

**AGREEMENT BETWEEN
THE CITY OF SAN ANTONIO
AND
SOUTHSTAR COMMUNITIES, LLC
FOR
LANDSCAPE IRRIGATION AND MAINTENANCE SERVICES**

This Maintenance Agreement (hereinafter referred to as the "Agreement") is made and entered into in San Antonio, Bexar County, Texas, between the City of San Antonio, a Municipal Corporation in the State of Texas acting by and through its City Arborist (hereinafter referred to as "City"), and

SouthStar At Verano Investment, LLC
1118 Vintage Way
New Braunfels, Texas 78132

a Corporation chartered under the laws of the State of Texas (hereinafter referred to as "SouthStar" or "Developer"). Developer is the current record owner of a 94.35 tract of land subject to City Building Permit/Plat# 20-11800049 (hereinafter referred to as the "Property" or the "Project").

Under the authority of the San Antonio City Code sections 35-436, 35-511, and 35-523, City has agreed to grant an Administrative Exception/Variance Request ("AEVR") for the Project if the Developer agrees to the following in connection with the Developer's required planting and ongoing long-term care and maintenance of new trees and required landscape/plantings (hereinafter referred to as "Trees and Landscape"):

1. Terms and conditions as set forth in the following documents, true and correct copies of which are attached and fully incorporated herein verbatim for all purposes:
 - a. Building Permit/Plat # 20-11800049
 - b. Tree Application Number: TRE-APP-APP22-38800306
 - c. AEVR Application Number: TPV 23-150

Referenced Documents: All the documents attached hereto and those incorporated by reference constitute the contract documents for this Agreement. This agreement supersedes any previous agreement or understanding of the parties, whether written or oral.

Maintenance of Trees and Landscape: Developer shall plant and maintain the Trees and Landscape required to meet mitigation, tree canopy, and the AEVR requirements in approved Tree Plan AP#2575489 and approved AEVR TPV 23-150. Developer shall maintain Trees and Landscape in accordance with Sec. 35-511(c)(4)-(6) and 35-523(l) of the City of San Antonio City Code. Developer shall be responsible for the ongoing watering and maintenance of the Trees and Landscape. Additionally, should any Trees and Landscape require removal due to death, decay, or other damage caused directly or indirectly by Developer or its agent, assigns, employees, contractors, or tenants, Developer shall be responsible for the replacement of such Trees and Landscape. Developer shall provide City an exhibit to include Property's initial watering schedule

to establish Trees and Landscape and continuing watering schedule for established Trees and Landscape. The Project's watering schedules will be subject to the currently applicable San Antonio Water System watering and irrigation restrictions.

Enforcement: Developer acknowledges that the Property is subject to inspection by City at any time to maintain conformance with this Agreement. This Agreement may be enforced by the City and a breach of any duty imposed by this Agreement shall constitute a violation hereof. In the event of a violation, Developer acknowledges and agrees that this Agreement shall be enforceable by and pursuant to the authority provided in section 35-491 of the San Antonio City Code.

Term of Performance: The term of this maintenance agreement will begin when the Project has passed its final tree inspection.

Agreement to Record: Developer shall cause this Agreement to be recorded in the real property records of Bexar County, Texas. Developer shall pay all fees and charges incurred in connection with such recording and shall provide the City with a copy of the recorded document within thirty (30) days of the execution of this Agreement.

Amendments: Except where the terms of this Agreement expressly provide otherwise, any alterations, additions, or deletions to the terms hereof, shall be effected by amendment, in writing, executed by both City and Developer, and signed by the City Arborist.

THIS AGREEMENT SHALL BE CONSTRUED UNDER AND IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS AND ALL OBLIGATIONS OF THE PARTIES CREATED HEREUNDER ARE PERFORMABLE IN BEXAR COUNTY, TEXAS.

Any legal action or proceeding brought or maintained, directly or indirectly, as a result of this Agreement shall be heard and determined in the City of San Antonio, Bexar County, Texas.

Entire Agreement: This Agreement, together with its exhibits as listed above, constitutes the final and entire agreement between the parties hereto and contains all of the terms and conditions agreed upon. No other agreements, oral or otherwise, regarding the subject matter of this Agreement shall be deemed to exist or to bind the parties hereto, unless same be in writing, dated subsequent to the date hereto, and duly executed by the parties.

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SIGNATURES ON THE NEXT PAGE

Agreed, Consented to, and Executed this 31 day of July, 2023.

CITY OF SAN ANTONIO

SouthStar At Verano Investment, LLC

BY: Herminio Griego
City Arborist, or designee

BY: 
Developer, or designee

VIDA

Phase 1

LANDSCAPE IMPROVEMENTS

SAN ANTONIO, TEXAS

CONSTRUCTION DOCUMENT SET



PROJECT TEAM

OWNER

SouthStar Communities

Contact: Jim Vater

Address: 1118 Vintage Way

New Braunfels, Texas 78132

O: 512.923.9160

LANDSCAPE ARCHITECT

RVi Planning & Landscape Architecture

Contact: Alan Mackey

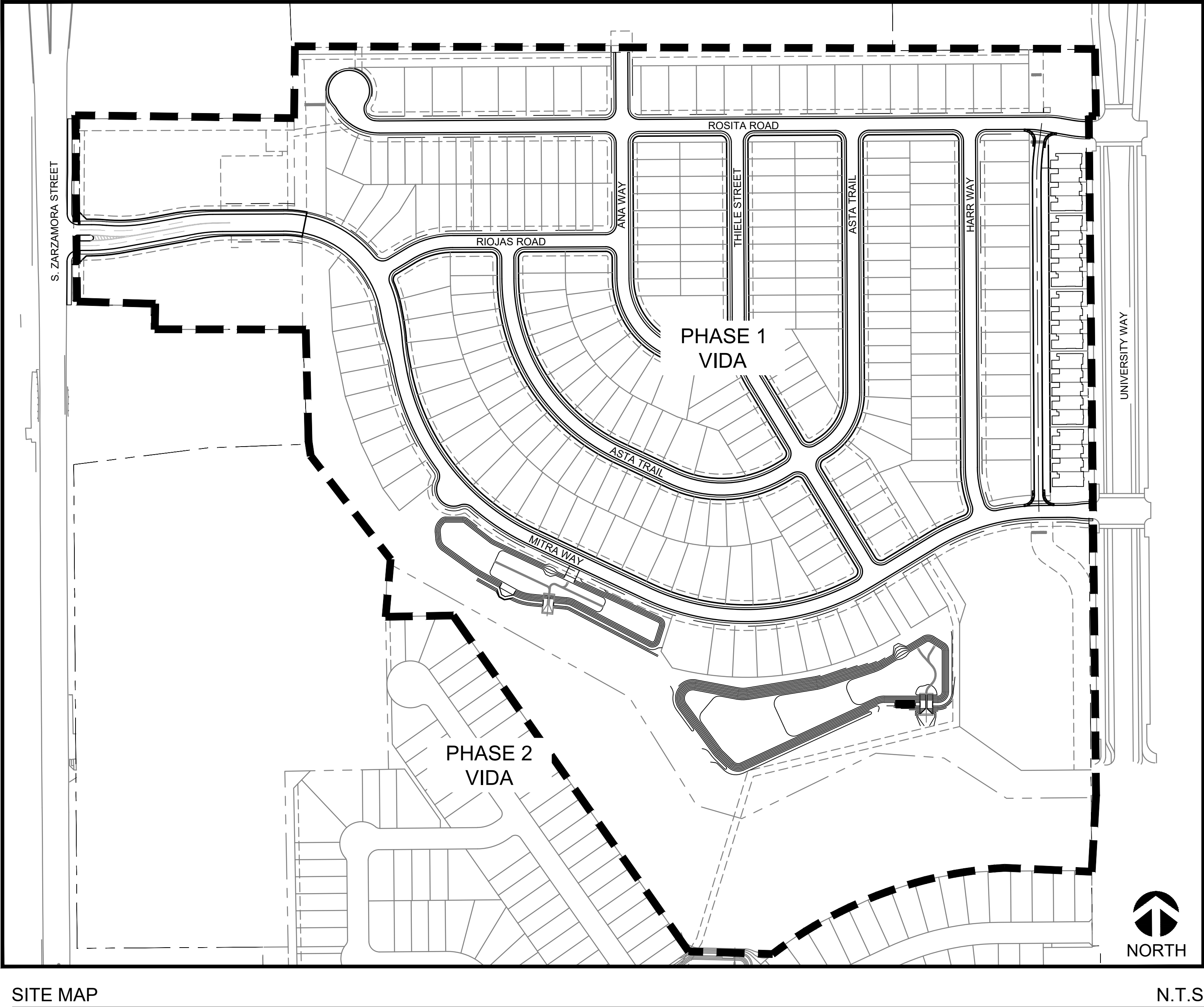
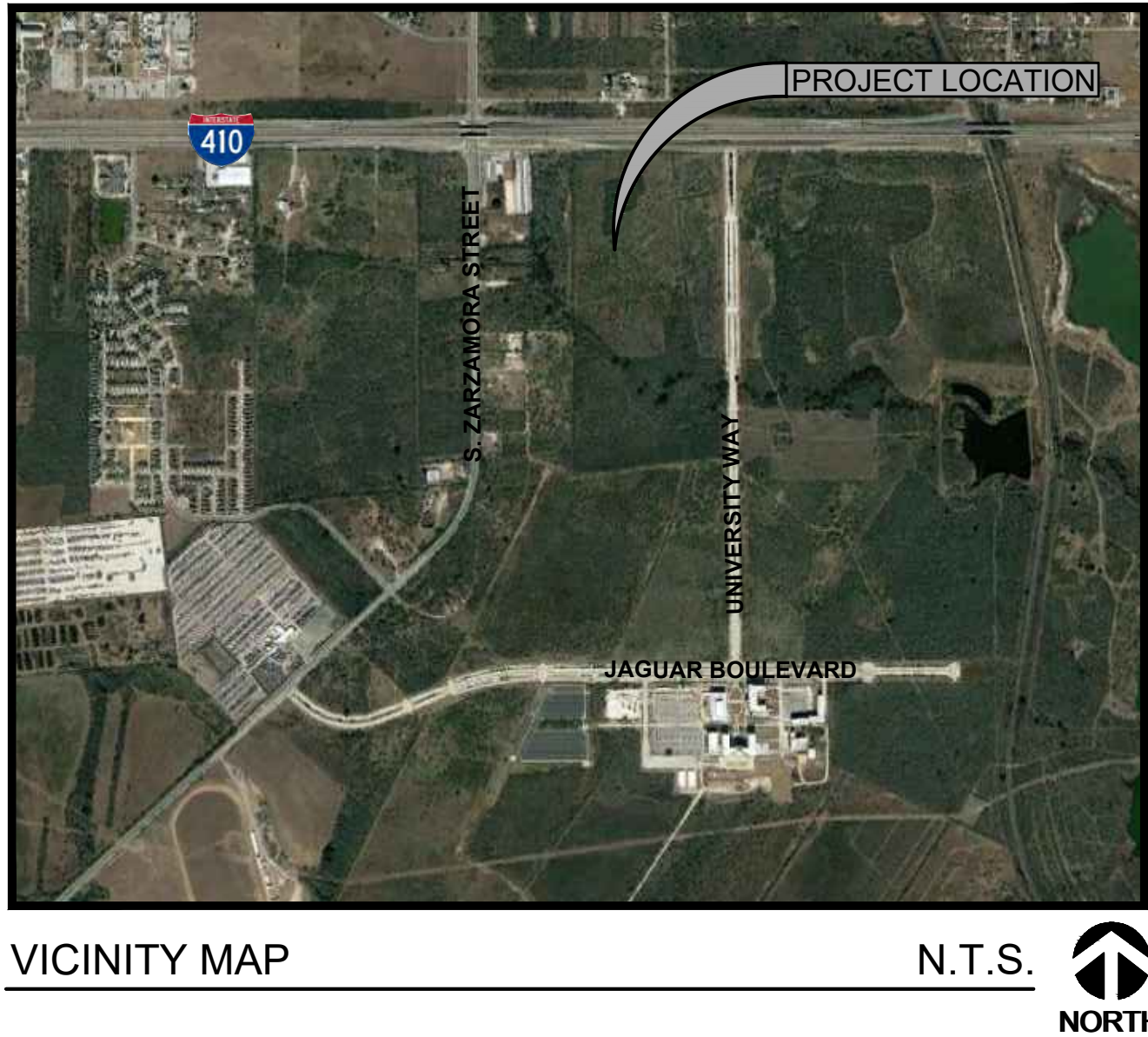
1611 West 5th Street, Suite 175

Austin, TX 78703

O: 512.480.0032

SHEET INDEX

PAGE #	SHEET TITLE
	Cover / Sheet Index
L1.0	General Notes and Plant Schedule
LANDSCAPE PLANS	
L2.0	Overall Plan
L2.1	Landscape Plan 1
L2.2	Landscape Plan 2
L2.3	Landscape Plan 3
L2.4	Landscape Plan 4A and 4B
L2.5	Landscape Plan 5
L2.51	Layout Plan 5
L2.6	Landscape Plan 6
L2.7	Landscape Plan 7
L2.8	Landscape Plan 8
L2.9	Landscape Plan 9
L2.10	Landscape Plan 10
DETAILS	
L3.0	General Details 1
L3.1	General Details 2
L3.2	Walls and Fencing Details
L3.3	Playscape Details 1
L3.4	Playscape Details 2
L4.0	Planting Details and Notes
L5.0	Conceptual Irrigation Plan



DEVELOPMENT PERMIT NUMBER	
ISSUED	REVISIONS
4-13-2022 - BID SET	△ _____
_____	△ _____
_____	△ _____
PROJECT NO. : 19000624	
DRW: WG, MD	RVW: WG, AM

GENERAL CONSTRUCTION NOTES

1. Unless otherwise indicated, the Owner's Representative for this project shall be a specifically designated landscape architect from RVI Planning and Landscape Architecture. The Landscape Contractor will be required to coordinate and correspond with the landscape architect from RVI Planning and Landscape Architecture and key consultants for the Owner.
2. These drawings supplement other contractual information which may include Bid Instructions and Project Specifications. Anything mentioned in the Project Specifications and not in the drawings, or vice-versa, shall be of like effect as if shown on or mentioned in both. In case of a discrepancy between Drawings or Project Specifications, the matter shall be immediately submitted to the Owners Representative; without his decision said discrepancy shall not be adjusted by the Landscape Contractor, save only at his own risk and expense. The Landscape Contractor shall not take advantage of any apparent error or omission on the Drawings or in the Specifications. In the event the Landscape Contractor discovers such error or omission, he shall immediately notify the Owner's Representative. The Owner's Representative will then make such clarification and interpretations as may be deemed necessary for the Landscape Contractor to fulfill the intent of the Contract.
3. The intent of these drawings, details and associated specifications is for the Landscape Contractor to provide the Owner with a complete, accurate, functionally and technically sound project as generally described in these documents. In most cases, unless explicitly noted otherwise, drawing symbols are used to represent complete-in-place systems to be provided as part of the base bid. All elements shown or implied by the drawings, if not specifically detailed or specified, shall be installed per building codes, manufacturer's recommendations, state highway department standards, city standards and specifications and standard industry practices.
4. All work within this project shall conform to current local codes, ordinances, as well as all other applicable governing regulations in effect.
5. The Landscape Contractor shall obtain, at his expense, all specialty permits needed for specific items included with the work, unless otherwise indicated in the Contract Documents. Landscape Contractor shall comply with all notifications and inspection requirements.
6. Unless specifically noted otherwise in the Contract Documents, the Landscape Contractor shall obtain and coordinate all technical tests and reports by a certified independent laboratory or agency as outlined in the Specifications or these Drawings. The Owner may, at the Owner's sole discretion, provide separate testing and/or inspection service and the Landscape Contractor is required to fully coordinate with those consultants/Landscape Contractors. Owner is to pay for all soils and materials testing.
7. An Existing Condition Survey has been provided to the Owner by registered surveyors under separate contracts for the basis of design. It is not to be considered as part of these Contract Documents. These survey plans have been reformatted and included in these documents. The Landscape Contractor is required to visit the site to verify information. Without exception, any deviations or omissions found between these plans and existing site conditions shall immediately be brought to the attention of the Owner's Representative.
8. Existing utility information and utility information for proposed work by others that is shown in these documents is approximate and for general information only. It is not intended to depict exact locations of all utilities. The Landscape Contractor shall notify all utility companies to stake and field verify the locations including depths of all utilities (existing, proposed by others, or currently under construction), prior to commencing any related operations. Landscape Contractor shall maintain utility locations/structures during all remaining phases of work. The Landscape Contractor shall report to the Owner's Representative any utilities that may conflict with proposed work. The Landscape Contractor shall explore, understand, and coordinate (with other Sub-Contractors) all utilities impacts prior to submitting bid and shall be responsible for any modifications or damages to utility lines, structures or injuries therefrom. For existing utility information contact The One-Call Board of Texas (OCB) at 811 or 800-545-6005. A minimum notice of 3 business days in advance of locational needs is required.
9. These drawings do not specify safety materials, staffing, equipment, methods or sequencing to protect persons and property. It shall be the Landscape Contractor's sole responsibility to direct and implement safety operations, staffing, procedures to protect the Owner and his representatives, new improvements, property, other Landscape Contractors, the public and others.
10. The Landscape Contractor shall meet periodically with the Owner's Representative to determine marshalling areas, on-site storage, and Landscape Contractor staff parking and to coordinate security issues, construction sequencing/phasing, scheduling, and maintaining public, emergency, handicapped or operations access before starting the related work. The Landscape Contractor shall meet any "Construction Criteria" or requirements shown on any Contract Documents, phasing plans or any imposed plan by the Owner as a part of the Base Bid.
11. Some work in this Contract may occur concurrent with work by others. Phasing, sequencing and coordination, with work by others, and on-going facility operations in and around the site area, is a part of the scope of work for this project. Notice to proceed with work in any general area shall be obtained from the Owner.
12. The Landscape Contractor will be required to complete all the work of this project according to these proposed drawings or subsequent clarification. A strict period of performance, including dates of substantial completion (for all and/or portions) and liquidation damages may be an integral element of the Contract.
13. Any site improvements requiring removal under this contract shall be properly and legally disposed off-site or, at the Owner's option, surrendered/stockpiled in an approved on-site location per the direction of the Owner's Representative.
14. The Landscape Contractor is required to maintain a complete and "up-to-date" set of all Contract Documents, including clarifications, change orders, etc., in good condition, at the construction site at all times. This set of documents will be made immediately available for review by the Owner's Representative and/or authorized Consultants upon request. Complete "As-Built" drawings and document submittals are also a requirement of this contract.
15. Maintenance, warranties and performance guarantees may be a requirement of this contract - see specifications.
16. Notes and details on specific drawings shall take precedence over general notes and typical details. The Landscape Contractor shall refer to all other Division Notes, Sheets Notes, Drawings and Project Contract Documents for additional information.
17. Landscape Contractor shall refer to other related drawings for all other related improvements that will impact this project and require coordination.

LAYOUT NOTES

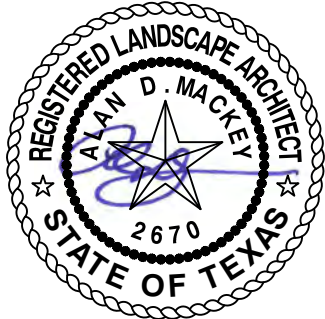
1. All work shown shall be field staked or otherwise denoted and subject to field verification, review and approval by the Owner's Representative prior to any constructions or demolition. Field staking of all proposed work and adjacent construction (even if future work by others) may be required by the Owner's Representative prior to approval of all improvements and adequate stakes shall be provided by Landscape Contractor's surveyor.
2. To expedite the layout of the site layout coordinates and/or grids may have been established in the Drawings. These points shall be field staked by the Landscape Contractor's surveyor as a part of this contract. The establishment of these points shall be approved by the Owner's Representative prior to any construction in those areas and will assist the Landscape Contractor in the layout of all site improvements as shown on drawing or otherwise.
3. The construction tolerances for this project are minimal and the dimensions shown are to be strictly adhered to.
4. Computed dimensions shall take precedence over scaled dimensions. Large scale drawings shall take precedence over small scale drawings. Dimensions shown with (+/-) shall be the only layout information allowed to vary, and may only vary to the tolerances given.
5. The Landscape Contractor is responsible to provide complete-in-place systems and a complete project, and any intermittent or periodic approvals received for portions of work, stakes, grades, or forms (by the Owner's Representative, architects, engineers, or others) shall not waive the Landscape Contractor's requirements to comply with the intent of any and all portions of this contract.
6. Field staked locations for walks, roads, swales, walls, curbs, structures etc. may be requested by the Owner's Representative. Specific layout information will be provided to the Landscape Contractor by the Owner's Representative in AutoCAD (.dwg) format when requested.
7. It is the intent and requirement of this contract to provide curvilinear walks, walls and curbs with smooth transitions and arcs (both horizontal and vertical). Straight segments and abrupt transitions will not be accepted unless shown as such on the plans. Wood curving forms may be required to obtain the proper effects..
8. When indicated on the Drawings, improvements that are to be coordinated on site with the Owner's Representative will be field staked or painted for approval of layout by the Owner's Representative prior to installation. Notify the Owner's Representative a minimum of 24 hours in advance for review. Improvements installed without field approval by Owner's Representative may be rejected. Rejected work must be removed and replaced.

GRADING NOTES

1. These grading plans are intended to show vertical control of the site and are based upon the benchmarks, existing elevations and topography as provided by the Owner's surveyor. However, the Landscape Contractor, upon submittal of bid, agrees to accept the site grades and make all adjustments required to accomplish the work as proposed. Additionally proposed design elevations for adjacent construction projects may have to be incorporated if necessary. (Construction drawings for work by others, if applicable, are available upon request). Staking of future adjacent improvements, by this contract phase or by others, may be required if directed by the Owner's Representative to ensure proper coordination and requested staking is to be provided as part of this Base Bid.
2. This Landscape Contractor shall verify all existing grades to remain and all adjacent new construction grades for compliance with those shown, prior to bid and construction. All deviations or conflicts with proposed work shall be reported immediately (with follow-up written) notice within 24 hours to the Owner's Representative for direction to proceed.
3. It is this Landscape Contractor's responsibility to provide proper positive drainage throughout this contract area. Field conditions shall be verified in conjunction with the proposed elevations to ensure that adequate drainage is provided. Report deviations or conflicts to Owner's Representative.
4. All design elevations shown are "finished grades" unless otherwise indicated. Landscape Contractors shall refer to drawings, details and specifications regarding depth of sub-grade materials required to construct project improvements.
5. All topsoil and/or drainage way muck excavation shall be saved and stockpiled in approved locations for future use.
6. All trails and sidewalk shall maintain an accessible slope as follows:
max slope 5%
5% run can not be longer than 200' without resting interval
trails and sidewalk should have 2% cross slope
Resting interval - minimum 5' width x 5' length of trail or sidewalk segment that is less than 5% running slope.

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RVI
1611 West 5th Street
Suite 175
Austin, Texas 78703
Tel: 512.480.0032
www.rvipanning.com



04/13/2022
BID SET



VIDA
PHASE 1 LANDSCAPE IMPROVEMENTS
SAN ANTONIO, TEXAS

PROJECT NO : 19000624
DATE : 04-13-2022
DRAWN: WG, MD
REVIEWED: WG, AM

REVISIONS	
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**GENERAL
NOTES AND
PLANTING
SCHEDULE**

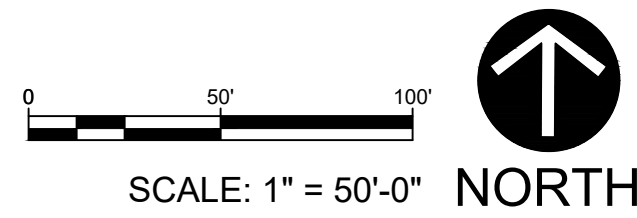
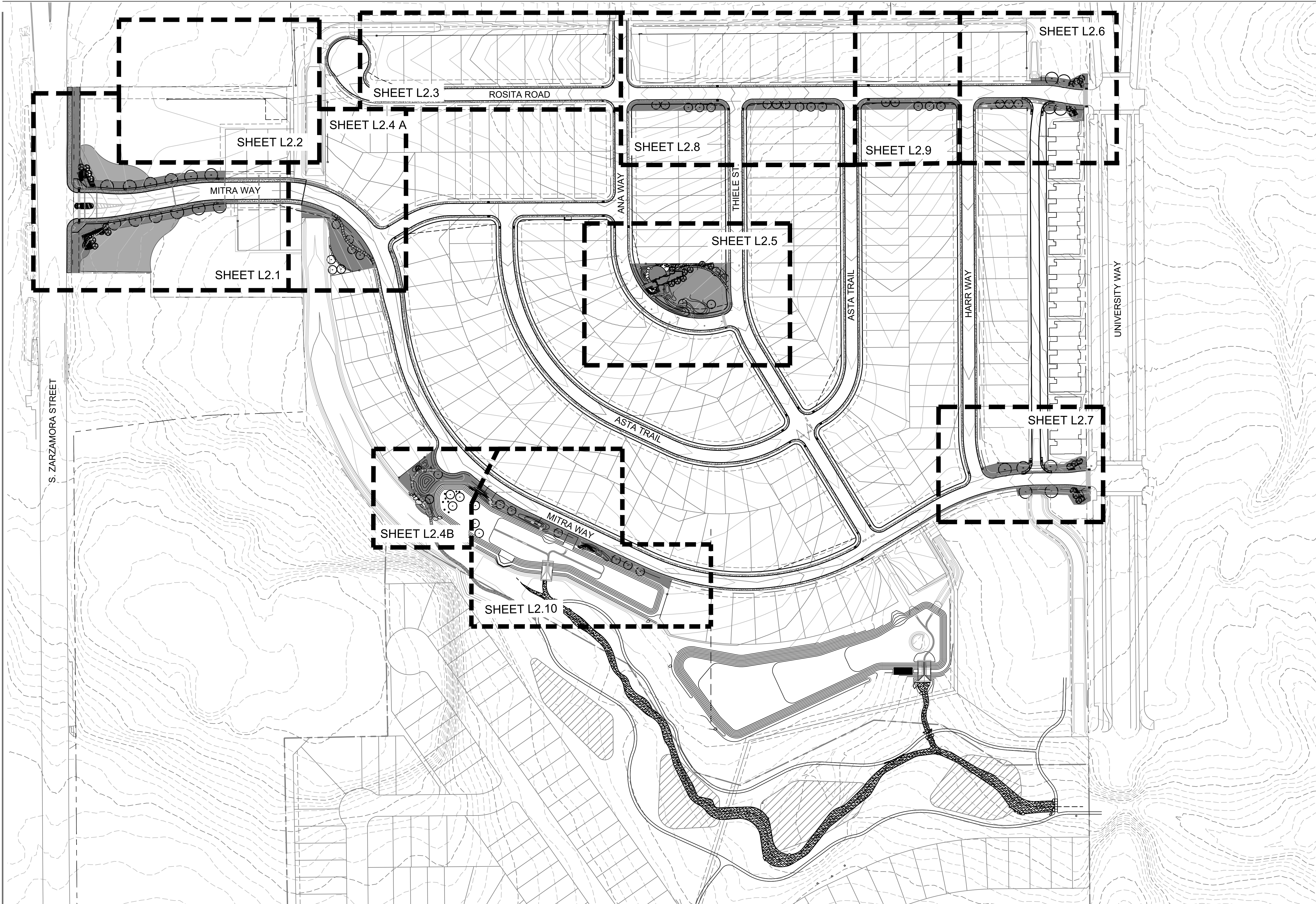
L1.0

BID SET

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1

OVERALL PLAN



Rvi
1611 West 5th Street
Suite 175
Austin, Texas 78703
Tel: 512.480.0032
www.rviplanning.com

04/13/2022
BID SET

VIDA
PHASE 1 LANDSCAPE IMPROVEMENTS
SAN ANTONIO, TEXAS

PROJECT NO.:	19000624
DATE:	04-13-2022
DRAWN:	WG, MD
REVIEWED:	WG, AM

REVISIONS	
△	
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OVERALL PLAN

BID SET

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1

LANDSCAPE PLAN 1

RE-VEGETATE
DISTURBED AREA
WITH BERMUDA SEED

QUARRY BLOCK WALL -
REFER TO PHASE 1A
SIGNAGE AND TRAILS
PACKAGE (N.I.C.)

STEEL EDGE (TYP.)
SEE DETAIL 4/L3.0

SOUTH FACING VIDA
SIGNAGE - REFER TO
PHASE 1A SIGNAGE AND
TRAILS PACKAGE (N.I.C.)
R.O.W.

FLAGSTONE SEE
DETAIL 3/L3.0

VIDA ZARZAMORA ENTRY
SIGN - REFER TO PHASE
1A SIGNAGE AND TRAILS
PACKAGE (N.I.C.)

VIDA TOWER - REFER TO
PHASE 1A SIGNAGE AND
TRAILS PACKAGE (N.I.C.)

QUARRY BLOCK
WALL - REFER TO
PHASE 1A SIGNAGE
AND TRAILS
PACKAGE (N.I.C.)

CEDAR PRIVACY
FENCE SEE
DETAIL 1/L3.2

SHEET L2.1

SHEET L2.2

2

LANDSCAPE PLAN 1 ENLARGEMENT

SHEET L2.2

SHEET L2.1

MITRA WAY

CROSSWALK BY
OTHERS (N.I.C.)

EXISTING SIDEWALK
REFER TO CIVIL PLANS

STREET LIGHT REFER
TO CIVIL PLANS

EXISTING SIDEWALK
REFER TO CIVIL PLANS

EXISTING SLEEVES (TYP.)
REFER TO CIVIL PLANS

R.O.W.
P.U.E.

QUARRY BLOCK WALL -
REFER TO PHASE 1A SIGNAGE
AND TRAILS PACKAGE (N.I.C.)

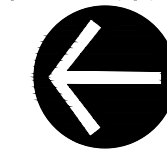
RE-VEGETATE
DISTURBED AREA
WITH BERMUDA SEED

MITRA WAY

0 10' 20'

SCALE: 1" = 10'-0"

NORTH



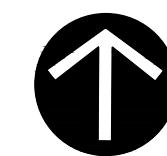
PLANT SCHEDULE S. ZARAZAMORA ENTRY

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT	SPD
	MXS	12	Platanus mexicana	Mexican Sycamore	65 gal	5" Cal	14'	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT	SPD
	CM-M	10	Lagerstroemia indica 'Muskogee'	Crape Myrtle 'Muskogee'	45 gal	4" Cal	8'	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	AA	3	Agave americana	Century Plant	45 gal			
	SOT	26	Dasylirion texanum	Texas Sotol	10 gal			
	RY	40	Hesperaloe parviflora	Red Yucca	5 gal			
	LNG	13	Lantana x 'New Gold'	New Gold Lantana	3 gal			
	TXS	11	Leucophyllum frutescens	Texas Sage	5 gal			
	DR	126	Rosa 'Meidriflora' PP #19148	Drift Rose (Coral)	5 gal			
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	GCM	19	Muhlenbergia capillaris 'Gulf Coast'	Gulf Coast Muhly	5 gal			
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	GRAN	1,143	Decomposed Granite Mulch	Decomposed Granite Mulch	SF			12" o.c.
	TL	83	Lantana montevidensis	Trailing Lantana	4" pot	18" OC		18" o.c.
	PS	97	Scutellaria suffrutescens	Pink Skullcap	4" Pot			18" o.c.
	SEAS	291	Seasonal Color	Various Annuals	4" pot	8" OC		8" o.c.
	VB	389	Verbena bipinnatifida	Native Verbena	4" Pot			12" o.c.
SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	CD2	24,784 sf	Cynodon dactylon '419 Hybrid'	Bermuda Grass	seed			
TURF SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	SOD	20,429 sf	Cynodon dactylon '419 Hybrid'	Bermuda Grass	sod			

0 20' 40'

SCALE: 1" = 20'-0"

NORTH



Rvi

1611 West 5th Street
Suite 175
Austin, Texas 78703
Tel: 512.480.0032
www.rvplanning.com



04/13/2022
BID SET



VIDA

PHASE 1 LANDSCAPE IMPROVEMENTS
SAN ANTONIO, TEXAS

PROJECT NO.: 19000624
DATE: 04-13-2022
DRAWN: WG, MD
REVIEWED: WG, AM

REVISIONS

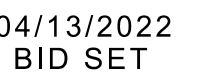
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LANDSCAPE
PLAN 1

L2.1

SHEET 3 OF 20

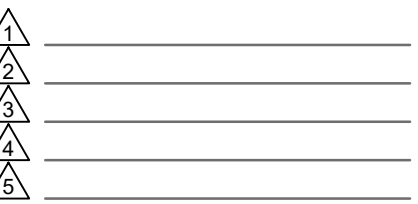
BID SET



VIDA
PHASE 1 LANDSCAPE IMPROVEMENTS
SAN ANTONIO, TEXAS

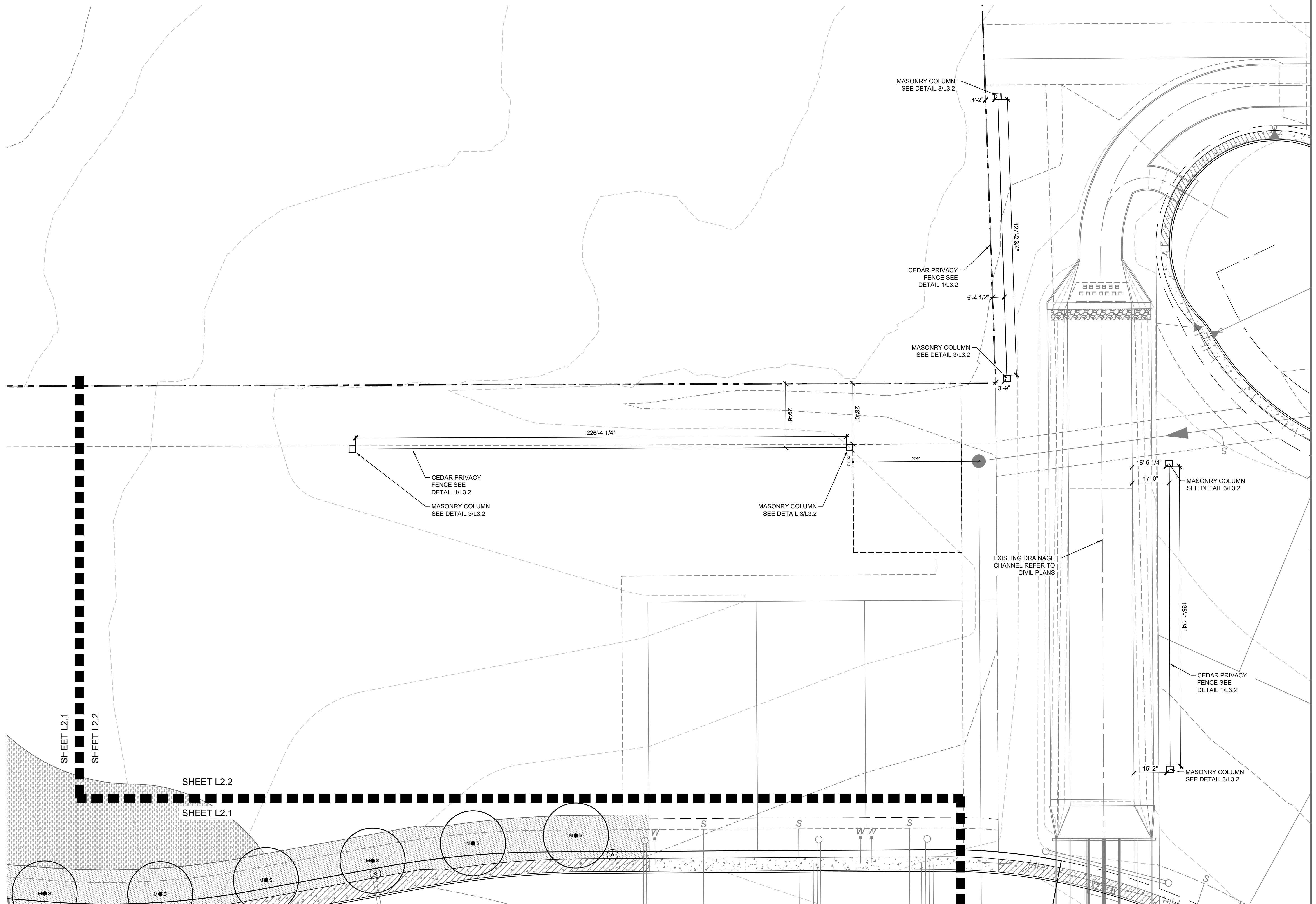
PROJECT NO : 19000624
DATE : 04-13-2022
DRAWN: WG, MD
REVIEWED: WG, AM

REVISIONS

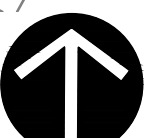
LANDSCAPE
PLAN 2

L2.2

SHEET 4 OF 20



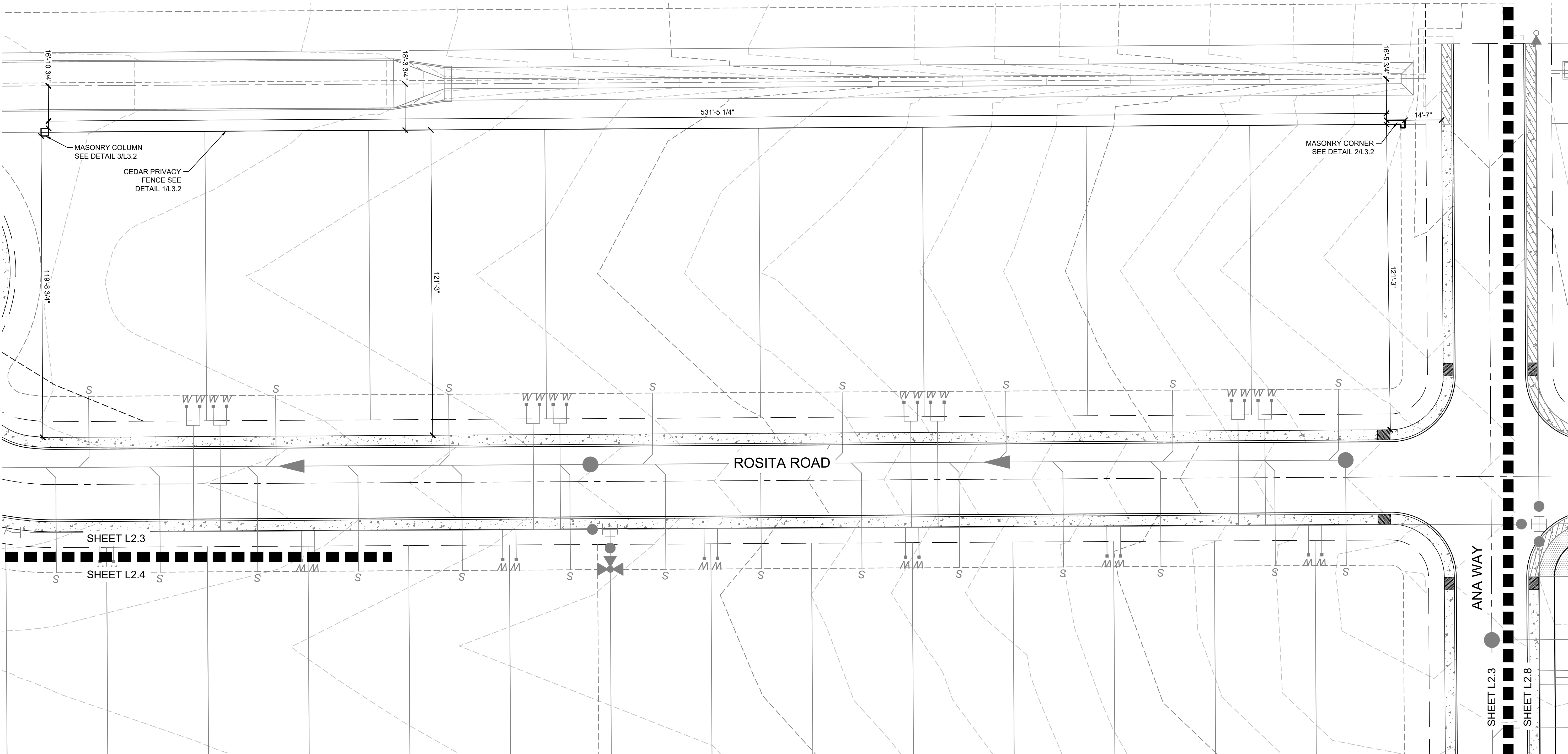
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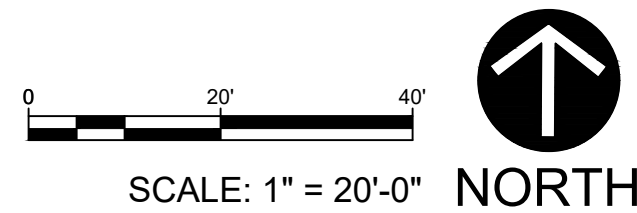
NORTH

BID SET

L:\2019\19000624_versno - san antonio, tx\CD\SHEETS\L2.3 Landscape Plan 3.dwg 4/13/2022 madison dallas



2 LANDSCAPE PLAN 3



04/13/2022
BID SET



VIDA
PHASE 1 LANDSCAPE IMPROVEMENTS
SAN ANTONIO, TEXAS

PROJECT NO : 19000624
DATE : 04-13-2022
DRAWN: WG, MD
REVIEWED: WG, AM

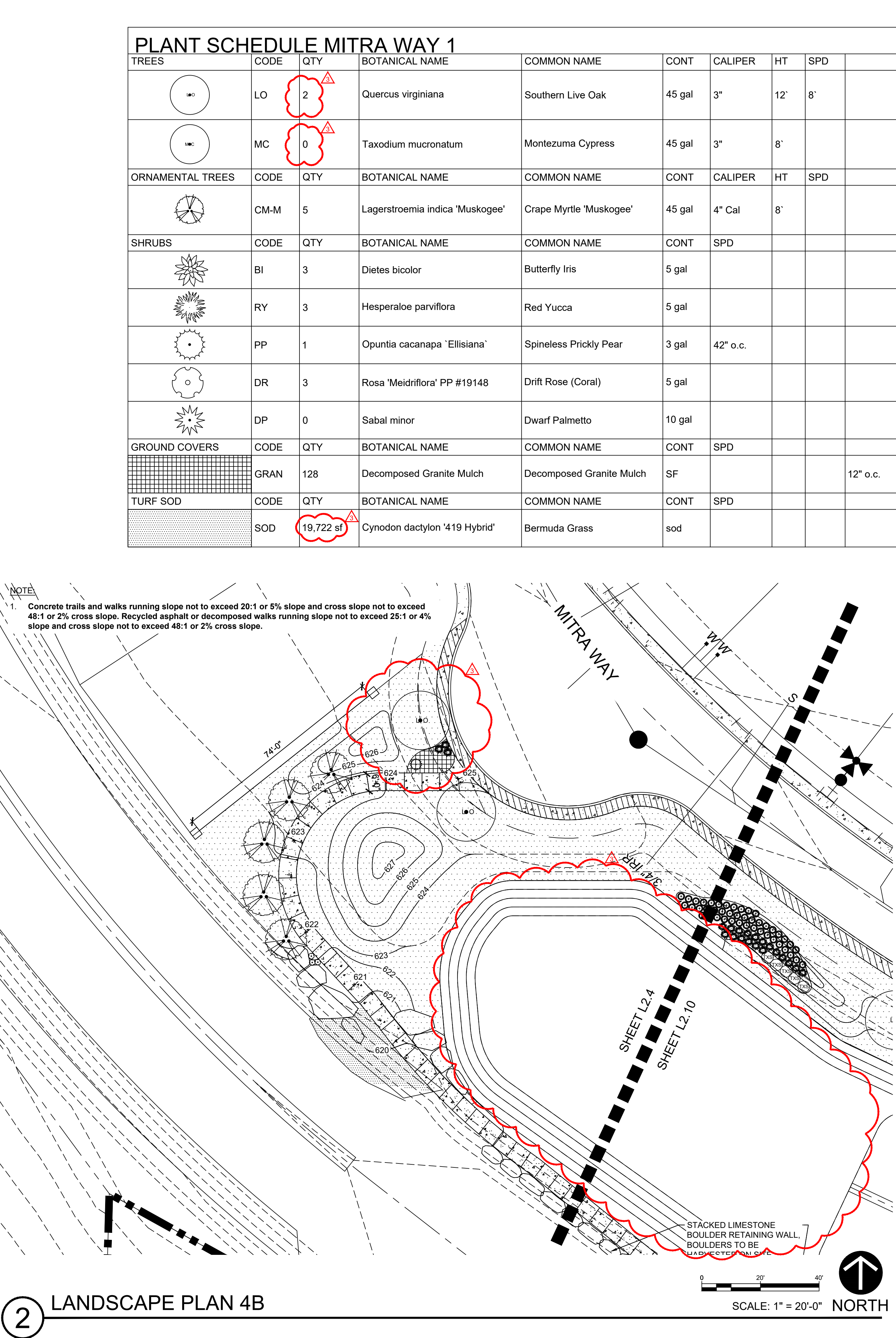
REVISIONS	
△	
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LANDSCAPE
PLAN 3

L2.3

SHEET 5 OF 20

BID SET



Rv*i*

1611 West 6th Street
Suite 175
Austin, Texas 78703
Tel: 512-480-0032
www.rviplanning.com

04/13/2022
BID SET



04/13/2022
BID SET



VIDA

PHASE 1 LANDSCAPE IMPROVEMENTS

SAN ANTONIO, TEXAS

LANDSCAPE PLAN 4A AND LANDSCAPE PLAN 4B

L2.4

PROJECT NO : 190000624

DATE : 04-13-2022

DRAWN: WG, MD

REVIEWED: WG, AM

04-13-2022

WG, MD

WG, AM

REVISIONS

△	6/20/2022	TRAIL
△	7/13/2022	PROPOSED GRADES @ TRAIL
△	9/28/2022	DEDUCT PLANT MATERIAL AND SIDEWALK
△		

04-13-2022

WG, MD

WG, AM

LANDSCAPE PLAN 4A AND LANDSCAPE PLAN 4B

L2.4

PROJECT NO : 190000624

DATE : 04-13-2022

DRAWN: WG, MD

REVIEWED: WG, AM

04-13-2022

WG, MD

WG, AM

REVISIONS

△	6/20/2022	TRAIL
△	7/13/2022	PROPOSED GRADES @ TRAIL
△	9/28/2022	DEDUCT PLANT MATERIAL AND SIDEWALK
△		

04-13-2022

WG, MD

WG, AM

LANDSCAPE PLAN 4A AND LANDSCAPE PLAN 4B

L2.4

PROJECT NO : 190000624

DATE : 04-13-2022

DRAWN: WG, MD

REVIEWED: WG, AM

04-13-2022

WG, MD

WG, AM

REVISIONS

△	6/20/2022	TRAIL
△	7/13/2022	PROPOSED GRADES @ TRAIL
△	9/28/2022	DEDUCT PLANT MATERIAL AND SIDEWALK
△		

04-13-2022

WG, MD

WG, AM

LANDSCAPE PLAN 4A AND LANDSCAPE PLAN 4B

L2.4

PROJECT NO : 190000624

DATE : 04-13-2022

DRAWN: WG, MD

REVIEWED: WG, AM

04-13-2022

WG, MD

WG, AM

REVISIONS

△	6/20/2022	TRAIL
△	7/13/2022	PROPOSED GRADES @ TRAIL
△	9/28/2022	DEDUCT PLANT MATERIAL AND SIDEWALK
△		

04-13-2022

WG, MD

WG, AM

LANDSCAPE PLAN 4A AND LANDSCAPE PLAN 4B

L2.4

PROJECT NO : 190000624

DATE : 04-13-2022

DRAWN: WG, MD

REVIEWED: WG, AM

04-13-2022

WG, MD

WG, AM

REVISIONS

△	6/20/2022	TRAIL
△	7/13/2022	PROPOSED GRADES @ TRAIL
△	9/28/2022	DEDUCT PLANT MATERIAL AND SIDEWALK
△		

04-13-2022

WG, MD

WG, AM

LANDSCAPE PLAN 4A AND LANDSCAPE PLAN 4B

L2.4

PROJECT NO : 190000624

DATE : 04-13-2022

DRAWN: WG, MD

REVIEWED: WG, AM

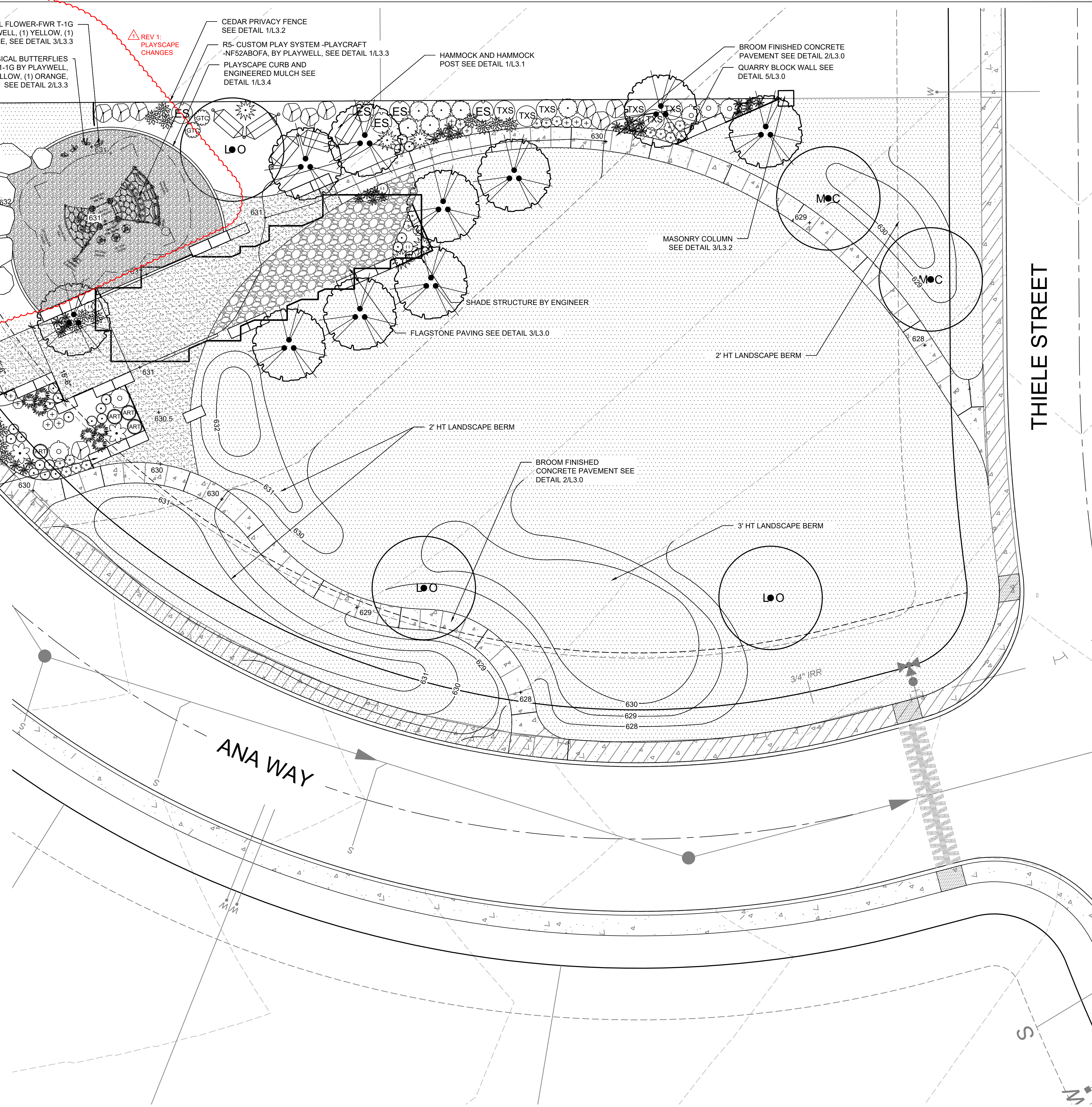
04-13-2022

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1

LANDSCAPE PLAN 5

PLANT SCHEDULE ANA WAY PARK							
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT
	LO	3	Quercus virginiana	Southern Live Oak	45 gal	3"	12'
	MC	2	Taxodium mucronatum	Montezuma Cypress	45 gal	3"	8'
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT
	CM-M	10	Lagerstroemia indica 'Muskogee'	Crape Myrtle 'Muskogee'	45 gal	4" Cal	8'
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD	
	ART	4	Artemisia x 'Powis Castle'	Powis Castle Artemisia	5 gal		
	SOT	2	Dasylirion texanum	Texas Sotol	10 gal		
	VFL	28	Dianella tasmanica 'Blushy'	Varigated Flax Lily	5 gal		
	BI	15	Diets bicolor	Butterfly Iris	5 gal		
	RY	7	Hesperaloe parviflora	Red Yucca	5 gal		
	LNG	16	Lantana x 'New Gold'	New Gold Lantana	3 gal		
	TXS	6	Leucophyllum frutescens	Texas Sage	5 gal		
	MP	10	Myrica pusilla	Dwarf Southern Wax Myrtle	3 gal	48" o.c.	
	RUS	5	Perovskia atriplicifolia	Russian Sage	3 gal	18" o.c.	
	ES	5	Rhus virens	Evergreen Sumac	5 gal		
	DR	17	Rosa 'Meidriflora' PP #19148	Drift Rose (Coral)	5 gal		
	KO	6	Rosa x 'Knockout' TM	Red Knock Out Rose	5 gal		
	DP	5	Sabal minor	Dwarf Palmetto	10 gal		
	ATM	21	Salvia greggii	Autumn Sage	1 gal		
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD	
	GTC	2	Malvaviscus arboreus	Giant Turk's Cap	5 gal		
VINES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD	
	CV	5	Antigonon leptopus	Coral Vine	5 gal		
TURF SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD	
	SOD	17,332 sf	Cynodon dactylon '419 Hybrid'	Bermuda Grass	sod		



0 10' 20'
SCALE: 1" = 10'-0" NORTH

BID SET





04/13/2022
BID SET

VIDA

PHASE 1 LANDSCAPE IMPROVEMENTS

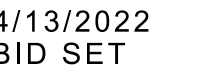
SAN ANTONIO, TEXAS

PROJECT NO.: 19000624
DATE: 04-13-2022
DRAWN: WG, MD
REVIEWED: WG, AM

REVISIONS	
	6/16/2022
	
	
	

LANDSCAPE PLAN 5

L2.5



PHASE 1 LANDSCAPE IMPROVEMENTS

PROJECT NO : 1900062
DATE : 04-13-202
DRAWN: WG, MI
REVIEWED: WG, AM

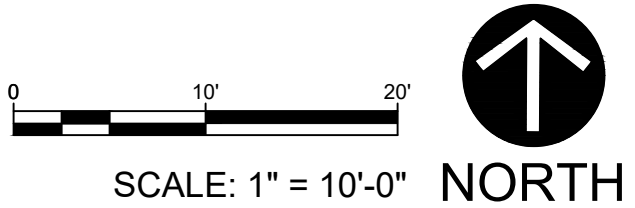
REVISIONS

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LAYOUT
PLAN 5

L2.51

HEET 8 OF 20

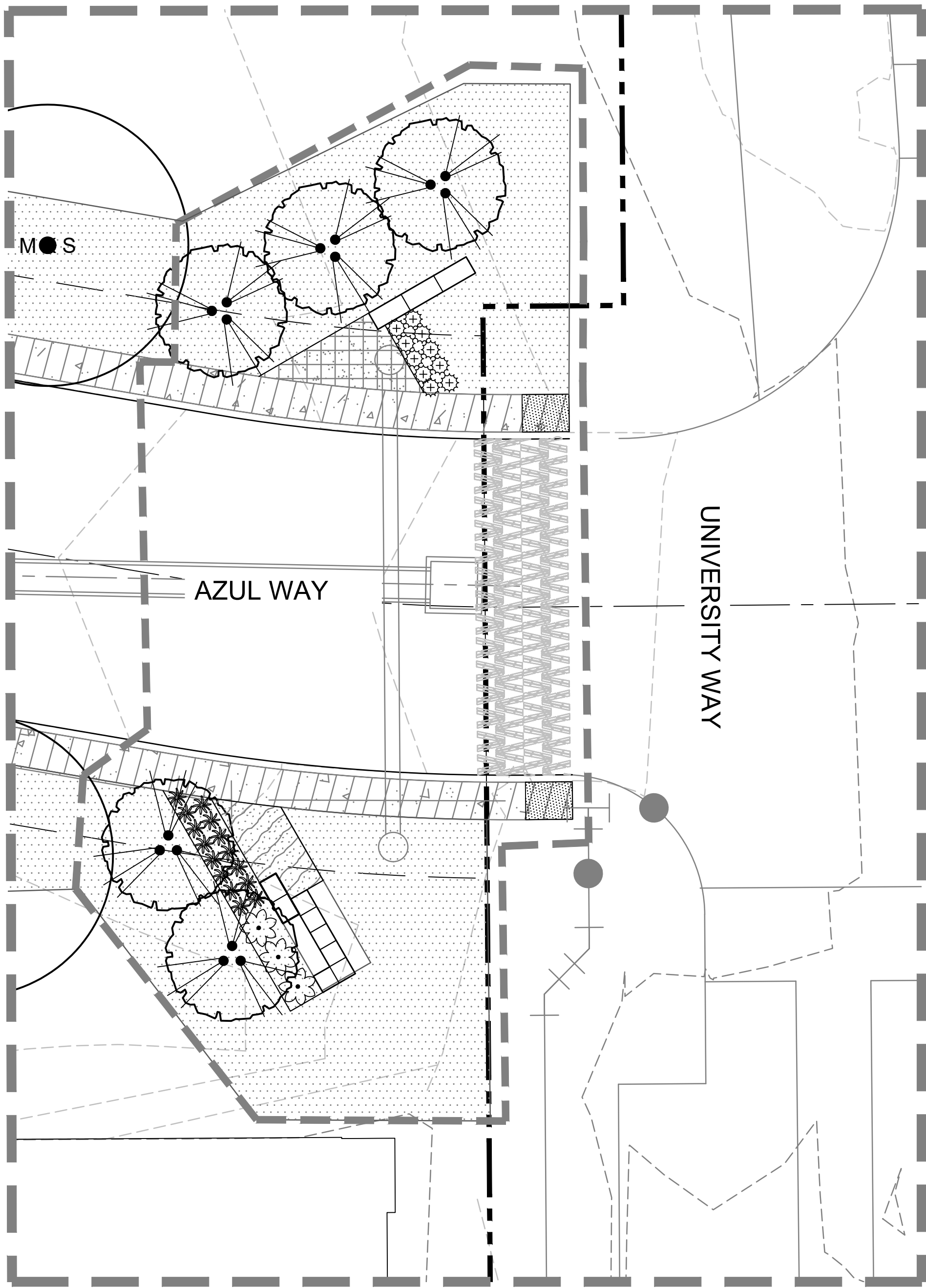


BID SET

LAYOUT PLAN 5

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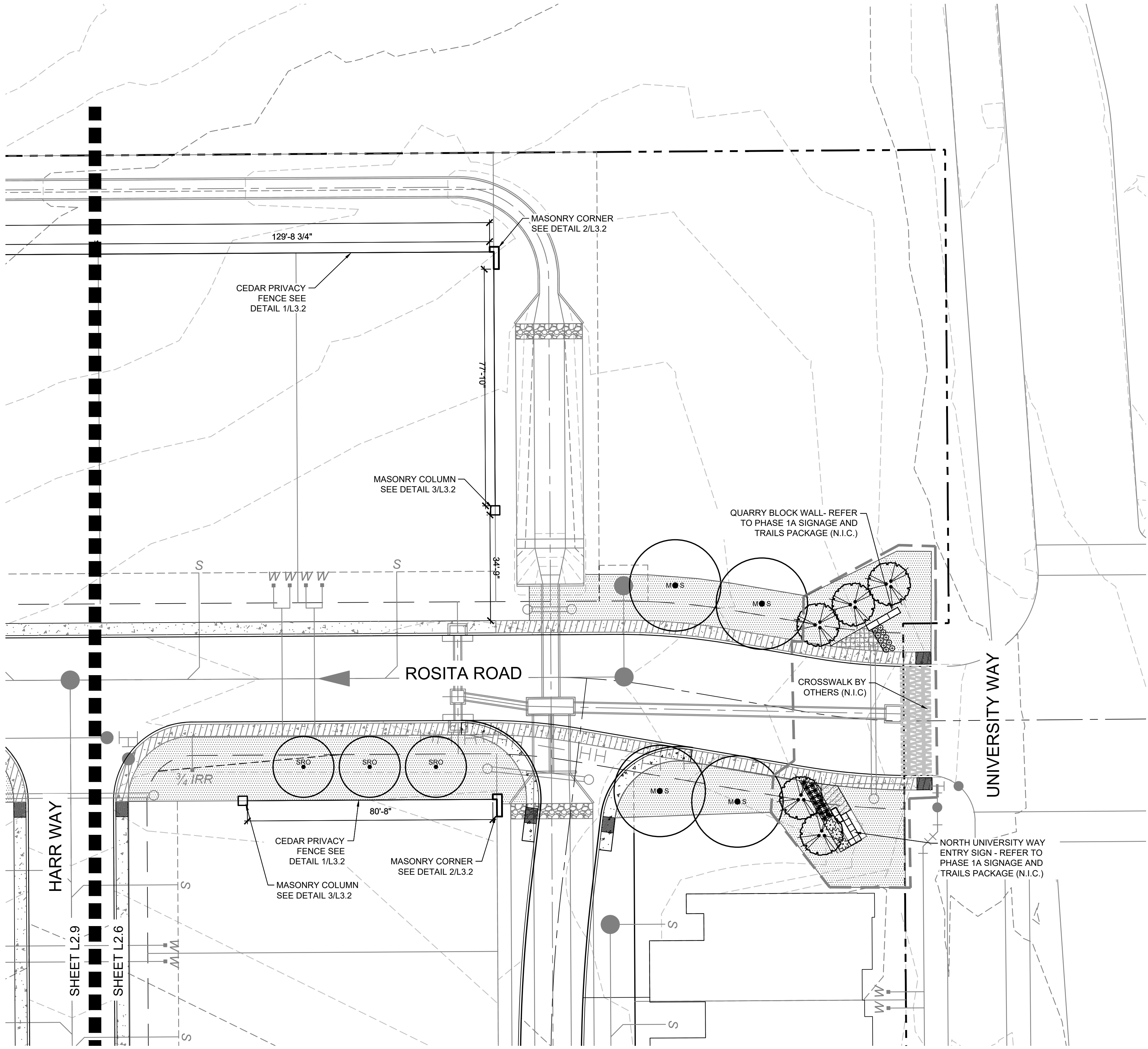
PLANT SCHEDULE NORTH UNIVERSITY ENTRY									
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT	SPD	
	MXS	4	Platanus mexicana	Mexican Sycamore	65 gal	5" Cal	14'		
	SRO	3	Quercus shumardii	Shumard Red Oak	65 gal	3.5" Cal	14'	8'	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT	SPD	
	CM-M	5	Lagerstroemia indica 'Muskogee'	Crape Myrtle 'Muskogee'	45 gal	4" Cal	8'		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD			
	SOT	3	Dasyllirion texanum	Texas Sotol	10 gal				
	VFL	15	Dianella tasmanica 'Blushy'	Variegated Flax Lily	5 gal				
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD			
	MFG	10	Nassella tenuissima	Mexican Feather Grass	1 gal	30" o.c.			
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD			
	GRAN	78	Decomposed Granite Mulch	Decomposed Granite Mulch	SF				12" o.c.
	VB	64	Verbena bipinnatifida	Native Verbena	4" Pot				12" o.c.
TURF SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD			
	SOD	6,726 sf	Cynodon dactylon '419 Hybrid'	Bermuda Grass	sod				




3 LANDSCAPE PLAN 6 ENLARGEMENT

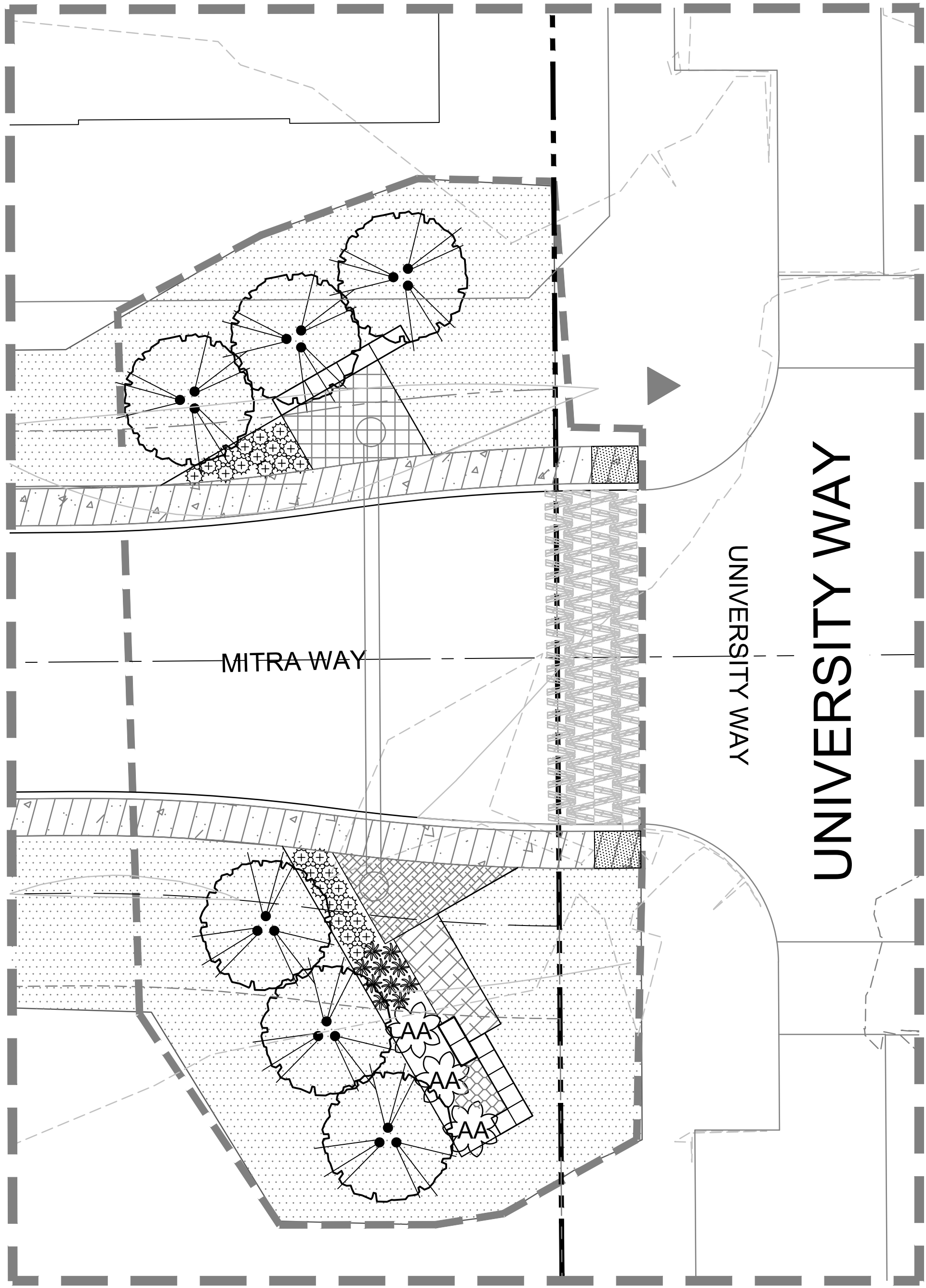
SCALE: 1" = 10'-0"

NORTH



1 LANDSCAPE PLAN 6

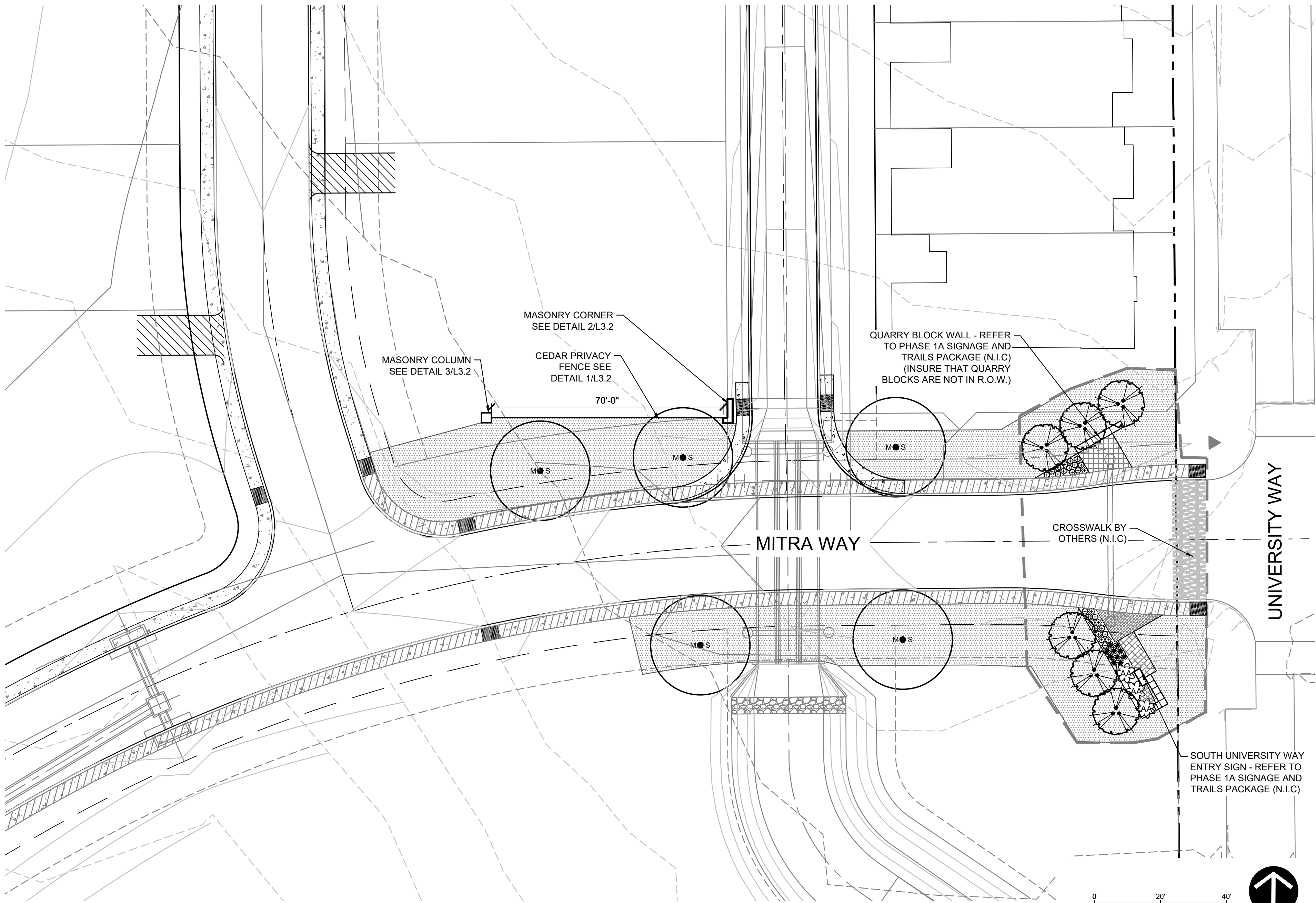
PLANT SCHEDULE SOUTH UNIVERSITY ENTRY								
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT	SPD
	MXS	5	Platanus mexicana	Mexican Sycamore	65 gal	5" Cal	14'	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT	SPD
	CM-M	6	Lagerstroemia indica 'Muskogee'	Crape Myrtle 'Muskogee'	45 gal	4" Cal	8'	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	AA	3	Agave americana	Century Plant	45 gal			
	VFL	10	Dianella tasmanica 'Blushy'	Varigated Flax Lily	5 gal			
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	MFG	27	Nassella tenuissima	Mexican Feather Grass	1 gal	30" o.c.		
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	GRAN	115	Decomposed Granite Mulch	Decomposed Granite Mulch	SF			12" o.c.
	TL	9	Lantana montevidensis	Trailing Lantana	4" pot	18" OC		18" o.c.
	PS	76	Scutellaria suffrutescens	Pink Skullcap	4" Pot			18" o.c.
TURF SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	SOD	7,845 sf	Cynodon dactylon '419 Hybrid'	Bermuda Grass	sod			



3 LANDSCAPE PLAN 7 ENLARGEMENT

SCALE: 1" = 10'-0"

NORTH



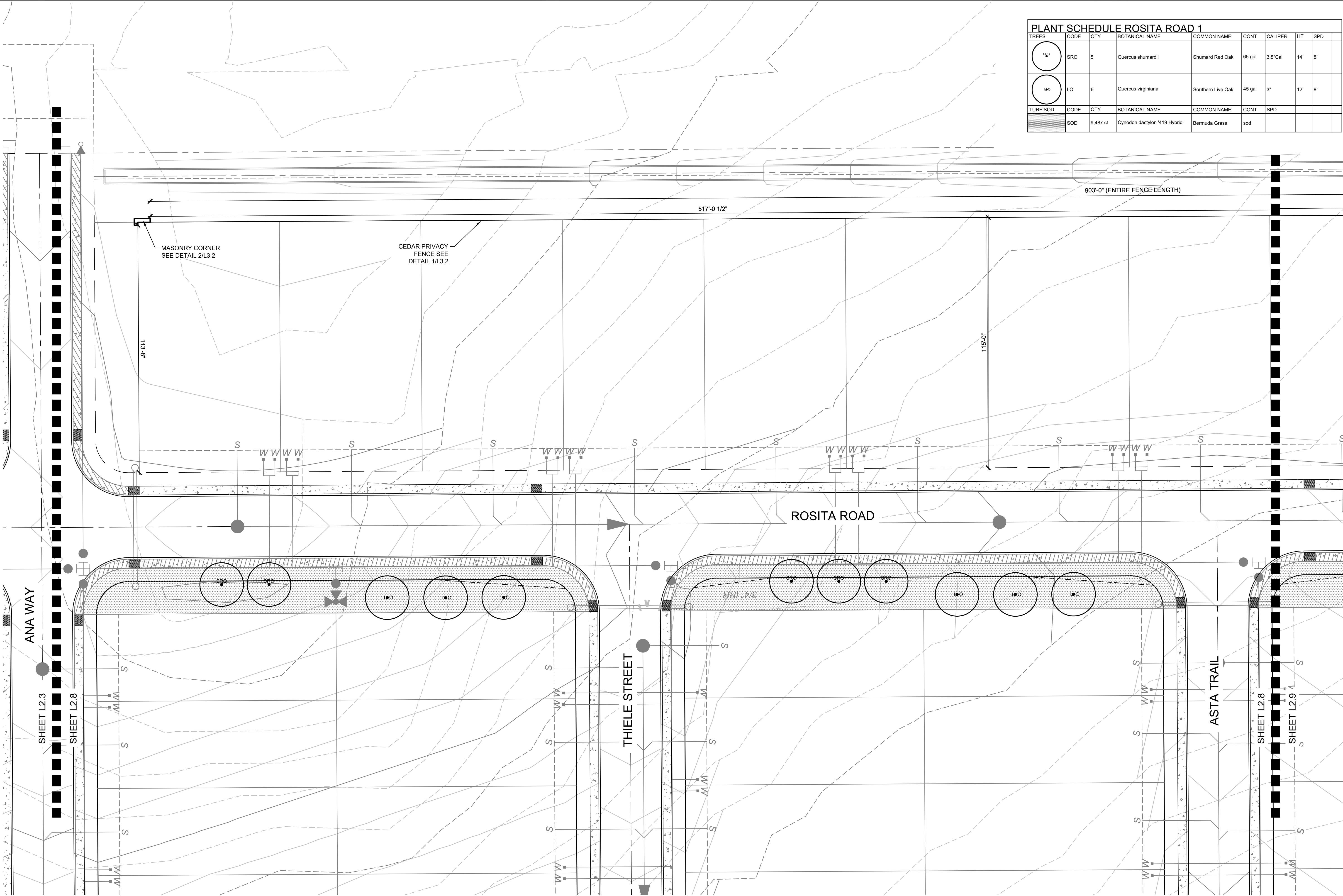
1 LANDSCAPE PLAN 7

SCALE: 1" = 20'-0"

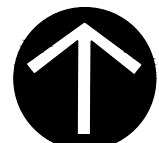
NORTH

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1 LANDSCAPE PLAN 8



PLANT SCHEDULE ROSITA ROAD 1								
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT	SPD
	SRO	5	Quercus shumardii	Shumard Red Oak	65 gal	3.5" Cal	14'	8'
	LO	6	Quercus virginiana	Southern Live Oak	45 gal	3"	12'	8'
TURF SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	SOD	9,487 sf	Cynodon dactylon '419 Hybrid'	Bermuda Grass	sod			



SCALE: 1" = 20'-0" NORTH

BID SET



04/13/2022
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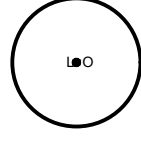

PROJECT NO.: 19000624
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REVIEWED: WG, AM

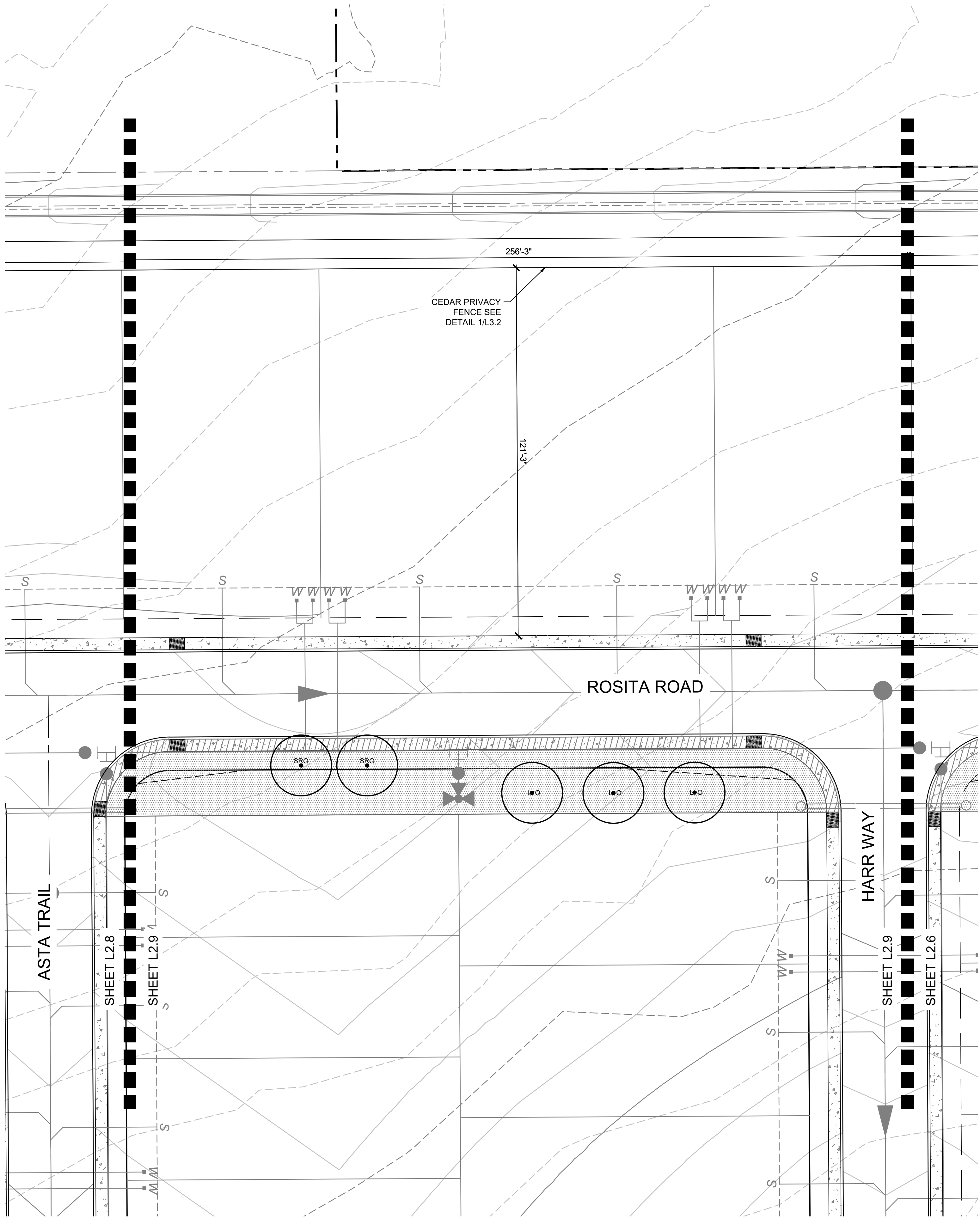
REVISIONS	

LANDSCAPE
PLAN 8

L2.8

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PLANT SCHEDULE ROSITA ROAD 2								
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT	SPD
	SRO	2	Quercus shumardii	Shumard Red Oak	65 gal	3.5"Cal	14'	8'
	LO	3	Quercus virginiana	Southern Live Oak	45 gal	3"	12'	8'
TURF SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	SOD	4,849 sf	Cynodon dactylon '419 Hybrid'	Bermuda Grass	sod			



1 LANDSCAPE PLAN 9

0 20' 40'
SCALE: 1" = 20'-0" NORTH

BID SET







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BID SET



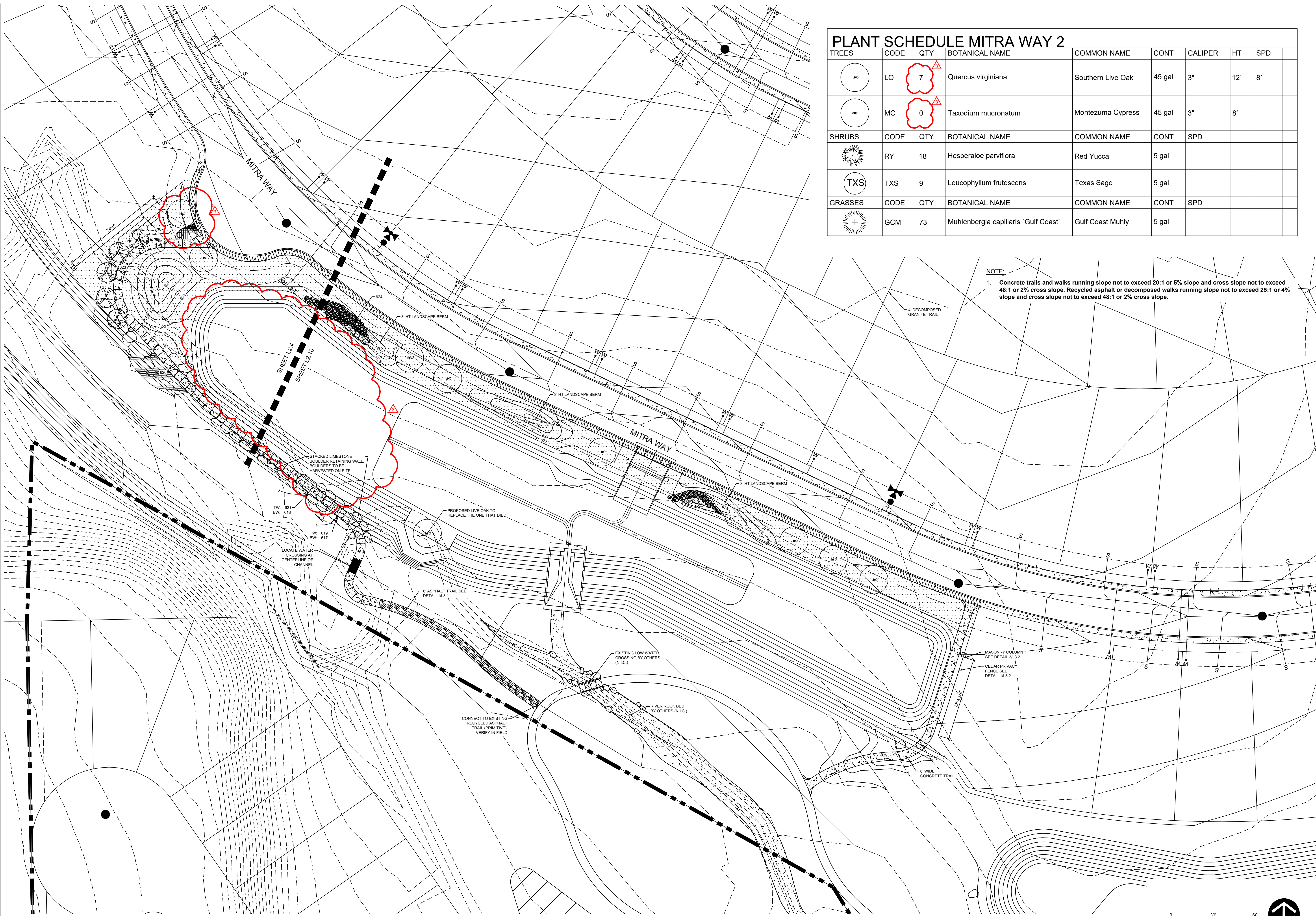
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SAN ANTONIO, TEXAS

PROJECT NO : 19000624
DATE : 04-13-2022
DRAWN: WG, MD
REVIEWED: WG, AM

REVISIONS	
	
	
	
	

LANDSCAPE
PLAN 9

L2.9



PLANT SCHEDULE MITRA WAY 2								
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT	SPD
	LO	7	Quercus virginiana	Southern Live Oak	45 gal	3"	12'	8'
	MC	0	Taxodium mucronatum	Montezuma Cypress	45 gal	3"	8'	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	RY	18	Hesperaloe parviflora	Red Yucca	5 gal			
	TXS	9	Leucophyllum frutescens	Texas Sage	5 gal			
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		
	GCM	73	Muhlenbergia capillaris 'Gulf Coast'	Gulf Coast Muhly	5 gal			

Rvi
1611 West 5th Street
Suite 175
Austin, Texas 78703
Tel: 512.480.0032
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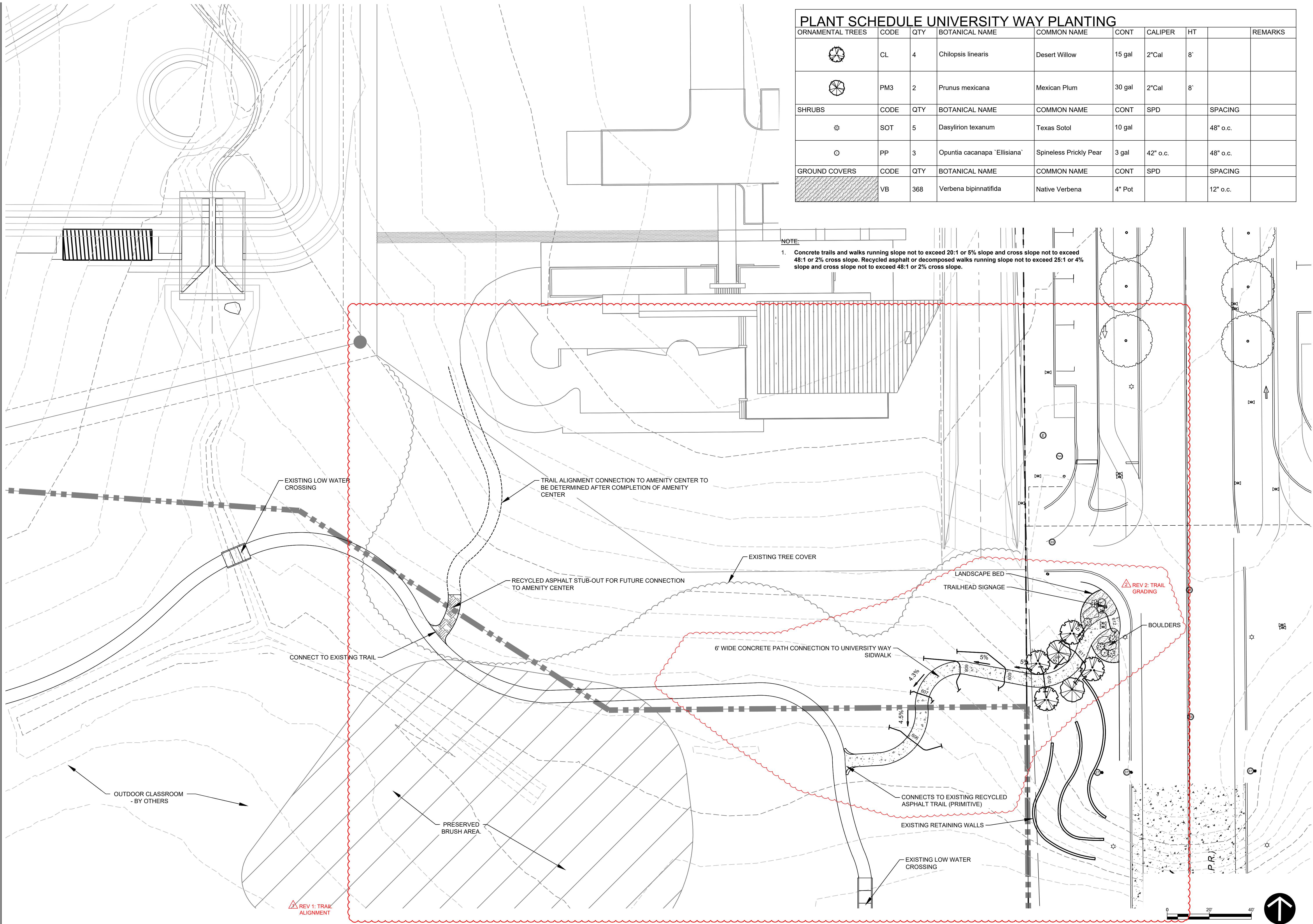
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SAN ANTONIO, TEXAS

PROJECT NO.: 19000624
DATE: 04-13-2022
DRAWN: WG, MD
REVIEWED: WG, AM

REVISIONS	
	6/20/2022 TRAIL
	7/13/2022 PROPOSED GRADES @ TRAIL
	8/28/2022 DEDUCT PLANT MATERIAL

LANDSCAPE
PLAN 10

L2.10



PLANT SCHEDULE UNIVERSITY WAY PLANTING									
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HT		REMARKS
	CL	4	Chilopsis linearis	Desert Willow	15 gal	2"Cal	8'		
	PM3	2	Prunus mexicana	Mexican Plum	30 gal	2"Cal	8'		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		SPACING	
	SOT	5	Dasyllirion texanum	Texas Sotol	10 gal			48" o.c.	
	PP	3	Opuntia cacanapa 'Ellisiana'	Spineless Prickly Pear	3 gal	42" o.c.		48" o.c.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPD		SPACING	
	VB	368	Verbena bipinnatifida	Native Verbena	4" Pot			12" o.c.	

NOTE:
1. Concrete trails and walks running slope not to exceed 20:1 or 5% slope and cross slope not to exceed 48:1 or 2% cross slope. Recycled asphalt or decomposed walks running slope not to exceed 25:1 or 4% slope and cross slope not to exceed 48:1 or 2% cross slope.

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1 LANDSCAPE PLAN 11

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REVISIONS	
	6/20/2022 TRAIL
	7/13/2022 PROPOSED GRADES @ TRAIL

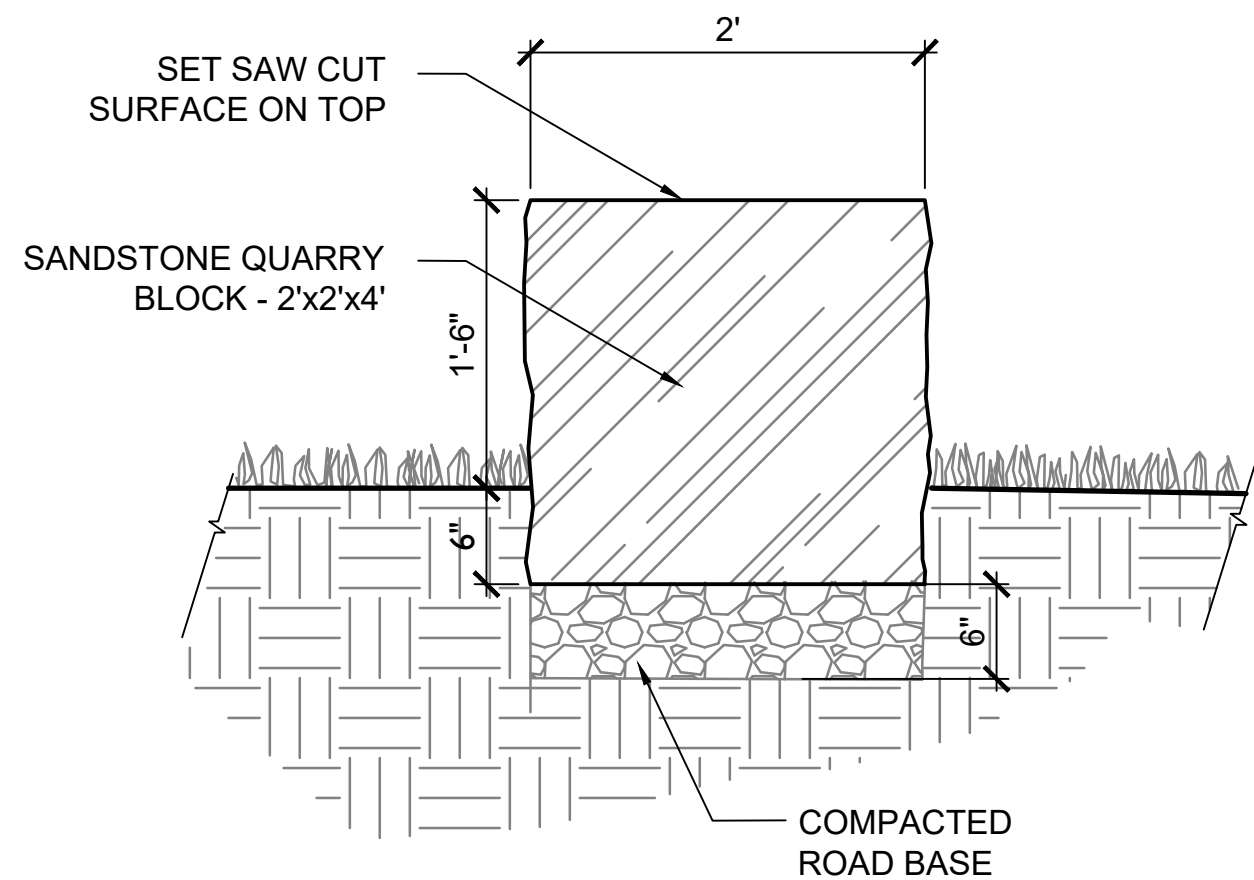
LANDSCAPE
PLAN 11

BID SET

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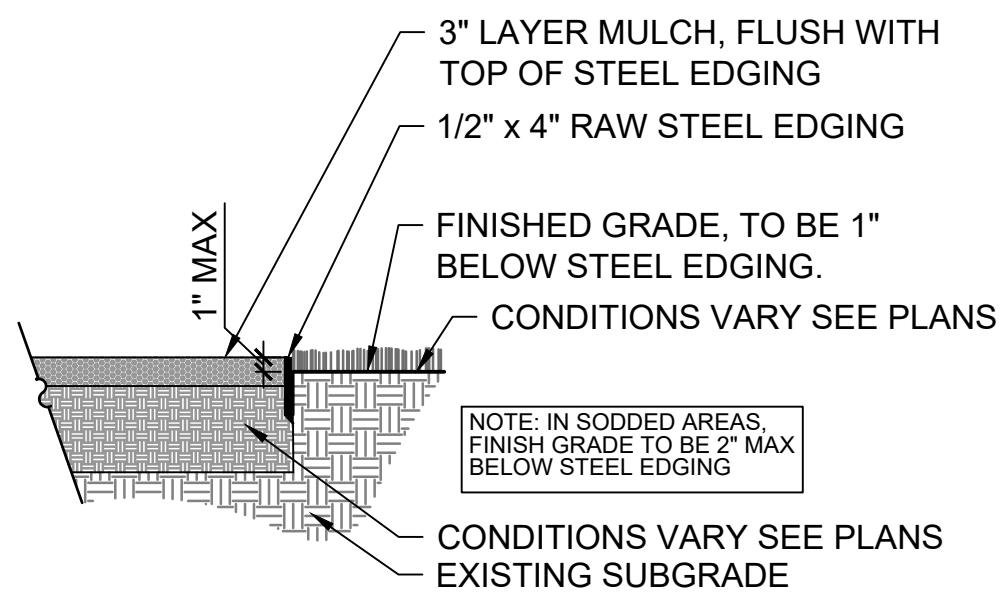
5 QUARRY BLOCK WALL

SCALE: 1" = 1'-0"



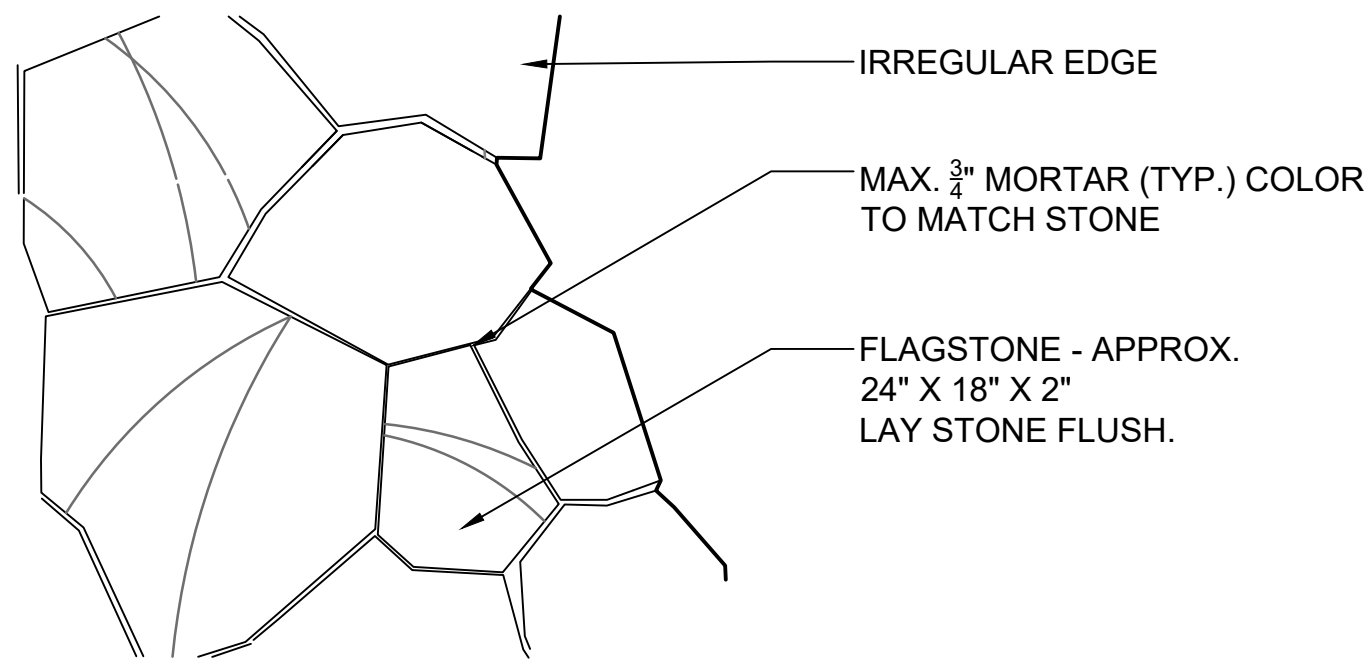
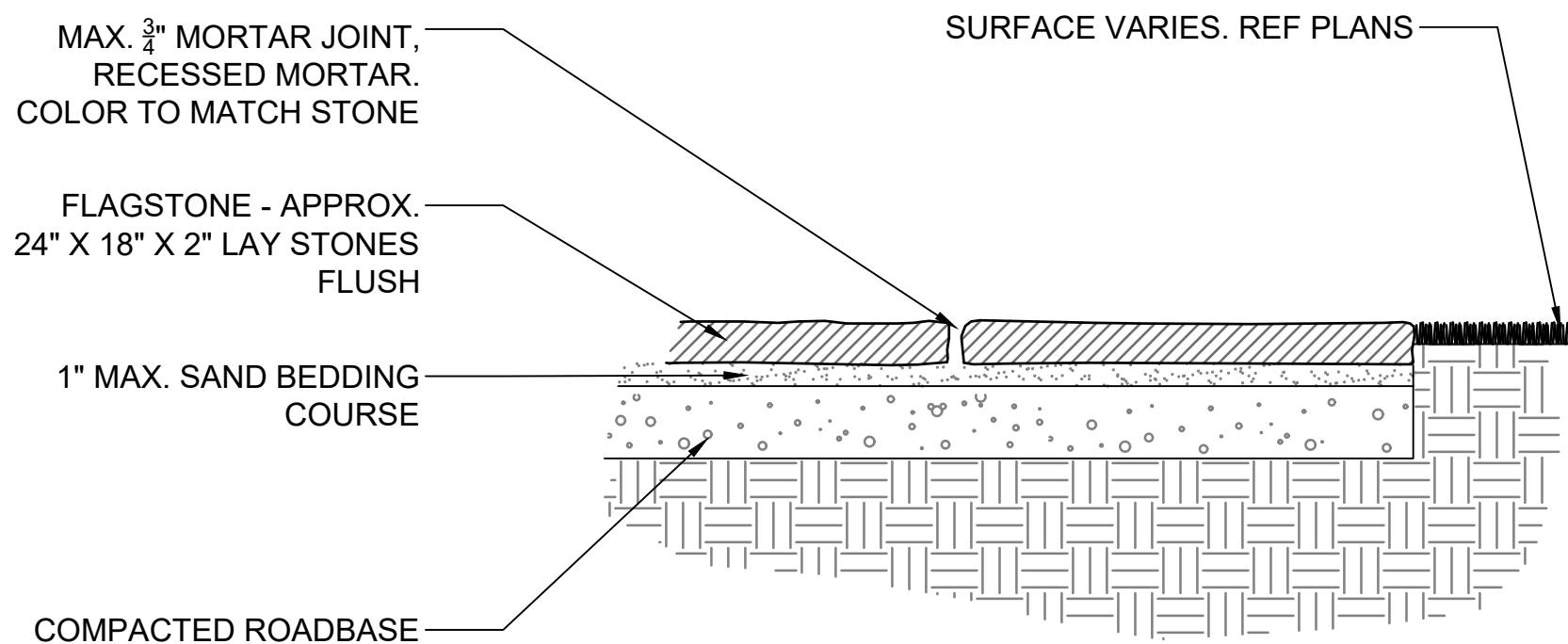
4 STEEL EDGE

SCALE: 1" = 1'-0"



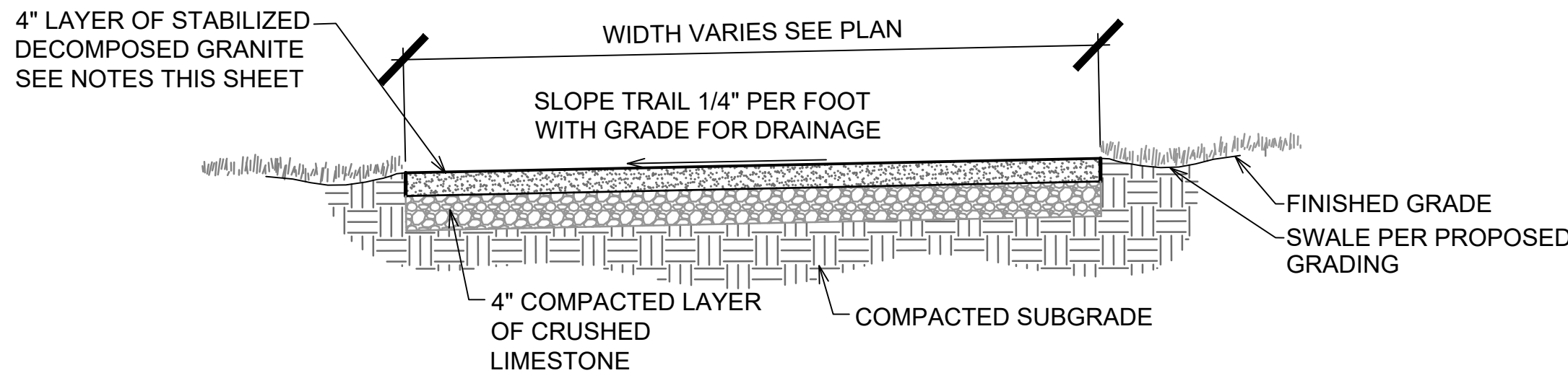
3 FLAGSTONE PAVING

SCALE: 1" = 1'-0"



2 BROOM FINISH CONCRETE

SCALE: 1" = 1'-0"



Materials

- Base material for subgrade preparation shall be crushed limestone aggregate meeting gradations and requirements for roadway construction.
- Granite for surface course shall be naturally decomposed granite from regionally available sources, red to dark pink in color. It shall be composed of a mixture of unwashed, durable particles or fragments of granite containing clay fines to meet the following gradations:

retained by 5/8" sieve	0%
retained by 3/8" sieve	15%-25%
retained by #4 sieve	40%-55%
retained by #10 sieve	20%-35%

Contractor shall specify source and provide actual sample of aggregate for approval prior to commencing installation.
- Perma-zyme: An enzyme formulation which is diluted in water and applied to soil. Perma-zyme penetrates and stabilizes the clay into a very hard material with a lasting bond. Contact Soil Enzymes LLC for product information. Email: info@soilenzyme.com Phone: (855) 369-9631.

Execution

- Prepare a sample finished D.G. surface for approval using all specified materials. Sample section shall be 4' x 8'. Sample may be part of finished D.G. surface area.
- Owner's Representative shall review the layout of the D.G. surface. The Contractor shall provide flags, stakes and personnel to mark the D.G. surface at sufficient intervals to demonstrate finished alignment.
- Contractor shall cut, shape, grade and compact existing subgrade to depth of approximately 7", to accommodate a 4" compacted thickness of a crushed limestone base course and 3" compacted thickness of a decomposed granite surface course, leaving the finished grade of the D.G. flush with the existing adjacent finish grade. The excavated material may be used as fill material. In areas of existing vegetation, the Contractor shall exercise care in using equipment, avoiding damage to adjacent surfaces and vegetation.
- Following preparation of subgrade, place limestone base course material and compact to 4" layer at minimum 95% density. Compact by wetting and rolling with hand-operated power roller, vibratory plate or compactor of type and weight as approved to obtain a dense, smooth uniform texture and surface.
- Soil Solidifier: Perma-zyme shall be incorporated by thoroughly mixing and blending of the correct ratio with decomposed granite material, grading and compacting the decomposed granite material, and applying a surface toughening and sealing spray-on application of diluted Perma-zyme.
- After final grading and compacting, the decomposed granite trail shall be roto-tiled to a depth of 4 inches. Perma-zyme is mixed with water to be applied to the surface, in the ratio of 1 gallon of Perma-zyme to 500 gallons of water and the mixture is applied to the surface through a pressurized spreader bar bringing it to optimum moisture level as usual. With top loading water tanks, fill with water first then add Perma-zyme. Mix the soil and continue adding Perma-zyme until required amount is distributed evenly throughout the material.
- Compaction: start compaction immediately being sure that the moisture content is not less than 2% below optimum at the time of compaction. Continue compacting while shaping and dressing the surface with a blade, being sure to smooth and grade the surface to promote drainage.
- Upon completing the decomposed granite Compaction process, a spray-on application of 500 to 1 diluted Perma-zyme shall be applied at the Minimum Spread Rate of 0.20 gallon per square yard and allowed to thoroughly dry. Drying times vary due to evaporation and weather but generally takes 72 hours.
- Inspection: Finish surface of the D.G. shall be smooth, uniform and solid. Final thickness of completed D.G. shall not vary more than 1/2 inch from indicated. Make measurements by means of test holes at random in finished walk surface. Correct any variations in the thickness beyond the allowable 1/2 inch by adding material, shaping and compacting. All work shall be acceptable to the Landscape Architect.
- Cleanup: Perform cleanup on a daily basis during installation of work to keep work areas and stockpile tidy. Upon completion of the work, remove from site all debris and equipment.

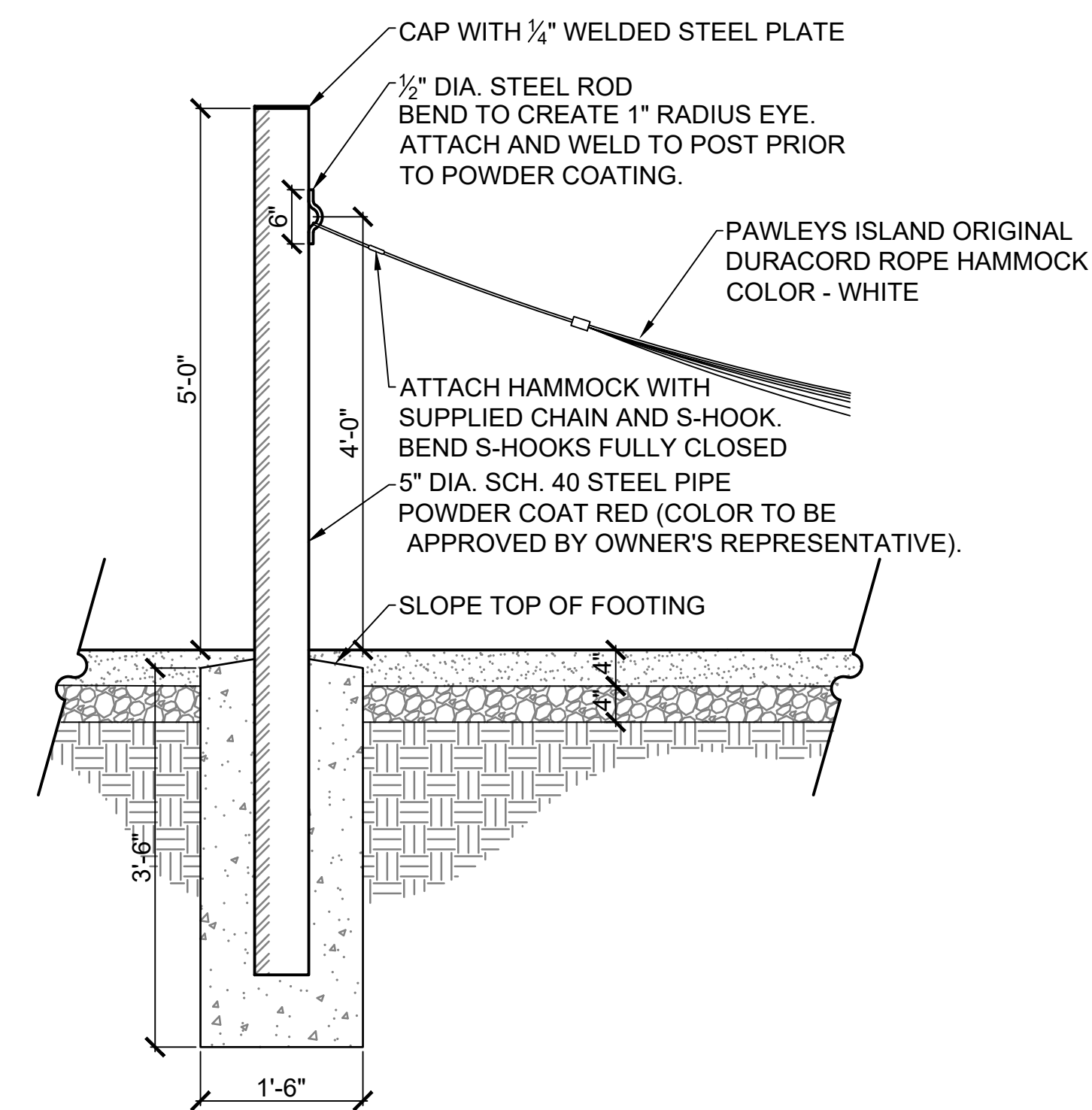
Warranty

Warrant the D.G. surface to be free of defects for a period of one year. Backfill and repair areas which sink due to insufficient compaction.

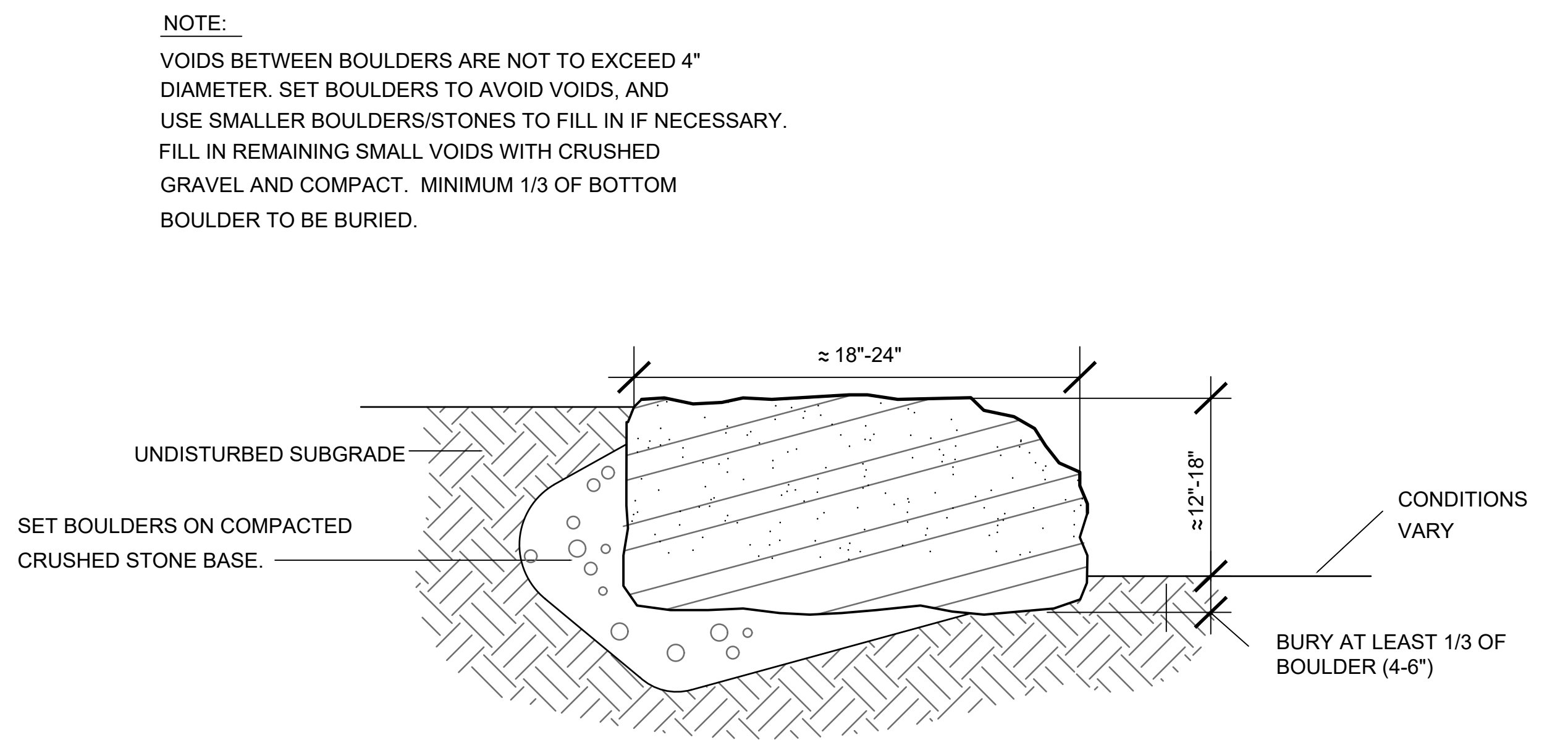
1 DECOMPOSED GRANITE

SCALE: 1" = 1'-0"

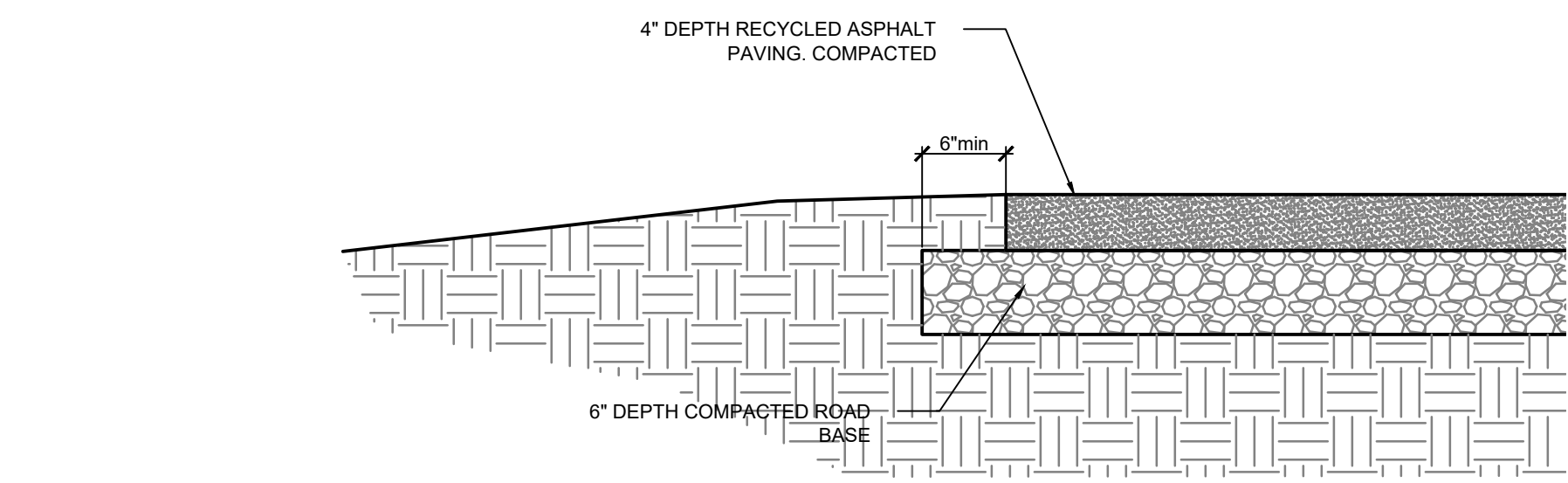
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3 Hammock Post SCALE: 3/4" = 1'-0"



2 BOULDER WALL SCALE: 1 1/2" = 1'-0"



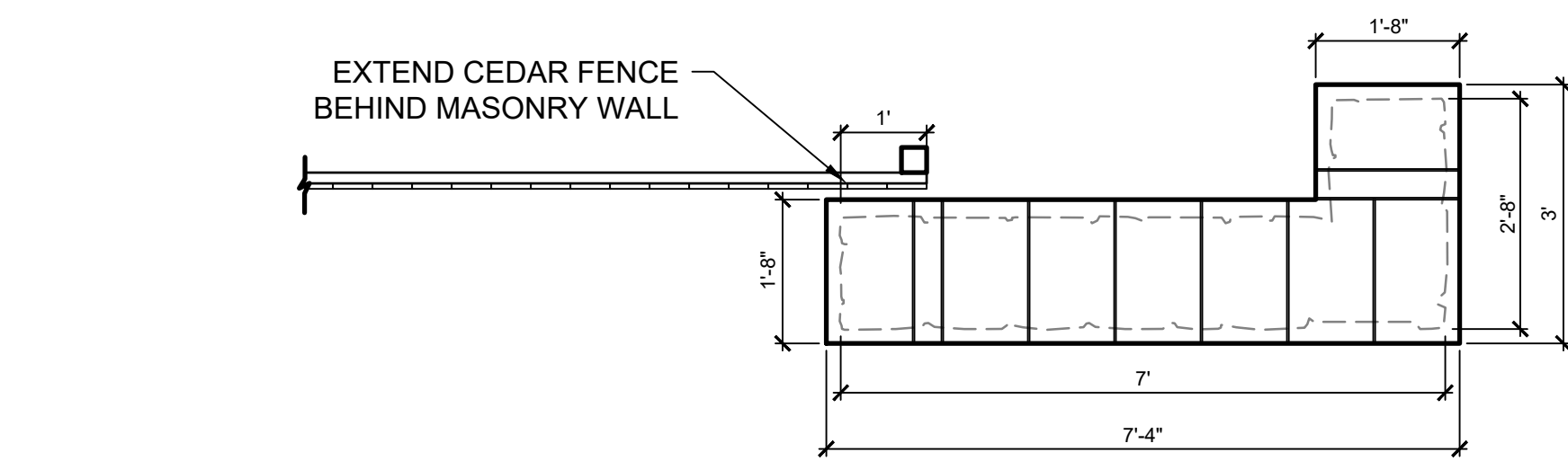
1 Asphalt Paving SCALE: 1" = 1'-0"

BID SET

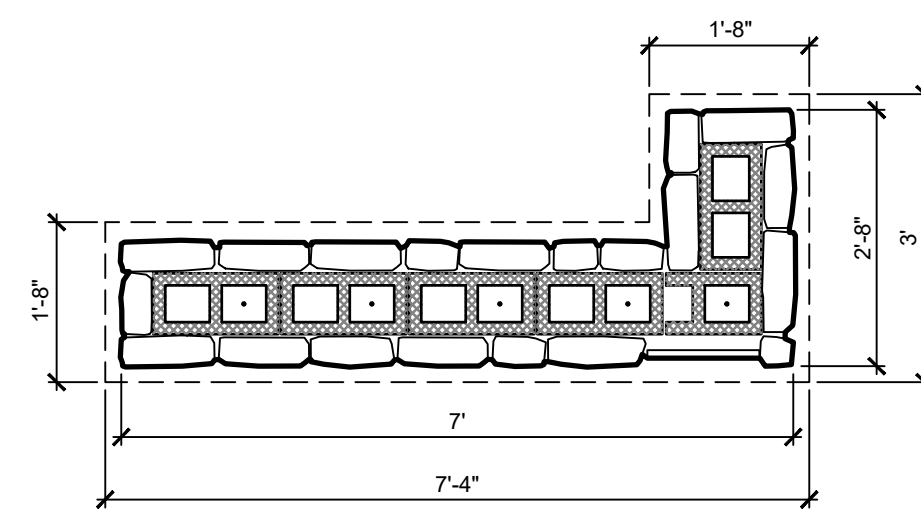
VIDA
PHASE 1 LANDSCAPE IMPROVEMENTS
SAN ANTONIO, TEXAS

PROJECT NO.:	19000624
DATE:	04-13-2022
DRAWN:	WG, MD
REVIEWED:	WG, AM
REVISIONS	
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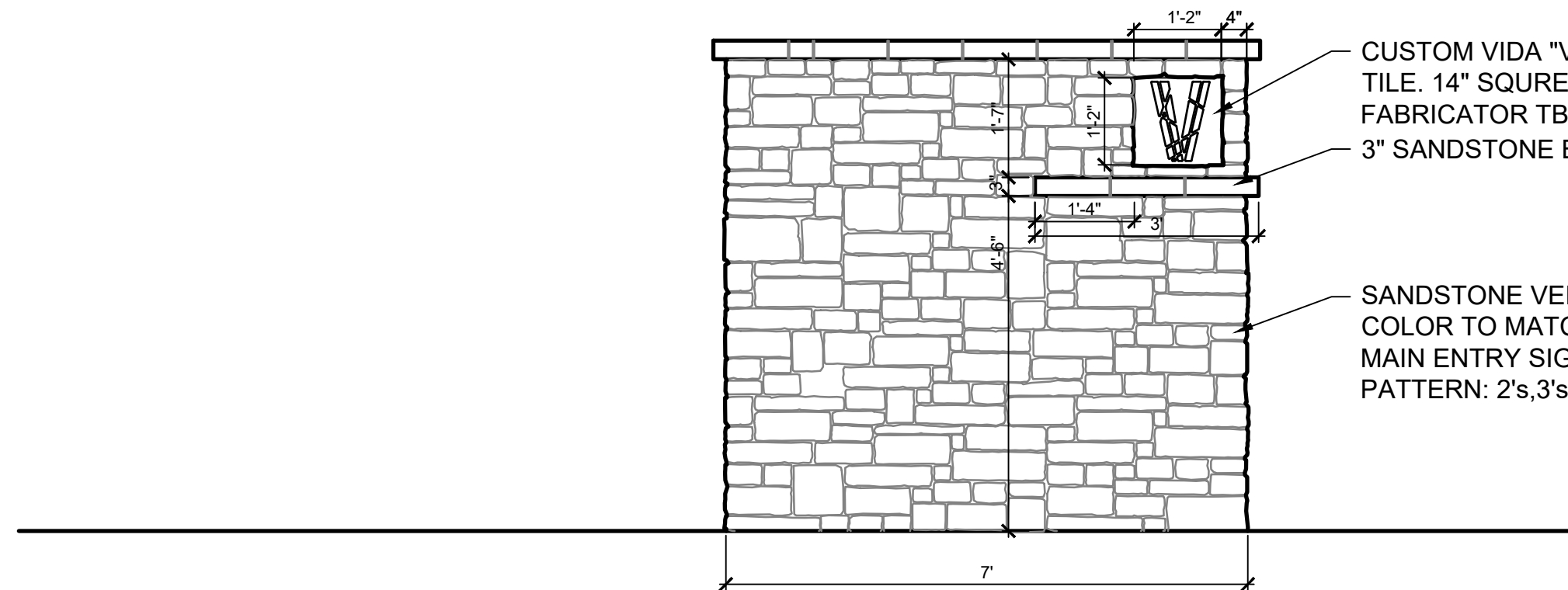
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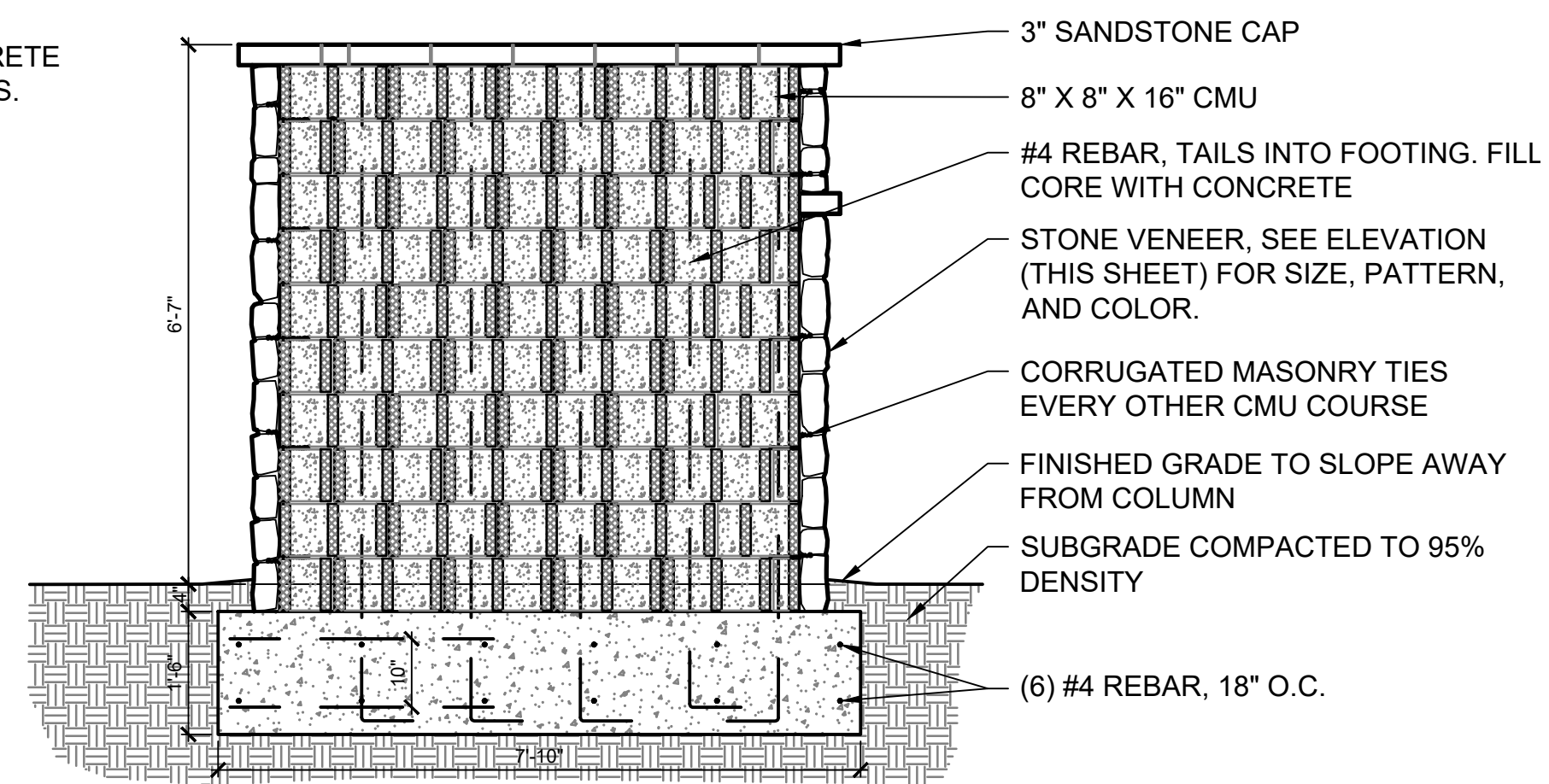
CORNER DETAIL PLAN



CORNER DETAIL PLAN



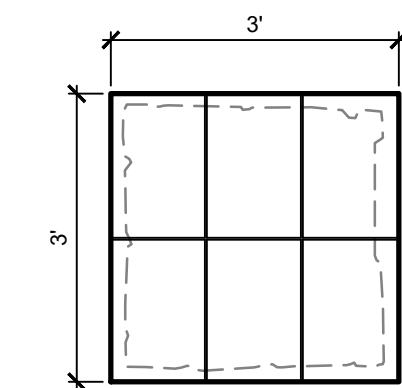
CORNER DETAIL ELEVATION



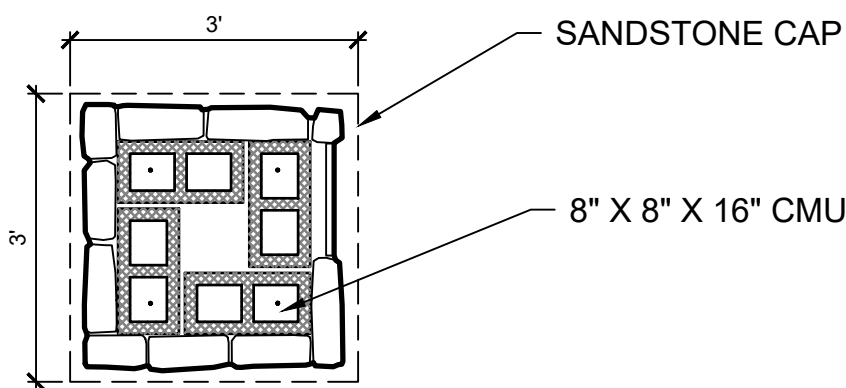
COLUMN SECTION

2 Masonry Corner

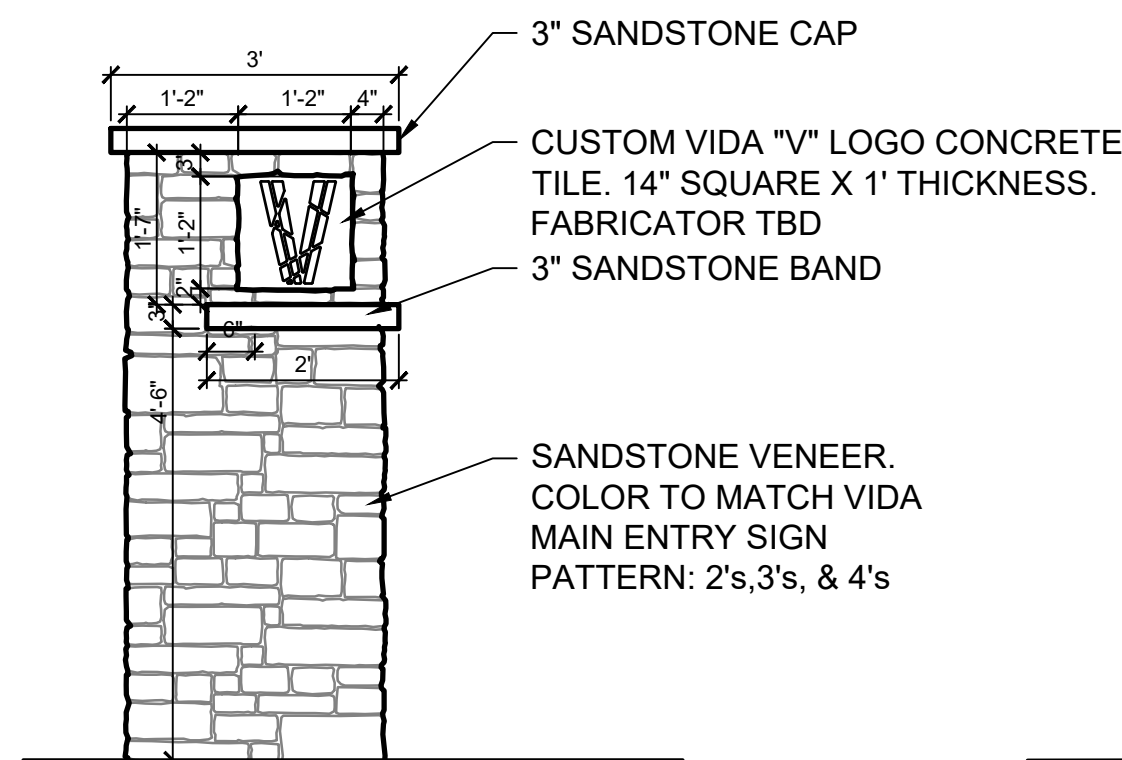
SCALE: 1/2" = 1'-0"



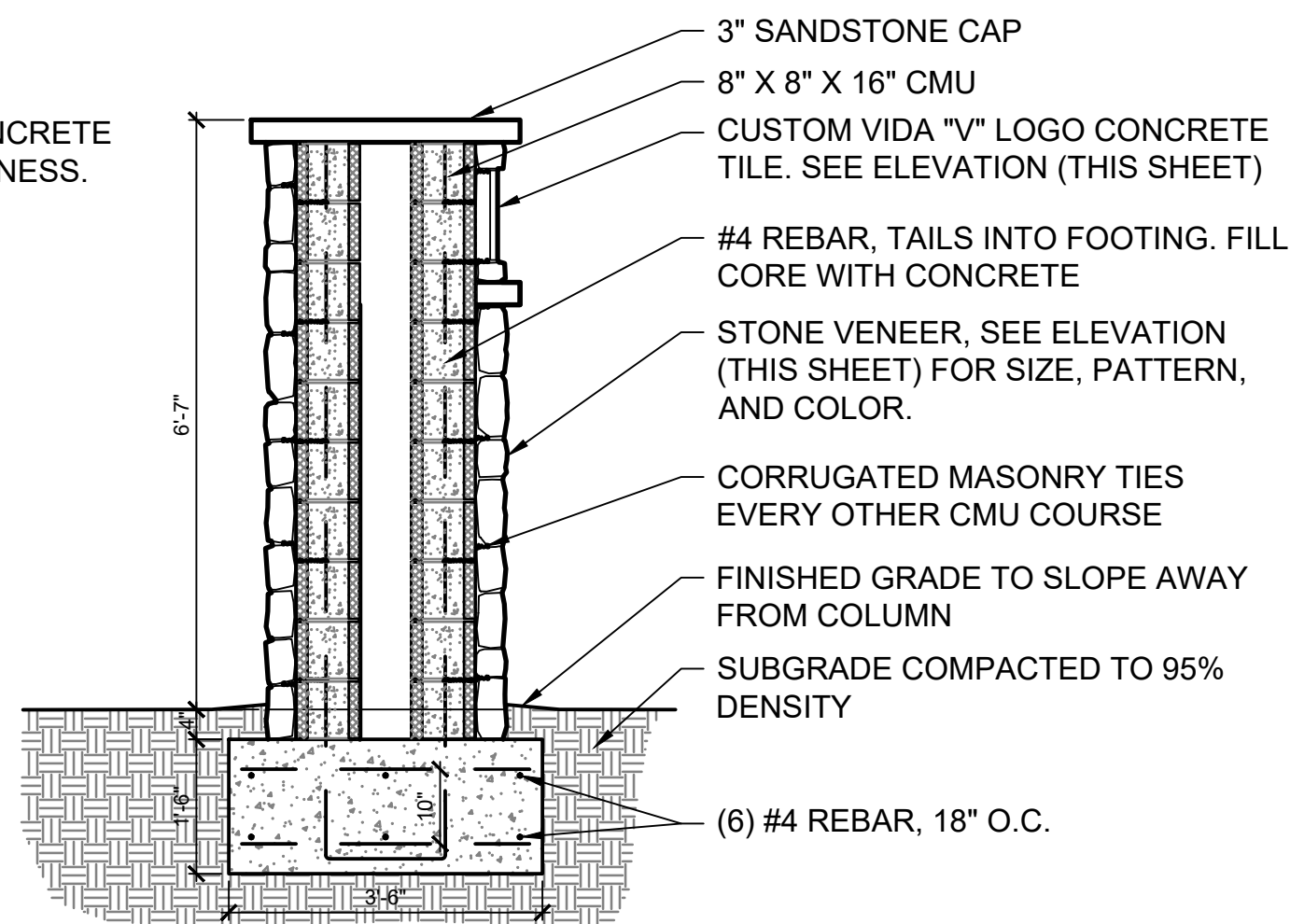
PLAN VIEW



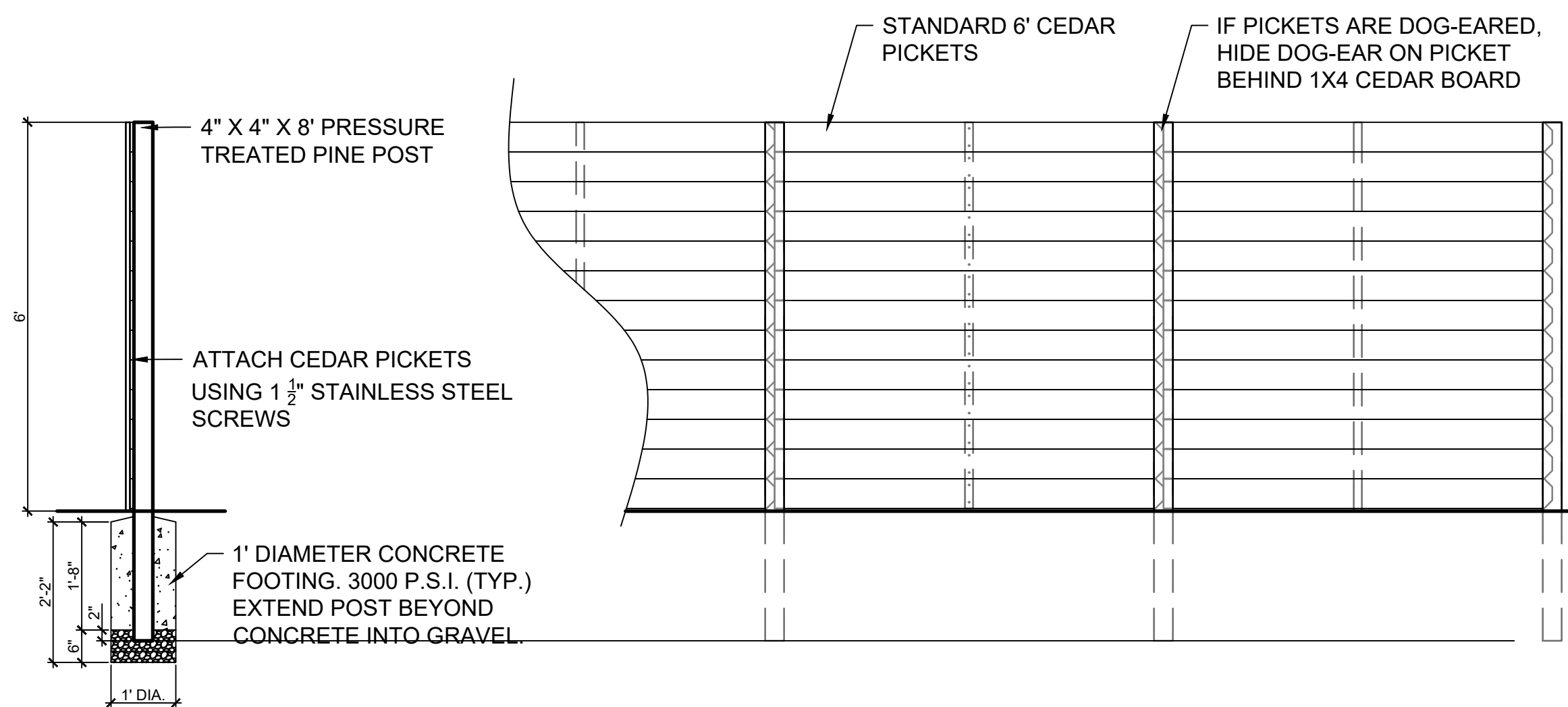
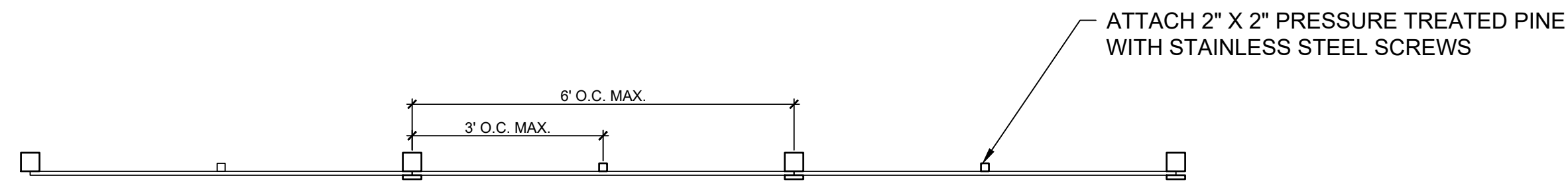
PLAN VIEW



COLUMN ELEVATION



COLUMN SECTION



3 Masonry Column

SCALE: 1/2" = 1'-0"

1 Cedar Privacy Fence

SCALE: 1/2" = 1'-0"

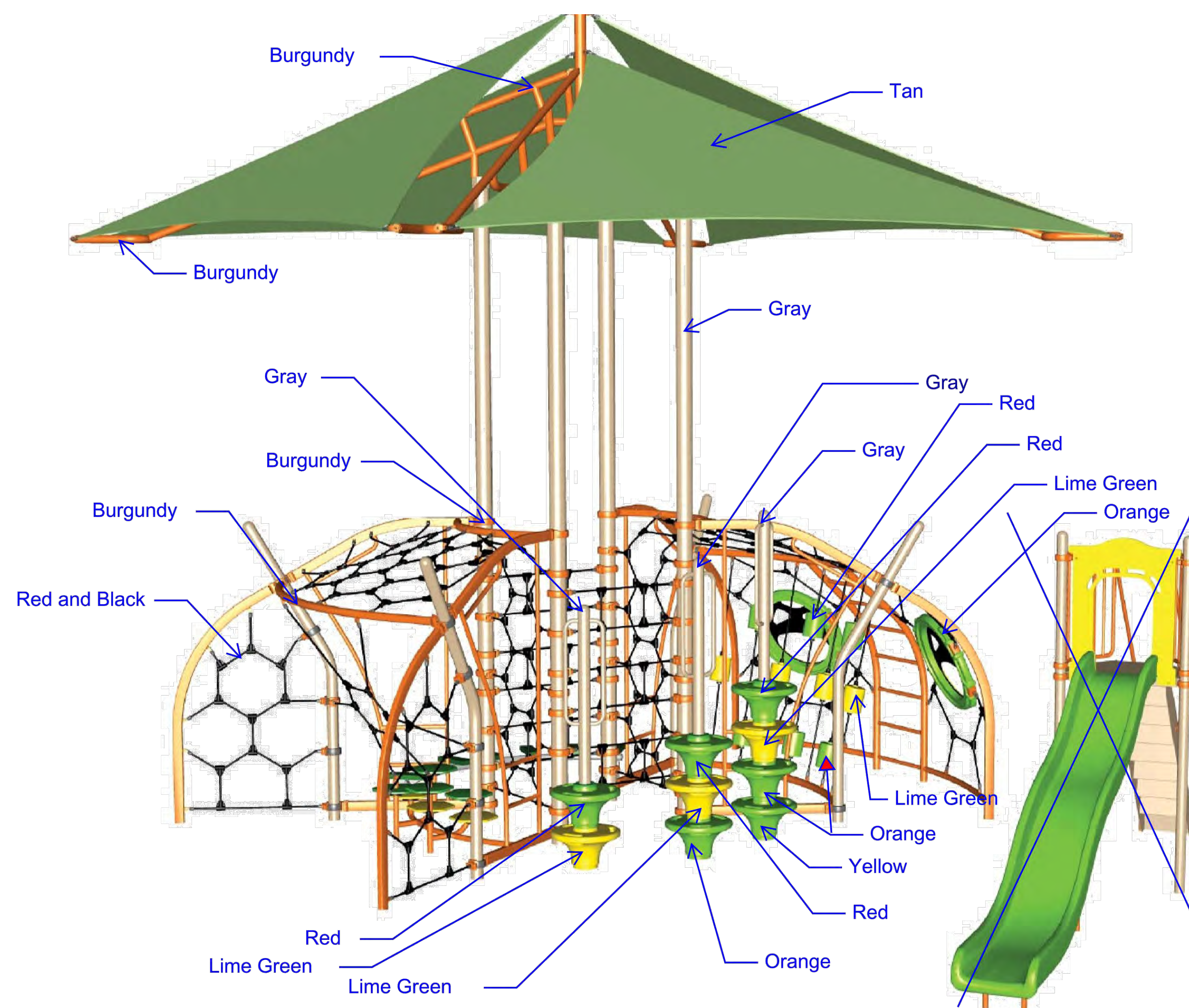
VIDA
 PHASE 1 LANDSCAPE IMPROVEMENTS
 SAN ANTONIO, TEXAS

PROJECT NO: 19000624
 DATE: 04-13-2022
 DRAWN: WG, MD
 REVIEWED: WG, AM

REVISIONS	
1	6/16/2022
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PLAYSCAPE
 DETAILS 1

L3.3



1 R5- CUSTOM PLAY SYSTEM -PLAYCRAFT -NF52ABOFA, BY PLAYWELL



3 MUSICAL FLOWER-FWR T-1G BY PLAYWELL



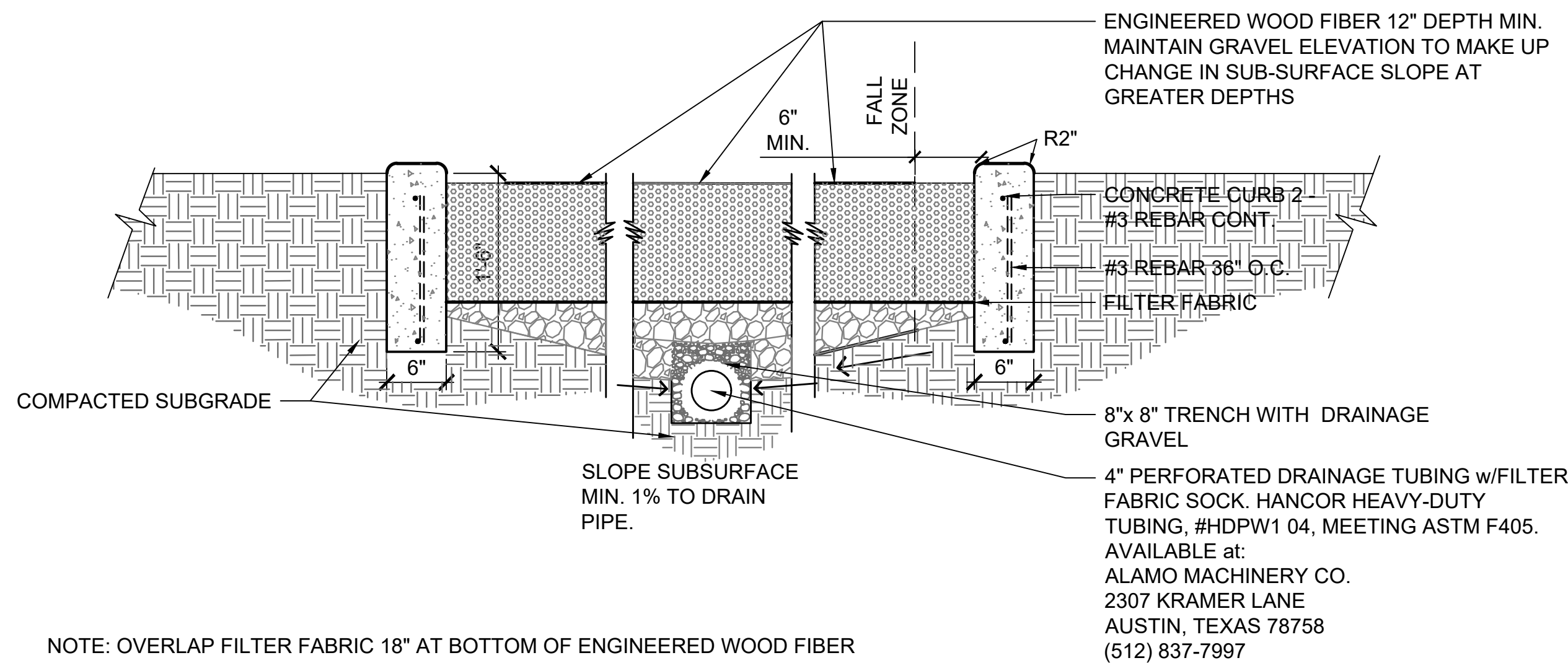
2 MUSICAL BUTTERFLIES BFLY1-1G BY PLAYWELL

L:\2019\19000624\versiono - san antonio, tx\CD\SHEETS\L3.4\Playscape Details 2.dwg 6/16/2022 audrey willis



04/13/2022
BID SET

VIDA
PHASE 1 LANDSCAPE IMPROVEMENTS
SAN ANTONIO, TEXAS



NOTE: OVERLAP FILTER FABRIC 18" AT BOTTOM OF ENGINEERED WOOD FIBER

1

PLAYSCAPE CURB AND ENGINEERED MULCH

SCALE: 1" = 1'-0"

PROJECT NO : 19000624
DATE : 04-13-2022
DRAWN: WG, MD
REVIEWED: WG, AM

REVISIONS	
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PLAYSCAPE
DETAILS 2

L3.4

SHEET 18 OF 20

BID SET

LANDSCAPE PLANTING NOTES

PLANTING NOTES

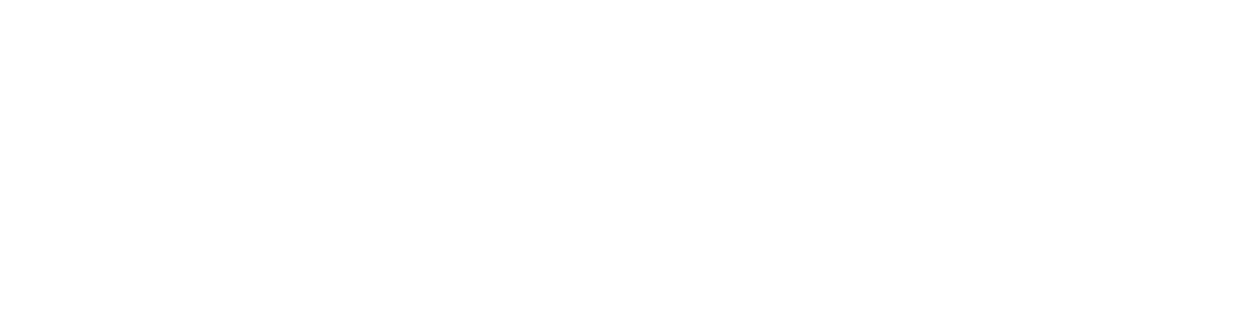
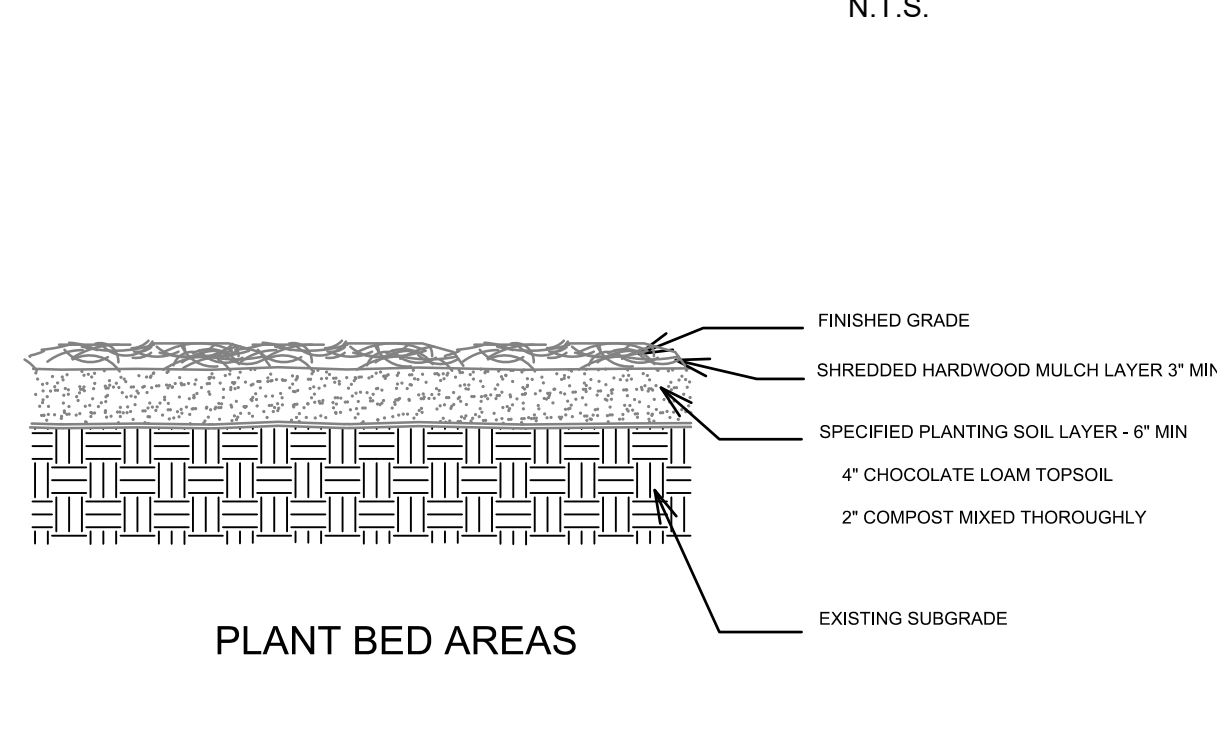
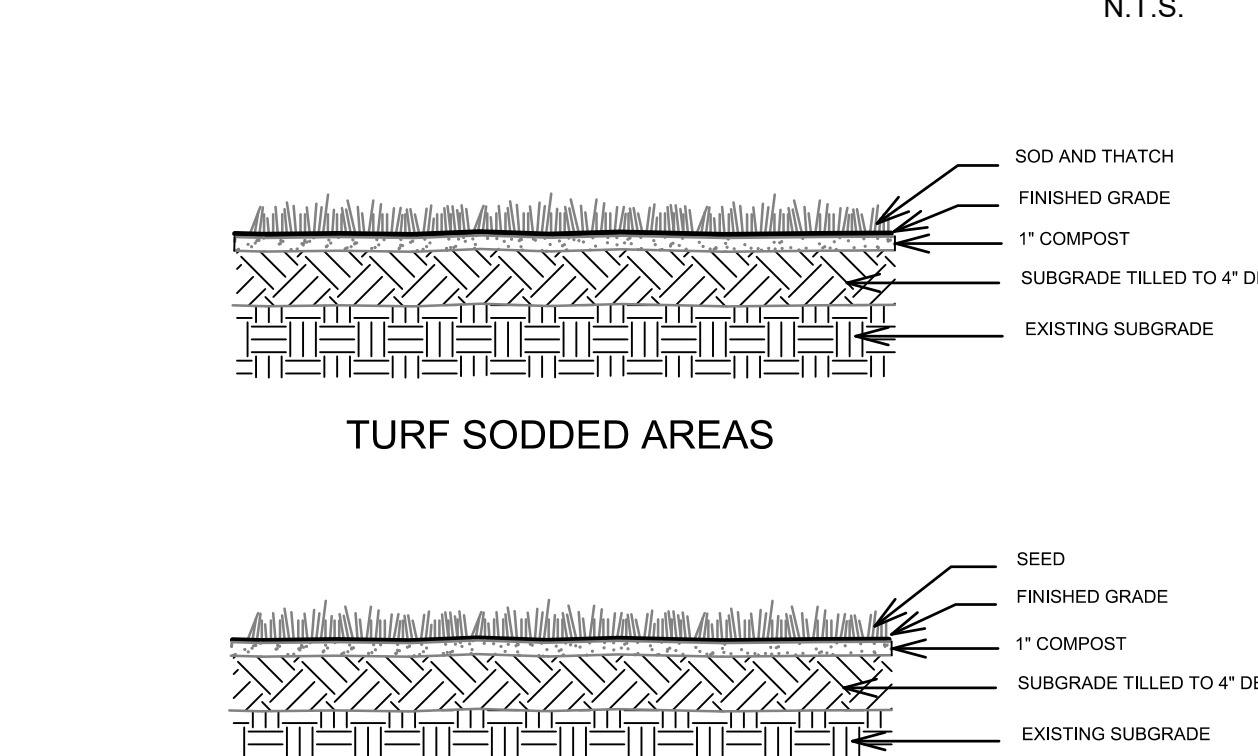
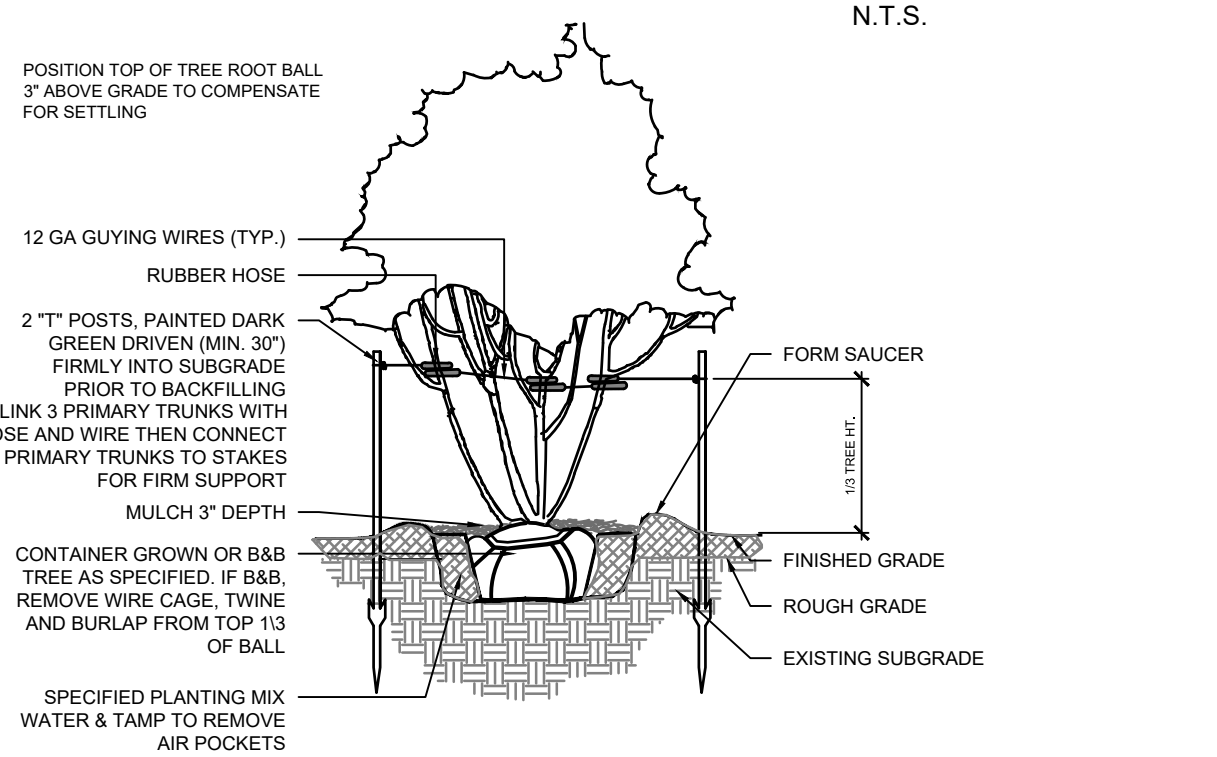
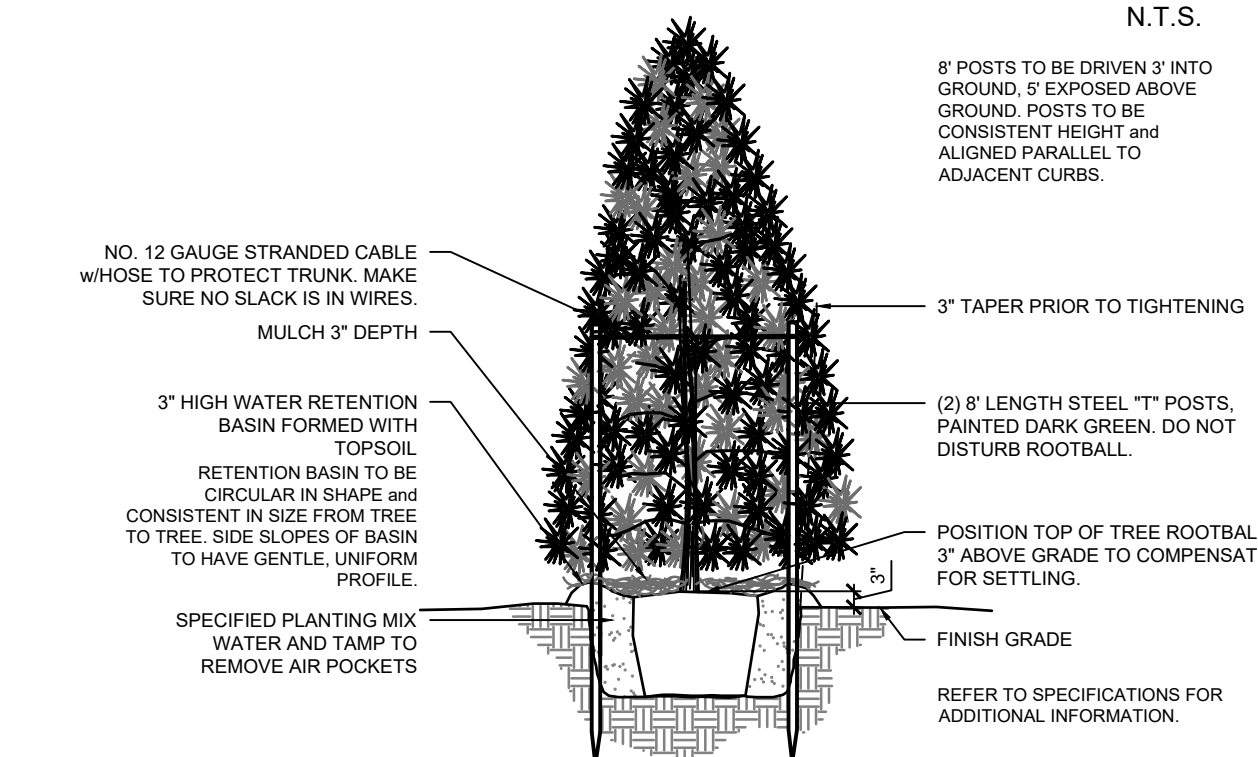
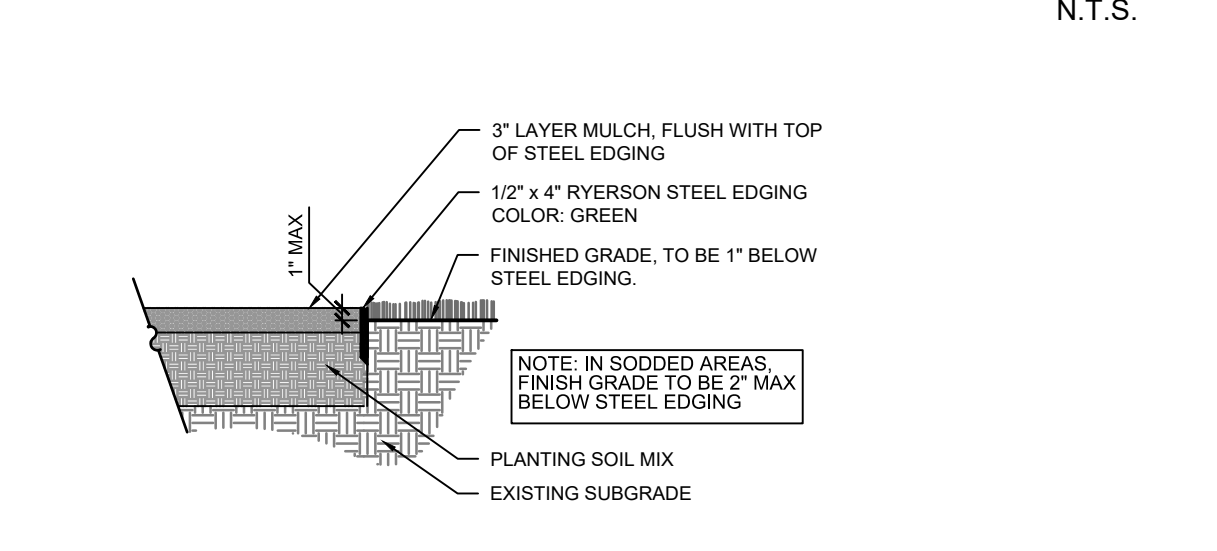
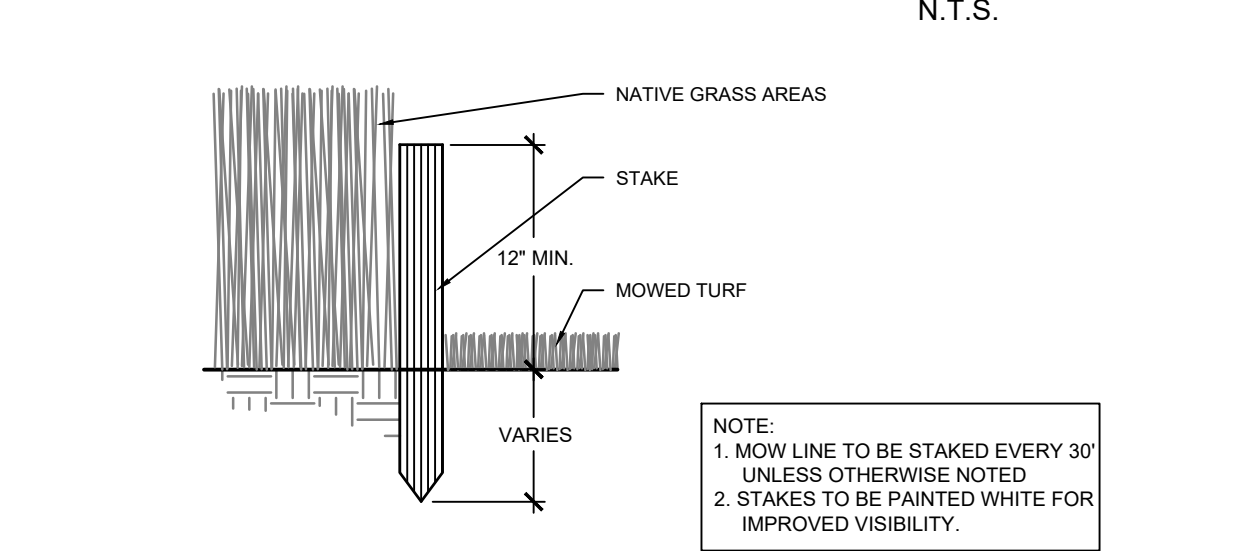
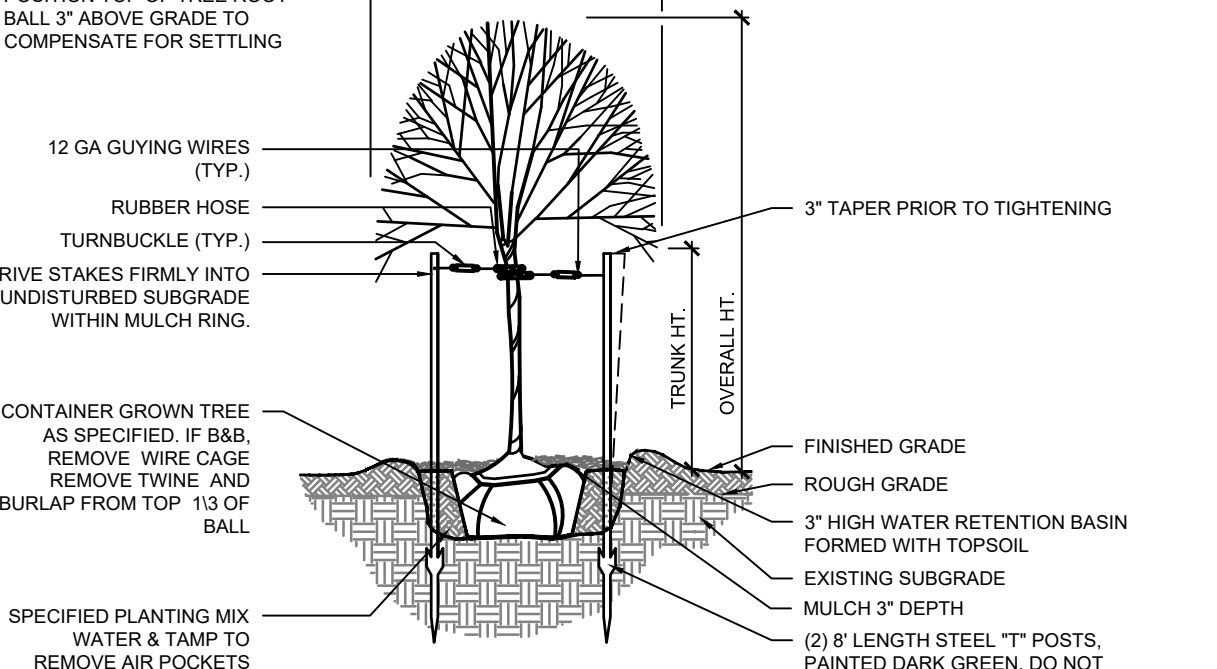
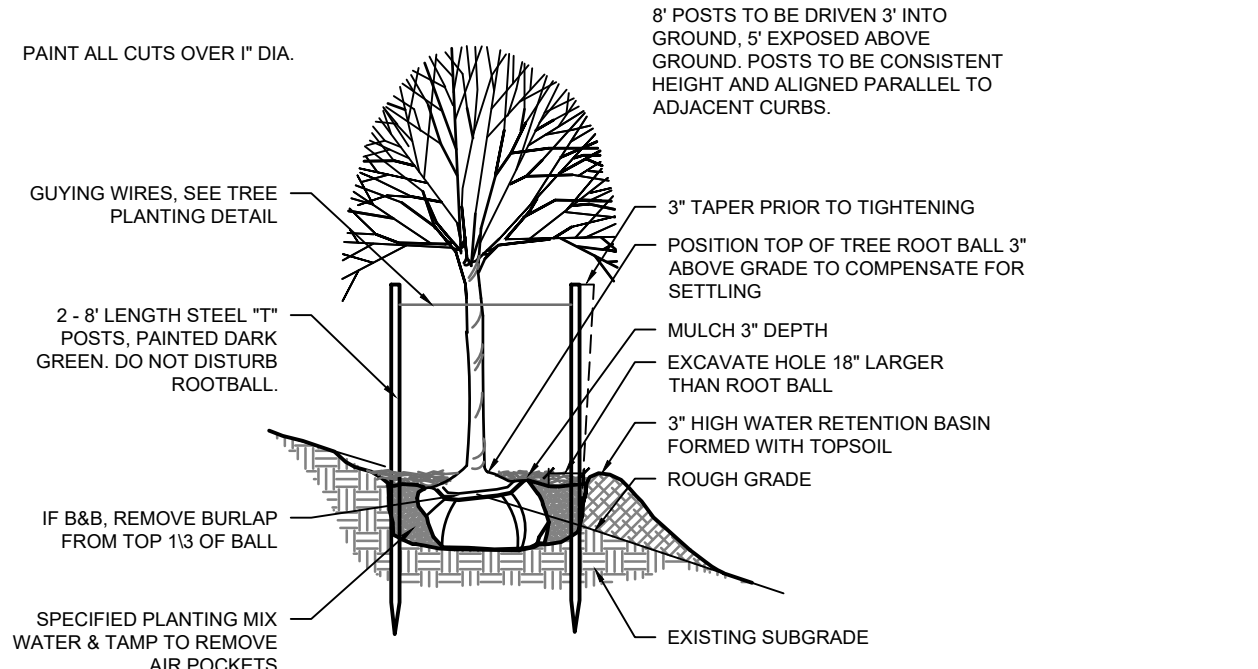
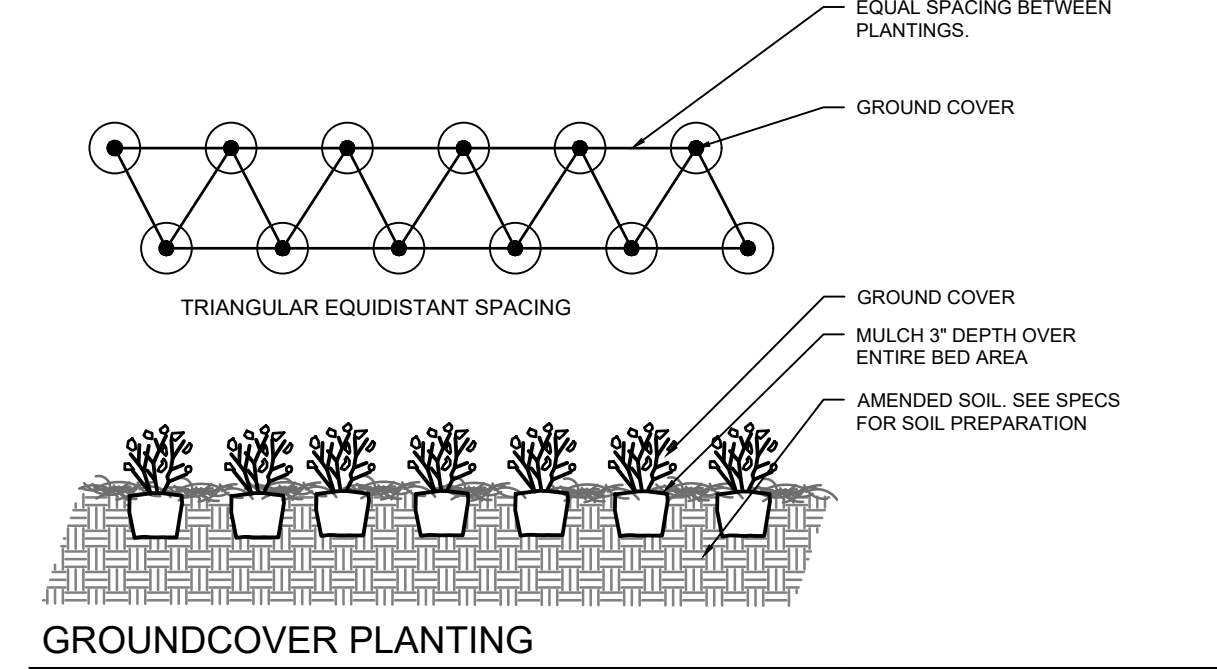
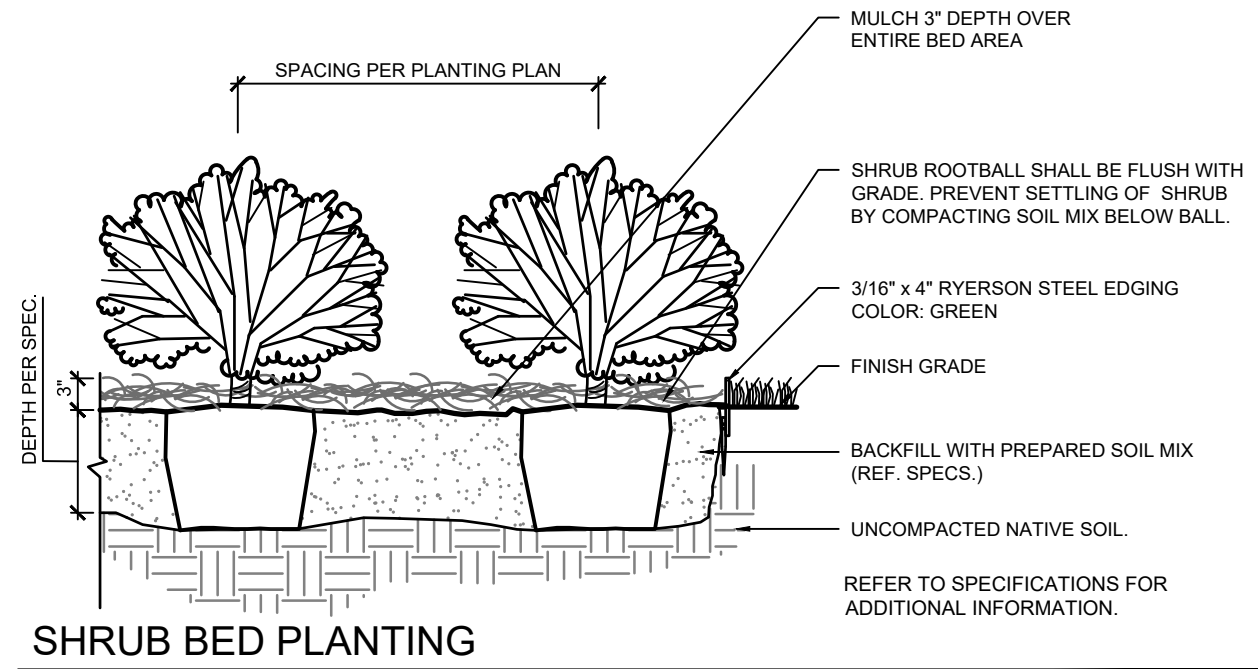
- Contractor shall be responsible for becoming aware of all related existing conditions, utilities, pipes and structures, etc. prior to bidding and construction. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines, including depths, prior to any excavation. The Contractor shall notify the Owner's Representative of apparent conflicts with construction and utilities so that adjustments can be planned prior to installation. Contractor shall take sole responsibility for any and all cost or other liabilities incurred due to damage of said utilities/structures/etc.
- The Contractor shall not willfully proceed with construction as designed when it is apparent that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for clarification. The Contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
- Contractor shall be responsible for coordination with subcontractors and other contractors of related trades as required to accomplish the planting and related operations.
- The acceptable tolerances for this project are minimal and specific layout is required as shown on the layout, planting and other plans. Final location and staking of all plant materials shall be accepted by the Owner's Representative in advance of plantings.
- Coordinate installation of all plant material with installation of all adjacent irrigation, pavements, curb and related structures. Any damage to existing improvements is the responsibility of the Contractor.
- Contractor shall notify Owner's Representative 48 hours prior to commencement of work to coordinate project inspection schedules.
- The Contractor shall take all necessary scheduling and other precautions to avoid climatic damage to plants. A "planting" of specific calendar days is required to be submitted by the Contractor for approval and planting operations should occur per this approved schedule.
- If conflicts arise between size of areas and plans, Contractor is required to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
- Plant names are abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/common names, sizes, estimated quantities (if given) and other remarks.
- It is the Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Contractor and certified pest and disease free. It is the Contractor's obligation to maintain and warranty all plant materials per the specifications. All plants shall be subject to Owner's approval prior to installation.
- Where provided, area takeoffs and plant quantity estimates in plant list are for information only. Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans. In case of any discrepancies, plans take precedence over call-outs and/or the plant list(s).
- Contractor shall provide "per-unit costs" for every size of plant material, and by type, as called out on Planting Plans in the Bid Proposal. Unit cost to include the plant material itself and installation, including all labor, amendments, fertilizers, warranty, etc., as detailed and specified for each size, "complete in place".
- The Contractor is responsible to restore all areas of the site, or adjacent areas, where disturbed by operations of or related to the Contractor's work. Sod areas disturbed shall be restored with new sod. Native areas disturbed, if not already improved to meet other requirements of this contract, shall be restored consistent with type, rates and species of existing condition.
- All plants shall be nursery grown, Grade 1 plants meeting American Nursery and Landscape Association (ANLA) standards set forth in the "American Standard for Nursery Stock" (ANSI Z60.1-2004). Plants are to be typical in shape and size for species. Plants shall not be root-bound or loose in their containers. Handle all plants with care in transporting, planting and maintenance until inspection and final acceptance. Plants shall be installed to present their best side facing the viewer.
- Warranty: Provide a one-year replacement warranty for all plant materials. Warranty shall cover plants which have died or partially died (thereby ruining their natural shape), but shall not include damage by vandalism, browsing, hail, abnormal freezes, drought or negligence by the Owner. The Warranty is intended to cover Contractor negligence, infestations, disease and damage or shock to plants. Plants replaced under Warranty will be warranted for one year following replacement.

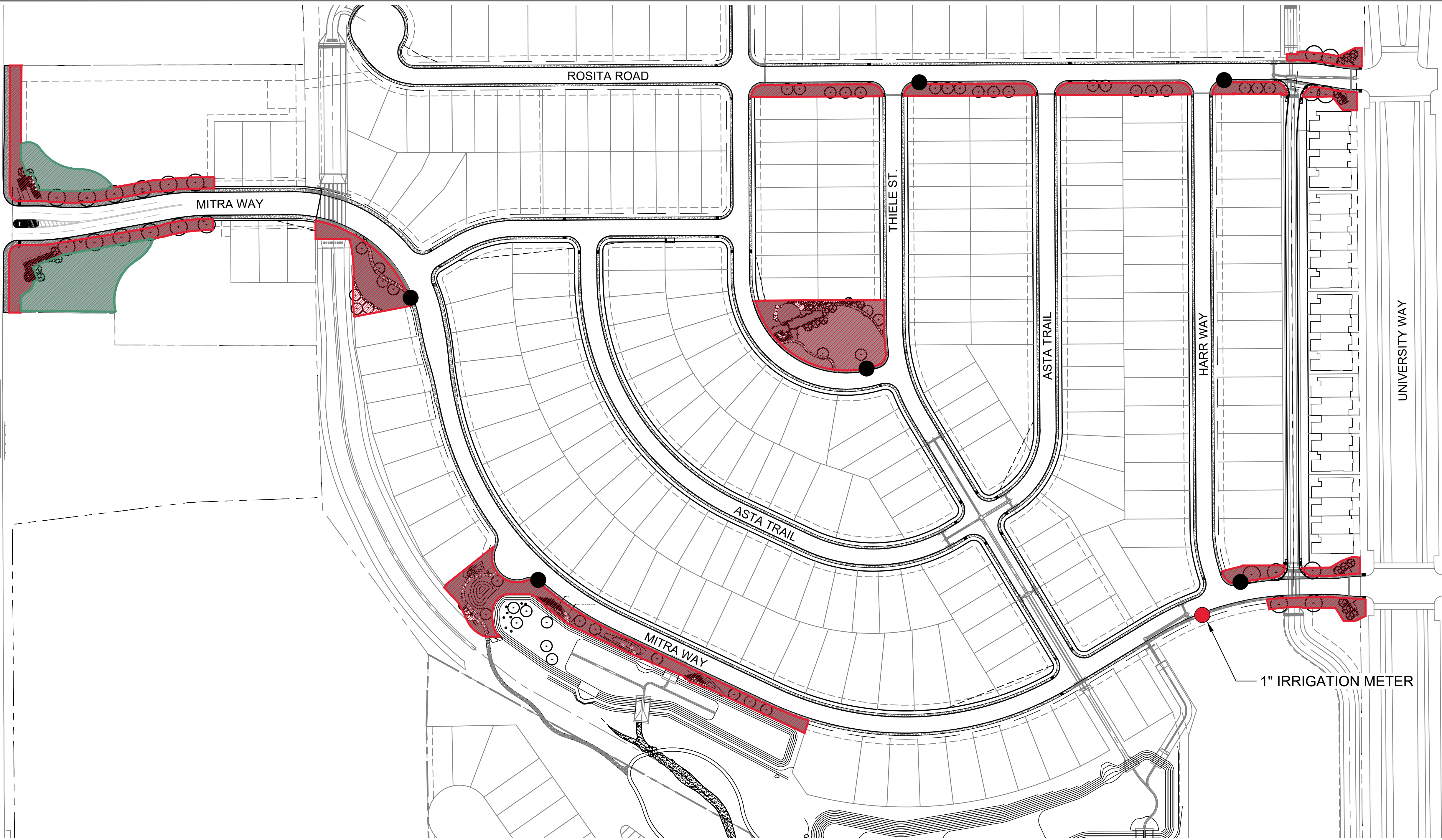
PLANTING GRADING AND PREPARATION NOTES

- The Landscape Contractor shall be responsible for finished grading of the project. The Landscape Contractor and Owner's Representative shall review the extent of grading prior to commencing work.
- The Contractor shall fine grade, rake and be responsible for positive drainage away from all structures and throughout site, with accurately set flow lines. No low spots or ponding of surface water will be accepted in the final work. No rocks or debris will be accepted. Final grade tolerances are +/-0.1 foot maximum.
- Prior to preparing Turf Sod, Turf Seed and Plant Bed areas, eradicate all weeds, briars and vines with post-emergent herbicide applied by licensed personnel following manufacturers recommendations and taking all necessary precautions. After weed eradication and removal and the specified waiting period apply 10 lb of MicroLife Hummates Plus per 1,000 sq ft to restore soil health.
- Turf Sod and Turf Seed areas shall be raked smooth, removing and disposing of stones over 1" diameter and fine graded to feather into natural grade.
- The Contractor shall excavate Plant Beds as required to accommodate a full 6" of prepared soil and 3" mulch layer. Clean, native topsoil removed from these beds may be spread on nearby areas to be Sodded or Seeded. Stones larger than 2" diameter shall be removed and disposed of off site. Following excavation, place prepared soil in plant beds. Prepared soil shall consist of two parts imported "chocolate" loam topsoil and one part "Back to Earth" composted cotton burs or approved equal, thoroughly blended together. This mix shall also be used to backfill planting pits of all pit-planted shrubs and trees. In Bid Proposal furnish a unit price per cubic yard of Prepared Soil placed. This unit price will be used in the adjustment of bed areas.
- The Contractor shall install 1" of compost in all sodded areas.
- The Contractor shall install 1" of compost in all seeded areas.

PLANTING LAYOUT AND INSTALLATION NOTES

- The Contractor shall be responsible for accurately laying out the plant beds and lawn areas by scaling the Drawings. The Contractor shall provide paint lines/stakes/hose or other means to fully indicate the specific layout geometry of all bed lines for approval by Owner's Representative prior to installation. The Contractor's Base Bid shall anticipate minor adjustments as directed by the Owner's Representative in the field. Changes affecting quantities will be covered by unit prices.
- Following the approval of layout, the Contractor shall closely coordinate the installation of the irrigation system to conform to the approved layout.
- Install edging between all plant beds and seed/sod areas following manufacturer's installation instructions. Maintain an accurate layout with smooth curves and transitions, free of kinks and abrupt bends. Top of edging is to be 1" above soil level of adjacent turf. In Bid Proposal furnish a unit price per linear foot of edging installed.
- Provide matching sizes and forms for all species of trees and plants installed on grid or spaced equally in rows as shown on drawings. Adjust spacing (to "equal-equal") as necessary, subject to acceptance by the Owner's Representative.
- Unless otherwise indicated:
 - All groupings of groundcovers, perennials, ornamental grasses and annuals shall be triangularly spaced (equal-equal).
 - All planting areas including sod, seed and planting beds, shall receive soil amendments per the notes and specifications.
 - Sodded lawn shall have been grown between 9 and 18 months and shall be vigorous, well-rooted and healthy turf. Minimum thatch thickness shall be ¾".
 - Specific plant bed areas may be called out to receive weed barrier fabric, see plans and details.
- All Plant Beds and pit planted plants shall receive a 3" depth layer of organic shredded hardwood mulch. Refer to plans, details and specifications for location and type of any alternate mulch used. 3" depth layer of organic shredded hardwood mulch to be placed under existing groups of trees. Gravel mulch, not wood mulch, is to be placed around parking lot. In Bid Proposal furnish a unit price(s) per cubic yard of mulch(es) placed. This unit price(s) will be used in the adjustment of bed areas.
- Planting pits for 1 and 5 gallon shrubs shall be at least 8" larger in diameter than the container size. Larger container sizes and B&B plants shall be planted in pits at least 18" larger in diameter than the ball size.
- Plants shall be installed to present their best side facing the viewer.
- Owner's Representative shall have final approval of plant material layout.





- LEGEND**
- PERMANENT IRRIGATION**
SPRAY IRRIGATION (+/- 108,810 SF, REFER TO LANDSCAPE PLANS)
- TEMPORARY IRRIGATION**
CONTRACTOR TO HAND WATER TO ESTABLISHMENT SEE NOTES
(+/- 24,797, REFER TO LANDSCAPE PLANS)
- TREE IRRIGATION**
SHADE TREES - 2 BUBBLER HEADS EACH (TREE COUNT - 66)
ORNAMENTAL TREES - 1 BUBBLER HEAD EACH (TREE COUNT - 36)
- IRRIGATION METER**

Rvi

1611 West 5th Street
Suite 175
Austin, Texas 78703
Tel: 512.480.0032
www.rvplanning.com



04/13/2022
BID SET



VIDA
PHASE 1 LANDSCAPE IMPROVEMENTS
SAN ANTONIO, TEXAS

IRRIGATION NOTES

1. **CONTRACTOR TO PROVIDE AN "IRRIGATION SYSTEM SKETCH PLAN" WITH BID.** (2 Separate 2-Wire Systems) showing mainline placement, head placement; (spray patterns for full head-to-head coverage) and approximate location of zone valves. CAD files available upon request. Following the review of the "Sketch Plan" submitted at time of bid, The Contractor selected by the Owner shall prepare complete irrigation plans based on the Contract Document Plans, irrigation materials list, notes, details and Specifications and submit the plans to the Owner for review prior to the award of the Contract. Once awarded, Contractor shall meet with the Owner's Representative prior to designing the system to review the future expansion considerations. The Contractor may obtain base sheets necessary to prepare irrigation plans from the Owner's Representative. The plans shall clearly show the layout, size and type of all system components including two-wire Weathermatic controller, valves, heads, piping, quick coupling valves, etc. as verified on site. The Owner has the right to qualify the irrigation design plan and bid prior to the award of the Contract. Prior to construction, the irrigation plan shall be submitted for permitting and therefore must meet all government requirements. **CONTRACTOR TO COORDINATE WITH OWNER'S MAINTENANCE CONTRACTOR. CONTACT LANDSCAPE ARCHITECT WITH ANY QUESTIONS.**
2. All sloped areas to utilize check valves in heads to prevent low head drainage. All zones with slope conditions to be programmed with multiple start times to eliminate runoff and allow soaking in.
3. Contractor shall be a Registered Licensed Irrigator in the State of Texas.

Water for the irrigation system is to be supplied by an new irrigation meter/s to be coordinated by the Contractor as noted on the drawings. Meter locations are shown schematically and exact locations are to be field verified by the Contractor. The Contractor is responsible for all permits and coordination of meter installation. Impact fees to be coordinated by Newland Communities. The Contractor shall verify operating pressures prior to designing system. Pressure reducer valves/ devices shall be utilized if necessary to control excessive pressure. In designing the pipe layout and sizing, do not exceed velocities of 10 feet per second (FPS) through meters, 7.5 FPS through backflow preventers, or 5 FPS through valves and piping.

4. Contractor shall provide a complete, functioning automatic irrigation system- two wire, smart technology. This includes all materials, labor, fees, permits, equipment, and other items incidental in accomplishing the end.
5. All equal materials (substitutions) shall have written approval from the Owner's Representative prior to installation.
6. Contractor shall be responsible for locating any existing underground utilities (i.e. gas, water, wastewater, electric, telephone, etc.) or obstacles prior to trenching. Contractor shall make good all damage resulting from Contractor's operations, at no cost to the owner.
7. Contractor shall verify site conditions and familiarize himself with conditions which might affect the work which is being bid.
8. The Contractor shall procure all permits, license, and pay all charges and fees and give all necessary notices for the completion of the work.
9. Coordinate work with other sitework trades.
10. The Contractor shall verify the available operating pressure prior to the design of the system. Design shall be fully functional with available pressure.
11. Review sleeve locations shown on plan; sleeves under existing pavement and roads, generally as shown.
12. Use new Meter. Tap locations shown on L 2.5 coordinate wit civil. Approximate locations shown on plans. Need to locate on plans, per civil.
13. All control wire shall be 14 AWG Solid Copper Insulated Direct Burial Wire UF UL listed. Specified waterproof connectors to be used on all connections.
14. Lawns, trees, and planting beds shall be irrigated on separate zones. Planting beds shall be micro-zoned to separately irrigate beds with different slope and solar exposure conditions.

15. Irrigation head layout shall provide head-to-head coverage.
16. Use irrigation head type appropriate to space, slope and plant material requirements.
17. All piping is to be installed directly behind the curbs or sidewalks where possible and in all cases to be routed around existing and proposed site elements including root balls of existing and proposed trees and shrubs. Reference Landscape Planting and Construction plans for additional information on existing and proposed conditions. Manual digging may be necessary to protect plant root zones and existing utilities.
18. Provide supplement irrigation to proposed trees by using adjustable stream bubblers "Tree" zone. Stake tree locations for review prior to installation of irrigation (2 heads per shade tree, 1 per ornamental tree. See legend for recommended model).
19. Size pipe to ensure necessary GPM to each irrigation head. Refer to manufacturer's specifications for gpm requirements. 12" minimum cover required over all lateral pipes, 18" on mainline and wires.
20. All valve boxes and sprinkler heads to be mounted flush and perpendicular to finish grade.
21. Consolidate valve boxes in non-sloped location coordinated w/ owner's representative. Do not place boxes randomly in areas intended for open play.
22. Provide 4" deep layer of clean pea gravel at bottom of all valve boxes and vaults, being careful not to cover valves or ports.
23. Adjust heads for distance and arc; avoid over-spray onto walks and buildings. At time of Substantial Completion walk-through, anticipate nozzle changes as required to obtain optimum performance and coverage; such changes shall be at no charge to the Owner. Spraying over walks is not acceptable.
24. Contractor will guarantee all materials and workmanship for a period of one year.
25. Install isolation and QC valves where indicated. Review locations with Owner prior to installation.
26. In areas designated as receiving "temporary irrigation" or "hand water to establishment," the contractor will water apply min. 1/2" water three times weekly for not less than 30 days. Thereafter, apply water twice weekly as required to promote establishment until acceptance.

PROJECT NO.: 19000624
DATE: 04-13-2022
DRAWN: WG, MD
REVIEWED: WG, AM

REVISIONS	

**CONCEPTUAL
IRRIGATION
PLAN**

L5.0

SHEET 20 OF 20

L:\2019\19000624\version - san antonio\LCD\SHEETS\L5.0 CONCEPTUAL IRRIGATION PLAN.dwg 4/13/2022 madison.dallie

1 CONCEPTUAL IRRIGATION PLAN

0 100' 200'
SCALE: 1" = 100'-0" NORTH

BID SET