

HISTORIC AND DESIGN REVIEW COMMISSION

August 21, 2024

HDRC CASE NO: 2024-283
ADDRESS: 1108 S FLORES ST
LEGAL DESCRIPTION: NCB 2556 BLK A LOTS 3 TO 7
ZONING: IDZ, H, RIO-7
CITY COUNCIL DIST.: 1
DISTRICT: Nathan Historic District
APPLICANT: Nicholas Friedman
OWNER: Matthew Oczkowski
TYPE OF WORK: Historic Tax Certification
APPLICATION RECEIVED: August 09, 2024
60-DAY REVIEW: September 21, 2024
CASE MANAGER: Caitlin Brown-Clancy

REQUEST:

The applicant is requesting Historic Tax Certification for the property at 1108 S Flores.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualification.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

FINDINGS:

- a. The structure located at 1108 S Flores is a commercial warehouse constructed circa 1930. The structure features a stucco exterior with non-historic fenestration and other significant non-historic modifications. The roof is comprised of metal corrugation and a stepped parapet on the front and rear façades. This property is located within the Nathan Historic District as well as the RIO Overlay District.
- b. The scope of work includes exterior alterations, exterior lighting, roofing, repair and maintenance, painting, window repair and interior alterations. The applicant received a Certificate of Appropriateness for multiple scopes of repair work in July 2024. Certificates of Appropriateness are required for all exterior scopes of work.
- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer. To qualify for the Substantial Rehabilitation Tax Incentive the owner must pursue Historic Tax Verification once the rehabilitation work is complete. Any violations on the property may disqualify the property from participation in the program.

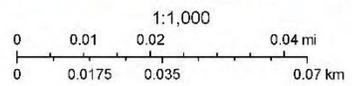
RECOMMENDATION:

Staff recommends approval based on findings a through c.

City of San Antonio One Stop



July 10, 2024
polylineLayer
— Override 1





LACHAPPELLE ALLEY

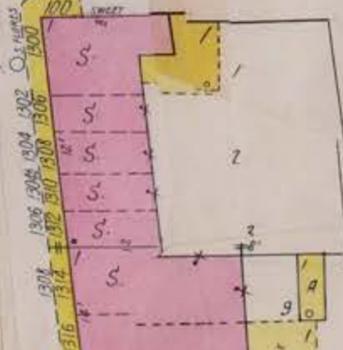
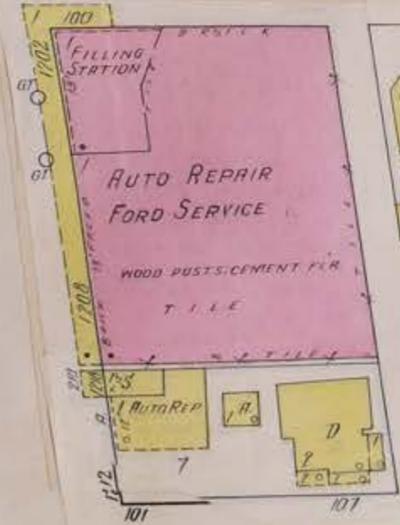
376

ASPHALT PAVED

S. FLORES

CAMP ST

HEREF ST



RISCHE

2556

DANIEL

2559

SWEET

2563

2973

2557

2558

2564

NATHAN

FRASCH

356

90

90

90

50

90

90

90

50

**Substantial Rehabilitation Tax Incentive Project
by
Mithril Holdings LLC,
1108 S Flores St, San Antonio, TX 78204**

HISTORIC TAX CERTIFICATION

Historic Rehabilitation Application

Part 1 of 2

July 23rd, 2024

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HISTORIC TAX CERTIFICATION

HISTORIC REHABILITATION APPLICATION

Part 1 of 2

To: Office of Historic Preservation (OHP)

Address: 1108 S Flores St
Legal Description: NCB 2556 BLK A LOTS 3 TO 7
Zoning: IDZ, H, HS, RIO-7D
District: Nathan Historic District
Applicant: Mithril Holdings LLC – Nicholas Friedman – 3000 Gatlin Creek
Owner: Mithril Holdings LLC – Matthew Oczkowski – 2310 Fountain Way

Type of Work: Exterior alterations, exterior lighting, roofing, repair and maintenance, painting, window replacement/fenestration changes, interior alterations
Request: Historic Tax Certification

The applicant is requesting Historic Tax Certification for the property at 1108 S Flores.

In compliance with UDC Section 35-618, please find an attached copy of the “**Historic Rehabilitation Application: Part 1 of 2**” for 1108 S Flores, which includes the following documentation:

- (i) Complete set of plans for restoration and rehabilitation (exterior and interior)
- (ii) Detailed written narrative of proposed work
- (iii) Itemized list of expected work (exterior and interior)
- (iv) Projected time schedule
- (v) Estimated associated costs
- (vi) Color photos of the exterior and interior
- (vii) Color photos of structure from street

Please let us know if you have any questions regarding these application materials.

Sincerely,

Mithril Holdings LLC

I. Complete Set of Plans for Restoration and Rehabilitation

Construction Documents

(Architectural Drawings, Renderings, Elevations, and Site Plan)

[SEE CONSTRUCTION DOCS ON FOLLOWING PAGE]

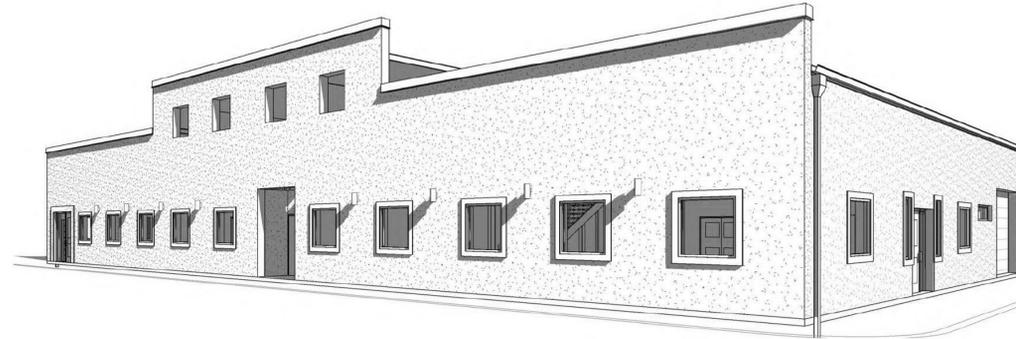
GENERAL NOTES

- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE, ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL DRAWINGS OR SPECIFICATIONS, ADDENDUM, BULLETINS, OR OTHER DOCUMENT, SHALL BE AS BINDING AS IF REQUIRED BY ALL. CONTRACTOR SHALL USE ONLY COMPLETE SETS OF CONTRACT DOCUMENTS FOR EACH AND EVERY ITEM OF WORK.
- CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODE, ORDINANCE, A.D.A., T.A.S AND REGULATIONS OF ALL GOVERNING BODIES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES THAT HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS PER THESE PLANS AND SPECIFICATIONS IN THIS LOCALITY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT. OWNER WILL PAY FOR BUILDING PERMIT.
- WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY AND COORDINATE HIS WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR AND ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
- ALL TRAFFIC CONTROLS ON THIS PROJECT SHALL ADHERE TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE OWNER SHALL NOT BE LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE CONSENT OF THE OWNER OF THE OTHER PROPERTY.
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION PROPERLY AND PROVIDE ALL SUITABLE FILL MATERIAL ASAPPROVED BY THE SOILS ENGINEER, AND THE COST SHALL BE INCLUDED IN THE PRICE BID FOR THE RELATED ITEMS.
- EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND/OR STATE REQUIREMENTS. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT, OR DEBRIS ONTO PUBLIC OR ADJACENT PROPERTY. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY.
- ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS AND IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THAT THE CONTRACTOR SHALL REPLACE OR REPAIR ANY WORK OR MATERIAL FOUND TO BE DEFECTIVE.
- CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE IS USING ARE THE VERY LATEST PLANS AND SPECIFICATIONS.
- SHOULD THE CONTRACTOR ENCOUNTER CONFLICTS BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURE AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED, IF EXISTING UTILITY CONSTRUCTION CONFLICTS WITH REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS EXCEPT THAT THE SPECIFICATIONS, WHERE MORE STRINGENT, SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TAPS, EXTENSIONS, WATER AND ELECTRICITY FOR ALL PROJECT FUNCTIONS, OFFICE, STORAGE, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN TELEPHONE, FAX MACHINE, TOILET, VALVES, OR OTHER DEVICES NECESSARY TO RUN POWER TOOLS AND EQUIPMENT. SUCH MODIFICATIONS TO EXISTING UTILITIES SHALL BE REMOVED AT COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT IN A TIMELY MANNER THAT WILL ALLOW NOT LESS THAN TEN DAYS FOR REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT CORRECT NUMBER REQUIRED, BUT NOT LESS THAN FOUR COPIES.
- THE GENERAL CONTRACTOR SHALL PROVIDE STREET NUMBERING ON THE BUILDING IN COMPLIANCE WITH LOCAL AUTHORITY.
- ALL PENETRATIONS THRU WALLS SHALL BE SEALED AIR/WATER TIGHT AND CAULKED WITH TWO PART SEALANT EACH SIDE.
- THE GENERAL CONTRACTOR SHALL PROVIDE ONE COPY OF AS-BUILT DRAWINGS TO THE OWNER AT THE COMPLETION OF THE PROJECT. AS-BUILT DRAWINGS SHALL BE KEPT ON THE JOB AT ALL TIMES AND UPDATED THROUGHOUT THE CONSTRUCTION PHASE.
- UNLESS NOTED OTHERWISE, SITE PLAN DIMENSIONS, ARE TO FACE OF CURB. FLOOR PLAN DIMENSIONS ARE TO FACE OF STUDS, FRAMING, MASONRY, CONCRETE WALL PANELS, OR FOUNDATION WALLS.
- SPECIAL INSTRUCTIONS NOTE:
AT THE COMPLETION OF CONSTRUCTION, A FINAL REPORT OF REQUIRED SPECIAL INSPECTIONS (PREPARED BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE) CONFIRMS THAT THE LISTED REQUIRED SPECIAL INSPECTIONS HAVE BEEN CONDUCTED AND COMPLETED WILL BE SUBMITTED TO THE BUILDING OFFICIAL, VIA THE OWNER. IT IS OUR UNDERSTANDING THAT A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED BY THE CITY OF SAN ANTONIO UNTIL THIS FINAL REPORT IS RECEIVED. REFER TO DOCUMENT LABELED "DETERMINATION OF REQUIRED SPECIAL INSPECTIONS" AS WELL AS STRUCTURAL SHEET OR REQUIRED INSPECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE DOCUMENTATION THAT ALL REQUIRED INSPECTIONS HAVE BEEN CONDUCTED AND ALL REPORTED NON-COMPLYING ITEMS HAVE BEEN RESOLVED.
- GOVERNING CODE AND FIRE DEPARTMENT, FIELD INSPECTORS SHALL DICTATE SIZE, TYPE, QUANTITY AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT PORTABLE FIRE EXTINGUISHERS.
- ALL EXPOSED ELECTRICAL EQUIPMENT, CONDUITS, PLUMBING LINES, ETC. SHALL BE PAINTED W/MIN (2) COATS OF PAINT TO MATCH ADJACENT SURFACES.
- KNOX BOX-LOCATE PER LOCAL FIRE DEPARTMENT REQUIREMENTS.

S. Flores Warehouse Rehab

1108 S. Flores
San Antonio, TX 78204

CONSTRUCTION DOCUMENTS



DESIGN TEAM

CLIENT

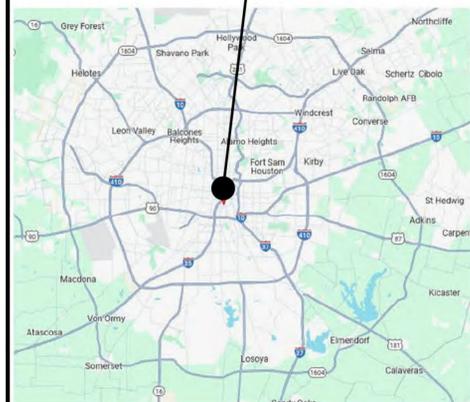
MITHRIL HOLDINGS
1108 S Flores
San Antonio, TX 78204
CONTACT: Matthew Oczkowski
EMAIL: meoczkowski@gmail.com
TEL: 203.736.3988

ARCHITECT

NIRVANA ARCHITECTURE STUDIO
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San Antonio, TX 78254
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EMAIL: Edward.H@NASarch.com

VICINITY MAP

PROJECT LOCATION



LOCATION MAP

PROJECT LOCATION



INDEX OF DRAWINGS

NUMBER	NAME	ADDEN #1	ADDEN #2	REV 1	REV 2
00 GENERAL					
G101	COVER SHEET				
G102	CODE COMPLIANCE				
G103	ACCESSIBILITY STANDARDS				
G104	ACCESSIBILITY STANDARDS				
05 ARCHITECTURAL					
A101	FLOOR PLAN				
A120	RESTROOM PLANS, ELEVATIONS, & PARTITIONS				
A150	ROOF PLAN				
A201	EXTERIOR ELEVATIONS				
A601	DOOR TYPES & SCHEDULES				



Revisions		
Number	Description	Date

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S. Flores Warehouse Rehab

1108 S. Flores
San Antonio, TX 78204

project #: 62
date: 11.28.23
drawn by: EH
checked by: EH
drawing title: COVER SHEET

drawing number:

G101

CODE ANALYSIS PLAN



CODE ANALYSIS

DESCRIPTION..... REMODEL IN EXISTING WAREHOUSE
 TOTAL BUILDING AREA..... 11,649 SF

APPLICABLE CODES
 BUILDING CODE..... 2021 IBC w/ SAN ANTONIO AMENDMENTS
 FIRE CODE..... 2021 IFC w/ SAN ANTONIO AMENDMENTS
 MECHANICAL CODE..... 2021 IMC w/ SAN ANTONIO AMENDMENTS
 PLUMBING CODE..... 2021 IPC w/ SAN ANTONIO AMENDMENTS
 ELECTRICAL CODE..... 2020 NEC w/ SAN ANTONIO AMENDMENTS
 ENERGY CODE..... 2021 IECC w/ SAN ANTONIO AMENDMENTS
 ACCESSIBILITY STANDARDS... 2012 TAS w/ SAN ANTONIO AMENDMENTS

ALLOWABLE AREA:
 PER IBC TABLE 503
 OCCUPANCY..... GROUP B, S-2
 CONSTRUCTION TYPE..... II-B
 MAXIMUM HEIGHT..... 75' - 0"
 MAXIMUM STORIES..... 3 STORIES
 MAXIMUM AREA..... 104,000 PER STORY

EXIT CALCULATIONS:
 PER IBC SECTION 1005.1
 EXIT WIDTH REQUIRED..... (28 x 0.2) = 6"
 EXIT WIDTH PROVIDED..... 180"
 MIN. NUMBER OF EXITS (PER 1006.2.1)..... 2
 NUMBER OF EXITS PROVIDED..... 4

NAME	FUNCTION OF SPACE	AREA	OCCUPANT LOAD FACTOR (S.F./Occupant)	OCCUPANT LOAD
EXSTG MENS	N/A	56 SF	0	
EXSTG WMNS	N/A	80 SF	0	
OFFICE 1	Business	247 SF	150	1.6
OFFICE 2	Business	160 SF	150	1.1
OFFICE 3	Business	156 SF	150	1.0
OFFICE 4	Business	159 SF	150	1.1
STORAGE	Business	151 SF	150	1.0
WAREHOUSE 1	Warehouse	3,258 SF	500	6.5
WAREHOUSE 2	Warehouse	3,967 SF	500	7.9
WAREHOUSE 3	Warehouse	3,889 SF	500	7.8
			12,125 SF	28.1

Construction Type	Sprinkled	Maximum Dead End Passage	Maximum Common Path of Travel
II-B	Un-Sprinkled	20' - 0"	100'-0"

PLUMBING FIXTURE CALCULATIONS:
 (PER TABLE 403.1 IPC)
 28 OCCUPANTS 14 MALE
 14 FEMALE

MALE CALCULATIONS
 W/C REQUIRED (1 PER 100, COMBINED M&F)... 2 PROVIDED
 LAVATORY REQ'D. (1 PER 100, COMBINED M&F)... 2 PROVIDED

FEMALE CALCULATIONS
 W/C REQUIRED (1 PER 100, COMBINED M&F)... 4 PROVIDED
 LAVATORY REQ'D. (1 PER 100, COMBINED M&F)... 2 PROVIDED

MISC. FIXTURES
 DRINKING FOUNTAIN (1 PER 1,000)..... 1 PROVIDED
 SERVICE SINK (1 REQUIRED)..... 1 PROVIDED



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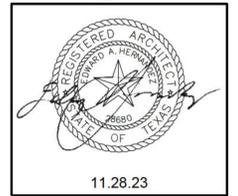
S. Flores Warehouse Rehab

1108 S. Flores
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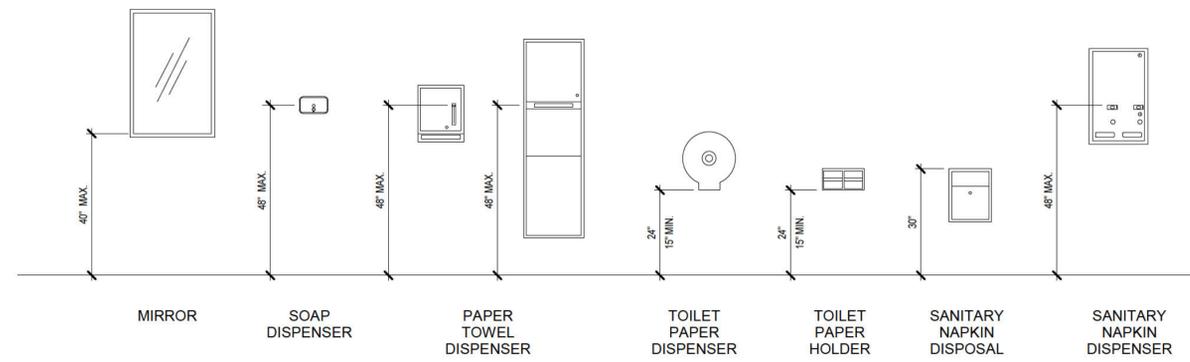
G102



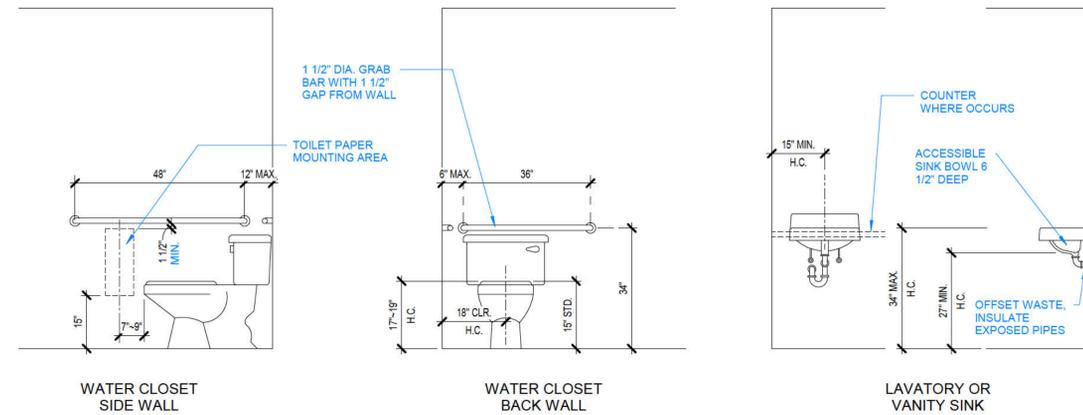
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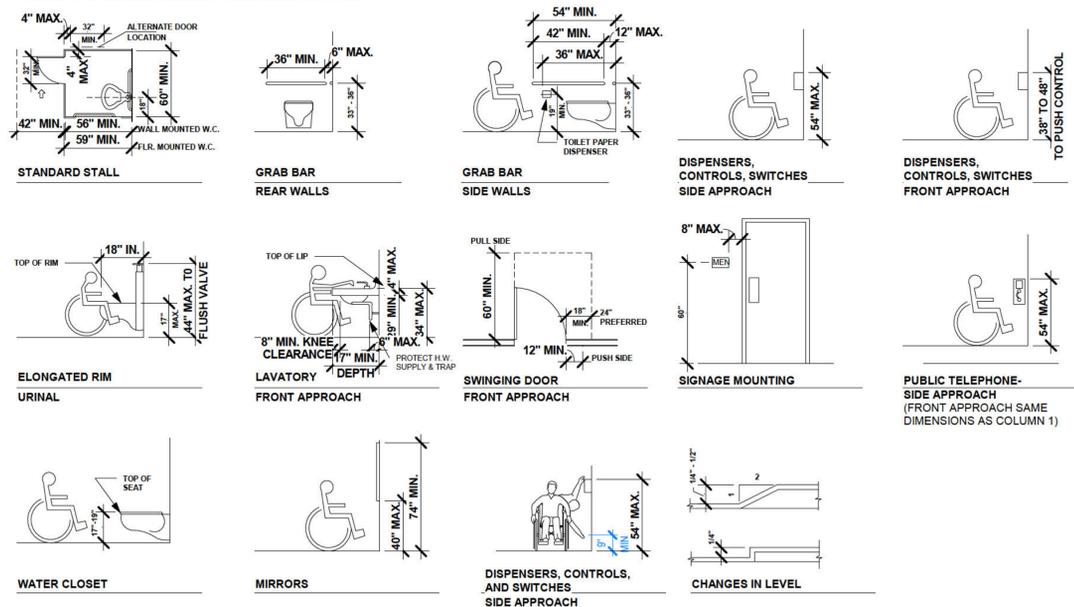
TYPICAL TOILET ACCESSORIES MOUNTING HEIGHTS



TYPICAL PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS

ACCESSIBILITY STANDARDS

* REFER TO SPECIAL ACCESSIBILITY REQUIREMENTS NOTES. *



GENERAL ACCESSIBILITY NOTES

ALL ACCESSIBILITY REQUIREMENTS TO ADHERE TO CH. 11 OF THE 2021 IBC & APPENDIX "E", AND 2012 TEXAS ACCESSIBILITY STANDARDS.

- DOOR HARDWARE:** DOORS SHALL HAVE LEVER-OPERATED MECHANISM, PUSH TYPE MECHANISMS, OR U-SHAPED HANDLES.

HANDLE PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.

MOUNTING HEIGHT: HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISHED FLOOR.

CLOSER OPERATION: THE SWEEP PERIOD OF A CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.

THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:

 - (A) EXTERIOR HINGED DOOR: NO REPLACEMENT
 - (B) INTERIOR HINGED DOORS: 5 LBF
 - (C) SLIDING OR FOLDING DOORS: 5 LBF
- CONTROLS AND OPERATING MECHANISM:**

HEIGHT: SWITCHES, THERMOSTATS, CONTROLS, DISPENSERS, RECEPTACLES, AND THE HIGHEST OPERABLE EQUIPMENT SHALL BE PLACED NO HIGHER THAN 48" ABOVE THE FLOOR.

EXCEPTION: THESE REQUIREMENTS DO NOT APPLY WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE OR WHERE ELECTRICAL AND COMMUNICATIONS SYSTEMS RECEPTACLES ARE NOT NORMALLY INTENDED FOR THE USE BY BUILDING OCCUPANTS.

FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS NO MORE THAN 44" ABOVE THE FLOOR.

OPERATION: CONTROLS AND OPERATING MECHANISM SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR GREATER THAN 5 LBF.
- GRAB BARS:**

THE OUTSIDE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A HANDRAIL OR GRAB SHALL BE 1-1/4" TO 1-1/2", OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.

IF HANDRAILS OR GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1-1/2".

BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 LBF. SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.

SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 LBF. SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.

TENSILE STRESS INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 LBF. SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE WHICHEVER IS THE SMALLER ALLOWABLE LOAD.

TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 LBF PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 LBF. SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND THE SUPPORTING STRUCTURE.

ROTATION OF GRAB BARS WITHIN THEIR FITTINGS IS NOT ACCEPTABLE.

SHARP OR ABRASIVE ELEMENTS ARE NOT ACCEPTABLE FOR A HANDRAIL OR GRAB BAR OR ANY WALL OR OTHER SURFACE ADJACENT TO ITS EDGES.
- SIGNAGE:**

THE WIDTH-TO-HEIGHT RATIO OF LETTERS AND NUMBERS ON SIGNS SHALL HAVE BETWEEN 3/5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10 USING AN UPPER-CASE "X" FOR MEASUREMENT/ LOWER CASE LETTERS ARE PERMITTED.

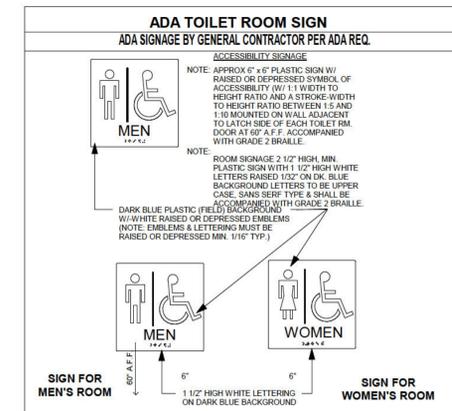
OVERHEAD SIGN CHARACTERS AND NUMBERS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO READ. FOR SUSPENDED OR PROJECTED OVERHEAD SIGNS, THE MINIMUM CHARACTER HEIGHT IS 3".

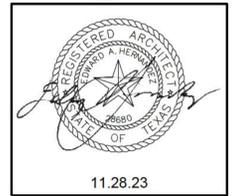
BRAILLE CHARACTERS AND PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE RAISED 1/32", UPPER CASE, SAN SERIF OR SIMPLE SERIF TYPE AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH, BUT NO HIGHER THAN 2". PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6" MINIMUM IN HEIGHT.

FINISH: THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON GLARE-FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND.

PERMANENT IDENTIFICATION SIGNS PROVIDED FOR ROOM AND SPACES, SIGN SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN.

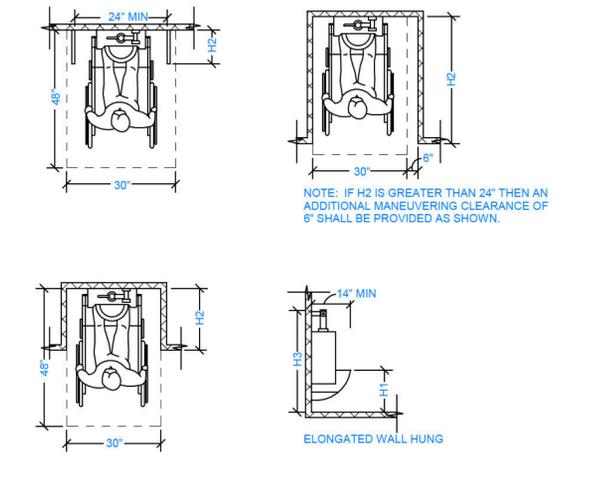
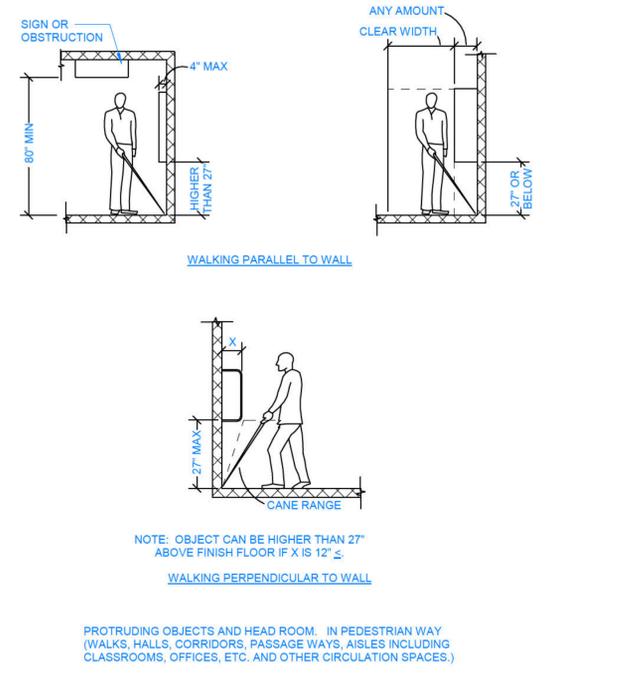
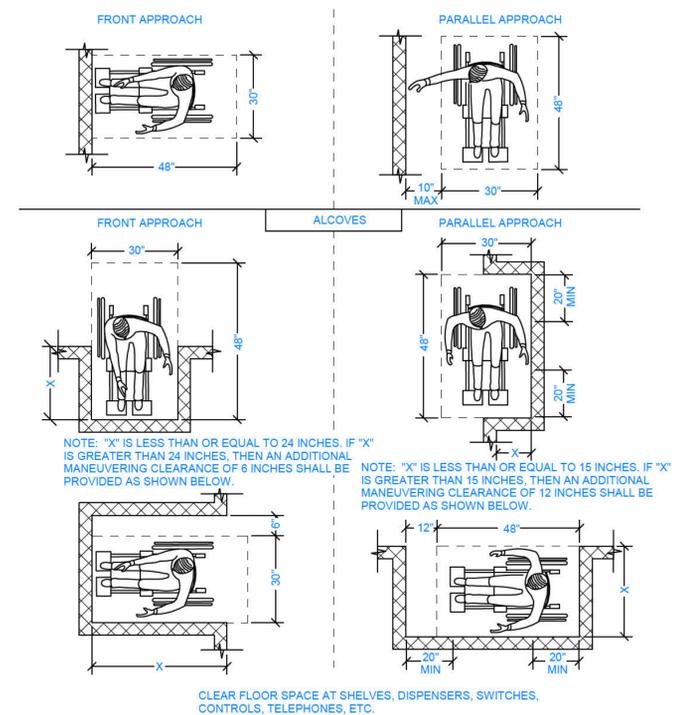
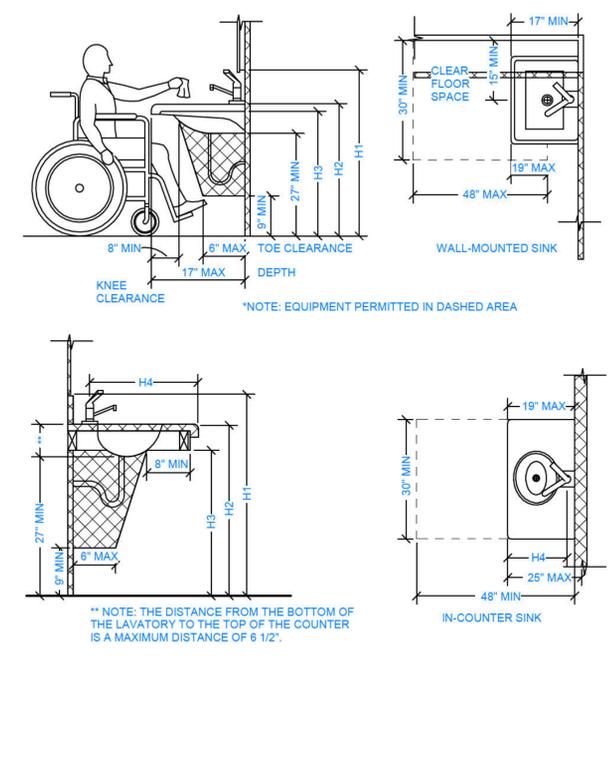
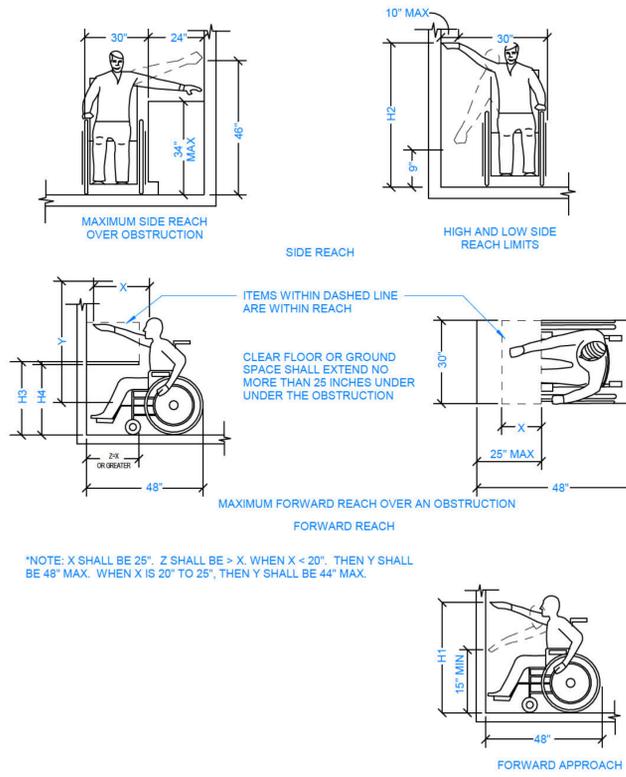
MOUNTING LOCATION FOR REACH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3' OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.





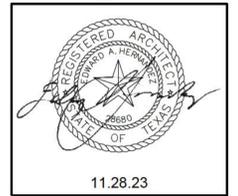
Revisions		
Number	Description	Date

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S. Flores Warehouse Rehab
1108 S. Flores
San Antonio, TX 78204

project #: 62
date: 11.28.23
drawn by: EH
checked by: EH
drawing title: ACCESSIBILITY STANDARDS
drawing number:



Revisions		
Number	Description	Date

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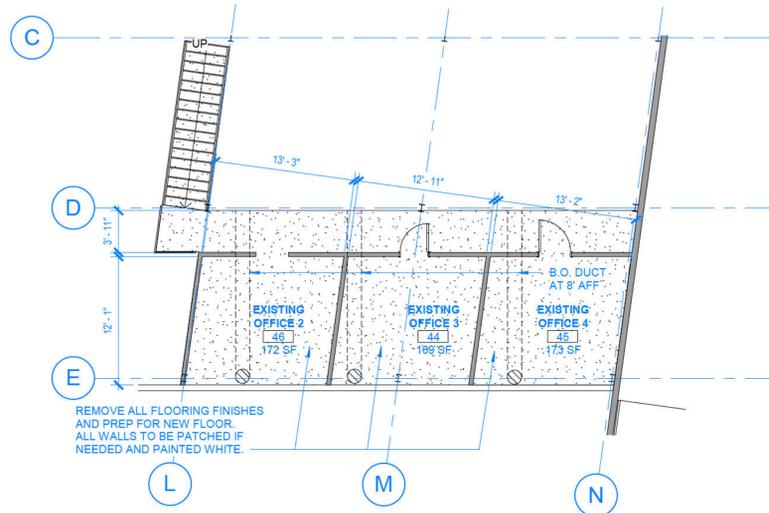
S. Flores Warehouse Rehab

1108 S. Flores
San Antonio, TX 78204

project #: 62
date: 11.28.23
drawn by: EH
checked by: EH
drawing title: FLOOR PLAN

drawing number:

A101



2 LOFT FLOOR PLAN

SCALE: 1/8" = 1'-0"



1 FLOOR PLAN

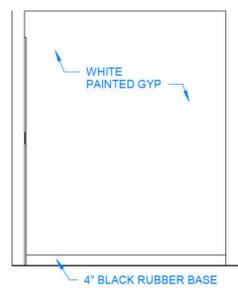
SCALE: 1/8" = 1'-0"

WALL LEGEND

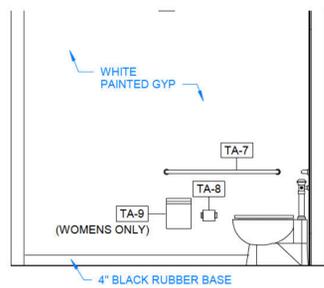
- NEW WALL / PARTITION
- EXISTING WALL / PARTITION
- DEMO WALL / PARTITION

FLOOR PLAN GENERAL NOTES:

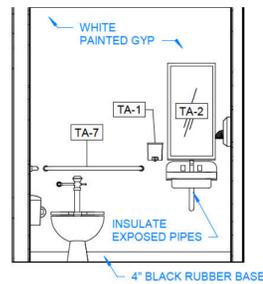
1. INSPECT AND REPLACE ALL DOORS AS NEEDED. THRESHOLD 1/2" TALL MAX, AND HARDWARE TYPES TO MEET TEXAS ACCESSIBILITY STANDARDS' REQUIRMENTS.
2. ALL EXTERIOR DOORS BEING REPLACED, TO BE MINIMUM 32" WIDE, 78" TALL, AND SWING OUTWARD WITH PANIC BAR, CLOSER, AND WEATHER STRIPPING. ALL EXTERIOR DOORS MUST BE IN OPERABLE AND APPROACHABLE CONDITION. NO EXTERIOR DOORS TO BE ELIMINATED, SEALED, CLOSED, OR COVERED UP.
3. IF EXTERIOR STOREFRONT SYSTEM IS TO BE REPLACED, FRAME COLOR SHOULD MATCH COLOR 2 OF THE EXTERIOR COLOR PALETTE.
4. REMOVE ALL EXISTING FLOOR FINISHES AND PATCH ANY BLEMISHES, CRACKS, CHIPS, HOLES, TRIP HAZARDS, ETC. IN THE SLAB.
5. PATCH AND PAINT ALL INTERIOR WALLS WHITE, AS WELL AS ANY CONDUITS, GEAR, OR OTHER EQUIPMENT AND ACCESSORIES ON WALL.
6. ANY CHANGES, DEVIATIONS, BLEMISHES, ETC IN FLOOR SURFACES CAN NOT EXCEED A HEIGHT OF 1/4" MAX, PER TEXAS ACCESSIBILITY STANDARDS. ANY DEVIATIONS BETWEEN A 1/4" MIN AND A 1/2" MAX, SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.



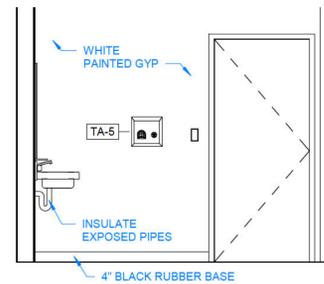
3 RR ELEVATION A
SCALE: 3/8" = 1'-0"



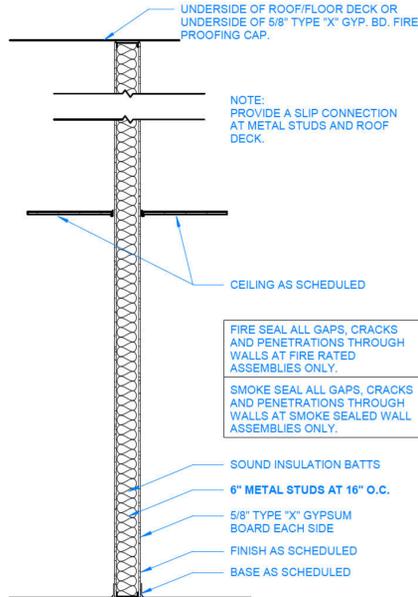
4 RR ELEVATION B
SCALE: 3/8" = 1'-0"



5 RR ELEVATION C
SCALE: 3/8" = 1'-0"

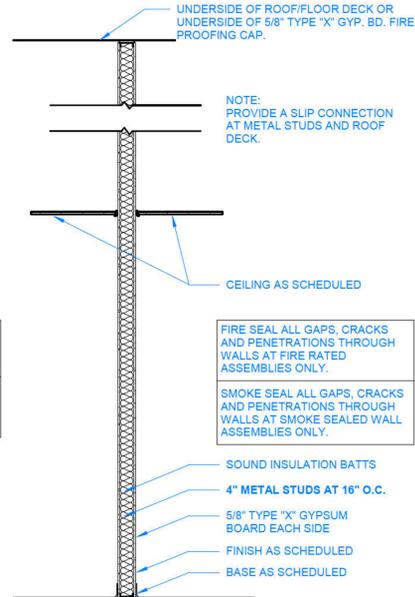


6 RR ELEVATION D
SCALE: 3/8" = 1'-0"



5 1/2" PARTITION TYPE
ONE HOUR RATING, WITHOUT SOUND INSULATION BATTS
SCALE: 1/2" = 1'-0"

A
A1 WITH SOUND INSULATION BATTS
A2 WITHOUT SOUND BATTS, GYPSUM ON ONE SIDE ONLY



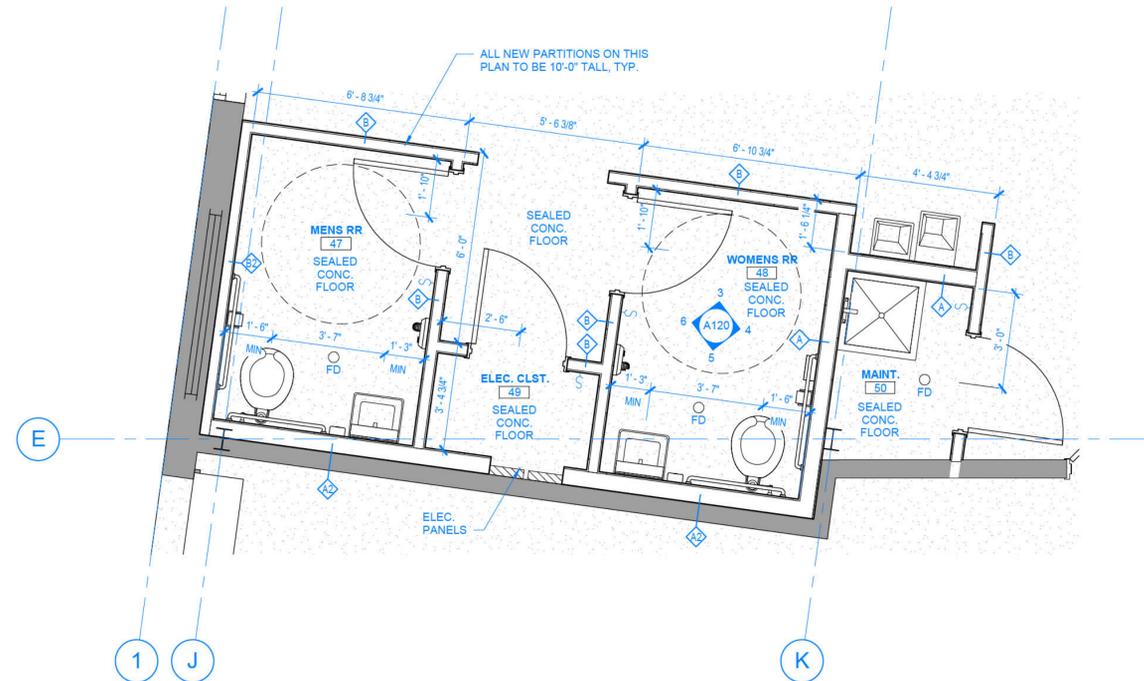
3 5/8" PARTITION TYPE
NO RATING, WITHOUT SOUND INSULATION BATTS
SCALE: 1/2" = 1'-0"

B
B1 WITH SOUND INSULATION BATTS
B2 WITHOUT SOUND BATTS, GYPSUM ON ONE SIDE ONLY

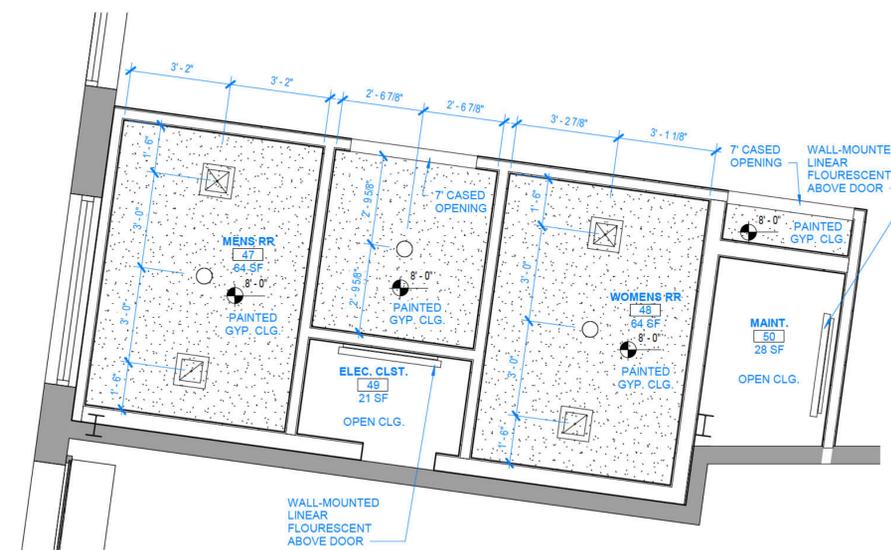
7 PARTITION TYPES - METAL
SCALE: 1/2" = 1'-0"

TOILET ACCESSORIES SCHEDULE				
No.	Description	Manufacturer	Model	Comments
TA-1	HAND SOAP DISPENSER			48" MAX A.F.F. TO CENTER OF DISPENSER
TA-2	MIRROR WITH S.S. FRAME			40" A.F.F. TO BOTTOM OF REFLECT. SURFACE
TA-5	ELECTRIC HAND DRYER			
TA-7	(1) 42" and (1) 36" S.S. GRAB BARS			34" A.F.F. TO CENTER OF GRAB BAR
TA-8	SINGLE TOILET PAPER DISPENSER			14" TO 19" FROM A.F.F TO BOTTOM OF DISPENSER
TA-9	SANITARY NAPKIN DISPOSAL			WOMENS RR ONLY

NOTE:
REFER TO G103 FOR ADDITIONAL REQUIRED
FIXTURE HEIGHTS AND CLEARANCES



1 ENLARGED RESTROOM PLAN
SCALE: 3/8" = 1'-0"



2 RESTROOM RCP
SCALE: 3/8" = 1'-0"

RCP - GENERAL NOTES:

- GENERAL CONTRACTOR TO COORDINATE AND DEVELOP A LAYOUT OF ALL M.E.P. AND SPRINKLER SYSTEMS THAT CROSS AND SERVICE THIS SPACE AND ARE TO BE INSTALLED EXPOSED TO VIEW. SUBMIT THIS COORDINATED PLAN TO THE ARCHITECT FOR APPROVAL PRIOR TO THE DESIGN, PERMITTING, FABRICATION AND INSTALLATION OF ANY SYSTEM.
- SEE SHEET A10 FOR FURROWDOWN DETAILS. PAINT ALL EXPOSED TO VIEW AREA, INCLUDING STRUCTURAL MEMBERS AND M.E.P. EQUIPMENT.
- ALL EXPOSED TO VIEW CONCRETE SURFACES ARE TO RECEIVE A "RUBBED OR THOROSEAL" FINISH, COLOR AS SELECTED BY THE ARCHITECT.
- REFER TO INTERIOR AND EXTERIOR ELEVATIONS FOR LIGHT FIXTURES MOUNTING HEIGHT. COORDINATE WITH ELECTRICAL DRAWINGS.
- COORDINATE ALL CEILING MOUNTED PROJECTOR LOCATIONS WITH LIGHT FIXTURES.
- TAPE AND FLOAT ALL FIRE RATED GYPSUM BOARD. SEAL ALL PENETRATIONS WITH FIRE CAULK.

RCP LEGEND

- 2x2 SUSPENDED ACOUSTICAL CEILING
- SUSPENDED GYPSUM BOARD CEILING / FURROWDOWN
- 2x2 LED LIGHT FIXTURE
- 2x4 LED LIGHT FIXTURE
- 1x4 LED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- SUSPENDED LINEAR LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 2x2 SUPPLY AIR DIFFUSER. REFER TO MECHANICAL DRAWINGS.
- 2x2 AIR RETURN GRILL. REFER TO MECHANICAL DRAWINGS.
- CEILING MOUNTED PROJECTOR PLATE
- PULL DOWN VIDEO SCREEN.

PARTITION TYPE GENERAL NOTES:

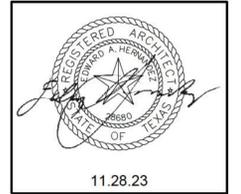
- ALL DRYWALL CONSTRUCTION SHALL BE THICKNESS OF 5/8", UNLESS NOTED OTHERWISE.
- EVERY WALL SHOWN ON THE PLAN(S) SHALL BE ONE OF THE WALL TYPES SHOWN; WHETHER KEYS ON THE PLAN(S) OR NOT. IF WALL DOES NOT HAVE A KEY, PROVIDE A WALL TYPE TO MATCH ADJACENT OR NEAREST KEY.
- SEE ROOM FINISH SCHEDULE FOR FINISHES.
- SEAL ALL GAPS AND PENETRATIONS IN FIRE RATED WALLS WITH FIRE RATED BLANKETS AND/OR SEALANTS.
- ALL EXPOSED WALLS THAT ARE PERPENDICULAR TO ROOF DECK SHOULD BE SEALED TIGHT TO UNDERSIDE OF DECK.
- ALL SOUND WALLS TO RECEIVE SEALANT AROUND CRACKS, GAPS, EDGES AT FLOOR, CEILING AND JUNCTION BOXES.
- WHERE WALLS ARE CALLED TO EXTEND TO UNDERSIDE OF DECK, ALIGN WALL(S) WITH STRUCTURE ABOVE AND/OR WRAP STRUCTURE WITH DRYWALL.
- SEAL ALL GAPS, CRACKS AND PENETRATIONS THROUGHOUT WALLS.
- ALL LOAD BEARING STUDS TO BE 14 GAUGE.
- FOR HEIGHTS OF WALLS SEE BUILDING SECTIONS AND/OR ELEVATIONS.
- PROVIDE 1/2" CEMENTITIOUS BACKER BOARD IN LIEU OF 5/8" GYPSUM BOARD AT WALLS BEHIND ALL CERAMIC TILE.
- SEE SPECIFICATIONS OR NOTES FOR GUAGES OF NON-LOAD BEARING WALLS.
- ALL 5/8" TYPE 'X' GYPSUM BOARD SHALL BE, COATED INORGANIC GLASS MAT-FACED, WATER-RESISTENT TREATED GYPSUM CORE WALLBOARD.



Revisions		
Number	Description	Date

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project #:	62
date:	11.28.23
drawn by:	EH
checked by:	EH
drawing title:	RESTROOM PLANS, ELEVATIONS, & PARTITIONS
drawing number:	A120



Revisions		
Number	Description	Date

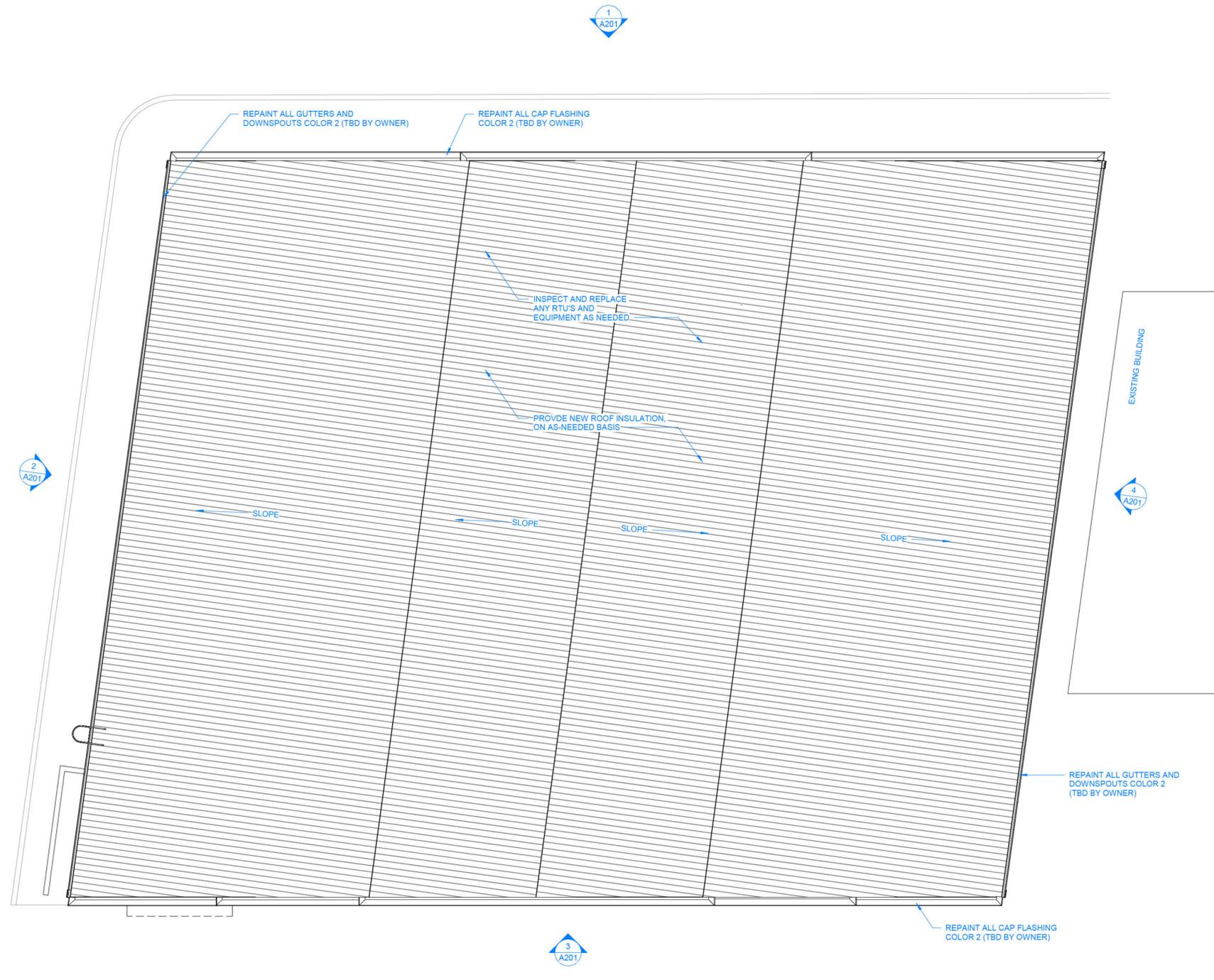
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S. Flores Warehouse Rehab

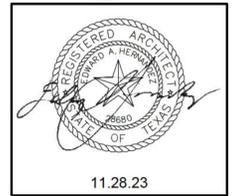
1108 S. Flores
San Antonio, TX 78204

project #:	62
date:	11.28.23
drawn by:	EH
checked by:	EH
drawing title:	ROOF PLAN

drawing number:
A150



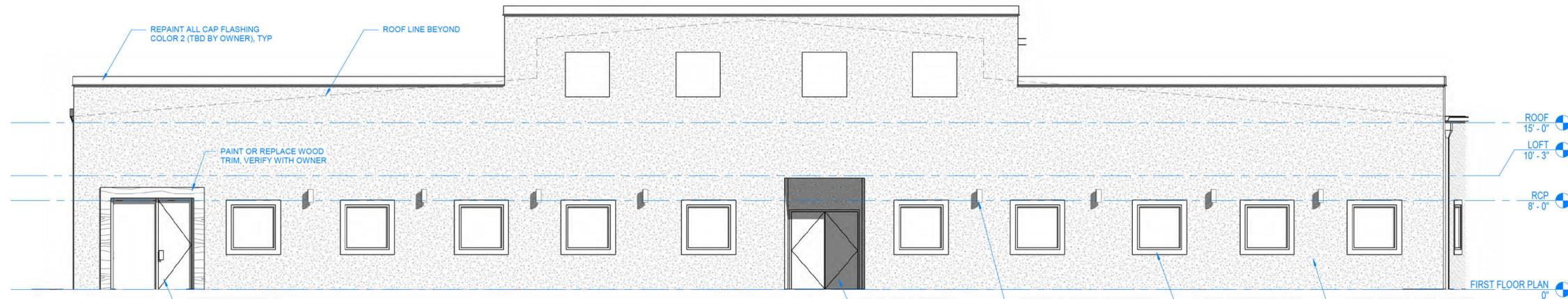
1 ROOF PLAN
SCALE: 1/8" = 1'-0"



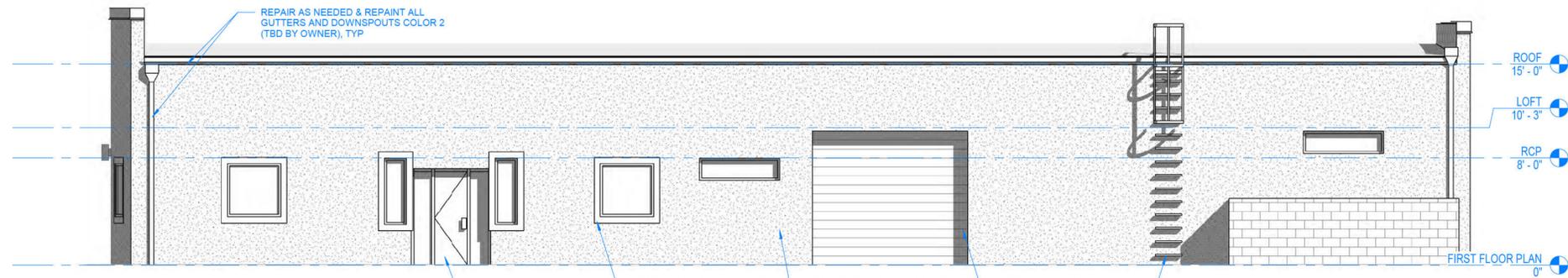
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Number	Description	Date

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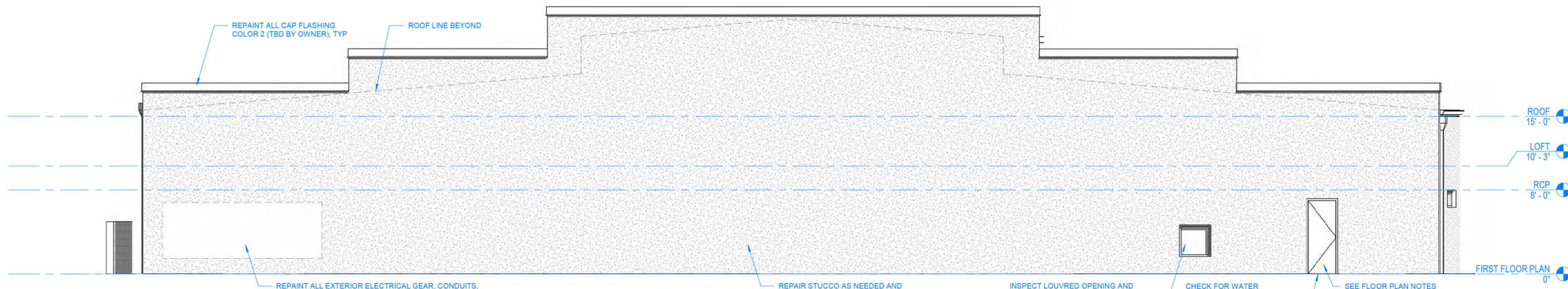
1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



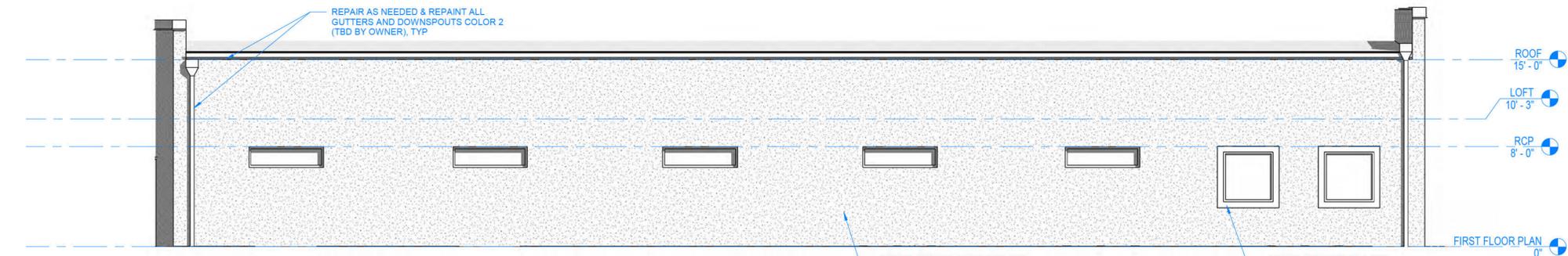
2 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

TYPICAL EXTERIOR PAINT NOTES:

1. THE EXTERIOR OF THIS BUILDING IS BASED ON A 2 TONE COLOR PALETTE.
2. COLOR 1 IS THE FIELD COLOR- LIGHTER IN NATURE, TBD BY OWNER. RESERVED FOR THE MAJORITY OF THE BUILDING EXTERIOR WALLS.
3. COLOR 2 IS THE ACCENT COLOR- DARKER IN NATURE, TBD BY OWNER. RESERVED FOR ACCENTS, TRIMS, ACCESSORIES, EXTERIOR BUILDING COMPONENTS, ETC.
4. ADDITIONAL COLOR(S) MAY BE INTRODUCED, IF REQUESTED BY OWNER.
5. ALL EXTERIOR PAINT COLORS ARE SUBJECT TO CITY AND ZONING REQUIREMENTS, IF APPLICABLE. VERIFY WITH CITY PRIOR TO INSTALLATION.



3 REAR ELEVATION
SCALE: 3/16" = 1'-0"



4 LEFT ELEVATION
SCALE: 3/16" = 1'-0"

S. Flores Warehouse Rehab

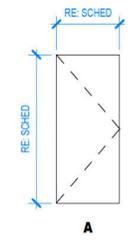
1108 S. Flores
San Antonio, TX 78204

project #:	62
date:	11.28.23
drawn by:	EH
checked by:	EH
drawing title:	EXTERIOR ELEVATIONS
drawing number:	A201



DOOR AND WINDOW GENERAL NOTES:

- INSTALL TEMPERED OR SAFETY GLASS IN OPENINGS WHERE REQUIRED BY CODE.
- SET WINDOW SUBSILLS IN CONTINUOUS BEAD OF SEALANT.
- TURN SUBSILLS AND FLASHING MEMBRANE UP AT JAMBS (6" MINIMUM) TO FORM END DAMS.
- SPACE ANCHORS OF DOOR AND WINDOW FRAMES NO MORE THAN 16" O.C.
- INSTALL ONE WINDOW FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO PROCEEDING.
- VERIFY HEAD HEIGHTS OF OPENINGS ON THE EXTERIOR AND INTERIOR ELEVATIONS. INFORM THE ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.



- NEW DOOR NOTES:**
- ALL THRESHOLD AND FLOOR TRANSITIONS TO BE 1/2" TALL MAX. AND HARDWARE TYPES TO MEET 'TEXAS ACCESSIBILITY STANDARDS' REQUIREMENTS.
 - ALL LEVER HARDWARE TO MEET A.D.A. REQUIREMENTS.
 - FLUSH MOUNT PANIC BARS ONLY ON REQUIRED EXIT DOORS.
 - SEE SCHEDULE FOR FURTHER DETAILS & NOTES.
 - IF EXTERIOR STOREFRONT SYSTEM IS TO BE REPLACED, FRAME COLOR SHOULD MATCH COLOR 2 OF THE EXTERIOR COLOR PALETTE.
- EXISTING DOOR NOTES:**
- INSPECT AND REPLACE ALL DOORS AS NEEDED.
 - ALL THRESHOLD AND FLOOR TRANSITIONS TO BE 1/2" TALL MAX. AND HARDWARE TYPES TO MEET 'TEXAS ACCESSIBILITY STANDARDS' REQUIREMENTS.
 - ALL LEVER HARDWARE TO MEET A.D.A. REQUIREMENTS.
 - ALL EXTERIOR DOORS BEING REPLACED, TO BE MINIMUM 32" WIDE, 78" TALL, AND SWING OUTWARD WITH PANIC BAR, CLOSER, AND WEATHER STRIPPING.
 - IF EXTERIOR STOREFRONT SYSTEM IS TO BE REPLACED, FRAME COLOR SHOULD MATCH COLOR 2 OF THE EXTERIOR COLOR PALETTE.

DOOR TYPES
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE											
DOOR NO.	Location	DOOR						FRAME		COMMENTS	
		TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	HARDWARE	MATERIAL		FINISH
1	MENS RR	A	3' - 0"	7' - 0"	1 3/4"	H.M.	PAINT		H.M.	PAINT	PROVIDE KICKPLATE, CLOSER, PRIVACY LOCK WITH KEYED ENTRY HARDWARE, ADA HANDLES & PULLS
2	ELEC. CLOSET	A	3' - 0"	7' - 0"	1 3/4"	H.M.	PAINT		H.M.	PAINT	PROVIDE LOCKED ENTRY
3	WOMENS RR	A	3' - 0"	7' - 0"	1 3/4"	H.M.	PAINT		H.M.	PAINT	PROVIDE KICKPLATE, CLOSER, PRIVACY LOCK WITH KEYED ENTRY HARDWARE, ADA HANDLES & PULLS
4	MAINT. CLOSET	A	3' - 0"	7' - 0"	1 3/4"	H.M.	PAINT		H.M.	PAINT	PROVIDE LOCKED ENTRY

Revisions		
Number	Description	Date

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S. Flores Warehouse Rehab

1108 S. Flores
San Antonio, TX 78204

project #: 62
date: 11.28.23
drawn by: EH
checked by: EH
drawing title:

DOOR TYPES & SCHEDULES

drawing number:
A601

Electrical

[SEE “ELECTRICAL” PLANS / DRAWINGS ON FOLLOWING PAGE]

SHEET E3.0



OVER ALL POWER
SCALE 1/8"=1'-0"

PROJECT **S. Flores Warehouse Rehab**

1108 S. Flores
San Antonio, TX 78204

PROJECT

JOB NO:

ISSUE DATE:

REVISIONS:
DESCRIPTION DATE

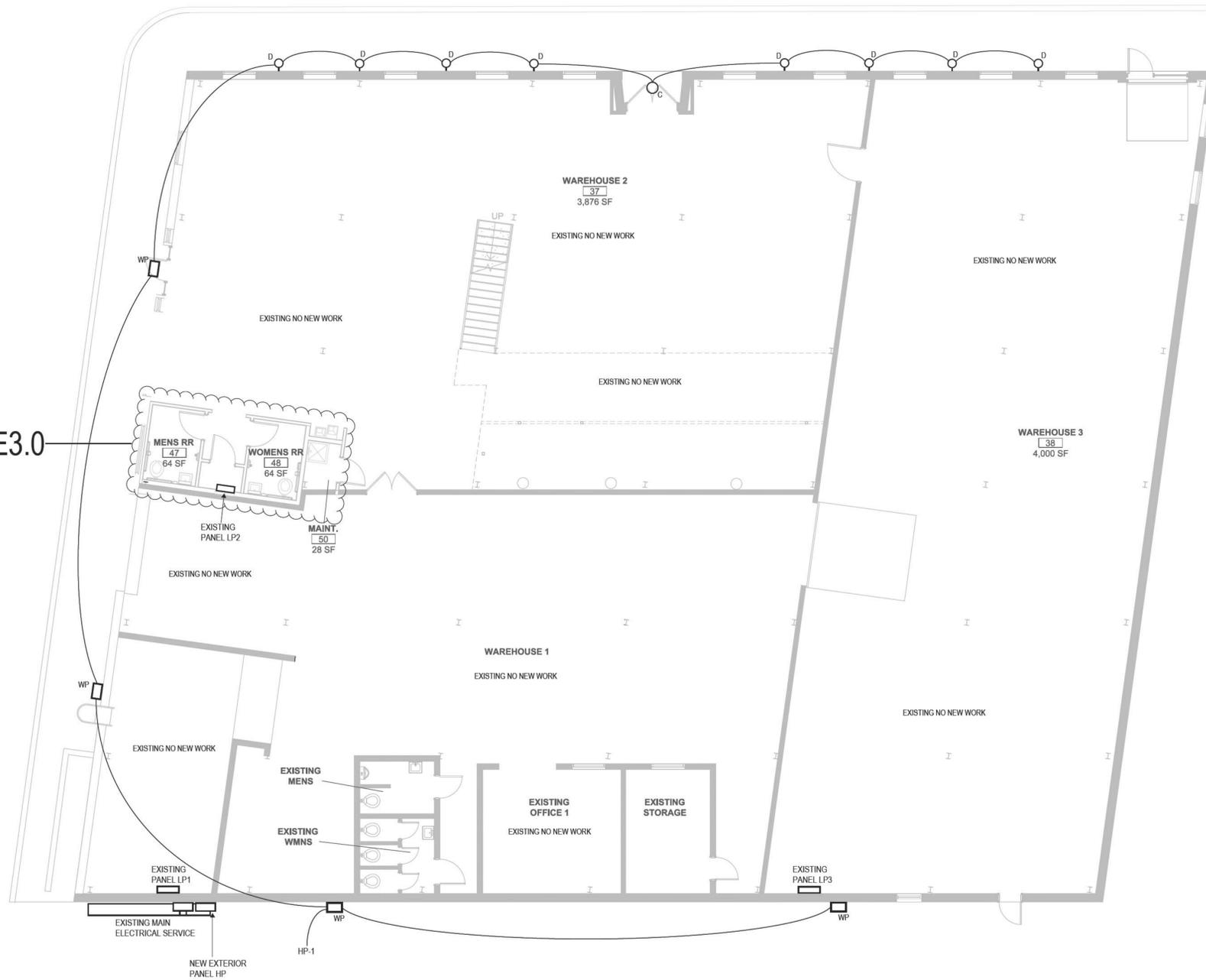


Miguel A. Garcia
01.19.23

Garcia Modesto, Inc.
Engineering Services
Firm # 2556
3935 Hunters Rock
San Antonio, TX 78230

SHEET NUMBER
E1.0

SHEET E3.0



OVER ALL - LIGHTING
 SCALE 1/8"=1'-0"

PROJECT **S. Flores Warehouse Rehab**

1108 S. Flores
 San Antonio, TX 78204

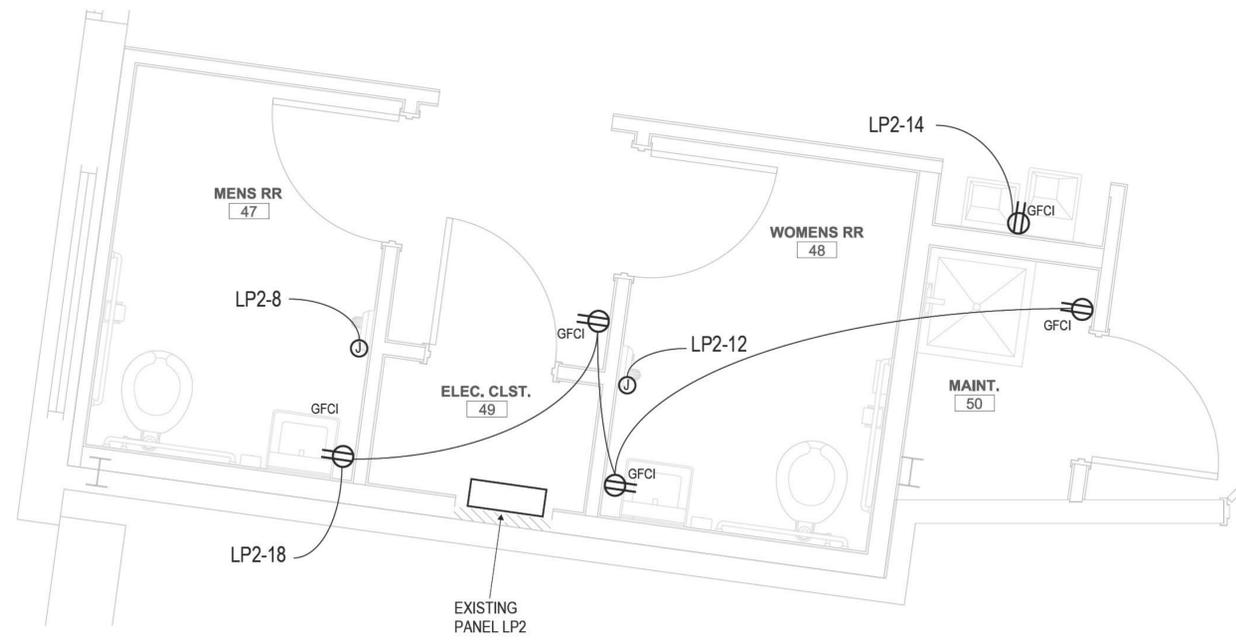
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 ISSUE DATE: _____

#	DESCRIPTION	DATE

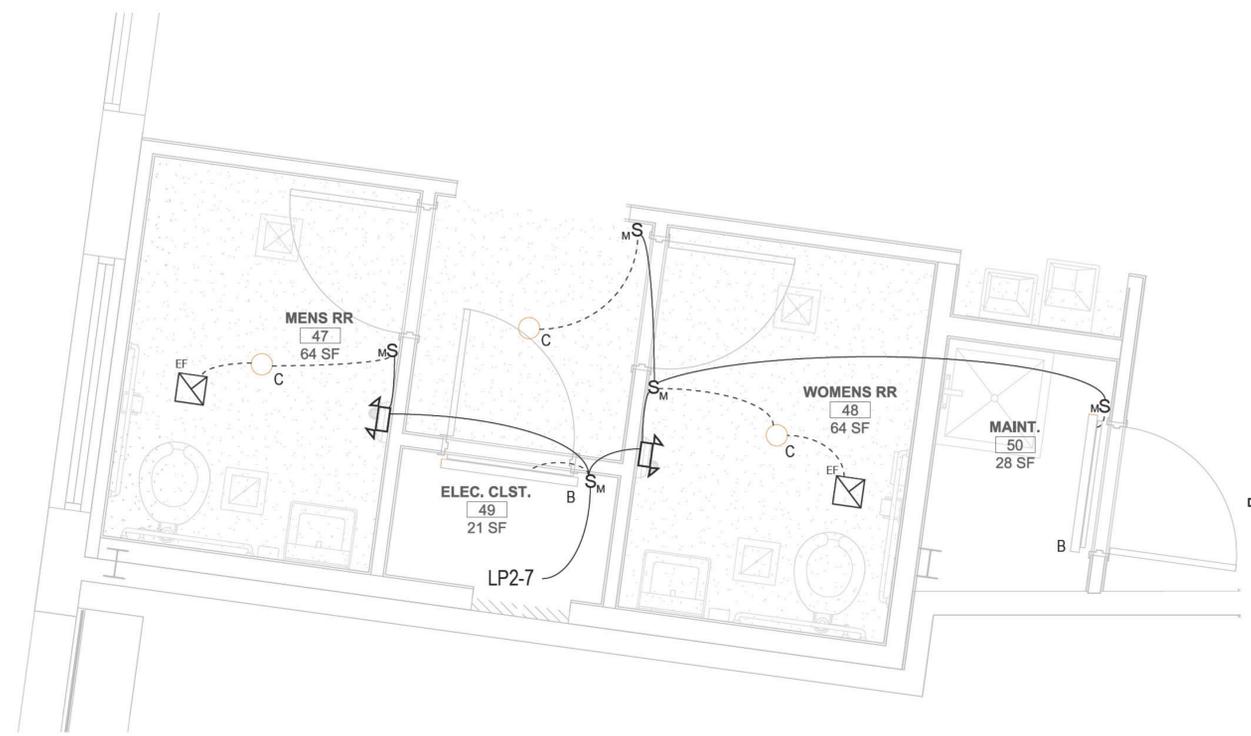
STATE OF TEXAS
 MIGUEL A. GARCIA
 71024
 LICENSED PROFESSIONAL ENGINEER
Miguel Garcia
 01.19.23

Garcia Modesto, Inc.
 Engineering Services
 Firm # 2556
 3935 Hunters Rock
 San Antonio, TX 78230

SHEET NUMBER
E2.0



NEW R/R POWER
SCALE 1/2"=1'-0"



NEW R/R LIGHTING
SCALE 1/2"=1'-0"

FIXTURE SCHEDULE

- 48" LED LAY-IN FIXTURE 33 WATT 4000K (38-TOTAL)
- 6" ROUND LED 13 WATT REC 4000K (10-TOTAL)
- 20WATT 4000K WALL PACK
- 28WATT 4000K WALL PACK WITH CUTOFF
- WALL MOUNTED EXIT SIGN WITH BATTERY BACK-UP
- WALL MOUNTED EXIT/EMERGENCY LIGHT WITH BATTERY BACK-UP
- WALL MOUNTED EMERGENCY LIGHT WITH BATTERY BACK-UP (6-TOTAL)
- WALL MOUNTED SWITCH
- WALL MOUNTED OCCUPANCY SENSOR

LIGHTING CONTROL COMMISSIONING PLAN:

THE SUBJECT PROJECT HAS BEEN DESIGNED UNDER THE COMMERCIAL PROVISIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE, IECC. IN ACCORDANCE TO INFORMATION PROVIDED IN COSA 1B22.1. THE CONTRACTOR MUST COMPLETE THE TASKS BELOW, DOCUMENTING EACH TASK, THE PERSON COMPLETING THE TASK, THE INITIAL SETTINGS, ACTIONS PERFORMED AND FINAL SETTINGS.

LIGHTING SYSTEM FUNCTIONAL TEST. A PLAN HAS BEEN DEVELOPED AS FOLLOWS FOR THE LIGHTING SYSTEM FUNCTION TESTING:

1. THE ENGINEER OF RECORD WILL TEST THE VACANCY SENSORS TO ASSURE FULL COMPLIANCE WITH THE IECC.
2. THE ENGINEER WILL INCLUDE THE MAKE AND MODEL OF THE SENSORS TESTED.
3. SENSORS WILL BE TESTED TO DETERMINE MINIMUM SET POINTS AND SENSING FUNCTIONS REQUIRED BY THE IECC.
4. FUNCTIONAL TESTING. PRIOR TO PASSING FINAL INSPECTION, THE ENGINEER SHALL PROVIDE EVIDENCE THAT THE LIGHTING CONTROL SYSTEMS HAVE BEEN TESTED TO ENSURE THAT CONTROL HARDWARE AND SOFTWARE ARE CALIBRATED, ADJUSTED, PROGRAMMED AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTRUCTIONS.
5. FUNCTIONAL TESTING SHALL BE IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE IECC. OCCUPANT SENSOR CONTROLS WILL BE TESTED AND ENGINEER WILL CERTIFY THAT THE OCCUPANT SENSORS HAVE BEEN LOCATED AND AIMED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. EACH SENSOR SHALL BE TESTED.



Garcia Modesto, Inc.
Engineering Services
Firm # 2556
3935 Hunters Rock
San Antonio, TX 78230

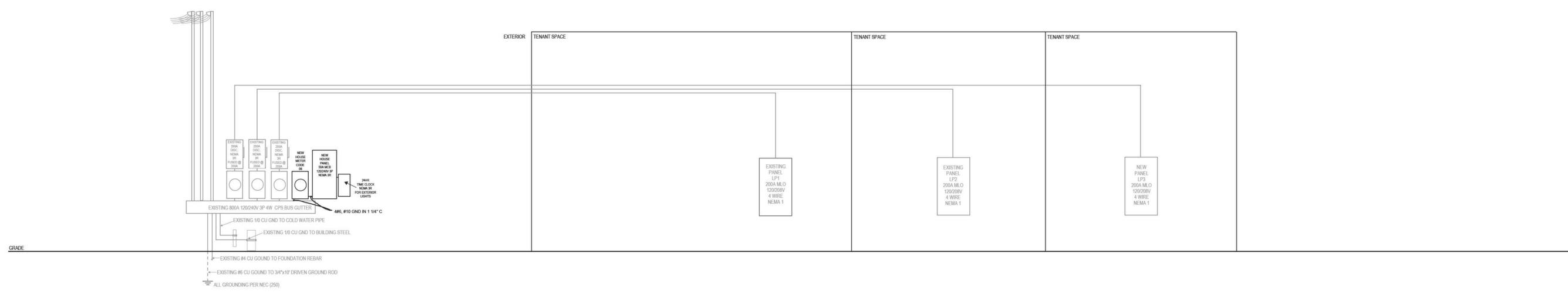
PROJECT **S. Flores Warehouse Rehab**

1108 S. Flores
San Antonio, TX 78204

JOB NO:
ISSUE DATE:

REVISIONS:	DATE
# DESCRIPTION	

SHEET NUMBER
E3.0



BUILDING ELECTRICAL RISER DIAGRAM

PANEL: LP2 (EXISTING)				NEMA 1							
VOLTAGE: 120/240				200A MLO 10KAIC RATING							
CIR. NO.	EQUIPMENT	KVA	WIRE	PHASE			TRIP	WIRE	KVA	EQUIPMENT	CIR. NO.
				A	B	C					
1.	EXISTING LIGHTING	1.5	20					20	1	EXISTING OUTLETS	2.
3.	SPACE		20					20		SPACE	4.
5.	EXISTING LIGHTING	1	20					20	1.2	EXISTING OUTLETS	6.
7.	REST ROOM LIGHTS	0.3	20					20	1	REST ROOM DRYER	8.
9.	SPACE									SPACE	10.
11.	SPACE							20	1	REST ROOM DRYER	12.
13.	SPACE							20	0.8	DRINKING FOUNTIAN	14.
15.	SPACE									SPACE	16.
17.	SPACE							20	0.4	REST ROOM OUTLETS	18.
19.	SPACE									SPACE	20.
21.	SPACE									SPACE	22.
23.	SPACE									SPACE	24.
25.	SPACE									SPACE	26.
27.	SPACE									SPACE	28.
29.	SPACE									SPACE	30.
31.	SPACE									SPACE	32.
33.	SPACE									SPACE	34.
35.	SPACE									SPACE	36.
37.	SPACE									SPACE	38.
39.	SPACE									SPACE	40.
41.	SPACE									SPACE	42.
Load Phase A		4600									
Load Phase B		0						Average Amperage = 22.78			
Load Phase C		3600									
Total Connected		8200									

PANEL: HP (NEW)				NEMA 1							
VOLTAGE: 120/240				50A MCB 10KAIC RATING							
CIR. NO.	EQUIPMENT	KVA	WIRE	PHASE			TRIP	WIRE	KVA	EQUIPMENT	CIR. NO.
				A	B	C					
1.	EXTERIOR LIGHTS	0.8	20							SPACE	2.
3.	SPACE									SPACE	4.
5.	SPACE									SPACE	6.
7.	SPACE									SPACE	8.
9.	SPACE									SPACE	10.
11.	SPACE									SPACE	12.
13.	SPACE									SPACE	14.
15.	SPACE									SPACE	16.
17.	SPACE									SPACE	18.
19.	SPACE									SPACE	20.
21.	SPACE									SPACE	22.
23.	SPACE									SPACE	24.
25.	SPACE									SPACE	26.
27.	SPACE									SPACE	28.
29.	SPACE									SPACE	30.
31.	SPACE									SPACE	32.
Load Phase A			800								
Load Phase B			0					Average Amperage = 2.22			
Load Phase C			0								
Total Connected			800								



Garcia Modesto, Inc.
Engineering Services
Firm # 2556
3935 Hunters Rock
San Antonio, TX 78230

PROJECT **S. Flores Warehouse Rehab**

1108 S. Flores
San Antonio, TX 78204

JOB NO: _____
ISSUE DATE: _____

REVISIONS:	DATE
# DESCRIPTION	

SHEET NUMBER
E4.0

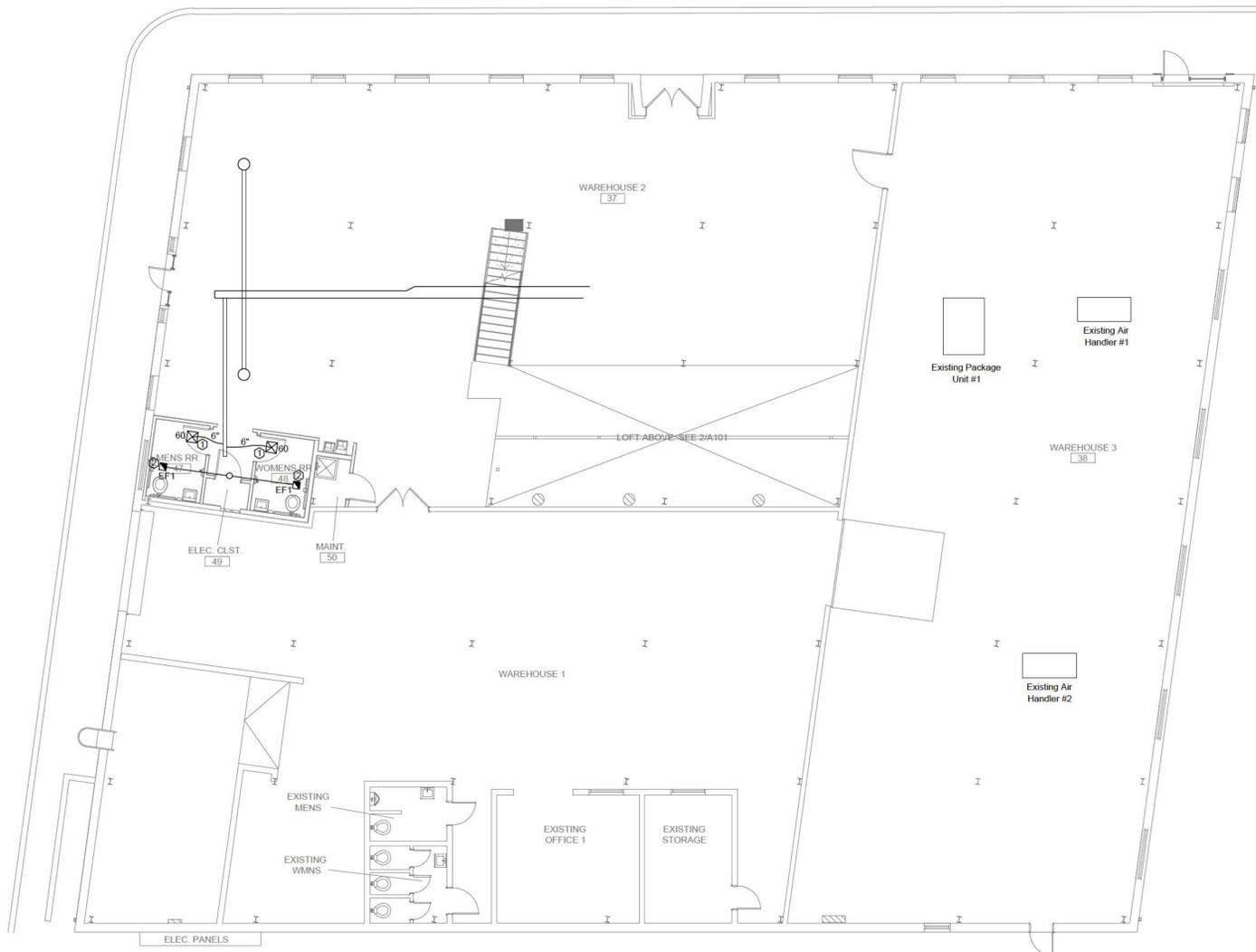
HVAC

[SEE “HVAC” PLANS / DRAWINGS ON FOLLOWING PAGE]

Edward C. Monaco P.E.
 PO Box 591396
 San Antonio, Texas 78259
 210-846-4594
 edwardmonaco@hotmail.com
 Firm #F8297



MECHANICAL CONTRACTOR
H HOLTS MECHANICAL
 5522 RITTIMAN RD
 SAN ANTONIO, TEXAS 78218
 TEL: (210) 661-7500



Mechanical Plan
 Not to Scale

Scope of Work

Add 2 air devices and ductwork.
 Add 2 ducted exhaust fans.
 Clean and service existing A/C system.
 No new A/C systems.

General Mechanical Notes

1. All work to be in accordance with the latest approved building codes.
2. Support ductwork securely from the structure above.
3. Flex ducts to be R6.
4. Diffusers and grills shall be building standard or approved equal.
5. Balance air flow upon completion.

Construction Notes

1. New supply grills and ductwork.
2. New ducted restroom exhaust fan.

EF1 Exhaust Fan

Ceiling mounted
 80 CFM
 120 volt
 Ducted thru roof.
 Controlled by wall switch

CONSULTANTS:

PROJECT:

S. Flores Warehouse Rehab
1108 S. Flores
San Antonio, TX 78204

REVISIONS:

PROJECT STATUS
 ISSUE DATE

SHEET TITLE
MECHANICAL PLAN

DATE
 PROJECT NO.
 DRAWN BY. KH
 CHECKED BY. KH
 SHEET NUMBER

M-1

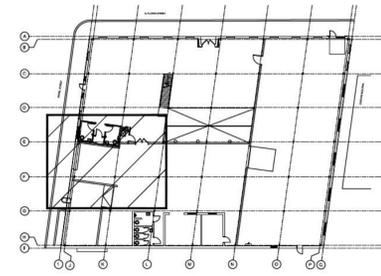
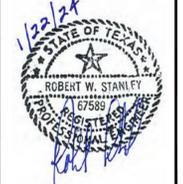
Plumbing

[SEE “PLUMBING” PLANS / DRAWINGS ON FOLLOWING PAGE]

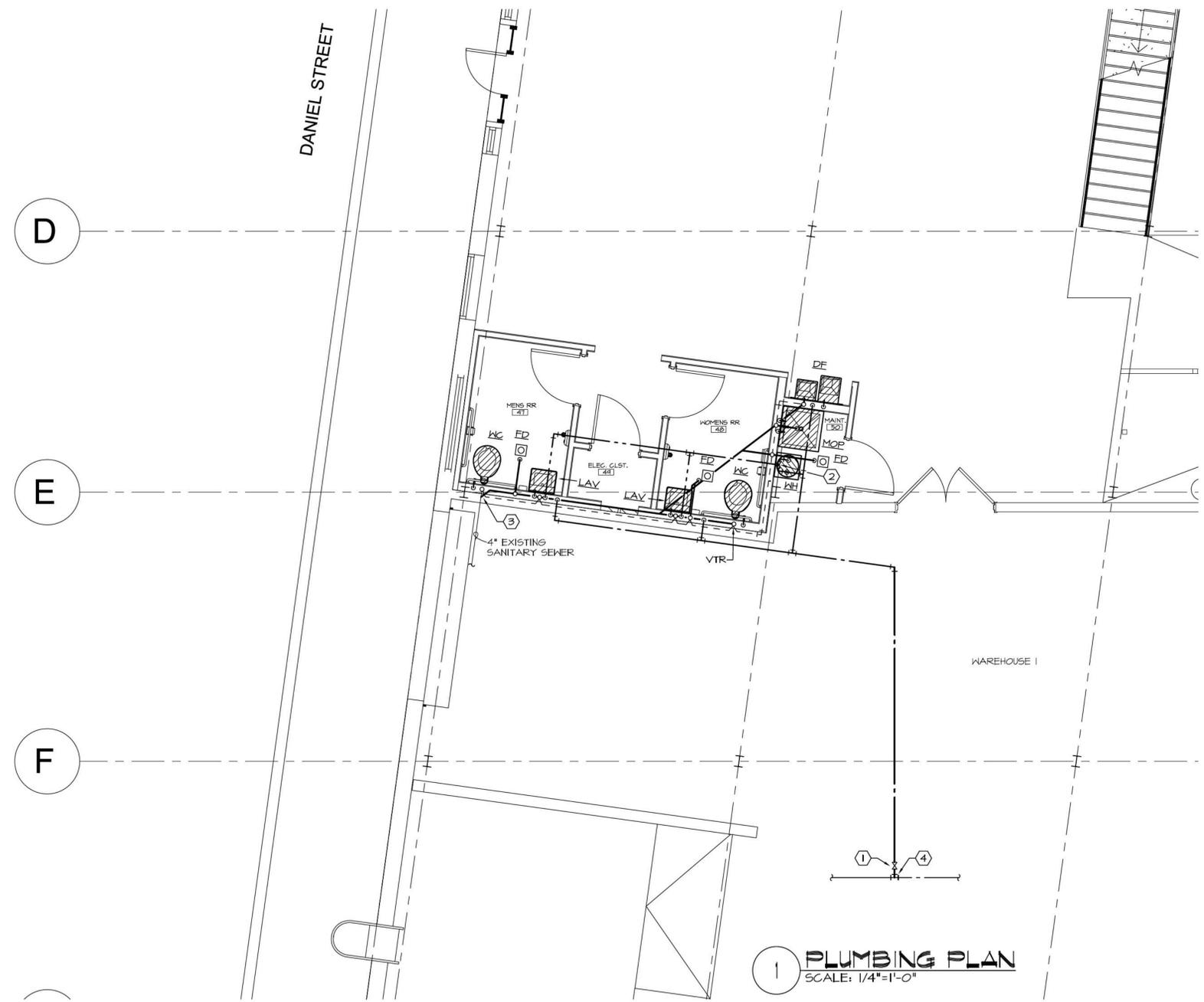
REVISIONS DATE	#

These drawings and accompanying Specifications are to be an instrument of service and shall remain the property of the architect. They are not to be used on other projects or extensions to this project except by agreement in writing and with appropriate compensation to the Architect. Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety procedures and programs in connection with the project.

RSW CONSULTANTS
 Project Management • Design
 12035 Colwick
 San Antonio, TX 78216
 Tel. (210) 408-1860
 Firm Reg #8236



KEY PLAN



1 PLUMBING PLAN
 SCALE: 1/4"=1'-0"

PLUMBING KEYED NOTES:

- ① PROVIDE LINE SIZE SHUT-OFF VALVE.
- ② PROVIDE & INSTALL 3/4" ANTI-SCALDING THERMOSTATIC MIXING VALVE ON HOT WATER LINE FEEDING SINKS. SET TO 110° MAX. MUST CONFORM TO ASSE 1070.
- ③ CONNECT NEW SANITARY SEWER TO EXISTING LINE IN AREA. VERIFY FLOW DIRECTION.
- ④ CONNECT NEW 2" COLD WATER LINE TO EXISTING COLD WATER TAP ABOVE, FIELD COORDINATE LOCATION.

S. Flores Warehouse Rehab
 1108 S. Flores
 San Antonio, TX 78204

DRAWN
 RSW
 CHECKED
 RSW
 DATE
 11.28.23
 PROJECT
S. Flores Warehouse Rehab
 JOB. NO.
 62
 SHEET

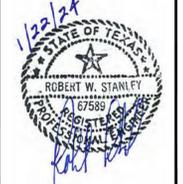
P1
 PLUMBING
 PLAN

REVISIONS DATE	#

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S. Flores Warehouse Rehab
1108 S. Flores
San Antonio, TX 78204

DRAWN RSW
CHECKED RSW
DATE 11.28.23
PROJECT S. Flores Warehouse Rehab
JOB NO. 62
SHEET
P2
PLUMBING SCHEDULES

SPEC. SPACE DRAINAGE FIXTURE CALCULATIONS

FIXTURE	F.U. FIXTURE	# OF FIXTURES	TOTAL F.U.
WATER CLOSET	4.0	2	8.0
LAVATORY	1.0	2	2.0
MOP SINK	2.0	1	2.0
FLOOR DRAIN	2.0	3	6.0
TOTAL WASTE FIXTURE UNITS = 18.0 F.U.			
RECOMMENDED PIPE SIZE REQUIRED @ 0.125/FT SLOPE = 4"			

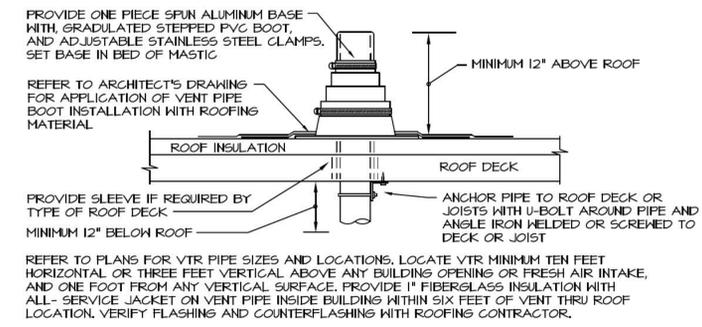
SPEC. SPACE WATER METER FIXTURE CALCULATIONS

FIXTURE	F.U. FIXTURE	# OF FIXTURES	TOTAL F.U.
WATER CLOSET	10.0	2	20.0
LAVATORY	2.0	2	4.0
MOP SINK	3.0	1	3.0
DRINKING FOUNTAIN	0.25	1	0.3
TOTAL WATER FIXTURE UNITS = 27.3 F.U.			
BASED ON PREDOMINANTLY FLUSH VALVES THE WATER DEMAND ESTIMATE = 44 GPM WATER SIZE REQUIRED = 2"			

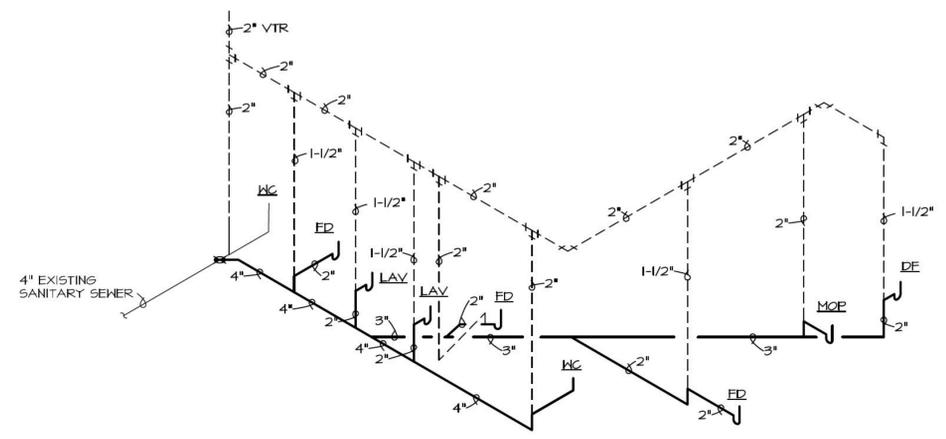
PLUMBING FIXTURE CONNECTION SCHEDULE

MARK	FIXTURE	CW	HN	W	V	REMARKS
WC-1	WATER CLOSET (HANDICAP)	1"	-	4"	2"	a. KOHLER #K-4605; ELONGATED WATER CLOSET; WHITE CHINA; FLOOR MOUNTED; 1.28 GAL. PER FLUSH. b. SLOAN ROYAL #111-128 FLUSH VALVE. c. CHURCH #4500C WHITE, OPEN FRONT SEAT.
LAV	LAVATORY (HANDICAP)	1/2"	1/2"	2"	1-1/2"	a. KOHLER #K-2030; WALL MOUNTED; WHITE CHINA; 20"x 18"; 8" CENTERS b. CHICAGO FAUCET #404-VE2805-317ABCP, 0.5 GPM; 4" WRIST BLADES c. CHROME PLATED GRID STRAINER. d. 17 GA., 1 1/2" P-TRAP. e. 1/2"x 3/8" STOPS & SUPPLIES; CHROME PLATED. f. WADE SERIES 520 CARRIER. g. TRUEBRO #102 P-TRAP AND SUPPLY PIPING INSULATION KIT.
MOP	SERVICE SINK	1/2"	1/2"	3"	2"	a. FIAT MSB2424 24"x24"x10" b. T45 SERVICE SINK FAUCET B-2465; SINK FITTING W/ VACUUM BREAKER, 3/4" HOSE TREADED OUTLET; PAIL HOOK W/ WALL SUPPORT c. PROVIDE STAINLESS STEEL BACK PANEL.
FD	FLOOR DRAIN	-	-	2"	1-1/2"	a. WADE # 1100STD 6" DIA. CAST IRON FLOOR DRAIN PROVIDE TRAP GUARD
DF	WATER COOLER	1/2"	-	2"	1-1/2"	a. ELKAY #EZ5TL8G; WALL MOUNT, BARRIER-FREE ACCESS, ADA COMPLIANT

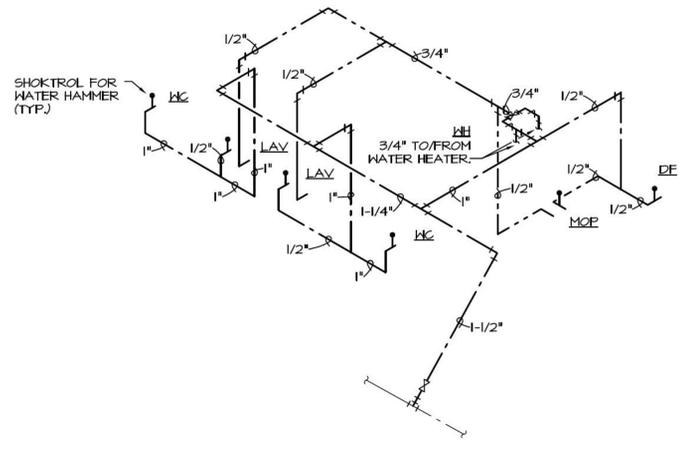
- NOTES**
- ALL FIXTURES SHALL HAVE AN INDIVIDUAL SHUTOFF VALVE.
 - ALL FIXTURES SHALL BE PROVIDED W/ A SHOKTROL.
 - INSTALL A METER AND/ OR BACKFLOW PREVENTOR AS LOCAL CODE REQUIRES.



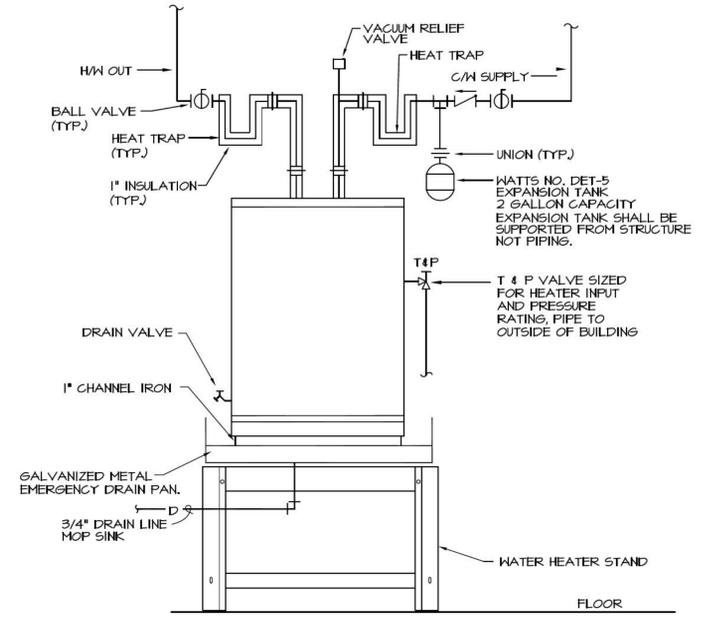
4 VENT THRU ROOF
NO SCALE



3 WASTE & VENT RISER
NO SCALE



2 HOT & COLD WATER RISER
NO SCALE



1 WATER HEATER DETAIL
NO SCALE

WATER HEATER SCHEDULE

MARK	RECOVERY GPH	STORAGE GALLONS	LINING	MAXIMUM INPUT BTUH	REMARKS
WH	10	60	10	GLASS 1.5 KH @ 120V/1Ø	STATE #PCE-10-10MSA

PROVIDE WITH SIOUX CHIEF SKU: 548-010, 18 GAUGE STEEL WATER HEATER STAND.

II. Detailed Written Narrative of Proposed Work

Background:

The project aims to preserve and restore the historical integrity of 1108 S Flores while simultaneously updating the building to support modern commercial use. The proposed work involves careful restoration and maintenance of existing features, along with necessary alterations to enhance the building's functionality and safety. The following narrative outlines the scope of the exterior and interior work, structural improvements, and updates to the mechanical, electrical, and plumbing (MEP) systems.

Proposed Exterior Repairs:

Façade Restoration. The exterior walls will be repainted using BEHR, Baja (PPU7-08) for the primary surfaces and BEHR, Rejuvenation (S370-4) for accents and trims. Major stucco cracks on three (3) sides of the building will be patched using Rapid Set, ensuring consistency with the original finish. All exterior window trims will be repainted and any necessary repairs to the frames will be completed to maintain their historical appearance.

Roof Maintenance. The roof will undergo thorough maintenance, including the repainting of gutters, downspouts, and cap flashing using BEHR, Rejuvenation (S370-4). Penetrations, ridges, and flashings will be resealed, and debris will be removed from the gutters to ensure proper drainage.

Doors and Accessories. The exterior door on S Flores will be repainted, and its wood trim will be inspected for water infiltration, with sealing applied as needed. All exterior electrical gear, conduits, and pipes will be repainted, and the new wall sconces will be installed to enhance security and aesthetics.

Proposed Exterior Alterations:

Minor Modifications for Commercial Use. Necessary alterations will be made to support new commercial use of the building, including installing 14 new exterior LED wall sconces for improved security and lighting. As noted in *HDRC Case No 2017-425*, "photos from circa 1990 show the Flores façade with no window openings", and "the existing window openings are not original to the structure". As such, the existing non-original window frames will be repaired as needed to ensure they are consistent with the historical aesthetic of the building.

Proposed Interior Repairs:

Preservation of Historical Features. The existing concrete floors will be retained and protected. Dirt, dust, and debris will be cleaned using sweeping and HEPA-filtered vacuuming, where needed. All flooring, doors, and hardware will be refurbished whenever possible to meet modern safety standards, while maintaining their original appearance.

Ceiling Insulation. Damaged ceiling insulation facing will be inspected, removed, and replaced with new facing material. The new material will be measured, cut, and securely applied to maintain the insulation's effectiveness and appearance.

Proposed Interior Alterations:

Flooring. In Warehouse #2 and #3, a licensed Asbestos Abatement company (American Abatement) will treat and certify the removal of ~610 square feet of asbestos-containing materials found in three (3) patches of residual mastic on the flooring. Then, the existing concrete floors will be sealed and encapsulated using a primer and base coat, followed by a chip floor coating system. Vinyl flakes will be introduced, and a final top coat of Polyaspartic or Acrylic Coating will be applied to ensure durability and aesthetic appeal.

New Additions. Two (2) new bathrooms, an electrical closet, and a maintenance room will be added to Warehouse #2. These additions will involve necessary plumbing, electrical, HVAC, and fireproofing work. New walls will be finished with painted gypsum boards, and the new doors will be installed for each space.

Structural Improvements /Alterations:

Reinforcement and Updates. Any necessary structural reinforcements will be made to support the new additions and ensure the building's integrity. This includes updating partitions and mechanical systems to comply with modern building codes, while respecting the historical framework.

MEP:

MEP Systems. Routine HVAC maintenance will be conducted, including cleaning, servicing, and replacing filters and belts as needed. The existing electrical panel in Warehouse #2 will be housed in the new electrical closet, and new plumbing, electrical, and HVAC systems will be installed for the new additions.

III. Itemized List of Expected Work

Exterior Work: Repairs, Maintenance, and Cleaning – No alterations to existing historic features.

- Exterior façade:
 - Repaint all exterior walls
 - **Brand:** BEHR
 - **Color:** Baja (PPU7-08)

- Roof:
 - Repaint all gutters and downspouts
 - **Brand:** BEHR
 - **Color:** Rejuvenation (S370-4)

 - Repaint all cap flashing
 - **Brand:** BEHR
 - **Color:** Rejuvenation (S370-4)

 - Reseal penetrations, ridge, and flashing

 - Clean out gutters and remove roof debris

- Exterior window frames:
 - Repaint all exterior window trims
 - **Brand:** BEHR
 - **Color:** Rejuvenation (S370-4)

- Exterior door (located on S Flores):
 - Repaint exterior door and wood trim
 - **Brand:** BEHR
 - **Color:** Rejuvenation (S370-4)
 - Inspect for water filtration at threshold; seal as needed

- Exterior garage and ladder:
 - Repaint
 - **Brand:** BEHR
 - **Color:** Rejuvenation (S370-4)

- Other exterior accessories:
 - Repaint all exterior electrical gear, conduits, service, slider, and pipes
 - **Brand:** BEHR
 - **Color:** Rejuvenation (S370-4)
 - Paint exterior louvred opening
 - **Brand:** BEHR
 - **Color:** Rejuvenation (S370-4)

Exterior Work: Minor alterations required to support new commercial use.

- Exterior façade:
 - Patch major stucco cracks on 3 sides, as needed
 - **Type:** Rapid Set
 - **Color:** PPG

- Exterior window frames:
 - Repair exterior window frames, consistent with the existing (as needed)
- Exterior door (located on S Flores):
 - Repair exterior wood trim, consistent with the existing (as needed)
- Other exterior accessories:
 - Provide all new wall sconces; replace with 14 new exterior LED's

Interior Work: Repairs/Cleaning – No alterations to historic/original features.

Interior Paint:

- Repaint walls, doors/frames, columns, stair spandrel underneath, patching
 - **Brand:** Benjamin Moore
 - **Finish:** Eggshell
 - **Color:** White Dove (OC-17)

Flooring:

- Existing concrete floors to be retained/protected
- Clean dirt, dust, and debris by sweeping and/or HEPA-filtered vacuum, where needed

Interior Windows/Trim:

- Existing interior window trims to be retained/protected
- Patch, seal, and waterproof, if needed

Interior Doors/Hardware:

- Existing doors/hardware to be retained/protected, when possible

Ceilings:

- Existing insulation and finishes to be retained/protected
- Inspect and remove damaged ceiling insulation facing (covering), where needed
- Measure, cut, and apply adhesive on new facing to secure patching, where needed

Interior Work: Minor alterations required to support new commercial use.

Flooring (Warehouse #2 and #3):

- Asbestos Abatement:
 - Licensed asbestos abatement company (American Abatement) to treat and certify the removal of ~610 sqft of asbestos-containing materials found in three (3) patches of residual mastic on the existing flooring
- Seal Concrete Floor:
 - Apply primer / base coat over existing concrete flooring to seal, encapsulate, and retain existing flooring
- Chip Floor Coating System:
 - Introduce new layer of vinyl flakes with Polyaspartic and epoxy
- Reseal (Top Coat):
 - Add another final top coat of Polyaspartic or Acrylic Coating

New Additions (Warehouse #2):

- Refer to the “Construction Documents” for detailed explanation, floor plan, elevations, and code/accessibility requirements
- Construct new addition(s):
 - **Bathroom:** Add new male/female bathroom(s) via adjoining partition, totaling 47 and 48 square feet, respectively
 - **Electrical Closet:** Add new electrical closet to house existing electrical panel (in between the Men’s RR and Women’s RR), totaling 49 square feet
 - **Maintenance Closet:** Add new maintenance/storage closet, totaling 50 square feet
- Walls: Painted gypsum boards
 - White-box finish out
 - **Brand:** Benjamin Moore
 - **Finish:** Eggshell
 - **Color:** White Dove (OC-17)
- Ceilings: Painted suspended gypsum board ceiling / furrdown over new partition
 - White-box finish out
 - **Brand:** Benjamin Moore
 - **Finish:** Eggshell
 - **Color:** White Dove (OC-17)
- Flooring: Retain existing encapsulated concrete flooring
- Doors: Install two (2) new doors for either bathroom
- Fixtures, Signage, and Other Accessories: Refer to the “Construction Documents” for detailed explanation on adhering to all accessibility standards
- MEP: Conduct necessary plumbing, framing, drywall, fireproofing, electrical, and HVAC needed for additions

New Unit Finishes:

- Conduct minor finish out for three (3) office units in upstairs loft (Warehouse #2)
- Floors:
 - Retain/repair existing flooring finishes
 - Remove/replace non-repairable carpet tile with in-kind, where needed
- Walls:
 - Retain existing and repaint white
 - Repair/replace damaged wall floorboards with in-kind, if needed
- Doors:
 - Install (3) new doors for each office space entrance

MEP – Repairs, maintenance, and minor alterations required to support new commercial use.

- Routine HVAC Maintenance:
 - Clean and service existing
 - Replace filters and belts, if needed
 - Check for major repairs
- Electrical Housing: Disconnect power and install new 100a 120/208V 3phase loop and house panel in the proposed new electrical closet
- Bathroom Additions: Run plumbing, electrical, and HVAC to both new bathroom additions (Warehouse #2)
- Exterior LED Lights: Check and fix electrical wiring to ensure lights are operational, if needed

Additional Notes:

- Product specifications and compliance:
 - All materials and products specified for this project shall adhere to the guidelines outlined in the *San Antonio Historic Design Guidelines*.
 - The primary paint to be used for the majority of the exterior walls (**BEHR, Baja PPU7-08**), and the secondary paint to be used for accents, trims, accessories, and other exterior building components (**BEHR, Rejuvenation S370-4**), satisfy the durability and historical accuracy requirements for the preservation of historic buildings.
 - All other materials, including stucco patches (**Rapid Set, PPG**) and window trims, will be specified to match the original building materials, and will be restored to their original profiles using historically appropriate techniques and materials.

- Maintaining historical integrity:
 - The proposed work will not alter any significant historic features of the building.
 - The primary goal of this project is to preserve the historic integrity of the structure while conducting necessary repairs and maintenance to make the property operational and attractive to quality, community-building tenants.
 - Original architectural elements, such as window trims and façade details, will be carefully preserved and restored using appropriate materials and techniques (including the use of historically accurate methods for paint application and material repair).

- Applicable citations:
 - As noted in *HDRC Case No 2017-425*, “photos from circa 1990 show the Flores façade with no window openings”, and “the existing window openings are not original to the structure”
 - We are not proposing any significant alterations to the non-original window openings or structure. Instead, our request is to repair and maintain the window openings and structures to their restored, existing capacity and design intent.
 - As per “B. Alterations (Rehabilitation, Restoration, and Reconstruction)” in *Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations*, the proposed exterior façade repairs and maintenance, including the selected repaint color(s), meet the following requirement(s) to:
 - “Not introduce new façade elements that alter or destroy the historic building character, such as adding inappropriate materials or altering the size or shape of windows, doors, bulkheads, and transom openings”
 - “Not disrupt the rhythm of the commercial block”
 - “Return non-historic façade to the original design based on photographic evidence ... ensuring that scale, design, materials, color, and texture is compatible with the historic building”

IV. Projected Time Schedule

SUMMARY TIMELINE

Project Start: July 2024

Project End: September 2024

Total: 3 months

DETAILED TIMELINE

TASK / ACTION:	DATE:	NOTES:
COA, Exterior:	July 9	Received approval on COA RE: Exterior Work
Asbestos Waiting Period:	July 17 – July 26	10-day waiting period, as required by State of Texas
Asbestos Abatement:	July 29 – August 2	Abatement = 2-3 days + 3 days for additional follow-up testing
City Permitting:	August 2 – August 19	Complete all city permitting / code compliance / inspections
Begin Construction:	August 19	
End Construction:	By End of September	Includes all final permitting / inspections

V. Estimated Associated Costs

Estimated Total Project Costs:

Total Projected Rehabilitation Costs:



[SEE DETAILED BUDGET ON FOLLOWING PAGE]



Historic Rehab Construction Budget Summary

A and V Group General Contracting LLC | avgroupllc@outlook.com | 210.926.3456

DATE: 7.10.24

CUSTOMER: Mithril Holdings LLC
 LOCATION: 1108 S Flores St

TOTAL SF	10,000
COST / SF	█

TRADE	COMMENTS	COST	COST / SF
General Conditions	Clean, barricades, toilets, job signage, OSHA	█	█
Supervision		█	█
Exterior Paint	Repaint stucco, gutters bollards, rails, doors/frames, service, ladder, slider	█	█
Interior Paint	Repaint walls, doors/frames, columns, stair spandrel underneath, patching	█	█
Roofing	Reseal penetrations, ridge, and flashings. Clean out gutters & remove roof debris	█	█
Electrical	New 100a 120/208V 3phase loop and house panel; 14 total new exterior LED's	█	█
HVAC	Clean and service existing. Replace filters, belts. Check for major repairs.	█	█
Stucco/Window Frames	Patch major stucco cracks on 3 sides if needed; patch/repair (18) existing window frames if needed	█	█
Added Walls & RR in Corner	HVAC, plumbing, drywall, electrical, framing, stucco	█	█
Demo/Patch/Infill at Exterior Door		█	█
Misc Steel	\$7,500.00 Allowance - Lintels if needed	█	█
Misc Carpentry/Drywall	\$2,500.00 Allowance if needed	█	█
Misc Waterproofing	\$3,500.00 Allowance - Windows if needed	█	█
Owner Allowance	Allowance	█	█
Fire sprinkler modifications/adds/design	Excluded	-	-
Security	\$10,000.00 Allowance - security hardware, installation, activation, 1st month's monitoring	█	█
Asbestos Abatement	Treat ~610 sqft of ACM found in patches of residual mastic on flooring	█	█
Warehouse Floor Sealer	Prime. Chip floor vinyl flakes - PASP/epoxy. Seal with top coat - Polyaspartic/Acrylic Coating	█	█
Tenant Building Signage	Excluded	-	-
Warehouse HVAC & Insulation	Inspect/remove damaged ceiling insulation facing. Measure, cut, and apply adhesive to secure new patching	█	█
Internet / Structural Cabling / Data / IT	Excluded	-	-
Architectural, Civil / Structural Design	Design/Dwgs - \$6,175.00 to date - \$4,500.00 Allowance	█	█
Consulting / Legal Fees	Fees - \$5,000.00 to date - \$10,000.00 Allowance	█	█
Construction Materials Testing	Materials testing - \$2,950.00 to date	█	█
Permitting	Allowance	█	█
SUBTOTAL		█	█
Remodel Tax	Assume New - Remodel Tax N/A	█	█
Insurance	1.45% of cost of work	█	█
Overhead & Profit	5.50% of cost of work	█	█
TOTAL		█	█

VI. Pre-Renovation Photos

Color Photos of Exterior

[SEE EXTERIOR PICS ON FOLLOWING PAGE]













1108







S FL
1100 Nathan Hi

S Flores
1100 Nathan Historic District 1200



















Color Photos of Interior

[SEE INTERIOR PICS ON FOLLOWING PAGE]





































VII. Photos of the Structure from the Street

[SEE STREET-VIEW PIC ON FOLLOWING PAGE]



BUDGET VS. IMPROVEMENT VALUE (BCAD):

	2023	2024 (Proposed)
Assessed Improvement Value (BCAD):	\$ [REDACTED]	\$ [REDACTED]
30% of Improvement Value:	\$ [REDACTED]	\$ [REDACTED]
Total Project Budget:	\$ [REDACTED]	\$ [REDACTED]
Surplus (Deficit):	\$ [REDACTED]	\$ [REDACTED]

[SEE BCAD 2024 NOTICE OF APPRAISAL ON FOLLOWING PAGE]

2024 Notice of Appraised Value

Do Not Pay From This Notice

BEXAR APPRAISAL DISTRICT
411 N. FRIO, P.O. BOX 830248
SAN ANTONIO, TX 78283-0248

Website: www.bcad.org

Phone: (210) 224-2432 Fax: (210) 242-2453

DATE OF NOTICE: April 11, 2024

#BWNCTVY
#0213325103#

Account#: 133251
Ownership %: 100.00
Geo ID: 02556-001-0030
DBA: SOFLO
Legal: NCB 2556 BLK A LOTS 3 TO 7
Legal Acres: 0
Situs: 1108 S FLORES ST SAN ANTONIO, TX 78204
Owner ID: 3461105
Efile PIN: XXXXXXXXXXXXXXXXXXXXXXXXXX

*** THIS IS NOT A BILL ***

Property ID: 133251 - 02556-001-0030
MITHRIL HOLDINGS LLC
2310 FOUNTAIN WAY
SAN ANTONIO, TX 78248

Dear Property Owner,

We have appraised the property listed above for the tax year 2024. As of January 1, our appraisal is outlined below.

Appraisal Information	Last Year - 2023	Proposed - 2024
Market Value of Improvements (Structures / Buildings, etc.)	867,980	979,770
Market Value of Non Ag/Timber Land	354,490	372,170
Market Value of Ag/Timber Land	0	0
Market Value of Personal Property/Minerals	0	0
Total Market Value	1,222,470	1,351,940
Productivity Value of Ag/Timber Land	0	0
Appraised Value	1,222,470	1,351,940
Homestead Cap Value/Circuit Breaker Limitation	0	0
Exemptions (DV - Disabled Vet; DP-Disabled Person; HS-Homestead; OV65-Over 65)		

2023 Exemption Amount	2023 Taxable Value	Taxing Unit	2024 Proposed Appraised Value	2024 Exemption Amount	2024 Taxable Value
0	1,222,470	BEXAR CO RD & FLOOD	1,351,940	0	1,351,940
0	1,222,470	SA RIVER AUTH	1,351,940	0	1,351,940
0	1,222,470	ALAMO COM COLLEGE	1,351,940	0	1,351,940
0	1,222,470	UNIVERSITY HEALTH	1,351,940	0	1,351,940
0	1,222,470	BEXAR COUNTY	1,351,940	0	1,351,940
0	1,222,470	CITY OF SAN ANTONIO	1,351,940	0	1,351,940
0	1,222,470	SAN ANTONIO ISD	1,351,940	0	1,351,940

The difference between the 2019 appraised value and the 2024 appraised value is 50.96%.

An (*) next to the Taxing Unit name indicates a tax ceiling exists for the taxing unit.

The Texas Legislature does not set the amount of your local taxes. Your property tax burden is decided by your locally elected officials, and all inquiries concerning your taxes should be directed to those officials.

If you qualified your home for an age 65 or older or disabled person homestead exemption, the school taxes on that property cannot increase as long as you own and live in that home. The tax ceiling is the amount you pay in that year that you qualified for the age 65 or older or disabled person exemption. The school taxes on your home may not go above the amount of the ceiling, unless you improve the home (other than normal repairs or maintenance).

The governing body of each taxing unit decides whether taxes on the property will increase, and the appraisal district only determines the property's value.

LOCAL PROPERTY TAX DATABASE

Visit [Texas.gov/PropertyTaxes](https://www.texas.gov/PropertyTaxes) to find a link to your local property tax database on which you can easily access information regarding your property taxes, including information regarding the amount of taxes that each entity that taxes your property will impose if the entity adopts its proposed tax rate. Your local property tax database will be updated regularly during August and September as local elected officials propose and adopt the property tax rates that will determine how much you pay in property taxes.

A property owner may request from the county assessor-collector for the county in which the property is located or, if the county assessor-collector does not assess taxes for the county, the person who assesses taxes for the county under Section 6.24(b), contact information for the assessor for each taxing unit in which the property is located, who must provide the information described by this subsection to the owner on request.

County Tax Assessor-Collector: ALBERT URESTI, MPA, PCAC 233 N PECOS LA TRINIDAD, SAN ANTONIO, TX 78207 (210) 335-2251

A property owner may register on the appraisal district's internet website, if the appraisal district maintains an internet website, to have notifications regarding updates to the property tax database delivered to the owner by e-mail.

You may qualify for the real property other than residence homestead circuit breaker limitation if your property's appraised value is not more than the amount determined under Tax Code Section 23.231 Subsection (j) for the tax year in which the property first qualified. Under Section 23.231, Tax Code, for the 2024, 2025, and 2026 tax years, the appraised value of real property other than a residence homestead for ad valorem tax purposes may not be increased by more than 20 percent each year, with certain exceptions. The circuit breaker limitation provided under Section 23.231, Tax Code, expires December 31, 2026. Unless this expiration date is extended by the Texas Legislature, beginning in the 2027 tax year, the circuit breaker limitation provided under Section 23.231, Tax Code, will no longer be in effect and may result in an increase in ad valorem taxes imposed on real property previously subject to the limitation. Visit the appraisal district's website to elect to exchange communications with a tax official electronically under Subsection (a-2) of Tax Code Section 1.085.

To file a protest, complete the notice of protest form following the instructions included in the form and no later than the deadline below, mail or deliver the form to the appraisal review board at the following address: 411 N Frio St., San Antonio, TX 78283-0248

Deadline for filing a protest: May 15, 2024

Location of Hearings: 411 N FRIO ST

ARB will begin hearings: June 3, 2024

Enclosed are copies of the following documents published by the Texas Comptroller of Public Accounts: (1) Taxpayer Assistance Pamphlet; and (2) notice of protest.

Property owners who file a notice of protest with the appraisal review board (ARB) may request an informal conference with the appraisal district to attempt to resolve a dispute prior to a formal ARB hearing. In counties with populations of 1 million or more, property owners may request an ARB special panel for certain property protests.

Contact your appraisal district for further information.

Rogelio Sandoval, Chief Appraiser

[SEE APPROVED COA ON FOLLOWING PAGE]



CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

July 9, 2024

ADDRESS: 1108 S FLORES ST
LEGAL DESCRIPTION: NCB 2556 BLK A LOTS 3 TO 7
HISTORIC DISTRICT: Nathan
PUBLIC PROPERTY: No
RIVER IMPROVEMENT OVERLAY: RIO-7
APPLICANT: NICHOLAS FRIEDMAN/MITHRIL HOLDINGS LLC - 3000 GATLIN CREEK
OWNER: MATTHEW OCZKOWSKI/MITHRIL HOLDINGS LLC - 2310 FOUNTAIN WAY
TYPE OF WORK: Exterior alterations, Exterior lighting, Roofing, Repair and Maintenance, Painting, Window replacement/fenestration changes

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Clean, prep, and painting of the gutters, flashing, window, doors, exterior ladder, trim, and body of the structure.
2. Add exterior lighting.
3. Repair the existing wood windows with in-kind materials.
4. Repair stucco facade with in-kind materials.
5. Repair the door frames with in-kind materials

CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

DATE: 7/9/2024 11:26:56 AM

ADMINISTRATIVE APPROVAL TO: 1. Clean, prep, and painting of the gutters, flashing, window, doors, exterior ladder, trim, and body of the structure.

Avoid painting historically unpainted surfaces.

2. Add exterior lighting.

3. Repair the existing wood windows with in-kind materials.

No modifications to the existing window openings or sashes are to take place. Sashes may be removed from the frames to make repairs; elements such as rails and stiles that are rotten or missing may be replaced with new solid wood elements to match the existing (in kind repairs only). Glass should feature a clarity comparable to the existing (tinted glass should not be used).?

4. Repair stucco facade with in-kind materials.

Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.

5. Repair the door frames with in-kind materials.

Use in-kind materials when possible or materials similar in size, scale, and character when

exterior woodwork is beyond repair. Ensure replacement material is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard and other cementitious materials are not recommended.

APPROVED BY: Claudia Espinosa

A handwritten signature in black ink that reads "Shanon Shea Miller". The signature is written in a cursive, flowing style.

Shanon Shea Miller
Historic Preservation Officer

A Certificate of Appropriateness (COA) serves as a record of design approval and is valid for 180 days. Work that is not completed in accordance with this certificate may be subject to correction orders and other penalties.

A COA does not take the place of any required building permits nor does it authorize the use of a property beyond what is allowed by the Unified Development Code. Prior to beginning your construction project, please contact the Development Services Department at (210) 207-1111 to ensure that all requirements have been met.

This Certificate must remain posted on the job site for the duration of your project. Modifications to an approved design or an expired approval will require a re-issue of your Certificate of Appropriateness by OHP staff. Please contact OHP Staff at (210) 207-0035 with