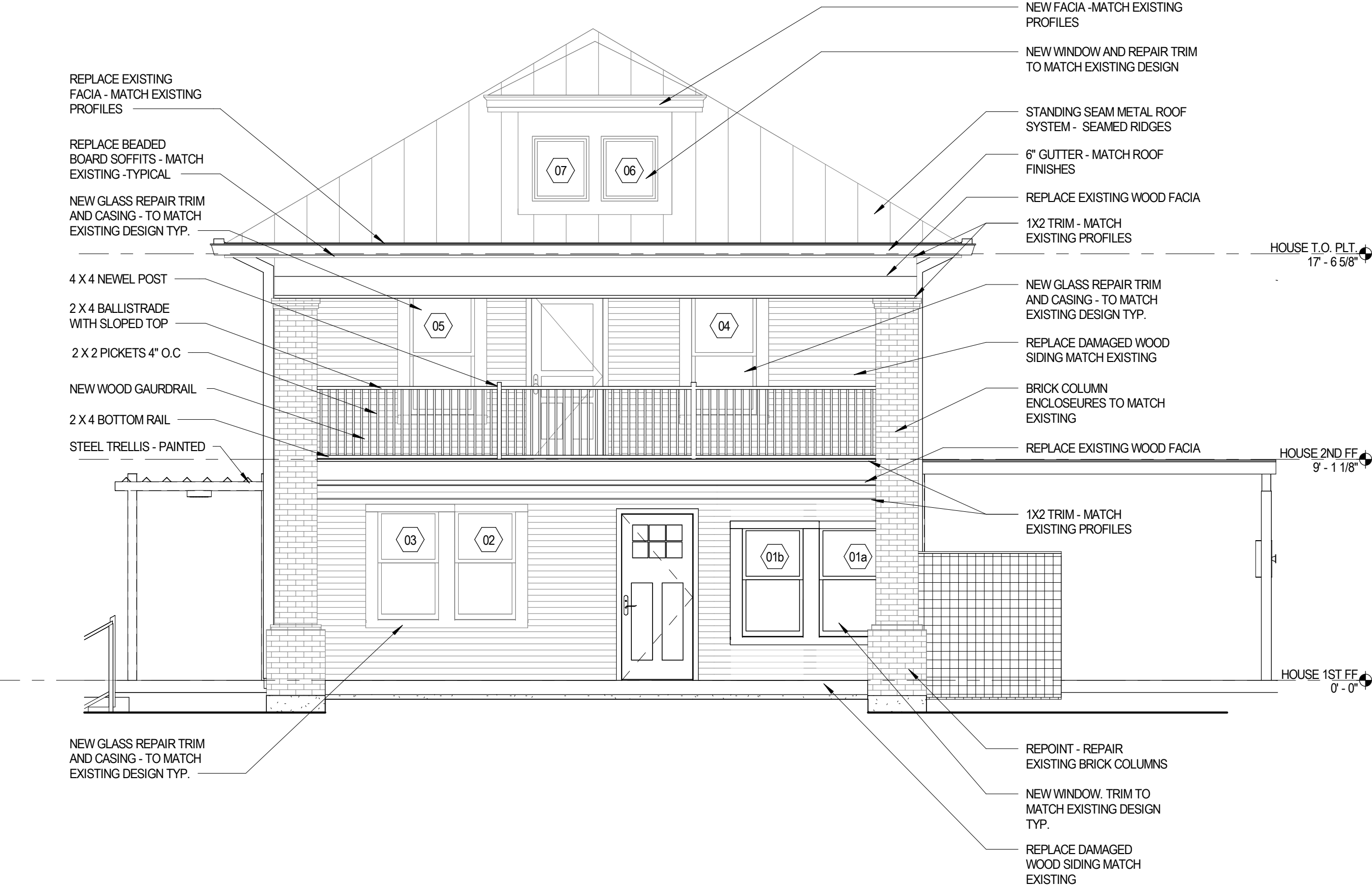
4 EXISTING HOUSE WITH DECK NORTH ELEVATION
1/4" = 1'-0"



3 EXISTING HOUSE WITH DECK WEST ELEVATION
1/4" = 1'-0"



2 EXISTING HOUSE WITH DECK SOUTH ELEVATION
1/4" = 1'-0"



1 EXISTING HOUSE EAST ELEVATION
1/4" = 1'-0"



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NUM.

DATE

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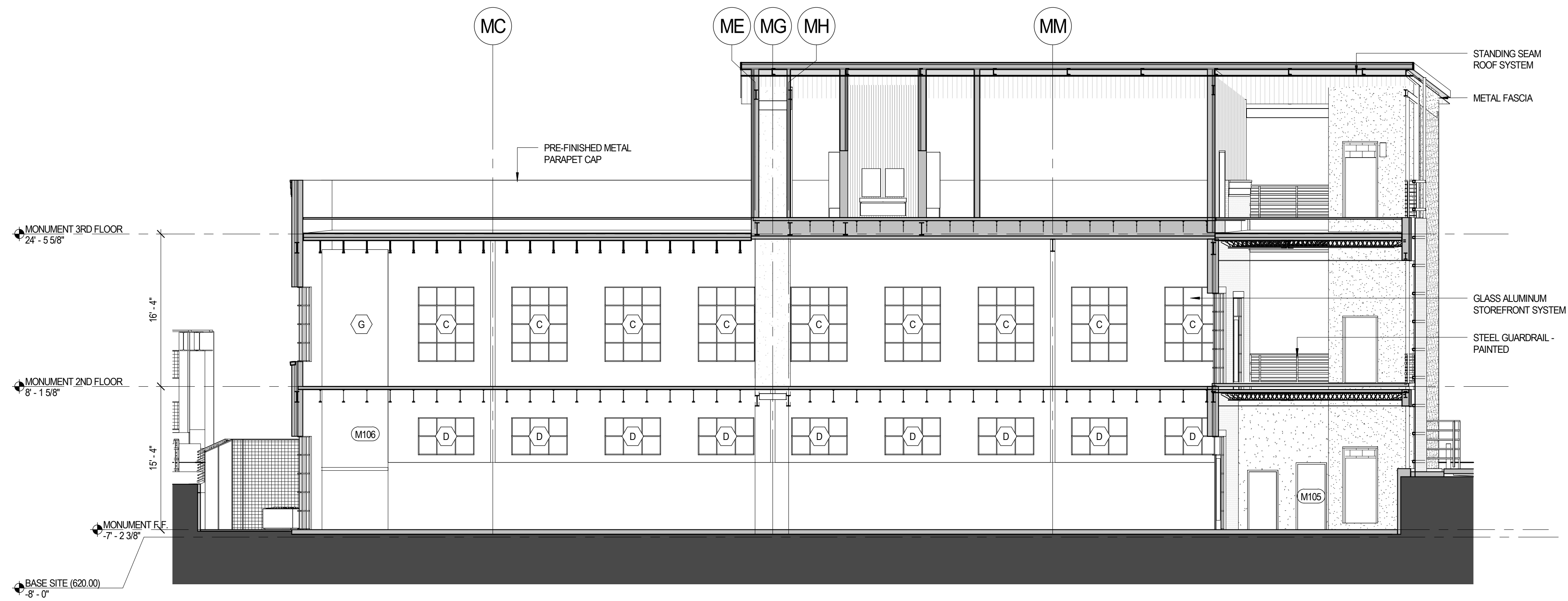
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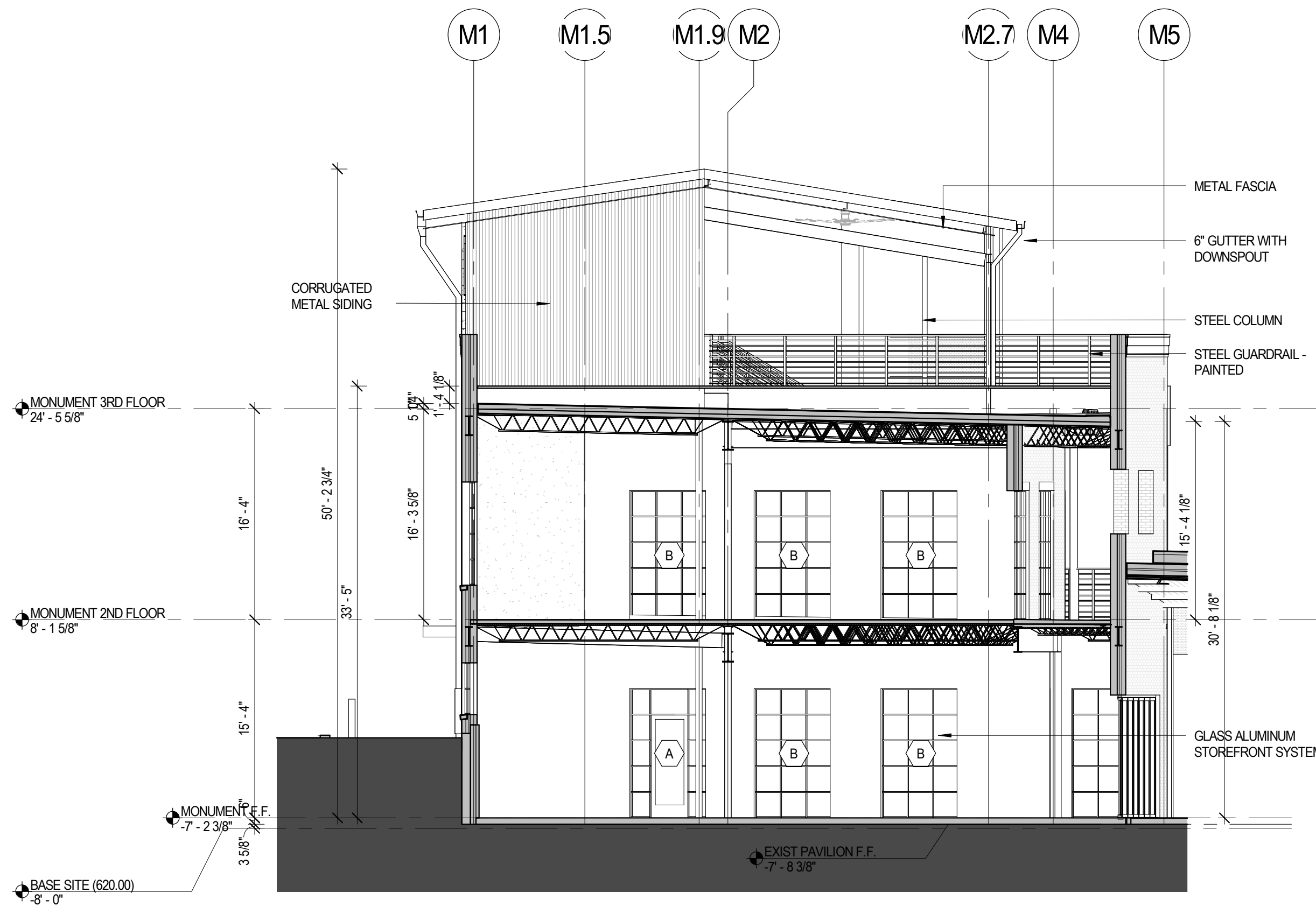
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MONUMENT
BUILDING
SECTIONS

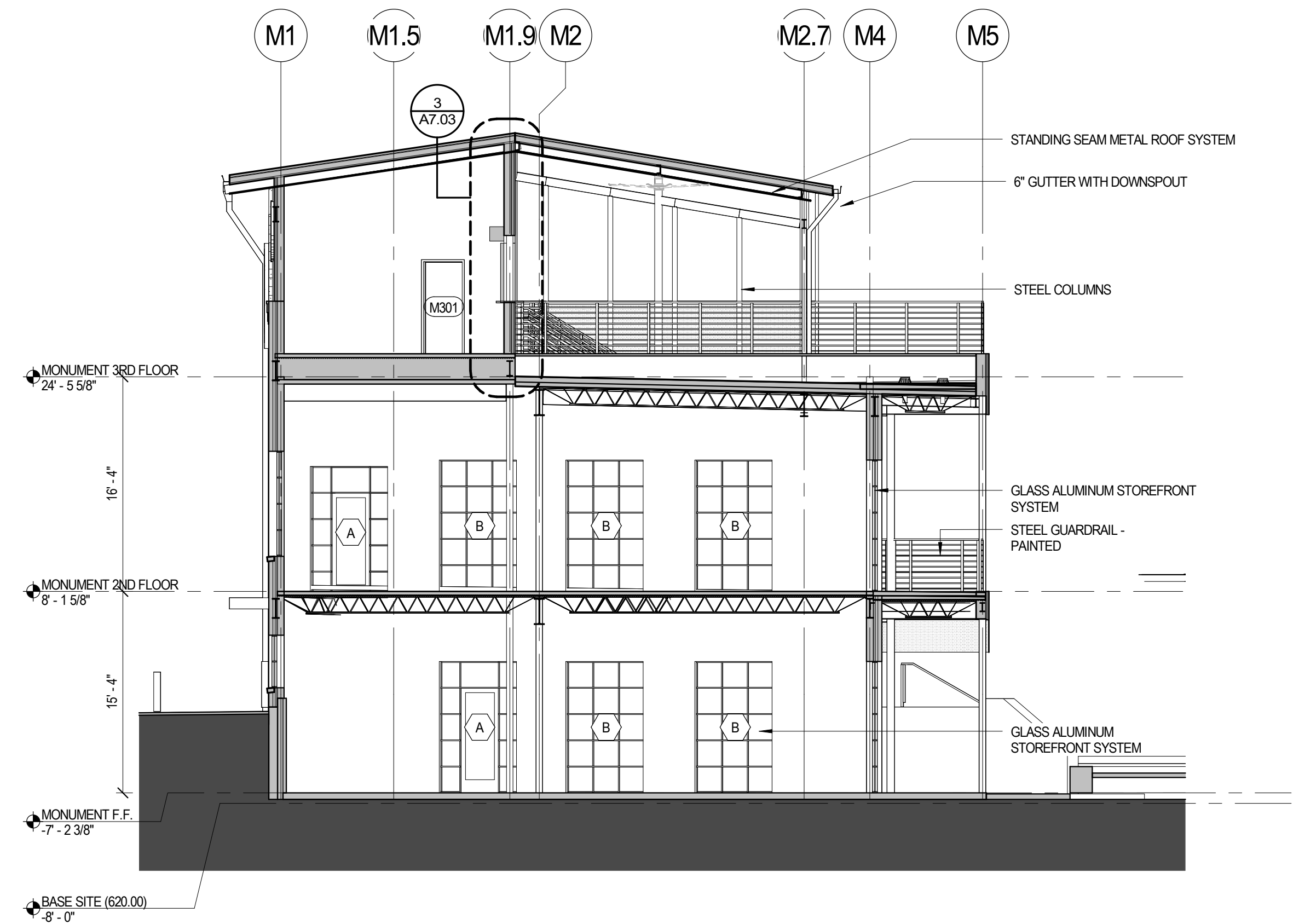
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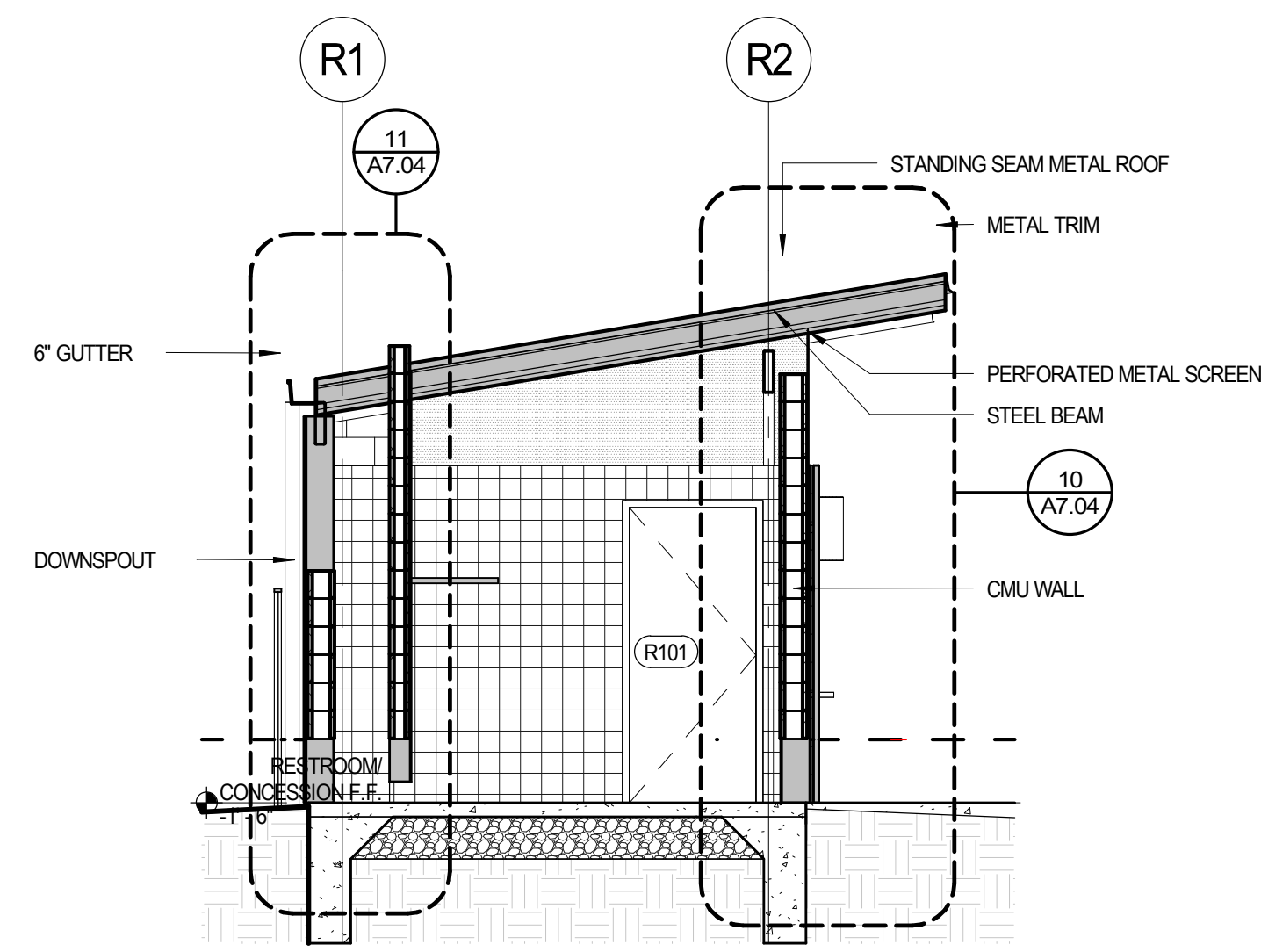
3 MONUMENT BUILDING SECTION - 03
1/8" = 1'-0"



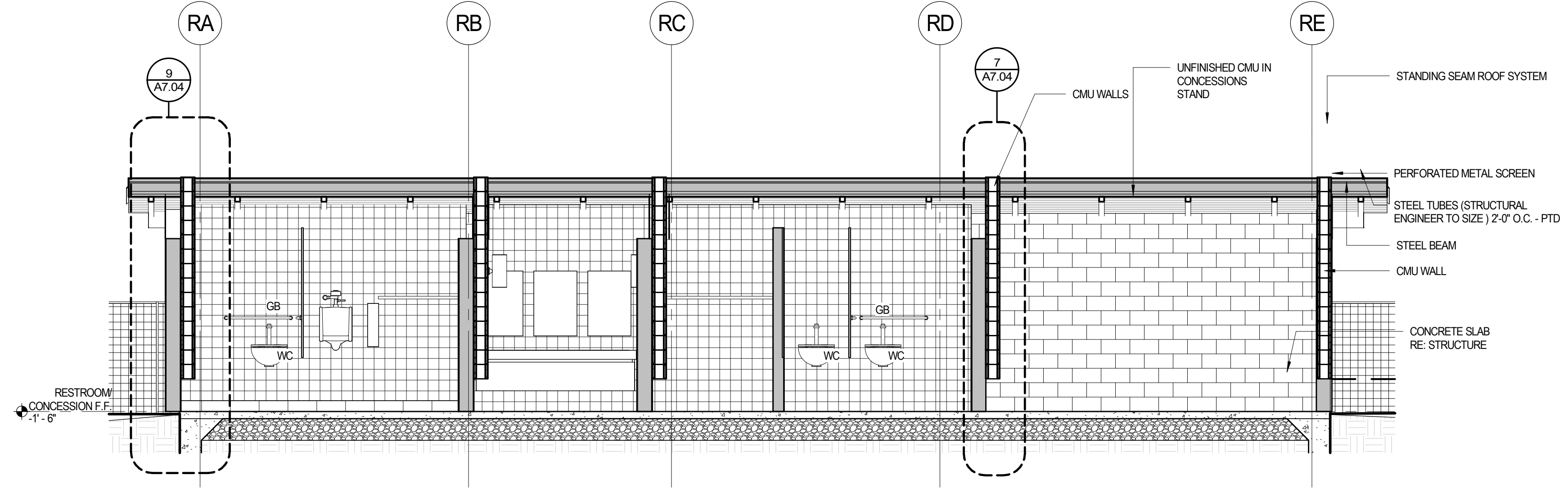
2 MONUMENT BUILDING SECTION - 02
1/8" = 1'-0"



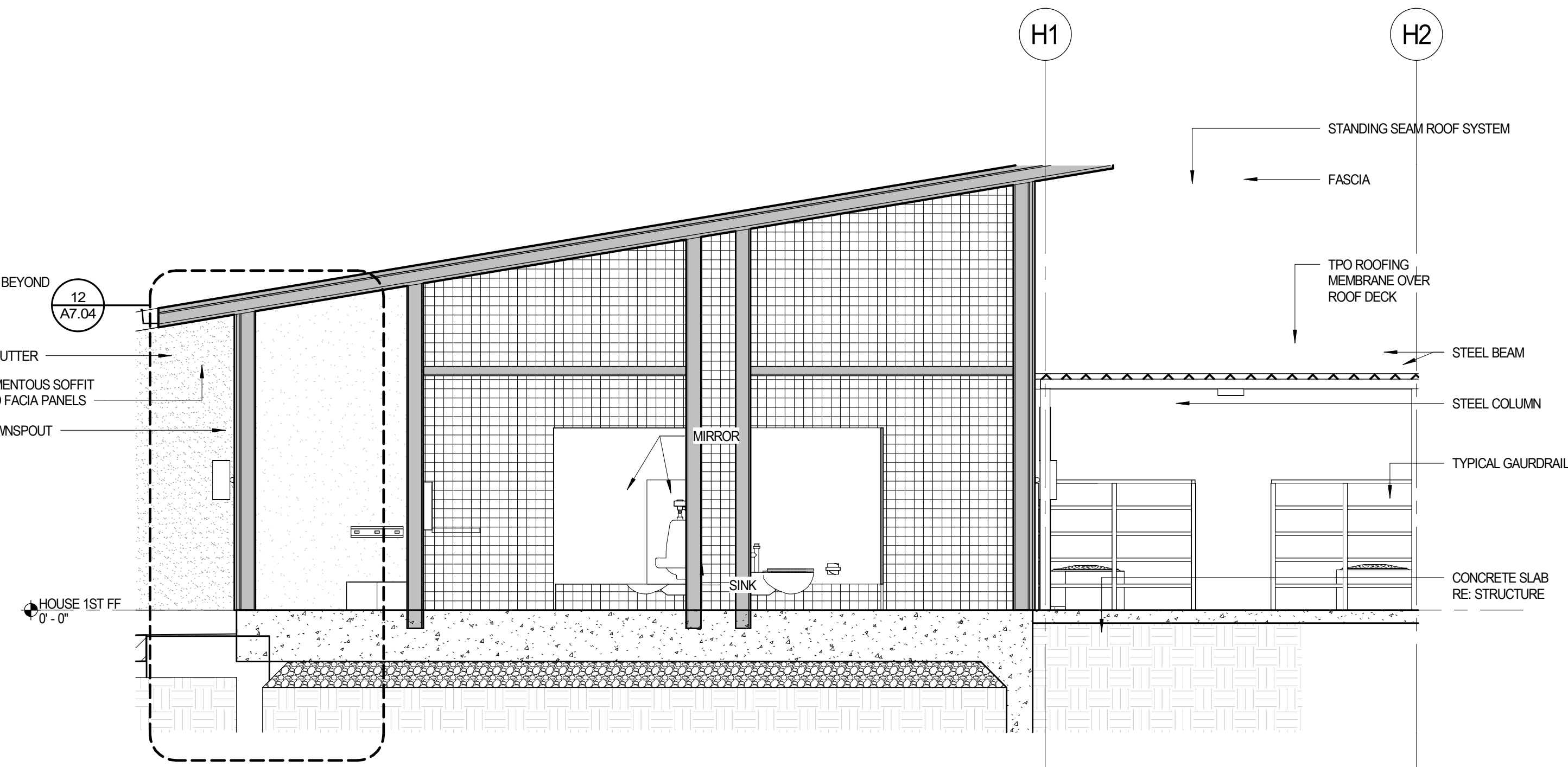
1 MONUMENT BUILDING SECTION - 01
1/8" = 1'-0"



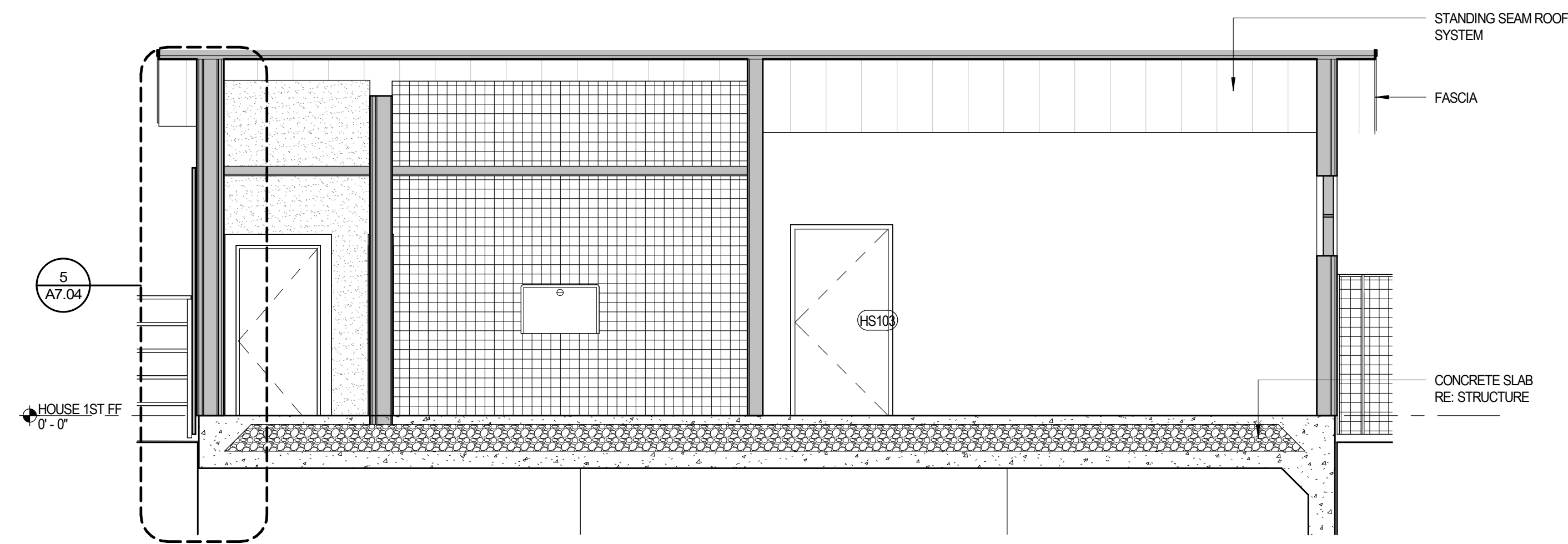
6 RIVERSIDE CONCESSION AND RESTROOM BUILDING SECTION - 06
1/4" = 1'-0"



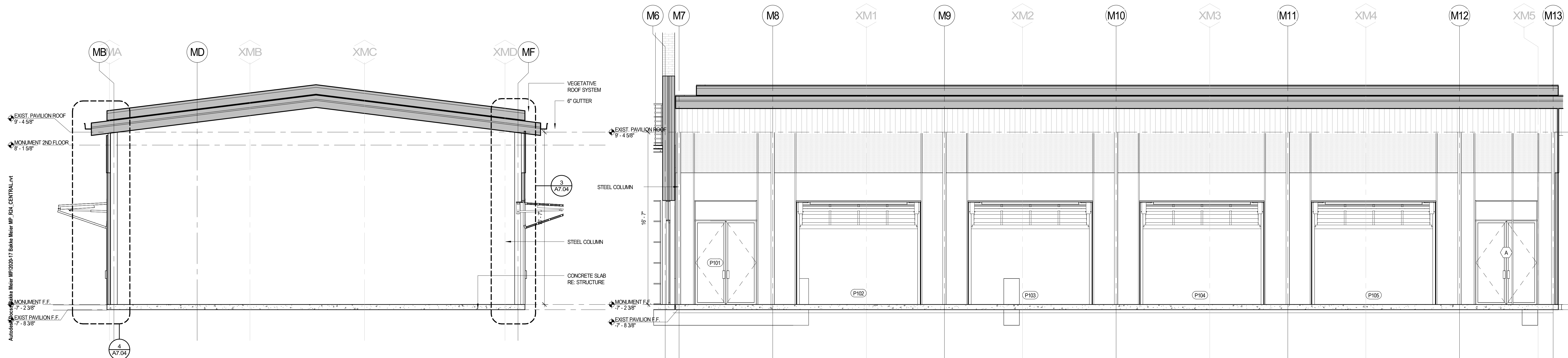
5 RIVERSIDE CONCESSION AND RESTROOM BUILDING SECTION - 05
1/4" = 1'-0"



4 SUPPORT BUILDING SECTION - 04
1/4" = 1'-0"



3 SUPPORT BUILDING SECTION - 03
1/4" = 1'-0"



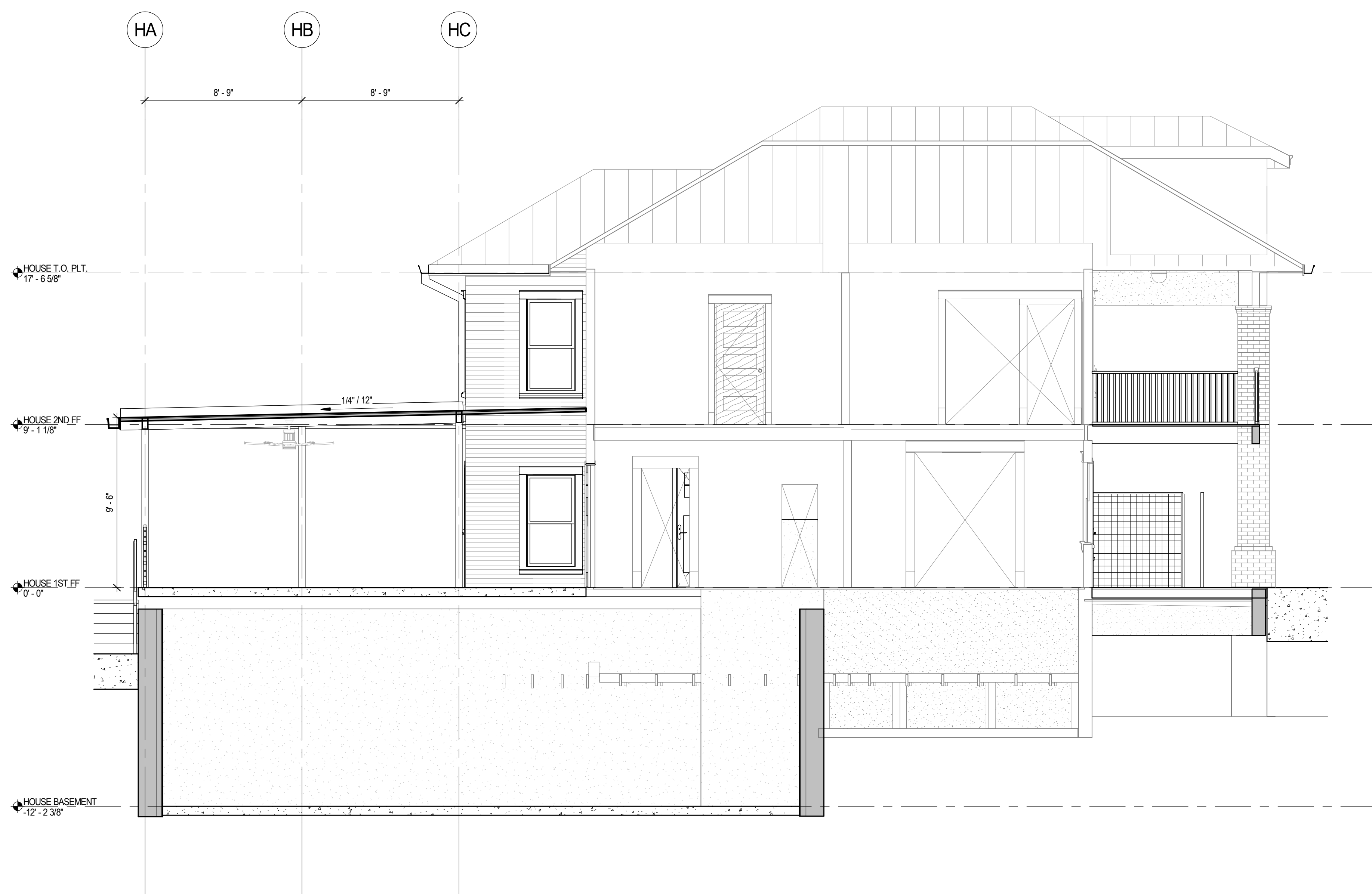
2 PAVILION SECTION - 02
1/4" = 1'-0"

1 PAVILION SECTION - 01
1/4" = 1'-0"

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2 Section 19
1/4" = 1'-0"



1 Section 7
1/4" = 1'-0"

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[illegible]

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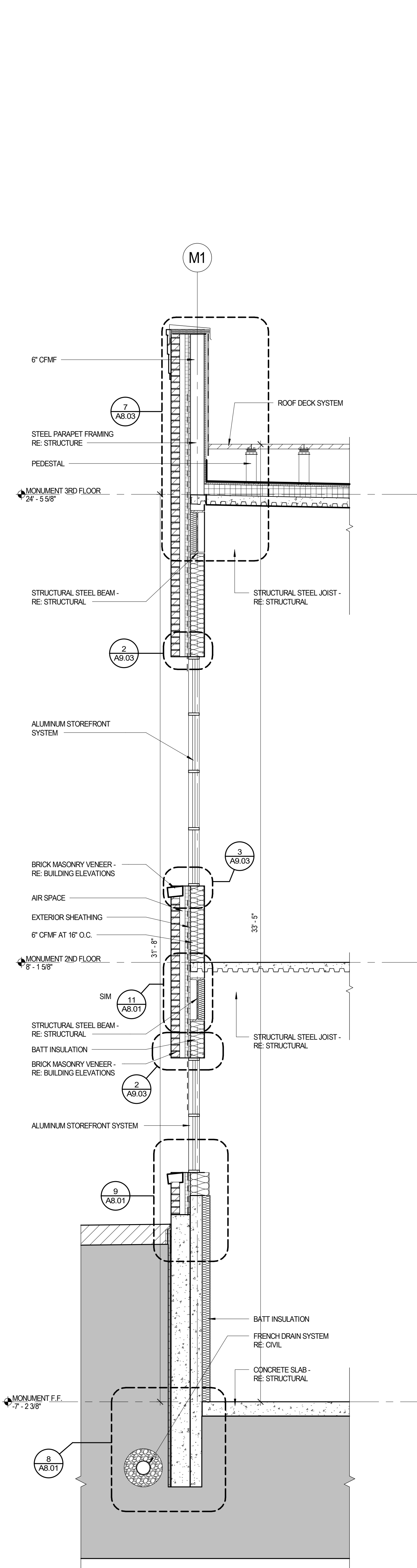
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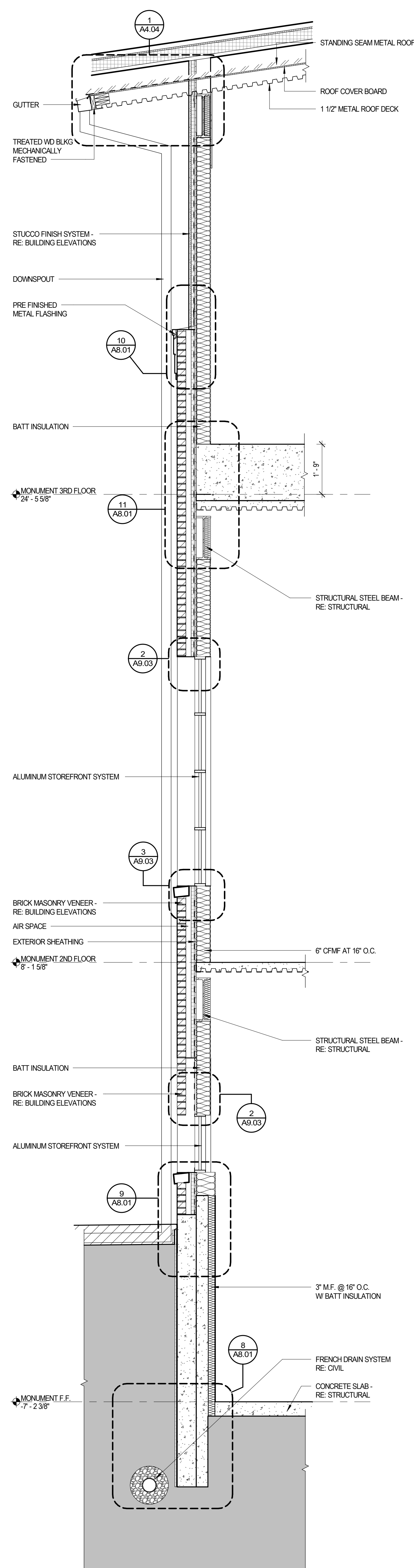
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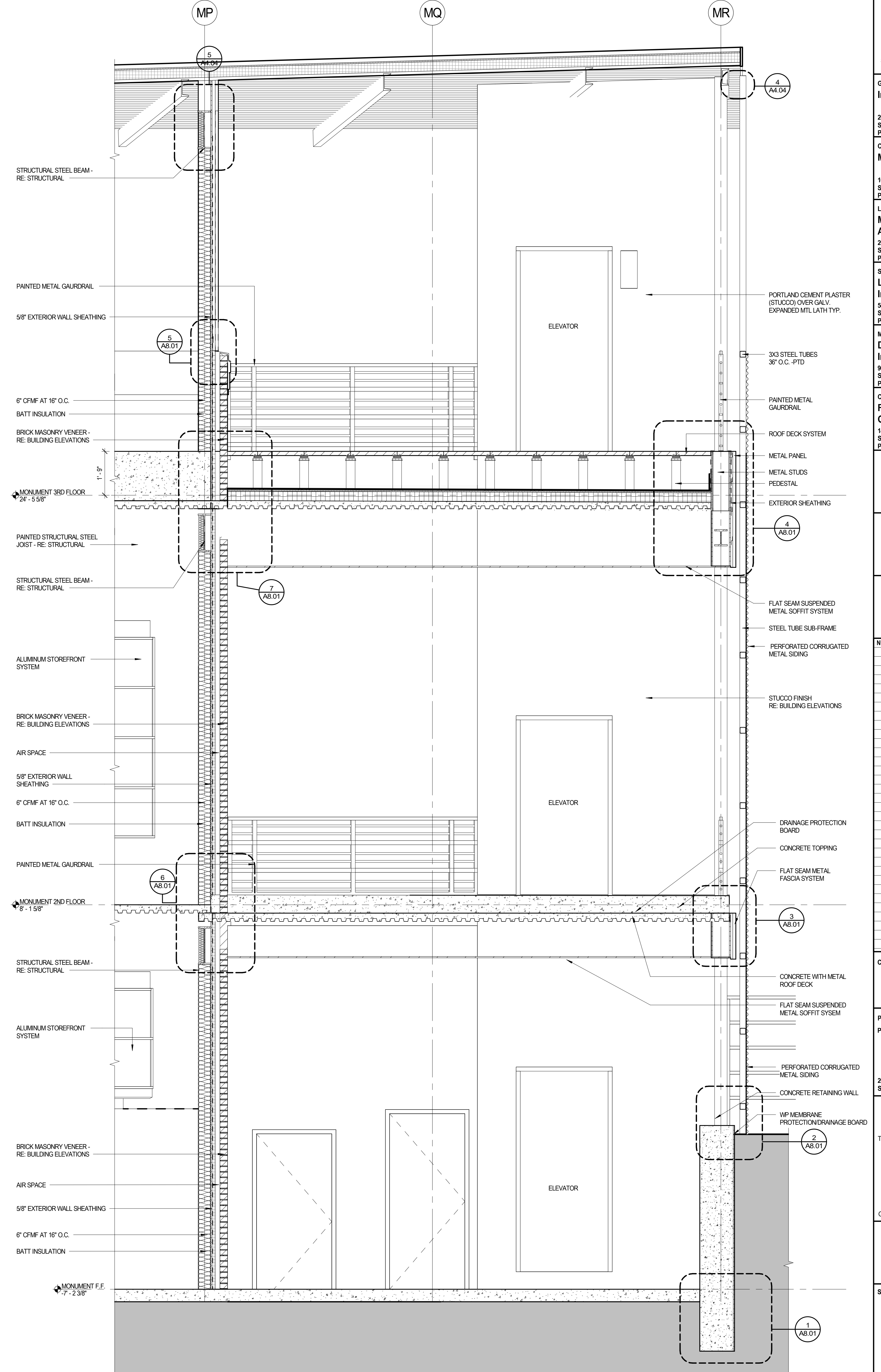
A7.01



3 SECTION THROUGH ROOFTOP DECK AND RETAINING WALL
1/2" = 1'-0"



2 SECTION THROUGH ROOFTOP RESTROOM



1 SECTION THROUGH ELEVATOR LANDING
1/2" = 1'-0"

[illegible]

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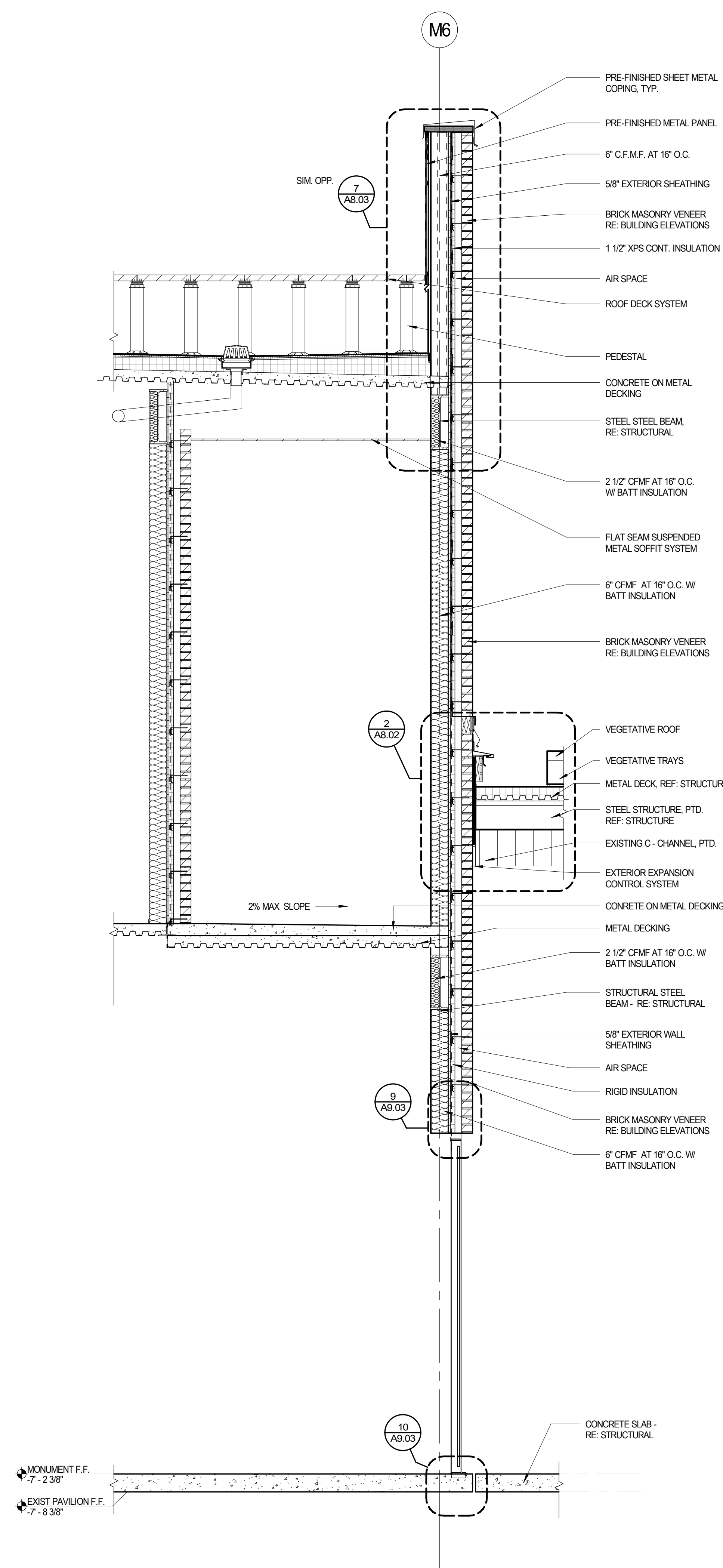
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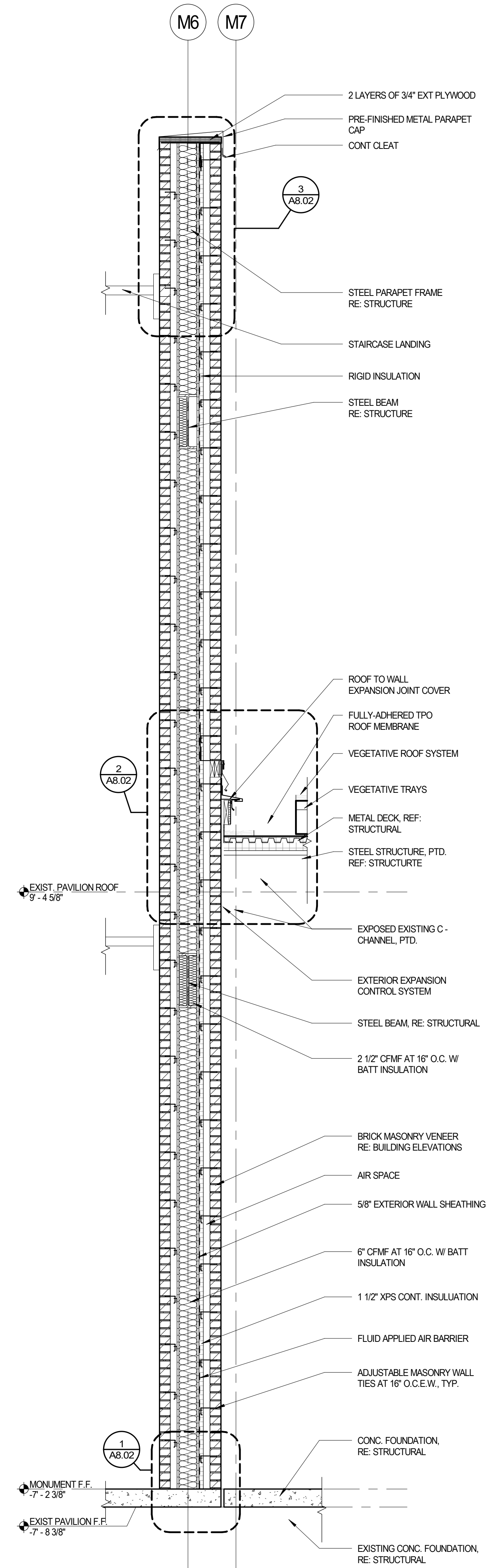
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WALL SECTIONS MONUMENT

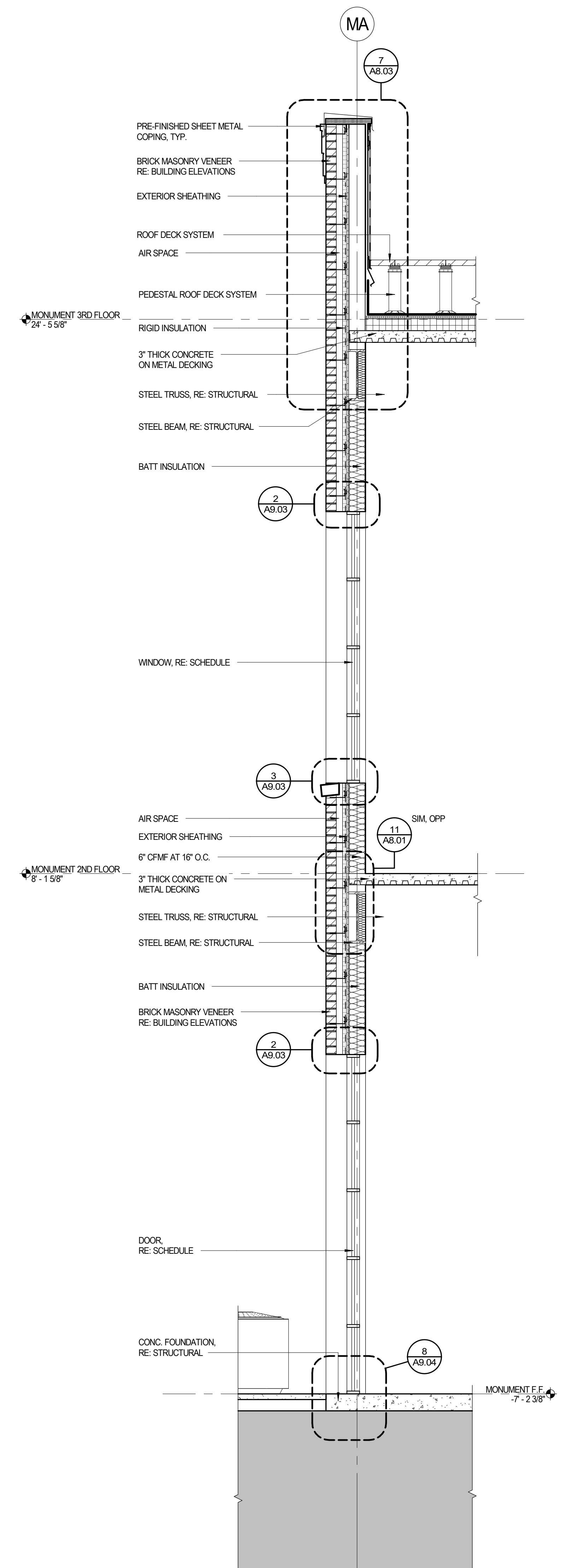
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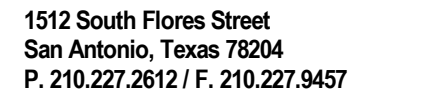
3 SECTION THROUGH STOREFRONT @ PAVILION
1/2" = 1'-0"



2 SECTION THROUGH WALL @ PAVILION
1/2" = 1'-0"



1 SECTION THROUGH STOREFRONT WINDOWS AND ROOFTOP DECK
1/2" = 1'-0"



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SHEET TITLE

A9.01





