

# HISTORIC AND DESIGN REVIEW COMMISSION

October 02, 2024

**HDRC CASE NO:** 2024-342  
**ADDRESS:** 1358 E PYRON AVE  
**LEGAL DESCRIPTION:** NCB 7658 BLK LOT 34  
**ZONING:** R-6, H  
**CITY COUNCIL DIST.:** 3  
**DISTRICT:** Mission Historic District  
**APPLICANT:** Jenny Hernandez  
**OWNER:** Rosario Rangel/LUNA MARIA ESTHER  
**TYPE OF WORK:** Site plan and lot layout review for four, 1-story residential structures  
**APPLICATION RECEIVED:** August 21, 2024; Application complete on September 5, 2024  
**60-DAY REVIEW:** November 04, 2024  
**CASE MANAGER:** Edward Hall

## REQUEST:

The applicant is requesting conceptual approval of a site plan and general lot layout for the construction of four, 1-story, single-family residential structures on the vacant lot at 1358 E Pyron, located within the Mission Historic District.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 4, Guidelines for New Construction*

### 1. Building and Entrance Orientation

#### A. FAÇADE ORIENTATION

- i. Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
- ii. Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

#### B. ENTRANCES

- i. Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

### 2. Building Massing and Form

#### A. SCALE AND MASS

- i. Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
- ii. Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
- iii. Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

#### B. ROOF FORM

- i. Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential building types are more typically flat and screened by an ornamental parapet wall.
- ii. Façade configuration*—The primary façade of new commercial buildings should be in keeping with established

patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

#### D. LOT COVERAGE

*i. Building to lot ratio*—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

### 3. Materials and Textures

#### A. NEW MATERIALS

*i. Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

*ii. Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

*iii. Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

*iv. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

*v. Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

### 4. Architectural Details

#### A. GENERAL

*i. Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

*ii. Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district.

Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

*iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

### 5. Garages and Outbuildings

#### A. DESIGN AND CHARACTER

*i. Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.

*ii. Building size*—New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.

*iii. Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.

*iv. Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.

v. Garage doors—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

## B. SETBACKS AND ORIENTATION

i. Orientation—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley loaded garages were historically used.

ii. Setbacks—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

## 6. Mechanical Equipment and Roof Appurtenances

### A. LOCATION AND SITING

i. *Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.

ii. *Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

### B. SCREENING

i. *Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.

ii. *Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.

iii. *Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

## *Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

### B. NEW FENCES AND WALLS

i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district.

New front yard fences or wall should not be introduced within historic districts that have not historically had them.

iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

## 3. Landscape Design

### A. PLANTINGS

i. *Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.

ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.

*iii. Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.

*iv. Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract

from the historic structure.

*v. Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

## B. ROCKS OR HARDSCAPE

*i. Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.

*ii. Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.

*iii. Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

## D. TREES

*i. Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.

*ii. New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

## 5. Sidewalks, Walkways, Driveways, and Curbing

### A. SIDEWALKS AND WALKWAYS

*i. Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

*ii. Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

*iii. Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

*iv. Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.

*v. ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

### B. DRIVEWAYS

*i. Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives.

Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

*ii. Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

## 7. Off-Street Parking

### A. LOCATION

*i. Preferred location*—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind



primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.

*ii. Front*—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.

*iii. Access*—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

## B. DESIGN

*i. Screening*—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.

*ii. Materials*—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.

*iii. Parking structures*—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding historic district when new parking structures are necessary.

### *Standard Specifications for Windows in Additions and New Construction*

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

## FINDINGS:

- a. The applicant is requesting conceptual approval of a site plan and general lot layout for the construction of four, 1-story, single-family residential structures on the vacant lot at 1358 E Pyron, located within the Mission Historic District.
- b. **CONTEXT & DEVELOPMENT PATTERN** – The applicant is proposing new construction at 1358 E Pyron, a lot currently void of structures. This block of E Pyron features structures of varying styles and construction dates. Existing structures on this block typically feature modest footprints with minimal front setbacks and one story in height. Per the submitted site plan, the total lot size is 148' in width and 289' in depth.
- c. **LOT CONFIGURATION & COVERAGE** – The applicant has proposed to sub-divide the lot in to four lots to individually feature widths of approximately 73' and depths of 145'. The front two lots will features new construction oriented towards E Pyron. The rear lots will feature houses with matching orientations. Proposed lot coverage for each lot is approximately 25% to 25%. Staff finds the proposed lot configuration and coverage to be appropriate.
- d. **SETBACKS & ORIENTATION** – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established

along the street frontage. Additionally, the orientation of new construction should be consistent with the historic examples found on the block. Currently, the applicant has proposed front setbacks of approximately thirty-one (31) feet from the front property line. This setback is measured from attached garages located at the front of the front two structures. Staff finds that a setback should be established that is equal to or greater than the two historic structures at 1422 and 1426 E Pyron. Additionally, staff finds that any proposed attached parking should be relocated to the rear of the proposed new construction, as attached, front garages are not found historically on this block.

- e. ENTRANCES – The applicant has proposed for the new construction to feature front facing entrances. Generally, staff finds front facing entrance doors to be appropriate; however, staff finds that entrances, including porches, should be designed in a manner that is representative of historic porch and entrance configurations within the historic district.
- f. DRIVEWAY – The applicant has proposed once central driveway to facilitate vehicular access to all four lots. Per the site plan, the driveway will feature approximately twenty (20) feet in width. The Guidelines for Site Elements notes that new driveways should feature materials, widths and designs that are similar to those historically found on the site. There is no existing driveway on site; however, those found historically on this block feature varying widths and profiles. Staff finds that the applicant should install a driveway that features a width consistent with those found on adjacent properties; likely between ten (10) and fifteen (15) feet in width.
- g. PARKING – The applicant has proposed parking to be located in the front yard of each structure. The Guidelines for Site Elements 7.A.ii. notes that off-street parking should not be added within the front yard setbacks. Staff finds that parking should be located at the rear of each structure.
- h. GARAGES – As noted in finding d, the applicant has proposed garages to be attached and located at the front. Staff finds that any proposed attached parking should be relocated to the rear of the proposed new construction, as attached, front garages are not found historically on this block.
- i. WALKWAYS – Historically, lots feature concrete walkways that lead from the front porch to the sidewalk at the right of way. Staff finds that a walkway should be added from the front porches to the sidewalk at the right of way to be consistent with the context found historically on the block.
- j. LANDSCAPING – A number of existing trees are located on site and may potentially be impacted by the proposed new construction. Staff finds that a tree survey and detailed landscaping plan should be submitted for review and approval when returning to the Commission.

## **RECOMMENDATION:**

Staff recommends conceptual approval of the proposed lot layout and building configuration based on findings a through j with the following stipulations:

- i. That the two, front structures feature front setbacks that are equal to or greater than the two historic structures at 1422 and 1426 E Pyron, as noted in finding d.
- ii. That entrances, including porches, should be designed in a manner that is representative of historic porch and entrance configurations within the historic district, as noted in finding e.
- iii. That the applicant install a driveway that features a width consistent with those found on adjacent properties; likely between ten (10) and fifteen (15) feet in width, as noted in finding f.
- iv. That the front yard parking and front located garages be relocated to the rear of each structure, as noted in findings d, g, and h.
- v. That a front walkway be installed that it feature a profile that is consistent with those found historically on the block; historically three (3) to four (4) feet in width and poured concrete, as noted in finding i.
- vi. That a detailed tree survey and landscaping plan be submitted when the applicant returns to the Commission for final approval.

A detailed construction documents set will require review and approval by the Historic and Design Review Commission prior to the approval of any site work permits or permits for new construction. Additionally, a completed Infill Design Application Supplement should be submitted when returning to the Commission for a Certificate of Appropriateness.

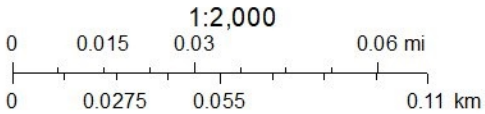
The applicant is responsible for obtaining all land development requirements.



City of San Antonio One Stop



September 25, 2024





DRAWN BY: - \_\_\_\_\_  
DATE: - \_\_\_\_\_  
PRELIM FILE NAME: - \_\_\_\_\_

LOT CALCULATIONS & COVERAGE "D"		
AREA	SQ. FT.	COVERAGE
SITE AREA	10585 SF.	
SLAB AREA	2632 SF.	25 %
TOTAL FLATWORK	2145 SF.	20 %
IMPERVIOUS LOT COVERAGE	4777 SF.	45 %



SCALE: 1/16" = 1'-0"

PLAN: EXP2006, 60'2010

**FINAL SET: -**

1 OF 1











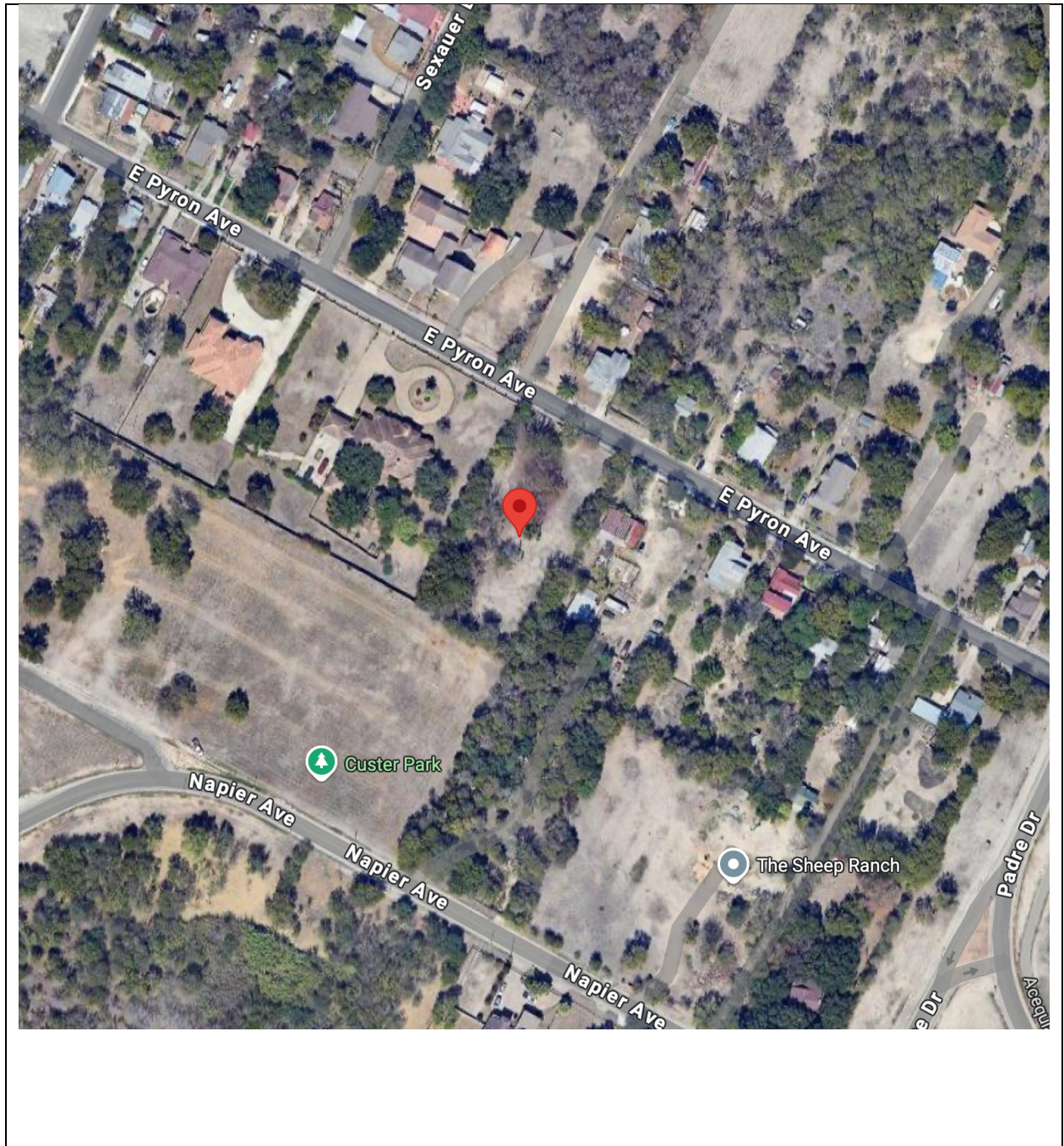


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PROJECT NAME / ADDRESS: \_\_1358 E Pyron\_\_ SA TX 78214\_\_

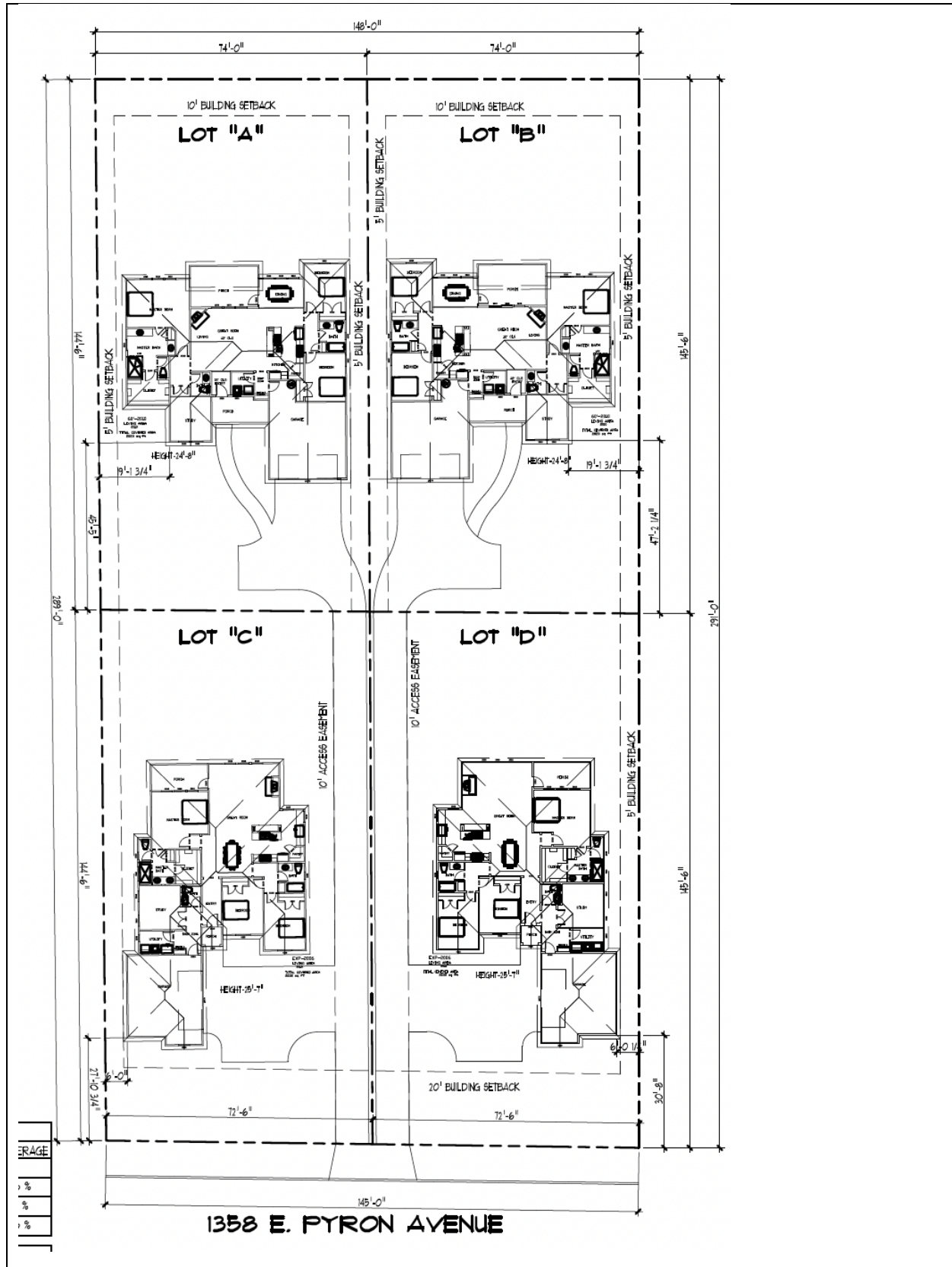
## Context Site Plan

Click the icon in the center to insert the “zoomed-out” site plan with your proposal superimposed onto it:





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**OFFICE OF HISTORIC PRESERVATION**

PROJECT NAME / ADDRESS: \_\_\_1358 E Pyron\_\_\_ SA TX 78214\_\_\_\_\_

## Streetscape Comparison Forms

Using photographs and methods learned in the **Using the Worksheet** section, fill out a table for each parcel within the context area. A table must be filled out for the proposed structure(s) as well. Additional tables will be provided if you decide to document parcels outside of the context area.

Fillable tables can be completed by inserting an image via clicking the image icon and either entering text or choosing an option from the right column as prompted.

### Proposed Street Elevation:



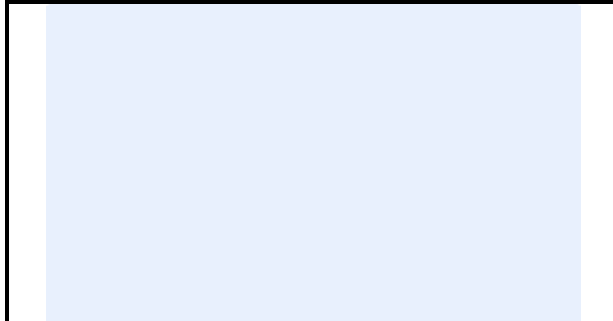
Lot Number	1318 E Pyron
Driveway Location	Right (Solid)
Entry Location	Front
Parking Location	Driveway
Approximate Building Height	12
Front Setback (from sidewalk or street)	28
Rear Setback	194
Left Setback	5
Right Setback	12
Approximate Lot Size (Area)	21,016
Approximate Building Footprint (Area)	2654



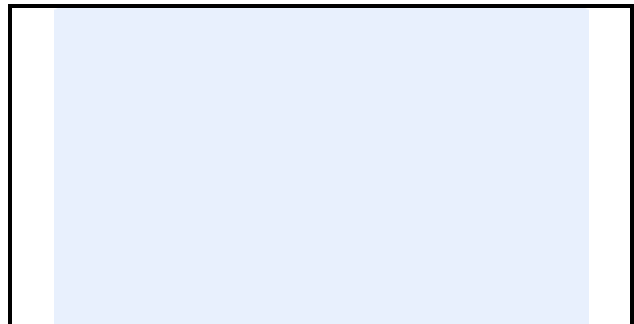
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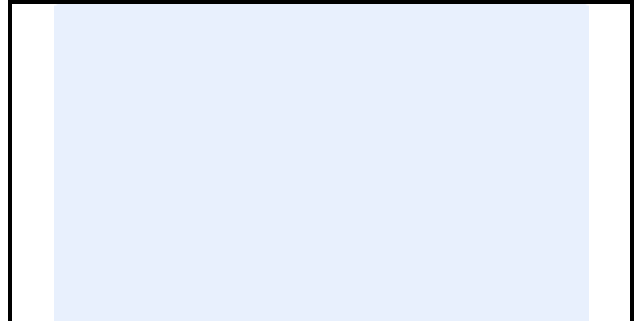
Lot Number	1334 E Pyron
Driveway Location	Left (Solid)
Entry Location	Front
Parking Location	Driveway (Carport)
Approximate Building Height	14
Front Setback (from sidewalk or street)	94
Rear Setback	93
Left Setback	20
Right Setback	20
Approximate Lot Size (Area)	80,000
Approximate Building Footprint (Area)	3600



Lot Number	Enter number
Driveway Location	Choose an item.
Entry Location	Choose an item.
Parking Location	Choose an item.
Approximate Building Height	0'-0"
Front Setback (from sidewalk or street)	0'-0"
Rear Setback	0'-0"
Left Setback	0'-0"
Right Setback	0'-0"
Approximate Lot Size (Area)	0000 SF
Approximate Building Footprint (Area)	0000 SF



Lot Number	Enter number
Driveway Location	Choose an item.
Entry Location	Choose an item.
Parking Location	Choose an item.
Approximate Building Height	0'-0"
Front Setback (from sidewalk or street)	0'-0"
Rear Setback	0'-0"
Left Setback	0'-0"
Right Setback	0'-0"
Approximate Lot Size (Area)	0000 SF
Approximate Building Footprint (Area)	0000 SF



Lot Number	Enter number
Driveway Location	Choose an item.
Entry Location	Choose an item.
Parking Location	Choose an item.
Approximate Building Height	0'-0"
Front Setback (from sidewalk or street)	0'-0"
Rear Setback	0'-0"
Left Setback	0'-0"
Right Setback	0'-0"
Approximate Lot Size (Area)	0000 SF
Approximate Building Footprint (Area)	0000 SF