

HISTORIC AND DESIGN REVIEW COMMISSION

February 05, 2025

HDRC CASE NO: 2025-014
ADDRESS: 1103 E COMMERCE ST
LEGAL DESCRIPTION: NCB 587 BLK 1 LOT 1 ST PAUL SQUARE SUITES HOTEL
ZONING: D,HS
CITY COUNCIL DIST.: 2
DISTRICT: St Paul Square Historic District
LANDMARK: Individual Landmark
APPLICANT: Alison Dunleavy/Post Oak Preservation
TYPE OF WORK: Historic Tax Certification & Verification
APPLICATION RECEIVED: January 16, 2025
60-DAY REVIEW: March 16, 2025
CASE MANAGER: Caitlin Brown-Clancy

REQUEST:

The applicant is requesting Historic Tax Certification and Verification at 1103 E Commerce.

APPLICABLE CITATIONS:

UDC Section 35-618 Tax Exemption Qualifications:

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

(e) *Verification of Completion.* Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.

FINDINGS:

- a. The structure at 1103 E Commerce is a two-story yellow brick commercial building which first appears on the 1912 Sanborn. The building is also known as the George Icke & Brothers Building where it historically operated as a grocer and is located at the entrance to the St. Paul Square Historic District and the National Register Southern Pacific Historic District. In the late 1990's, the two-story yellow brick building was extensively remodeled into a hotel while a four-story addition was added to the East of the

historic building. Recent modifications include another extensive interior remodel as well as the addition of a 5th floor to the Eastern addition. The structure is contributing to the St. Paul Square Historic District.

b. **HISTORIC TAX CERTIFICATION** - The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer. To qualify for the Substantial Rehabilitation Tax Incentive the owner must pursue Historic Tax Verification once the rehabilitation work is complete. Any violations on the property may disqualify the property from participation in the program.

c. **HISTORIC TAX VERIFICATION** – The scope of work includes a comprehensive interior remodel, exterior maintenance and repair, roof replacement, electrical, plumbing, and mechanical scopes, signage modifications and the addition of a 5th floor.

d. Staff conducted a site visit on January 30th, 2025, to examine the conditions of the property. Staff verifies that all work used to qualify for the Substantial Rehabilitation Tax Incentive has been completed and that there are no additional violations on the property.

e. The applicant has met all requirements of the City's tax verification process as described in Section 35-618 of the UDC and has furnished evidence to that effect to the Historic Preservation Officer, including the submission of an itemized list of costs that meets the threshold to be eligible for the Substantial Rehabilitation Tax Incentive.

f. Approval of Tax Verification by the HDRC for work completed in 2024 means that the property owner will be eligible for the Substantial Rehabilitation Tax Incentive beginning in 2025. The Substantial Rehabilitation Tax Incentive applies to the City of San Antonio tax entity line only.

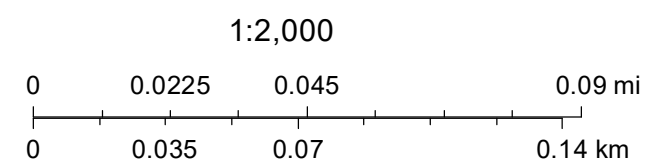
RECOMMENDATION:

Staff recommends approval based on findings a through f.

City of San Antonio One Stop



January 30, 2025

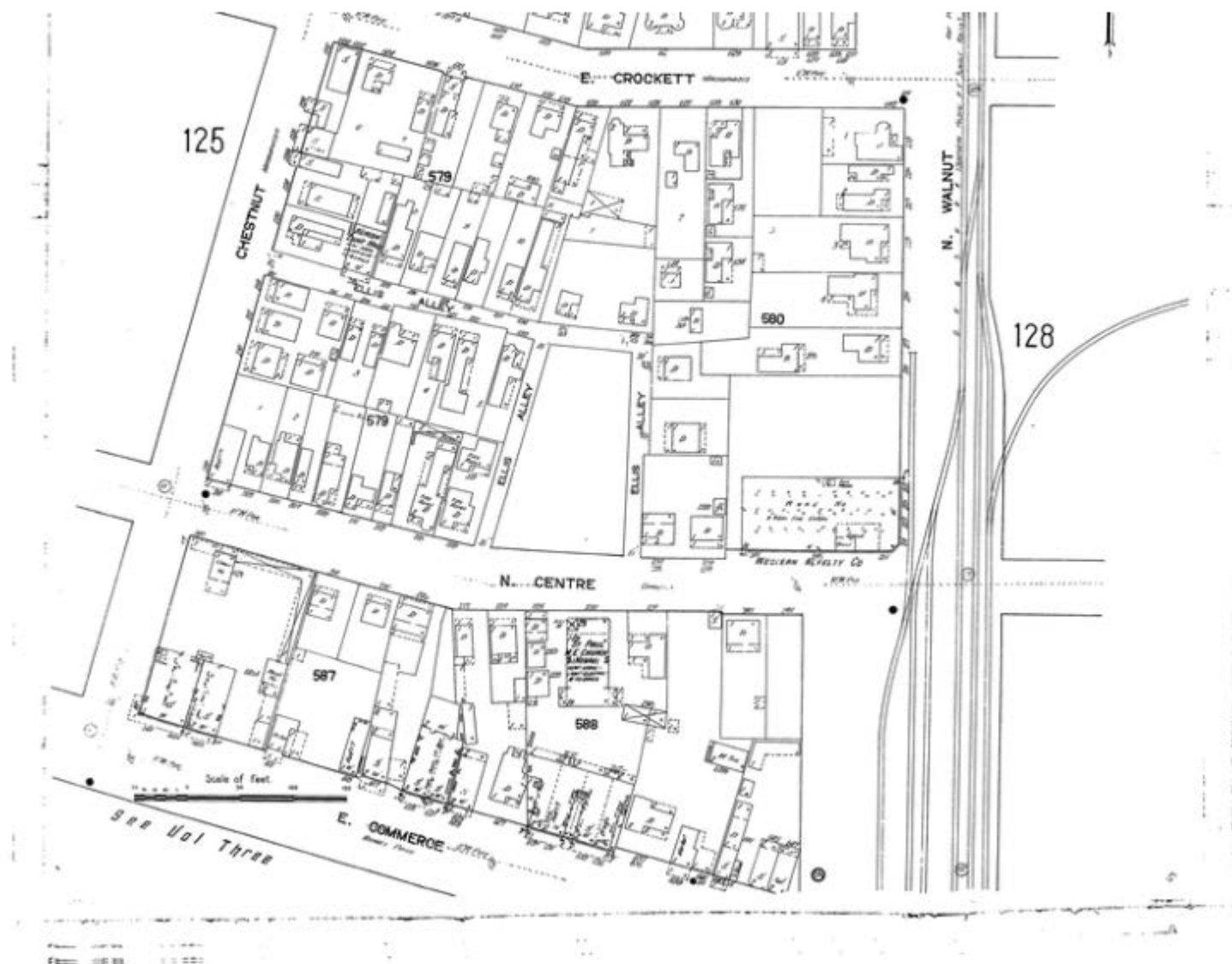


State: Texas

City: San Antonio

Date: 1911-1924

Volume: vol. 2, 1912



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – DESCRIPTION OF REHABILITATION**

**Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas**

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LIST OF EXPECTED WORK

- Repair roof
- Add 5th story to the non-historic 1995 portion of the building, raise existing elevator to reach 5th floor
- Repair existing windows and doors; replace north door to match south door
- Construct new amenity and office spaces on the first and second floors
- Install new finishes in existing hotel rooms and corridors
- Create a speakeasy in the former utilitarian basement space
- Install new railing on existing stairs
- Renovate/repair existing HVAC, electrical, and plumbing systems
- Install new interior lighting
- Install new signage

PROJECTED TIME SCHEDULE: 6/8/20 - 4/3/2024

ESTIMATED ASSOCIATED COSTS

Total Rehabilitation Costs: \$8,183,468

Qualified Rehabilitation Expenses: \$7,727,238

The written narrative explaining the proposed work begins on the following page. Plans and Photos are attached as separate files.

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PART 1 – DESCRIPTION OF REHABILITATION

Property Name: George Icke & Bros. Building
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1 SUMMARY

Existing Condition

The George Icke & Bros. building is located at the entrance to the local St. Paul Square Historic District and the National Register Southern Pacific Depot Historic District. Located on East Commerce Street and Chestnut Street, adjacent to the downtown IH-37 on-ramp, the building is an important anchor to the district. The two-story yellow brick building was extensively remodeled into a hotel in the late 1990's. A new four story addition was added to the east at that time, connected to the historic building by a glass and stucco link. During the renovation the interior was demolished and no historic interior features remain with the exception of some cast iron columns, and load bearing interior brick wall.

Photos: All

Drawings: All

Date work started: 6/8/20

Date work completed: 3/1/21

Proposed Work

The renovation of the historic portion of the building will primarily be changes to the non-historic interior including new finishes, a reconfiguration of the dining bar area and check in desk on the ground floor, a reconfiguration of meeting rooms on the second floor and a new speakeasy in the basement. An additional opening will be made to the interior brick wall on the first floor that will match the existing arched openings. The only exterior work on the 1910 portion of the building will be repairs and repainting of the storefront and windows, a new roof and a new door that will replace a non-historic door on the north adjacent to the port cochere.

In the 1995 addition, the Applicant will add one story and install new finishes in the existing rooms and corridors..

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Property Name: George Icke & Bros. Building
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2 SITE; c. 1900, 1959, 1995 w/ alterations

Existing Condition

The George Icke & Bros Building site is situated with E. Commerce Street on the south, Chestnut Street on the west and Center Street on the north. A sidewalk with planted trees and decorative light poles is adjacent to the building on Commerce Street. The sidewalk continues around the corner along Chestnut. An asphalt parking lot is located to the north of the building along Center street with some landscaping planting. A non-historic detached port cochere is located north of the original building.

PHOTOS: 9-10

DRAWINGS: A1.0

DATE WORK STARTED: n/a

DATE WORK COMPLETED: n/a

Proposed Work

No site work is proposed for the project.

HISTORIC PRESERVATION CERTIFICATION APPLICATION
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Property Name: George Icke & Bros. Building
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3 ROOF; contemporary

Existing Condition

The existing roof is a modified bitumen roof. It is in poor condition, having been damaged in a recent storm. The roof is not visible behind a parapet wall on all sides.

PHOTOS: n/a

DRAWINGS: Addition Drawings A2.6

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

A new modified bitumen roof will replace the existing roof. On the 1995 portion a new minimally sloped flat roof with overhang will be added to the fifth floor. A small enclosed elevator hood will be installed.

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Property Name: George Icke & Bros. Building
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4 EXTERIOR WALLS; c. 1910 w/ alterations

Existing Condition

The existing walls are yellow brick with some cast stone detailing. They are in relatively good condition. The 1990 addition has beige and light red brick.

PHOTOS: 1-10

DRAWINGS: Fifth Floor Addition A4.0-4.1

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

No work is proposed on the 1910 exterior masonry. The exterior design of the fifth floor will use a red king size brick. The end panels will have a decorative chevron insert out of a contrasting brick. This pays homage to the decorative end panel on the historic building without mimicking the design.

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PART 1 – DESCRIPTION OF REHABILITATION

Property Name: George Icke & Bros. Building
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5 WINDOWS; c. 1995

Existing Condition

The existing windows are wood double-hung and are not original to the building. The aluminum windows on the 1990's addition are in good repair.

PHOTOS: 2, 4, 7

DRAWINGS: n/a

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

The windows will be repaired and re-sealed as needed. The windows will be repainted. They are in relatively good shape. The aluminum windows on the 1990's addition will match the existing. In the presidential suite the window wall will be set back to create a balcony that does not protrude from the building. Rather than windows a window and door combination will be added.

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6 ENTRANCES; c. 1995

Existing Condition

The existing entrance doors on the south are wood with single lights. The north door is non-historic wood with leaded glass.

PHOTOS: 6-8

DRAWINGS: none

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

The north entrance door will be replaced with single light wood doors to match the south doors.

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – DESCRIPTION OF REHABILITATION

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7 INTERIOR- PRIMARY PUBLIC SPACES; c. 1910, c. 1995, w/ alterations

Existing Condition

Configuration

The interior is divided into two parts by a load-bearing brick wall that runs north to south from basement to roof. On all floors, the space on the west side of the wall is larger than the east.

On the first floor, the western half of the space is an open lobby. Along the west perimeter all, the lobby contains a centered reception area flanked by an open business center in the southwest corner, and a small office in the northwest corner (see Interior- Secondary Spaces, below). The east half of the space contains an open dining room, which has a food service counter along the east wall. The wall dividing the west and east halves is exposed yellow brick with two arched openings providing egress between the lobby and dining room.

Finishes

Existing finishes on the ground floor include painted gyp board walls, a replica tin ceiling, and a wood-look laminate floor. There are areas of tile flooring near the reception desk and in a portion of the dining room.

PHOTOS: 11-17

DRAWINGS: ID1.1, ID2.1, ID5.1, ID6.1, ID8.1, ID8.3,

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

Configuration

First Floor

The first floor will retain its open character and ceiling height. In the west half of the space, the Applicants will retain the open lobby space, as well as the configuration of the business center, reception desk, and office (see Interior- Secondary Spaces, below) along the west wall. The Applicants will convert the business center into a coffee shop at the southwest corner and a marketplace to its north. The coffee shop will have a counter and worker area along the west wall. The market will be partially separated from the rest of the lobby by built in shelving units. The existing reception desk will be demolished and replaced with a new desk suspended from the ceiling by metal cables. The Applicants will create a new arched opening in the demising wall between the west and east halves of the first floor. It will be located at the south part of the wall and will echo the existing two arched openings.

The east half of the space where the current dining room is located will be used as a bar/ lounge area. The Applicants will retain the open space and will construct a curved bar top in the southeast part of the space, abutting the partition walls that enclose the corner stair. There will also be built-in seating along the storefront; it will not interfere with display windows.

Finishes

First Floor

West Lobby:

The lobby, including the coffee shop and marketplace, will have differing shapes and patterns of decorative tile flooring. Walls will be painted gyp with a tile backsplash behind the coffee shop counter. Ceilings will be painted gyp. The gyp-wrapped posts punctuating the space will have decorative tile wainscot.

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The coffee shop counter will be wood with quartz countertops. The shelving units forming the marketplace walls will have wood bases with metal and glass shelves. The new reception desk will be wood with a quartz countertop and will be suspended from the ceiling by a black metal wire.

East Bar/ Lounge:

The new bar and lounge will have decorative tile floors and painted gyp walls and ceilings. The new bartop will be wood with decorative millwork and a live-edge wood with epoxy countertop. Backlit glass and metal shelves will cover the wall behind the bar. Built in seating along the storefront will have a wood base and upholstered cushions.

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8 INTERIOR - SECONDARY SPACES; c. 1910, c. 1995, w/ alterations

Existing Condition

Configuration

First Floor

There is a small office in the northwest corner of the first floor, immediately to the rear of the reception desk area.

Second Floor

On the second floor in the western portion there is a pre-function space at the top of the stairs. A fitness room is in the northwest corner. Two large meeting rooms are located in the south half of the west space. An arched opening in the wall separating the west and east halves of the building leads to a wide corridor on the east half of the floor. A second opening can be seen, but has been infilled with gyp board. South of the corridor, a conference room and office are situated on the east side of the dividing wall. There is a small seating area at the east end of the corridor. An opening on the east perimeter wall leads to the elevator lobby outside the footprint of the historic building.

1995 Addition

Each of the three floors of the 1990 addition is organized around a double loaded corridor with hotel rooms on each side.

Finishes

First Floor

First floor finishes include carpet floors and LVT (not wood grain), lay-in acoustical ceiling tiles, and painted gyp board walls.

Second Floor

Second floor finishes include carpet floors and LVT (not wood grain), lay-in acoustical ceiling tiles, and painted gyp board walls.

1995 Addition

Existing finishes in the addition are gyp board walls, carpets floor and acoustical tile on the ceiling.

PHOTOS: 18-20

DRAWINGS: ID1.1-1.2, ID2.1-2.2, ID5.1-5.2, ID6.1-6.2, ID8.1, ID8.2

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

Configuration

First Floor

The Applicants will demolish existing walls forming the northwest corner office. They will construct new walls, forming a smaller office, still in the northwest corner. New walls will not interfere with windows.

Second Floor

The west half of the second floor space will be entirely reconfigured. All non-historic walls will be demolished. The Applicants will construct a small office and a small board room in the northwest corner. The south half of the west second floor will contain an event space. Between the north office and boardroom and the south event space, the Applicants will

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create a new pre-function space. A partition forming a small storage closet will form the south wall dividing the pre-function space and event space.

The east half of the second floor will retain nearly all of its existing configuration, including existing corridors. The existing open space immediately north of the corner stair will be used as a business center. The Applicants will retain the perimeter walls of the existing boardroom and office, but will remove an existing non-historic partition dividing the two spaces, creating one large space. The Applicants will use this space as the new fitness center.

1995 Addition

The Applicants will retain the existing double loaded corridor and hotel room configuration in the non-historic addition.

Finishes

First Floor

The Applicants will install new carpet tile floors in the northwest corner office. Walls and ceilings will be painted gyp board with rubber base trim.

Second Floor

Corridors & Pre-Function Space

The Corridors and Pre-function Space will have painted gyp walls with rubber base trim, painted gyp ceilings, and carpet tile flooring.

Event Room

The Event Room will have wallpapered walls with rubber base trim, painted gyp ceilings, and carpet tile flooring.

Fitness Center

The Fitness Center will have painted gyp walls with graphic accents and rubber base trim, painted gyp ceilings, and rubber sheet flooring.

GM Office and Boardroom

The Applicants will install new carpet tile flooring and painted gyp board ceiling. The GM office will have painted gyp board walls with rubber base trim, and the Boardroom will have wallpapered walls with rubber base trim.

1995 Addition

The applicants will install all new finishes in the non-historic addition including new carpet, new tile and fixtures in the bathrooms and new paint.

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Property Name: George Icke & Bros. Building
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9 INTERIOR - BASEMENT AND UTILITARIAN SPACES; c. 1910, c. 1995, w/ alterations

Existing Condition

Configuration

Basement

The basement, like the first and second floors, is divided into two spaces at the west and east. On the east side is a laundry facility and an employee break room. On the west side of the wall is a general storage area, a workshop, and a housekeeping storage area.

Other Utilitarian Spaces

On the first floor, there are restrooms and a kitchen situated at the rear (N) of the east dining room space; on the second floor, restrooms are located in the northeast corner, immediately above the first floor restrooms.

Finishes

Basement

The basement is relatively unfinished-- floors are concrete, the walls are brick, and the ceiling is exposed wood beams and rafters. In the east laundry area, there is an acoustical tile ceiling. Some walls and floors have been painted. An old painting/graffiti can be seen on the laundry room wall.

Other Utilitarian Spaces

The kitchen and restrooms have tile floors, gyp walls, and exposed structure at the ceilings. Fixtures and appliances are not historic. These areas are in good condition.

PHOTOS: 21-26

DRAWINGS: ID1.1, ID 1.3, ID2.1, ID 2.3, ID5.1, ID 5.3 ID6.1, ID 6.3, ID8.1-8.3

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/12/22

Proposed Work

Configuration

Basement

The Applicants propose the rehabilitation of the west half of the basement to house a Speakeasy. Non-historic partition walls in the southwest corner will be demolished to create a large open space occupying the majority of the west half of the basement; this will contain the Speakeasy. The Applicants will construct a bar in the northwest corner and a stage in the southwest corner. The existing housekeeping storage room along the south part of the brick demising wall bisecting the basement will remain in its existing location, but will be reduced in size; the Applicants will demolish existing perimeter walls of the housekeeping storage room and reconstruct new walls in a smaller footprint. The east half of the basement will retain its existing configuration, with the laundry room remaining in the northeast corner, and the employee break room remaining in the southeast corner. A new corridor will run along the south wall of the existing housekeeping storage and break rooms, leading from the Speakeasy to the southeast fire stair.

Other Utilitarian Spaces

The first floor north kitchen and both the first and second floor restrooms will remain in their current locations.

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Finishes

Basement

The Speakeasy occupying the west half of the basement will have large mosaic tile flooring, with smaller mosaic tile accents by the bar seating area. The new stage in the southwest corner will have wood-look luxury vinyl tile flooring. Walls will have custom wallpaper with a custom tile or antique etched mirror backsplash behind the bartop, which will be upholstered wood with a quartz countertop. Ceilings will be clad in decorative tile.

Applicants will not change existing finishes in the east half of the basement, nor in the housekeeping storage room. The new corridor created along the south wall of the existing housekeeping storage and break rooms will retain existing finishes.

Other Utilitarian Spaces

First and second floor restrooms will have gyp board ceilings and new tile floors and base trim. Walls will be a combination of painted gyp board, wallpaper, and subway tile. The Applicants will install new plumbing fixtures as well and vanities with quartz countertops.

The Applicants will not change existing finishes in the kitchen.

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10 INTERIOR - VERTICAL CIRCULATION; c. 1995

Existing Condition

Configuration

The historic building has one main stair along the rear (north) wall of the space, immediately west of the exposed brick wall bisecting all floors. On the first floor, the stair is open in the west lobby. There is also a southeast fire stair concealed in a stair tower. Neither the main nor the southeast stairs are historic, having been added in the 1990's renovation.

The historic building does not have an elevator, but the non-historic hyphen connecting the building to the addition contains an elevator. This elevator accesses the first, second, and basement floors of the historic building and all floors of the non-historic addition. There are stairs at the west and east ends of the non-historic addition corridors. These are all outside the scope of work.

Finishes

The main wood stair is visible in the first floor west lobby. Wood rails and newel posts have been painted, and a non-historic carpet runner covers wood treads and risers. Where the main stair is concealed leading to the basement and where it opens into the second floor, the stairs have utilitarian finishes. The southeast fire stair has utilitarian finishes as well.

The elevator and stairs in the addition have contemporary finishes.

PHOTOS: 12

DRAWINGS: ID8.2

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

Configuration

Stairs will remain in their existing locations and configurations.

Finishes

The Applicants will install new glass and metal railings on the main stair where it is visible in the lobby. They will remove the non-historic carpet runner as well. Finishes on treads and risers in the main and southeast fire stairs are LVT and will be contemporary and compatible with the character of the building (not wood grain.)

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11 MEP; contemporary

Existing Condition

Mechanical

The building has an HVAC system. Ducts are concealed within walls and ceilings. HVAC equipment is located in the basement mechanical closet, the second floor mechanical closet, and on the roof; rooftop HVAC is not visible from the street.

Electrical

The building has electricity. Wires run within walls and ceilings on the first and second floors; wires run in exposed conduit along the basement walls. On the first floor, wire runs in exposed conduit on the exposed brick wall dividing the west and east spaces.

Plumbing

The building has functional plumbing. The hot water tanks are located in the basement laundry room. Pipes are concealed within ceilings and walls.

PHOTOS: 21, 25-26

DRAWINGS: ID4.1-4.3,

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

Mechanical

The building will retain its existing HVAC system. Equipment will be housed in the basement and second floor mechanical closets and on the roof.

Electrical

The Applicants will install new light panels and switches. All existing and new wires will run within walls and ceilings, with the exception of surface-mount conduit along exposed brick walls.

Plumbing

The building will retain existing plumbing servicing the existing kitchen, bathrooms, and laundry room. New plumbing will be installed as needed to service the coffee shop and bars. The basement will retain existing water heater tanks. All existing and new pipes will be concealed within floors, walls, and ceilings.

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12 LIGHTING; contemporary

Existing Condition

Exterior

The building does not retain any historic exterior lighting. On the primary (south) elevation, two lanterns are affixed to the storefront system flanking the primary entrance. On the rear (north) elevation, matching lanterns flank the rear entrance.

Interior

The building does not retain any historic lighting on the interior. The first floor lighting consists of contemporary light fixtures suspended from ceilings. The second floor common areas have a combination of recessed downlighting and lay-in fluorescent lighting. The basement has linear fluorescent lighting flush-mount on ceilings.

Lighting in the addition interior is contemporary.

PHOTOS: 1, 8, 11-12, 17, 20-21

DRAWINGS: ID3.1-3.3

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

Exterior

There is no new lighting proposed on the exterior.

Interior

The Applicants propose all new contemporary lighting in the hotel interior.

In the first floor lobby, they will install a combination of recessed downlighting and contemporary decorative pendants, chandeliers, and wall sconces.

On the second floor, the Applicants will install recessed downlighting in all rooms except the fitness center, which will have ceiling mounted track lighting. The event space will have decorative chandeliers in addition to the recessed downlighting, and the board room will have a new light fixture mounted on the ceiling in addition to the recessed downlighting.

In the basement, the Applicants will install recessed downlighting in all spaces except the northeast laundry room, which will retain its existing lighting. Additionally, the basement restrooms will have sconces flanking the vanity mirrors, and there will be decorative pendant lighting suspended from the ceiling over the Speakeasy bar.

The applicants will install new lighting in the non-historic addition.

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13 FIRE PROTECTION; contemporary

Existing Condition

The building is sprinkled with pipes running above ceilings and sprinkler heads dropped through the ceilings.

PHOTOS: n/a

DRAWINGS: n/a

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

There is no proposed work on the fire system

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14 SIGNAGE; c. 1995

Existing Condition

There is a non-historic wood sign on the primary (south) elevation, centered in front of the transoms. The sign reads “Best Western SUNSET SUITES.” It is black with a blue border and gold lettering.

There is additional signage on the primary elevation of the non-historic east addition; a vinyl sign emblazoned with the Best Western Hotel logo is located at the top of the west tower.

PHOTOS: 1, 9

DRAWINGS: See rendering

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

All Best Western Sunset Suites signage will be replaced in the same style with “Aiden by Best Western.” A new back lit channel letter sign will be added to the fifth floor on the west elevation corner.

15 ADDITION:

Existing Condition

An addition was made to the original building in 1995. It is 4 stories but because the floor to floor heights are much shorter than the original historic structures in the neighborhood it's overall height is the same as the 3 story structure one lot to the east along Commerce Street. It is also similar to the 3 story buildings on the other side of commerce. The building is a pinkish brick to contrast with the buff colored historic building (a preservation preference in the 1990's).

PHOTOS: Streetscape photo sheet

DRAWINGS: Drawing set - Fifth Floor Addition C.1-A.6

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

An additional floor will be added to the 1995 addition using the same floor plan layout and dimensions of the lower floors with the exception of guest room 502, the presidential suite, which combines two typical rooms into one suite and adds an internal balcony. (see rendering in Street View photos.) The existing building has a parapet that will be removed. The height of the addition starts at the roof deck, so the actual height addition is visually less than a full story. The new addition will be clad in a king size red brick to give it a more horizontal image to minimize the height of the addition.

The elevator will be raised and the firestairs extended. The addition was deemed appropriate by the local Historic and Design Review Commission.

Date: Jun 24, 2021, 2:54pm User: ID: Ignacio
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AIDEN HOTEL (BEST WESTERN) FIFTH FLOOR ADDITION

1103 E. COMMERCE ST. SAN ANTONIO, TX 78205



CODE SUMMARY

LOCATION: 1103 E. COMMERCE ST.
SAN ANTONIO, TX 78205
PROJECT OWNER: WEINRITTER ST. PAUL SQ.
PROJECT TITLE: AIDEN HOTEL FIFTH FLOOR ADDITION

APPLICABLE CODES AND STANDARDS

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2015 NATIONAL ELECTRIC CODE
2018 SAN ANTONIO PROPERTY MAINTENANCE CODE

PROJECT DATA

ZONING: DOWNTOWN
OCCUPANCY CLASIFICATION: R RESIDENTIAL/HOTEL
BUILDING TYPE: III-B
DESIGN APPROACH: NON-SEPARATED OCCUPANCIES
SPRINKLERED: YES
FIRE ALARM: YES

BUILDING DATA

BASEMENT; 4,680 SF
FIRST FLOOR
LOBBY: 4,680 SF
GUESTROOMS: 8,835 SF
SECOND FLOOR
MEETING ROOMS: 4,680 SF
GUESTROOMS: 8,835 SF
THIRD FLOOR
GUESTROOMS: 8,835 SF
FOURTH FLOOR
GUESTROOMS: 8,835 SF
FIFTH FLOOR ADDITION
GUESTROOMS: 8,835 SF
TOTAL AREA: 58,215 SF

	EXISTING	ADDITION	TOTAL
BUILDING HEIGHT	43'-8"	14'-6"	58'-2"
BUILDING STORIES	4	1	5
BUILDING AREA	35,372 SF.	8,835 SF.	44,175 SF.

NOTE:
REFER TO IB191 FOR ALL MONUMENTAL SIGN
PERMITTING, PROVISIONS AND PROCEDURES.

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P2.0 PLUMBING SCHEDULES & DETAILS

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REVISIONS		
No.	Description	Date
1	PLAN REVIEW	8/20/2020
2	PLAN REVIEW	9/15/2020

CLIENT PROJ. # 2001
DATE : 7/21/2020

COVER SHEET,
INDEX, GENERAL
NOTES AND
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SHEET
C1.0

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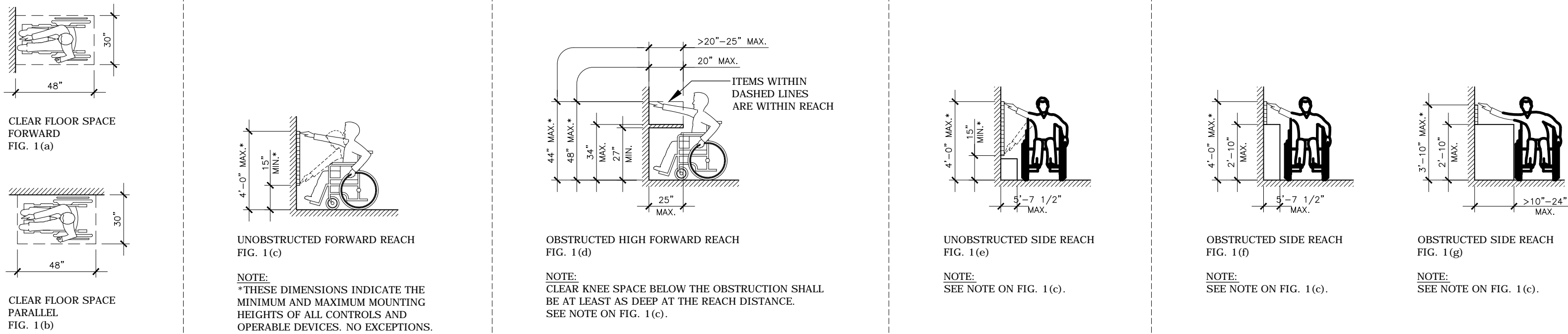
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1. SPACE ALLOWANCES & REACH RANGES

CLEAR FLOOR SPACE
THE MINIMUM CLEAR FLOOR OR GROUND SPACE SHALL BE 30" MINIMUM BY 48" MINIMUM.

FORWARD REACH
IF THE CLEAR FLOOR SPACE ONLY ALLOWS FORWARD APPROACH TO AN OBJECT, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48", THE MINIMUM LOW FORWARD REACH IS 15". IF THE FORWARD REACH IS OVER AN OBSTRUCTION, THE REACH & CLEARANCES SHALL BE AS SHOWN IN FIG. 1(c) AND 1(d).

SIDE APPROACH
IF THE CLEAR FLOOR SPACE ALLOWS PARALLEL APPROACH BY A PERSON ON A WHEELCHAIR, THE MAXIMUM HIGH SIDE REACH ALLOWED SHALL BE 54" AND THE LOW SIDE REACH SHALL BE NO LESS THAN 9" ABOVE THE FLOOR. SEE FIG. 1(e), 1(f), AND 1(g).

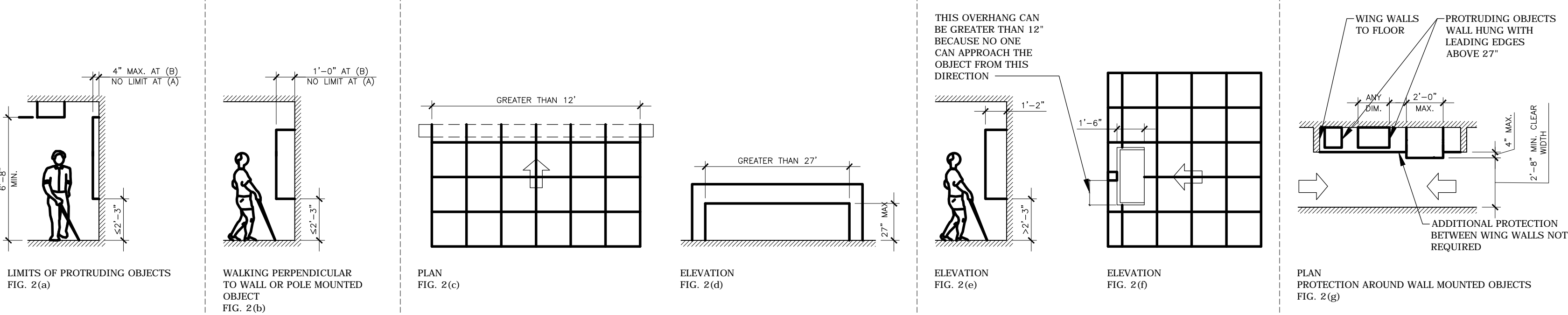


GENERAL
OBJECTS PROJECTING FROM WALLS (FOR EXAMPLE TELEPHONES) WITH THEIR LEADING EDGES BETWEEN 27" AND 80" ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. SEE FIG. 2(a).

OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27" ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT. SEE FIG. 2(a) AND 2(b).

FREE-STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12" MAXIMUM FROM 27" TO 80" ABOVE THE GROUND FLOOR. SEE FIG. 2(c), (d).

PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE. SEE FIG. 2(g).

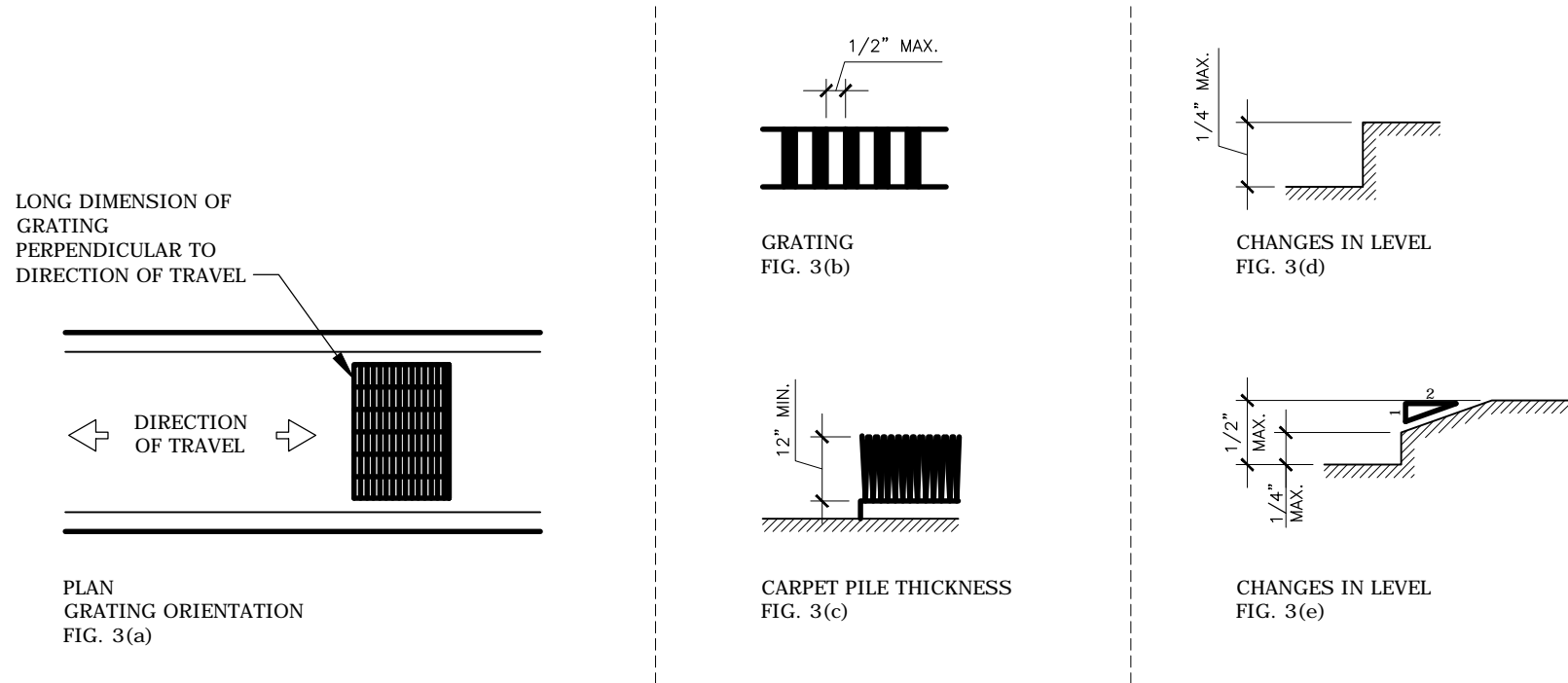


3. GROUND & FLOOR SURFACES

GRATINGS
IF GRATINGS HAVE ELONGATED OPENINGS, THEN THEY SHALL BE PLACED SO THAT THE LONG DIRECTION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL. SEE FIG. 3(a). IF GRATINGS ARE LOCATED IN WALKING SURFACES OR ALONG ACCESSIBLE ROUTES, THEN THEY SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN ONE DIRECTION. SEE FIG. 3(b).

CARPET
IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE, THEN IT SHALL BE SECURELY ATTACHED; HAVE A FIRM CUSHION, PAD, OR BACKING, OR NO CUSHION OR PAD; AND HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/UNCUT PILE TEXTURE. THE MAXIMUM PILE THICKNESS SHALL BE 1/2" IN. SEE FIG. 3(c). EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE.

CHANGES IN LEVEL
CHANGES IN LEVEL UP TO 1/4" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT. SEE FIG. 3(d). CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. SEE FIG. 3(e).



4. PARKING AND PASSENGER LOADING ZONES

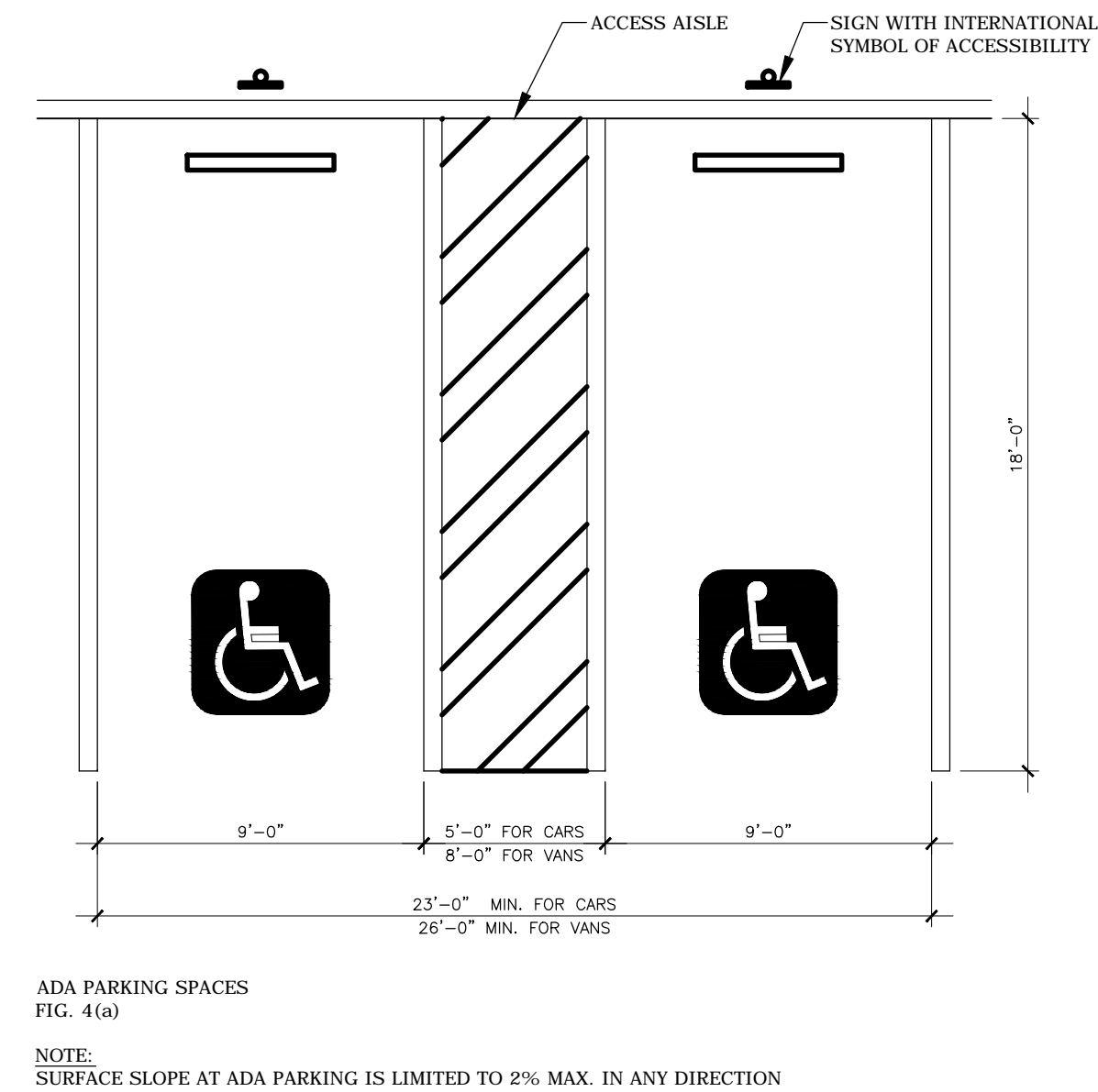
PARKING SPACES
ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 96" WIDE. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS. TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. SEE FIG. 4(a). PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE. PARKING SPACES AND ACCESS AISLES BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.

SIGNAGE
EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A VERTICALLY MOUNTED OR SUSPENDED SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. REFERENCE THE APPLICABLE ACCESSIBILITY STANDARDS. SPACES COMPLYING WITH APPLICABLE ACCESSIBILITY STANDARDS SHALL HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY.

- CHARACTERS AND SYMBOLS ON SUCH SIGNS SHALL BE LOCATED 60" MINIMUM ABOVE THE GROUND, FLOOR, OR PAVING SURFACE SO THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THAT SPACE.
- SIGNS LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS.
- CHARACTERS AND SYMBOLS ON OVERHANG SIGNS SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS.

VERTICAL CLEARANCE
PROVIDE MINIMUM VERTICAL SPACE CLEARANCE OF 114" AT ACCESSIBLE PASSENGER LOADING ZONES AND ALONG AT LEAST ONE VEHICLE ACCESS ROUTE TO SUCH AREAS FROM SITE ENTRANCE(S) AND EXIT(S). AT PARKING SPACES COMPLYING WITH THE APPLICABLE ACCESSIBILITY STANDARDS, PROVIDE MINIMUM VERTICAL CLEARANCE OF 98" AT THE PARKING SPACE AND ALONG AT LEAST ONE VEHICLE ACCESS ROUTE TO SUCH SPACES FROM SITE ENTRANCE(S) AND EXIT(S).

PASSENGER LOADING ZONES
PASSENGER LOADING ZONES SHALL PROVIDE AN ACCESS AISLE AT LEAST 60" WIDE AND 20' LONG ADJACENT AND PARALLEL TO THE VEHICLE PULL-UP SPACE. IF THERE ARE CURBS BETWEEN THE ACCESS AISLE AND THE VEHICLE PULL-UP SPACE, THEN A CURB RAMP COMPLYING WITH THE APPLICABLE ACCESSIBILITY STANDARDS SHALL BE PROVIDED. VEHICLE STANDING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.

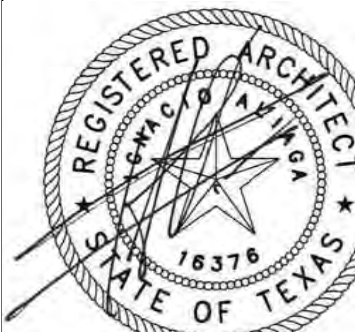


GENERAL NOTES ON ADA DETAIL SHEETS

- ALL CONSTRUCTION SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE MOST CURRENT "ADA STANDARDS FOR ACCESSIBLE DESIGN", THE "TEXAS ACCESSIBILITY STANDARDS", AND ANY AND ALL OTHER APPLICABLE ACCESSIBILITY STANDARDS.
- THE INFORMATION PRESENTED IN THESE SHEETS IS FOR REFERENCE ONLY. REFER TO "ADA STANDARDS FOR ACCESSIBLE DESIGN" AND TO "TEXAS ACCESSIBILITY STANDARDS" FOR ANY AND ALL CLEARANCES, DIMENSIONS, TOLERANCES, ETC THAT ARE TO BE APPLIED TO THE PROJECT.
- WHERE A DISCREPANCY OCCURS BETWEEN THE REFERENCES PRESENTED ON THESE SHEETS AND THOSE STATED ON THE "ADA STANDARDS FOR ACCESSIBLE DESIGN" AND THE "TEXAS ACCESSIBILITY STANDARDS", THOSE STATED ON THE "ADA STANDARDS FOR ACCESSIBLE DESIGN" AND THE "TEXAS ACCESSIBILITY STANDARDS" SHALL OVERRIDE.
- THE CONTRACTORS IS TO UTILIZE EXTREME CARE TO ENSURE THAT ALL TOLERANCES, DIMENSIONS, AND CLEARANCES ARE BUILT ACCURATELY AND WITHOUT DEVIATION.
- THE CONTRACTOR IS TO TAKE ANY AND ALL ACTIONS NECESSARY TO CORRECT THE CONDITIONS WHICH IN THE REVIEW OF THE STATE ACCESSIBILITY INSPECTOR, ARE IN VIOLATION OF THE ACCESSIBILITY STANDARDS AS REQUIRED. THESE CORRECTIVE ACTIONS ARE THE DIRECT AND SOLE RESULT OF DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, THE APPLICABLE ACCESSIBILITY STANDARDS, OR INADEQUATE CONSTRUCTION CONTROL, AND/OR TOLERANCES.

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REVISIONS		
No.	Description	Date

CLIENT PROJ. # 2001
DATE : 7/21/2020

ADA DETAILS

SHEET
G1.0

Date: Jul 13, 2020, 2:14pm User ID: Ignacio
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5. DOORS

THRESHOLDS AT DOORWAYS

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2" FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVELS CHANGES AT ACCESSIBLE DOORWAYS SHALL BE LEVELED WITH A SLOPE NO GREATER THAN 1:2.

DOOR HARDWARE

HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISHED FLOOR.

DOOR CLOSER

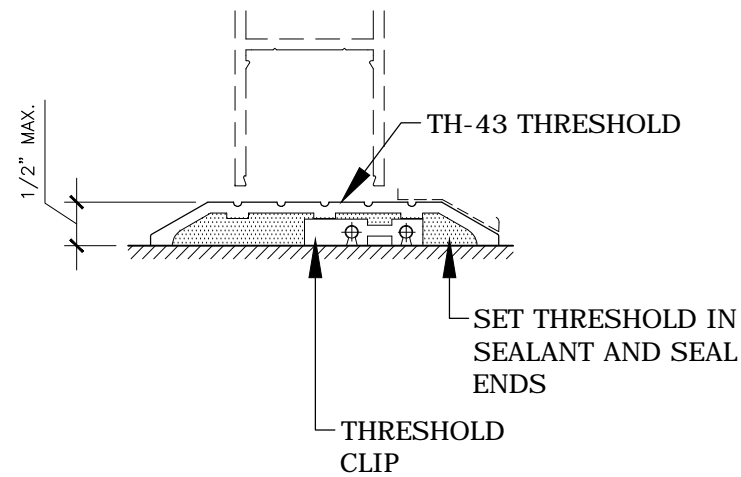
IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.

DOOR OPENING FORCE

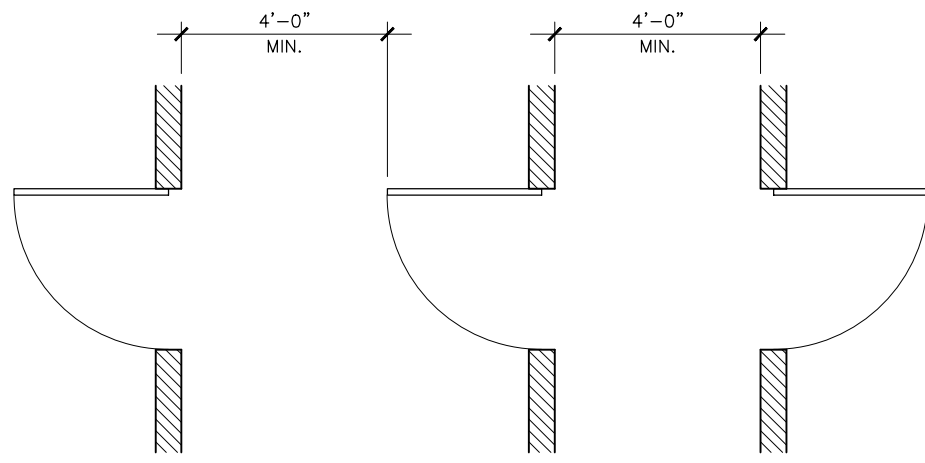
THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:

1. FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.
2. OTHER DOORS:
 - a. EXTERIOR HINGED DOORS: (RESERVED)
 - b. INTERIOR HINGED DOORS: 5 LBF (22.2N)
 - c. SLIDING OR FOLDING DOORS: 5 LBF (22.2N)

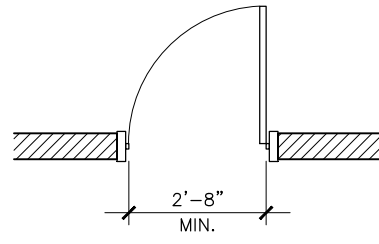
THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT MY HOLD THE DOOR IN A CLOSED POSITION.



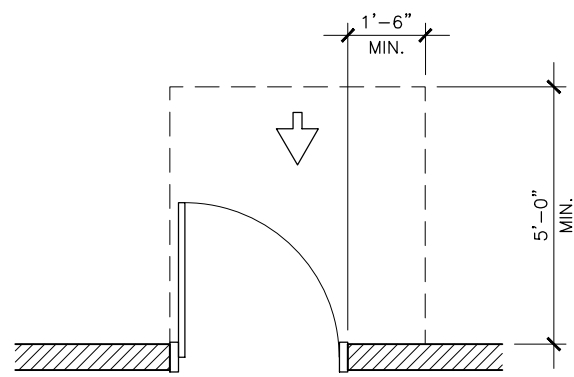
DOOR THRESHOLD DETAIL
FIG. 5(a)



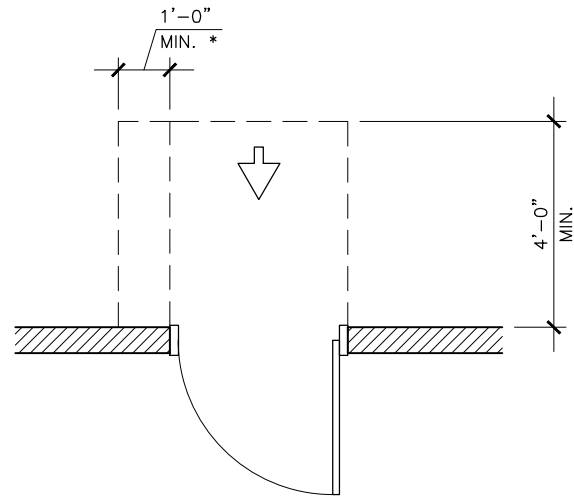
CLEARANCES FOR DOOR IN SERIES
FIG. 5(b)



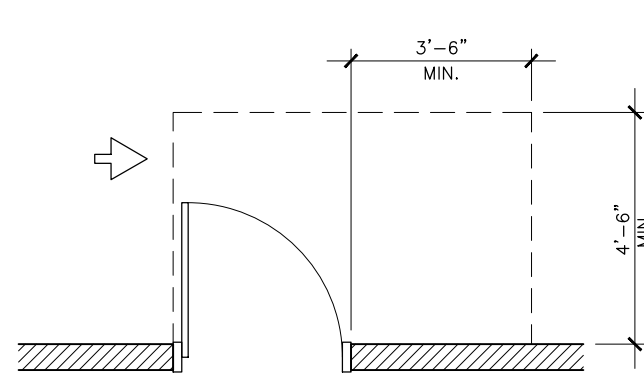
CLEAR DOORWAY
WIDTH
FIG. 5(c)



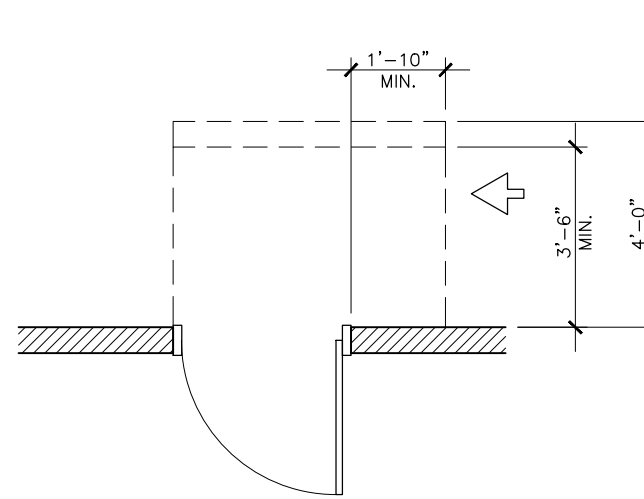
MANEUVERING CLEARANCES
FRONT APPROACH, PULL SIDE
FIG. 5(d)



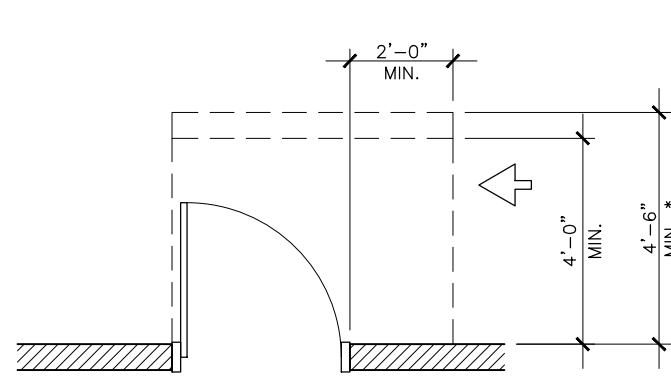
FRONT APPROACH, PUSH SIDE
*FRONT APPROACH, PUSH SIDE, DOOR PROVIDED WITH BOTH CLOSER AND LATCH
FIG. 5(g)



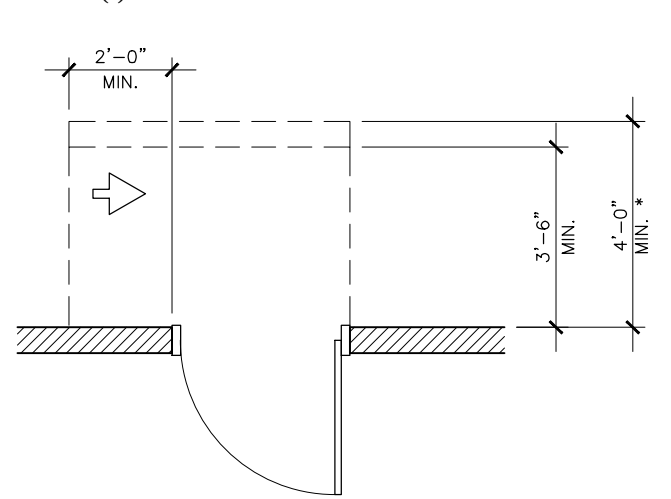
HINGE APPROACH, PULL SIDE
FIG. 5(e)



HINGE APPROACH, PUSH SIDE
*HINGE APPROACH, PUSH SIDE, DOOR PROVIDED WITH BOTH CLOSER AND LATCH
FIG. 5(h)



LATCH APPROACH, PULL SIDE
*LATCH APPROACH, PULL SIDE, DOOR PROVIDED WITH CLOSER
FIG. 5(f)



LATCH APPROACH, PUSH SIDE
*LATCH APPROACH, PUSH SIDE, DOOR PROVIDED WITH CLOSURE
FIG. 5(i)

6. DRINKING FOUNTAINS & WATER COOLERS

SPOUT LOCATION

THE SPOUTS OF DRINKING FOUNTAINS & WATER COOLERS SHALL BE AT THE FRONT OF THE UNIT & SHALL DIRECT THE WATER FLOW IN A TRAJECTORY THAT IS PARALLEL OR NEARLY PARALLEL TO THE FRONT OF THE UNIT.

THE SPOUT SHALL PROVIDE A FLOW OF WATER AT LEAST 4" HIGH SO AS TO ALLOW THE INSERTION OF A CUP OR GLASS UNDER THE FLOOR WATER. ON AN ACCESSIBLE DRINKING FOUNTAIN WITH A ROUND OR OVAL BOWL, AND ON AN ACCESSIBLE DRINKING FOUNTAIN PROVIDING ONLY PARALLEL APPROACH COMPLYING WITH 4.15.5 (2), THE SPOUT MUST BE POSITIONED SO THE FLOW OF WATER IS WITHIN 3" OF THE FRONT EDGE OF THE FOUNTAIN.

CONTROLS

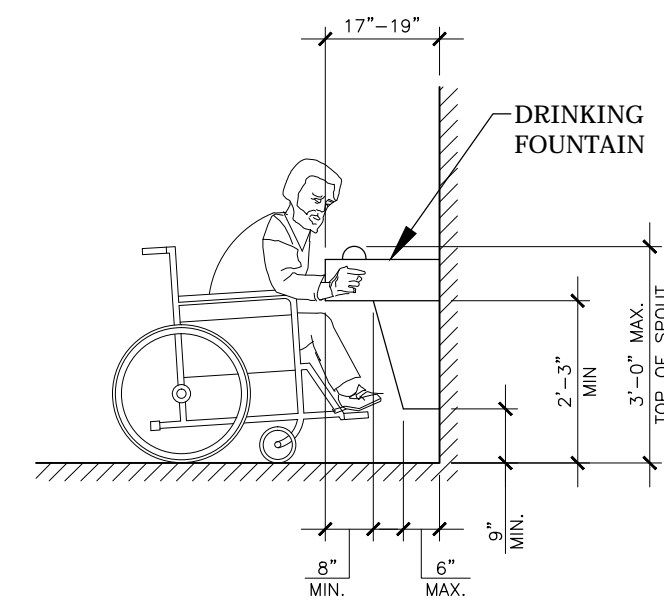
CONTROLS SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS UNIT CONTROLS SHALL BE FRONT MOUNTED OR SIDE MOUNTED NEAR THE FRONT EDGE.

CLEARANCES

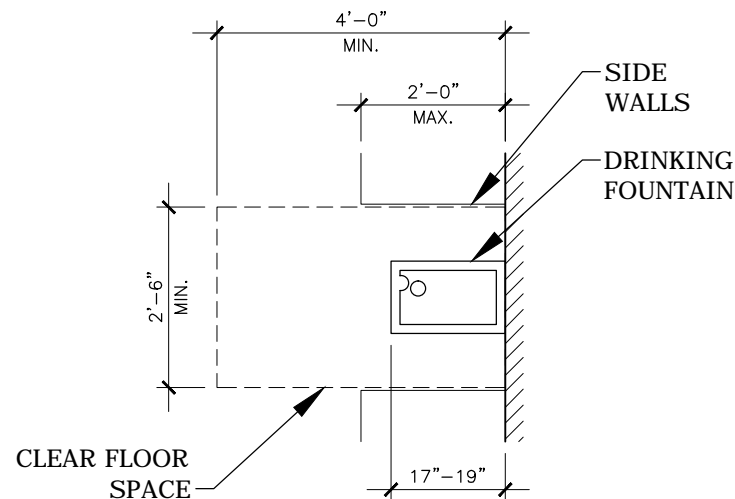
WALL AND POST MOUNTED CANTILEVERED UNITS SHALL HAVE A CLEAR KNEE SPACE BETWEEN THE BOTTOM OF THE APRON AND THE FLOOR OR GROUND AT LEAST 27" IN HIGH, 30" WIDE, AND 17" TO 19" DEEP. SEE FIG. 6(a) AND 6(b).

SUCH UNITS SHALL ALSO HAVE A MINIMUM CLEAR FLOOR SPACE 30" BY 48" TO ALLOW A PERSON IN A WHEELCHAIR TO APPROACH THE UNIT FACING FORWARD.

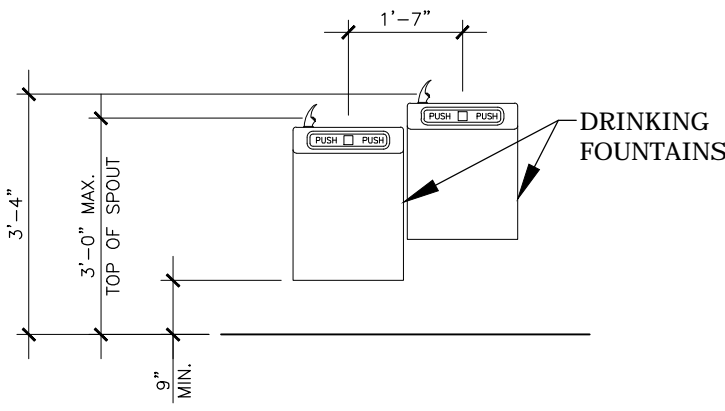
FREE-STANDING OR BUILT-IN UNITS NOT HAVING A CLEAR SPACE UNDER THEM SHALL HAVE A CLEAR FLOOR SPACE AT LEAST 30" BY 48" THAT ALLOWS A PERSON IN A WHEELCHAIR TO MAKE A PARALLEL APPROACH TO THE UNIT. SEE FIG. 6(d) AND 6(e).



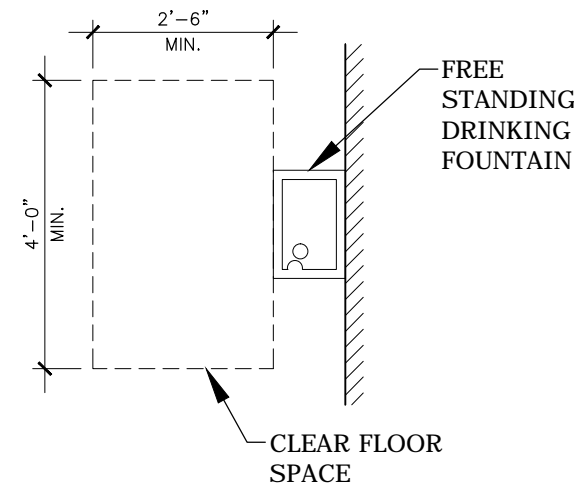
DRINKING FOUNTAIN HEIGHTS
FIG. 6(a)



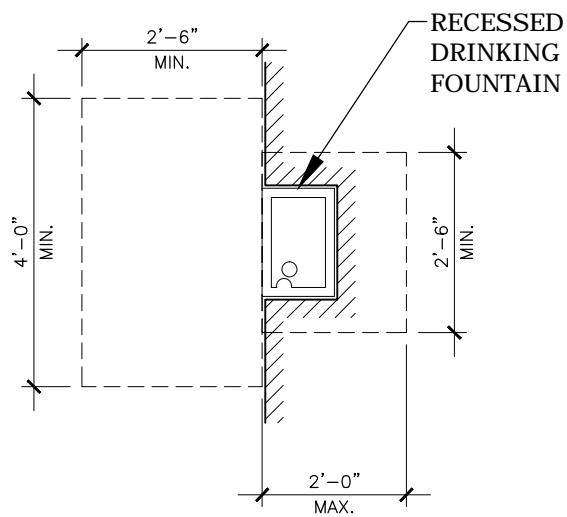
CLEAR FLOOR SPACE
FIG. 6(b)



ELEVATION
FIG. 6(c)



SURFACE MOUNTED
FIG. 6(d)



RECESSED MOUNTED
FIG. 6(e)
NOTE:
RECESS DEPTH NOT TO EXCEED
FOUNTAIN DEPTH

7. WATER CLOSETS

CLEAR FLOOR SPACE

CLEAR FLOOR SPACE FOR WATER CLOSETS NOT IN STALLS SHALL COMPLY WITH FIG. 7(a).

CLEAR FLOOR SPACE MAY BE ARRANGED TO ALLOW EITHER A LEFT-HANDED OR RIGH-HANDED APPROACH.

SIZE AND ARRANGEMENT

THE SIZE AND ARRANGEMENT FOR THE STANDARD TOILET SHALL COMPLY WITH FIG. 7(b) AND 7(c).

ARRANGEMENTS SHOWN FOR STANDARD TOILET STALLS MAY BE REVERSED TO ALLOW EITHER A LEFT-HAND OR RIGHT-HAND APPROACH. SEE THE APPLICABLE ACCESSIBILITY STANDARDS FOR ADDITIONAL STALLS.

FLUSH CONTROLS

FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC AND SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS.

CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS NO MORE THAN 44" ABOVE THE FLOOR.

HEIGHT

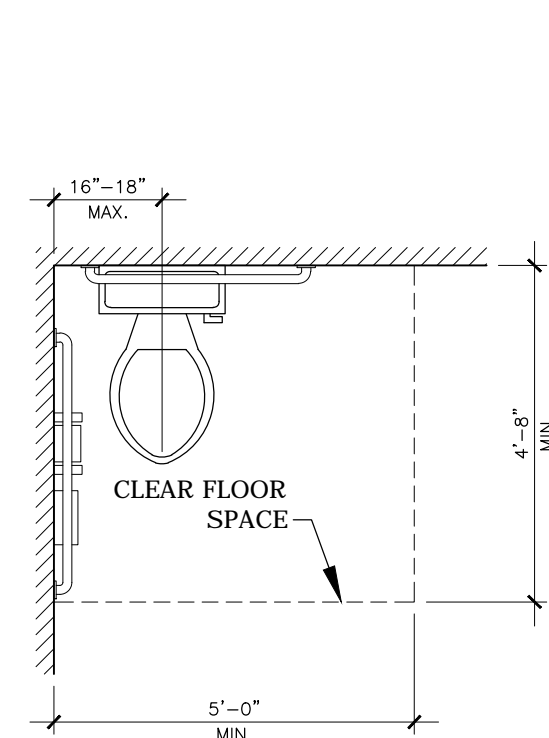
THE HEIGHT OF WATER CLOSETS SHALL BE 17" TO 19", MEASURED TO THE TOP OF THE TOILET SEAT. SEE FIG. 7(e).

SEATS SHALL NOT BE SPRUNG TO RETURN TO A LIFTED POSITION.

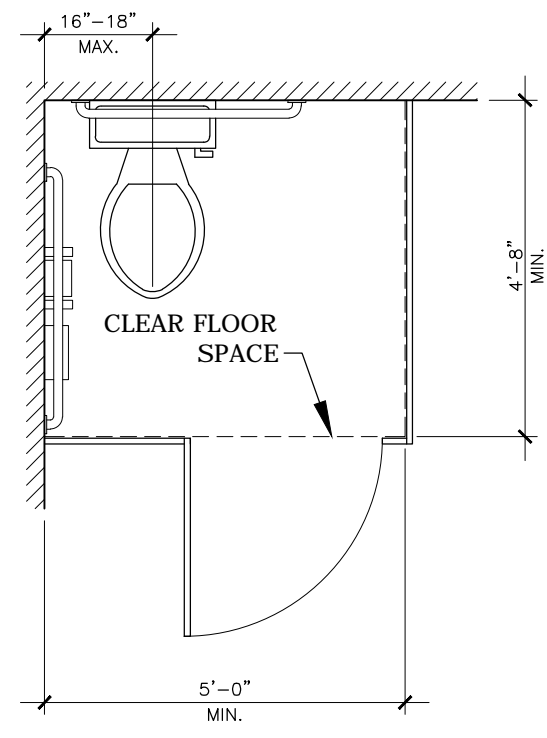
GRAB BARS

GRAB BARS FOR WATER CLOSETS NOT LOCATED IN STALLS SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS. SEE FIG. 7(d) AND 7(e).

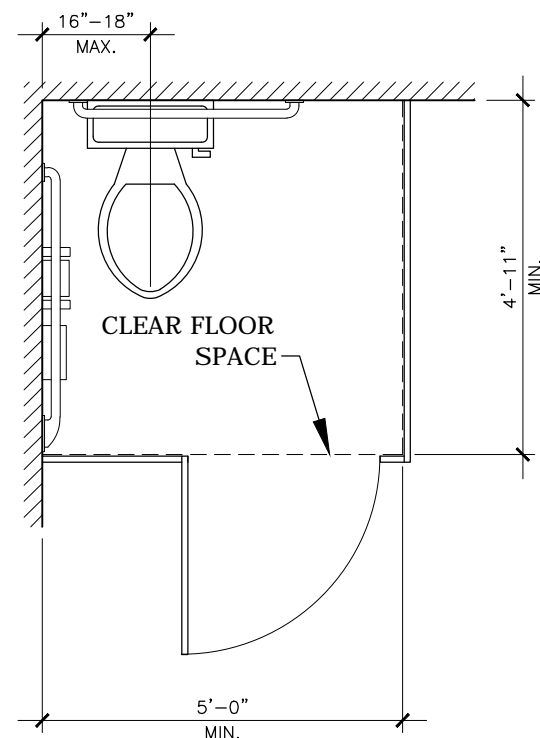
GRAB BARS MAY BE MOUNTED WITH ANY DESIRED METHOD AS LONG AS THEY HAVE A GRIPPING SURFACE AT THE LOCATIONS SHOWN & DO NOT OBSTRUCT THE REQUIRED CLEAR FLOOR AREA.



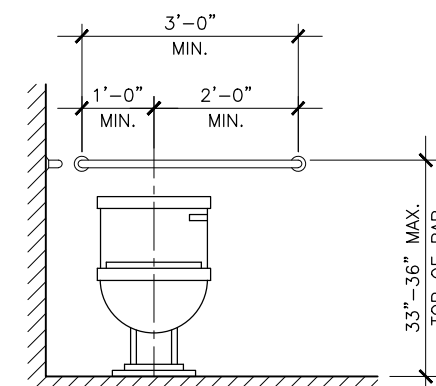
SIZE OF CLEARANCE AT WATER
CLOSETS
FIG. 7(a)



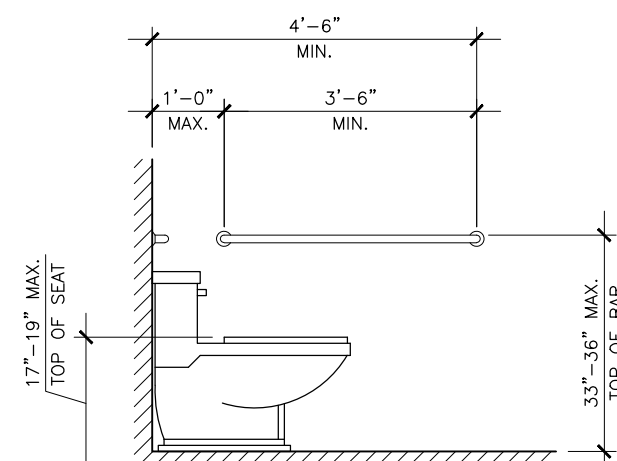
SIZE OF CLEARANCE AT WATER CLOSETS
ADULT WALL HUNG WATER CLOSET
FIG. 7(b)



SIZE OF CLEARANCE AT WATER CLOSETS
ADULT FLOOR MOUNTED WATER CLOSET
AND CHILDREN'S WATER CLOSET
FIG. 7(c)



REAR WALL GRAB BAR
FIG. 7(d)



SIDE WALL GRAB BAR
FIG. 7(e)

8. TOILET STALLS

DOORS

TOILET STALL DOORS, INCLUDING DOOR HARDWARE, SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS. IF TOILET STALL APPROACHES IS FROM THE LATCH SIDE OF THE STALL DOOR, CLEARANCE BETWEEN THE DOOR SIDE OF THE STALL AND ANY OBSTRUCTION MAY BE REDUCED TO A MINIMUM OF 42". SEE FIG. 8(a) AND 8(b)

TOE CLEARANCES

IN STANDARD STALLS, THE FRONT PARTITION AND AT LEAST ONE SIDE PARTITION SHALL PROVIDE A TOE CLEARANCE OF AT LEAST 9" IN HEIGHT. SEE FIG. 8(c), 8(d), AND 8(e).

TOE CLEARANCE AT THE FRONT PARTITION IS NOT REQUIRED IF THE COMPARTMENT IS GREATER THAN 62" DEEP WITH A WALL-HUNG WATER CLOSET OR 65" DEEP WITH A FLOOR-MOUNTED WATER CLOSET.

TOE CLEARANCE AT THE SIDE PARTITION IS NOT REQUIRED IF THE COMPARTMENT IS GREATER THAN 66" WIDE.

TOE CLEARANCE AT THE FRONT PARTITION IS NOT REQUIRED IN A CHILDREN'S USE COMPARTMENT THAT IS GREATER THAN 65" DEEP.

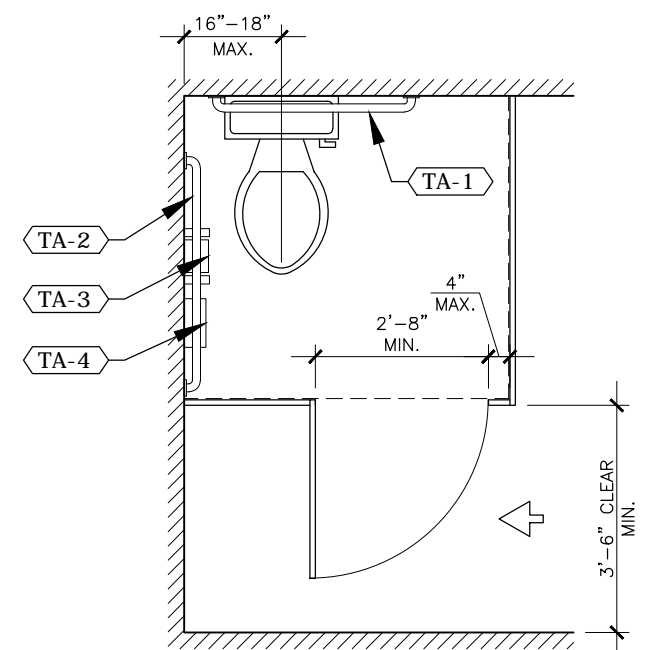
DISPENSERS

TOILET PAPER DISPENSERS SHALL BE INSTALLED 7"-9" MAX. TO THE CENTER OF THE DISPENSER AS SHOWN IN FIG. 8(f).

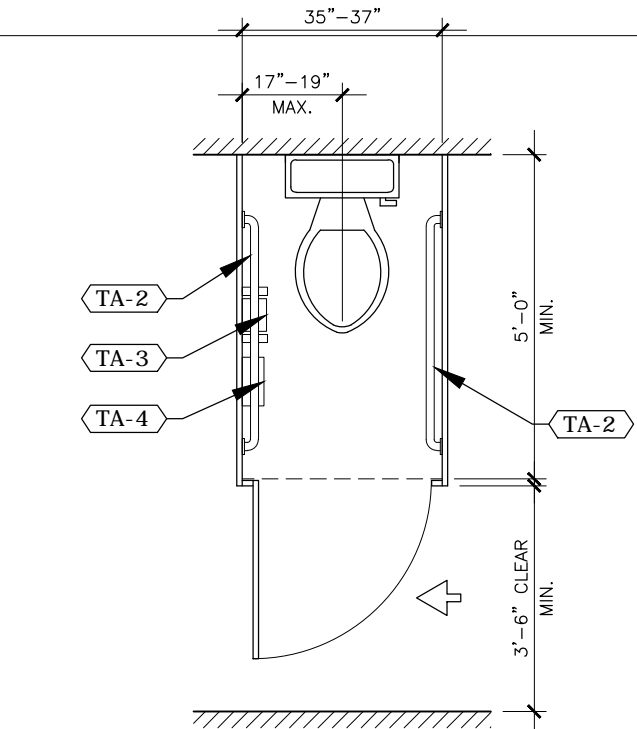
DISPENSERS THAT CONTROL DELIVERY, OR THAT DO NO PERMIT CONTINUOUS PAPER FLOW, SHALL NOT BE USED.

TOILET ACCESSORIES (TA-X)

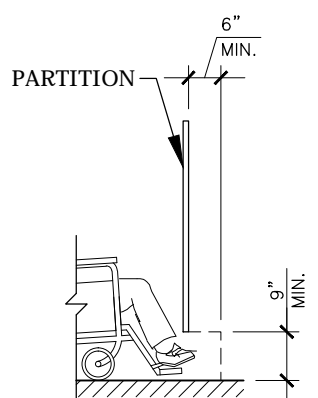
- TA-1 = 36" GRAB BAR
TA-2 = 42" GRAB BAR
TA-3 = TOILET TISSUE DISPENSER
TA-4 = TOILET TISSUE DISPOSAL



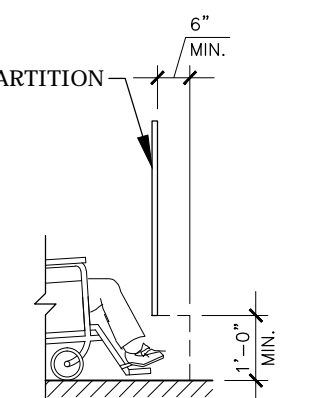
WHEELCHAIR ACCESSIBLE TOILET
COMPARTMENT DOORS
FIG. 8(a)



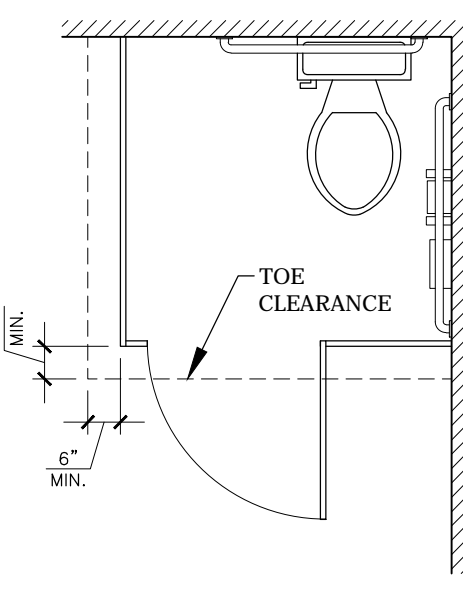
AMBULATORY ACCESSIBLE
COMPARTMENT
FIG. 8(b)



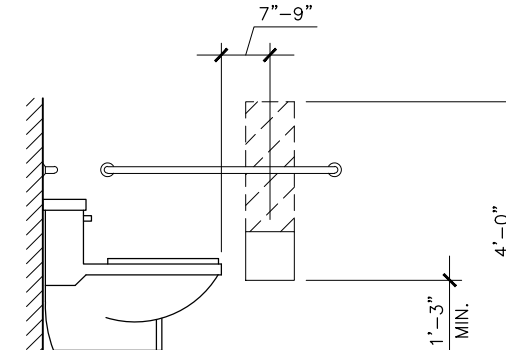
TOE CLEARANCE
ELEVATION - ADULT
FIG. 8(c)



TOE CLEARANCE
ELEVATION - CHILD
FIG. 8(d)



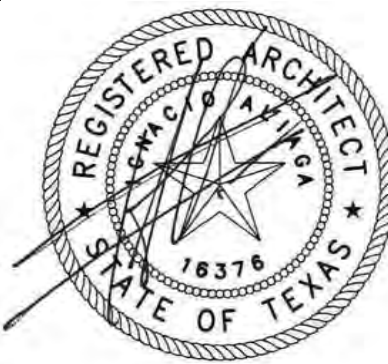
WHEELCHAIR ACCESSIBLE TOILET
COMPARTMENT TOE CLEARANCE
FIG. 8(e)



DISPENSER OUTLET LOCATION
FIG. 8(f)

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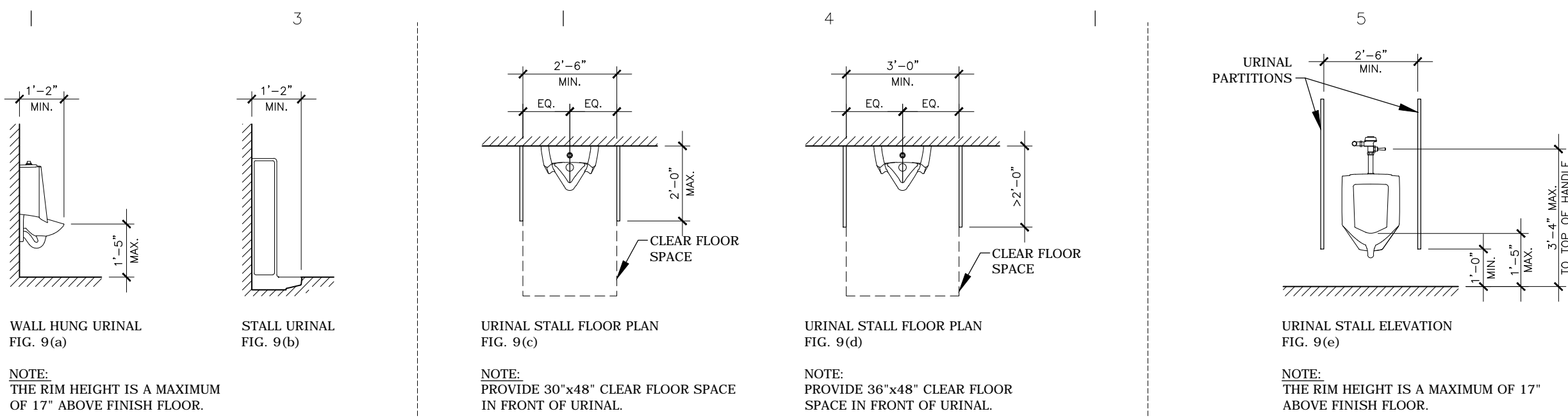
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9. URINALS

HEIGHT
URINALS SHALL BE STALL-TYPE OR WALL-HUNG WITH THE RIM MOUNTED AT A MAXIMUM OF 17" ABOVE THE FINISH FLOOR OR GROUND. A TAPERED ELONGATED RIM IS ONE THAT NARROWS TOWARD THE FRONT TO ALLOW A WHEELCHAIR USER TO STRADDLE THE BASIN AND WHICH EXTENDS AT LEAST 14" FROM THE VERTICAL SURFACE ON WHICH THE FIXTURE IS MOUNTED.

CLEAR FLOOR SPACE
A CLEAR FLOOR SPACE 30" BY 48" SHALL BE PROVIDE IN FRONT OF URINALS TO ALLOW FORWARD APPROACH.
IF THE URINAL IS INSTALLED IN AN ALCOVE DEEPER THAN 24", A CLEAR FLOOR SPACE WIDTH OF 36" SHALL BE PROVIDED FOR FORWARD APPROACH.

FLUSH CONTROLS
FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC, AND SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FINISH FLOOR.



10. LAVATORIES, SINKS, AND MIRRORS

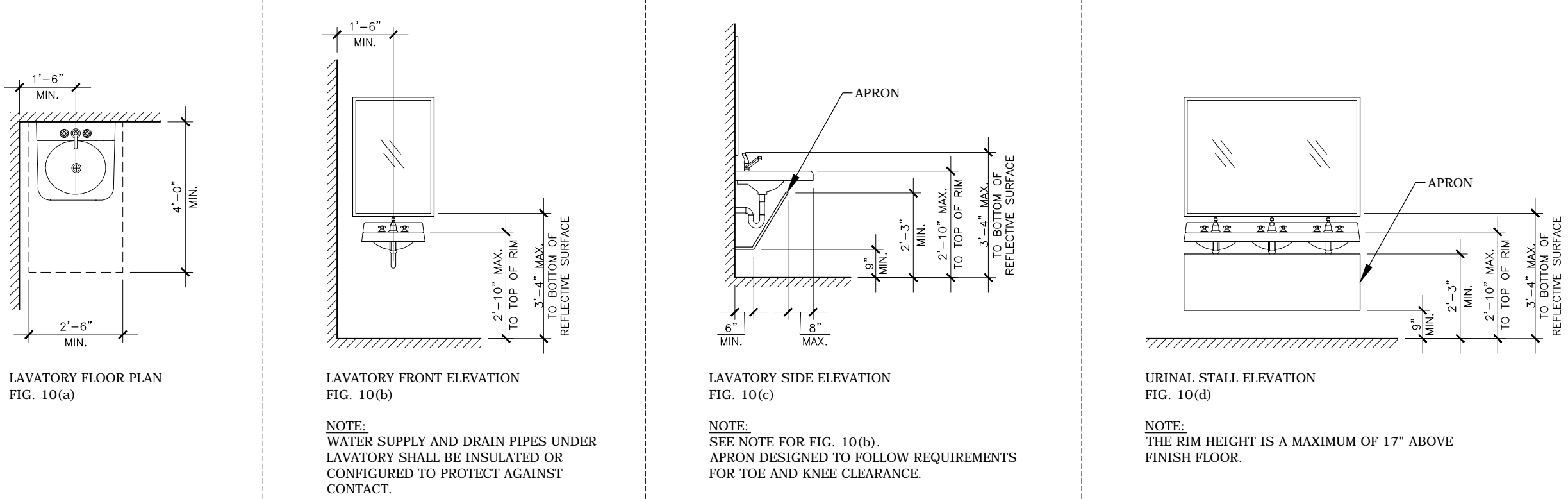
CLEAR FLOOR SPACE
A CLEAR FLOOR SPACE 30" BY 48" COMPLYING WITH APPLICABLE ACCESSIBILITY STANDARDS SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW FORWARD APPROACH.
LAVATORIES AND MIRRORS INSTALLED IN ALCOVES DEEPER THAN 24" REQUIRE ADDITIONAL MANEUVERING AREA.

HEIGHT AND CLEARANCES
LAVATORIES SHALL BE INSTALLED WITH THE FRONT OF THE HIGHER OF THE RIM OR COUNTER SURFACE 34" MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.
KNEE AND TOE CLEARANCES SHALL COMPLY WITH THE REQUIREMENTS AS ESTABLISHED IN THE APPLICABLE ACCESSIBILITY STANDARDS.

EXPOSED PIPES AND SURFACES
HOT WATER AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.

FAUCETS
FAUCETS SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS.
LEVER-OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR 10 SECONDS MINIMUM.

MIRRORS
MIRRORS LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAXIMUM ABOVE THE FINISH FLOOR.
MIRRORS NOT LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35" MAXIMUM ABOVE THE FINISH FLOOR.
A FULL-LENGTH MIRROR SHALL BE INSTALLED WITH THE TOP EDGE OF THE MIRROR AT 74" MINIMUM ABOVE THE FINISH FLOOR.



11. SIGNS

WHERE BOTH VISUAL AND TACTILE CHARACTERS ARE REQUIRED, EITHER ONE SIGN WITH BOTH VISUAL AND TACTILE CHARACTERS, OR TWO SEPARATE SIGNS, ONE WITH VISUAL, AND ONE WITH TACTILE CHARACTERS, SHALL BE PROVIDED.

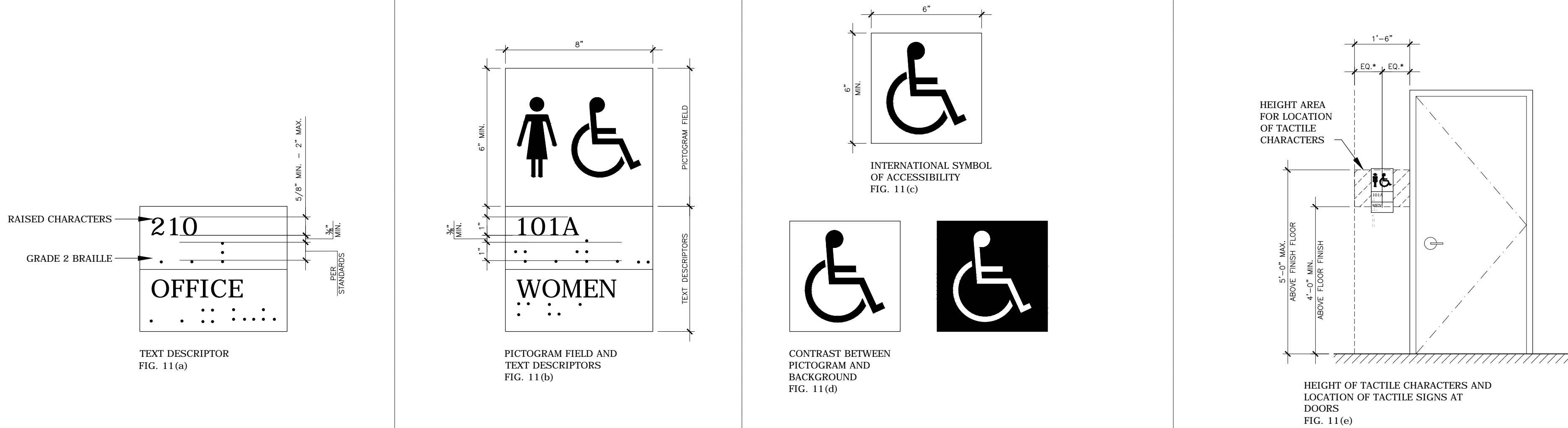
RAISED CHARACTERS
CHARACTERS SHALL BE 1/32" MINIMUM ABOVE THE BACKGROUND. CHARACTERS SHALL BE UPPERCASE AND SANS-SERIF. THEY SHALL NOT BE ITALIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE OR OTHER UNUSUAL FORMS. CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8" MINIMUM AND 2" MAXIMUM.

BRAILLE
CHARACTERS SHALL BE CONTRACTED (GRADE 2) AND SHALL COMPLY WITH THE REQUIREMENTS OF "RAISED CHARACTERS" AS STATED ABOVE. BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT. BRAILLE SHALL BE SEPARATED 3/8" MINIMUM FROM ANY OTHER TACTILE CHARACTERS AND 3/8" MINIMUM FROM RAISED BORDERS AND DECORATIVE ELEMENTS.

INSTALLATION HEIGHT AND LOCATION
TACTILE CHARACTERS SHALL BE LOCATED 48" MINIMUM ABOVE THE FINISH FLOOR MEASURED FROM THE BASELINE OF THE LOWEST TACTILE CHARACTER, AND 60" MAXIMUM ABOVE THE FINISH FLOOR MEASURED FROM THE BASELINE OF THE HIGHEST TACTILE CHARACTER.
WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. THEY SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18"x18" MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR.

PICTOGRAMS AND SYMBOLS OF ACCESSIBILITY
PICTOGRAMS AND SYMBOLS OF ACCESSIBILITY SHALL HAVE A FIELD HEIGHT OF 6" MINIMUM. CHARACTERS AND BRAILLE SHALL NOT BE LOCATED IN THE PICTOGRAM OR SYMBOL FIELD. PICTOGRAMS AND SYMBOLS SHALL HAVE THE TEXT DESCRIPTOR DIRECTLY BELOW THE PICTOGRAM/SYMBOL FIELD. TEXT SHALL COMPLY WITH THE REQUIREMENTS STATED IN THE APPLICABLE ACCESSIBILITY STANDARDS.

FINISH AND CONTRAST
CHARACTERS AND THEIR BACKGROUND, PICTOGRAMS AND THEIR BACKGROUND, AS WELL AS SYMBOLS OF ACCESSIBILITY AND THEIR BACKGROUND, SHALL HAVE A NON-GLARE FINISH. CHARACTERS, PICTOGRAMS, AND SYMBOLS SHALL CONTRAST WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON LIGHT BACKGROUND.

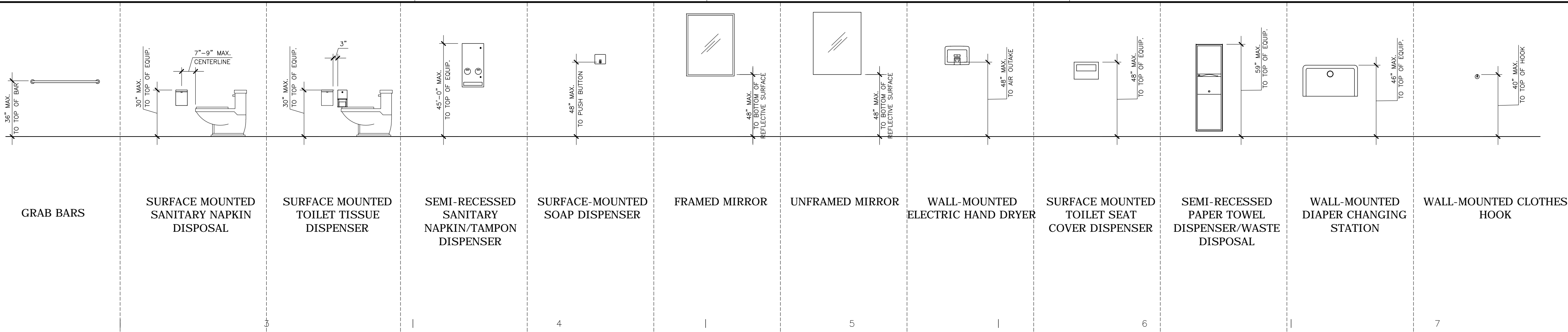


12. TOILET ACCESSORY MOUNTING HEIGHTS

MOUNTING HEIGHT
INSTALL TOILET ACCESSORIES PER MANUFACTURER'S RECOMMENDED HEIGHT FOR ADA/TAS. VERIFY HEIGHT DIMENSIONS WITH ALL APPLICABLE ACCESSIBILITY STANDARDS. WHERE A DISCREPANCY OCCURS, THE DIMENSIONS LISTED ON THE APPLICABLE ACCESSIBILITY STANDARDS SHALL APPLY.

ALL EQUIPMENT IS TO BE INSTALLED SO THAT THE DISPENSER SLOT AND/OR BUTTON IS LOCATED AT A HEIGHT OF 48" MAX. ABOVE THE FINISH FLOOR.

STRUCTURAL SUPPORT
INSTALL ALL ACCESSORIES WITH SUPPORT AS RECOMMENDED BY MANUFACTURER AND TO MEET REQUIREMENTS OF ALL APPLICABLE ACCESSIBILITY STANDARDS.



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GENERAL NOTES

- COORDINATE THE LOCATION OF FIRE ALARMS PULLS, STROBES & HORNS WITH MEP/FF DRAWINGS.
- FIRE EXTINGUISHER TYPE 2A-10BC TO BE LOCATED SUCH THAT THE MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER DOES NOT EXCEED 75 FT.
- ALL WALL SIGNS AT 48" A.F.F. TO CENTER LINE OF SIGNS AND EQUIPMENT TYP.
- CONTRACTORS SHALL PROPERLY SEAL ALL FLOOR, ROOF/CEILING AND ANY OTHER PENETRATIONS TO ASSURE AND MAINTAIN RATING INTEGRITY OF ASSEMBLY AS REQUIRED/ SHOWN, TYP.
- BUILDING TO BE FULLY SPRINKLERED PER NFPA 13.
- BUILDING TO BE EQUIPPED WITH A MANUAL FIRE ALARM SYSTEM PER IBC 907 AND NFPA 72.
- ELEVATORS TO COMPLY WITH IBC CHAPTER 30 AND HOISTWAYS SHALL BE ENCLOSED WITH 2 HOUR FIRE RESISTANCE RATED CONSTRUCTION.
- STAIRWAYS TO BE ENCLOSED WITH 2 HOUR FIRE RESISTANCE RATED CONSTRUCTION.
- PENETRATIONS OF FIRE RESISTANCE RATED WALLS OR HORIZONTAL ASSEMBLIES TO BE PROTECTED WITH EITHER A SHAFT, DAMPER, OR THROUGH PENETRATION FIRE STOP AS REQUIRED FOR SPECIFIC PENETRATION IN ACCORDANCE WITH IBC CHAPTER 7.
- EXIT SIGNAGE AND EGRESS ILLUMINATION TO BE PROVIDED IN ACCORDANCE WITH 1013 AND 1008 RESPECTIVELY.
- RATED WALL STENCILING, SECTION 703.7 MARKING AND IDENTIFICATION, WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. WHICH IDENTIFICATION SHALL:
 - a. BE LOCATED WITH 15 FT. OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30FT. MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
 - b. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/16" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING: FIRE AND/OR SMOKE BARRIER- PROTECT ALL OPENINGS

OCCUPANCY

LEVEL	AREA	FACTOR	OCCUPANCY LOAD
FIRST FLOOR	6,240 S.F.	200	31.2
SECOND FLOOR	6,240 S.F.	200	31.2
THIRD FLOOR	6,240 S.F.	200	31.2
FOURTH FLOOR	6,240 S.F.	200	31.2
FIFTH FLOOR	6,240 S.F.	200	31.2
TOTAL	31,200 S.F.	200	156 OCCUPANTS

NUMBER OF EXITS REQUIRED= 2
NUMBER OF EXITS PROVIDED= 2
EGRESS DOOR WIDTH REQUIRED 156 X 0.2= 31.2"
EGRESS DOOR WIDTH PROVIDED 34" X 2= 68"

CODE SUMMARY

LOCATION: 1103 E. COMMERCE ST. SAN ANTONIO, TX 78205
PROJECT OWNER: AIDEN SAN ANTONIO- BEST WESTERN HOTEL
PROJECT TITLE: AIDEN ADDITION

APPLICABLE CODES AND STANDARDS

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2015 NATIONAL ELECTRIC CODE
2018 SAN ANTONIO PROPERTY MAINTENANCE CODE

PROJECT DATA

ZONING: DOWNTOWN
OCCUPANCY CLASSIFICATION: R RESIDENTIAL/HOTEL
DESIGN APPROACH: NON-SEPARATED OCCUPANCIES
SPRINKLERED: YES
FIRE ALARM: YES

	EXISTING	ADDITION	TOTAL
BUILDING HEIGHT	43'-8"	14'-6"	58'-2"
BUILDING STORES	4	5	9
BUILDING AREA	35,372 SF.	8,835 SF.	44,175 SF.
AREA X FLOOR	8,835 SF.		

LEGEND

- 1 HR. FIRE SEPARATION
- 2 HR. FIRE SEPARATION
- TRAVEL DISTANCE (T.D.)
- EXIT SIGN

ELEVATOR:
2 HR. FIRE RATED ENCLOSURE.
90 MIN. FIRE RATED DOOR.
ELEVATOR IS CONNECTED TO EMERGENCY GENERATOR.
ELEVATOR MUST ACCOMMODATE A 24" X 64" STRECHER MIN.

EXISTING CORRIDOR:
1 HR. FIRE RATED WALLS.
45 MIN. FIRE RATED DOOR.
MINIMUM CORRIDOR WIDTH= 44"
CORRIDOR WIDTH PROVIDED= 61"

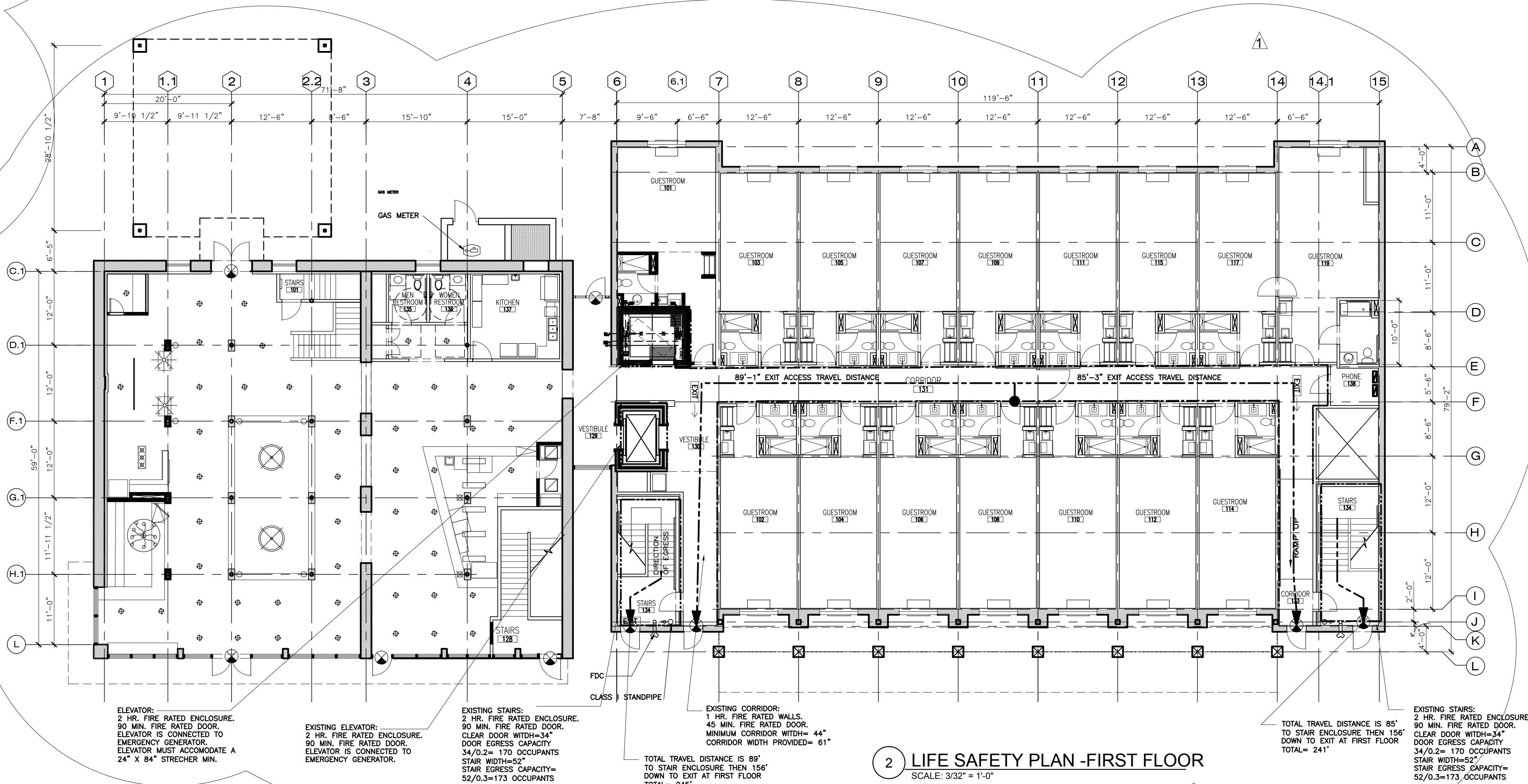
EXISTING ELEVATOR:
2 HR. FIRE RATED ENCLOSURE.
90 MIN. FIRE RATED DOOR.
ELEVATOR IS CONNECTED TO EMERGENCY GENERATOR.

EXISTING STAIRS:
2 HR. FIRE RATED ENCLOSURE.
90 MIN. FIRE RATED DOOR.
CLEAR DOOR WIDTH=34"
DOOR EGRESS CAPACITY
34/0.2= 170 OCCUPANTS
STAIR WIDTH=52"
STAIR EGRESS CAPACITY= 52/0.3=173 OCCUPANTS



1 LIFE SAFETY PLAN (TYP. ALL FLOORS)

SCALE: 3/32" = 1'-0"



2 LIFE SAFETY PLAN -FIRST FLOOR

SCALE: 3/32" = 1'-0"

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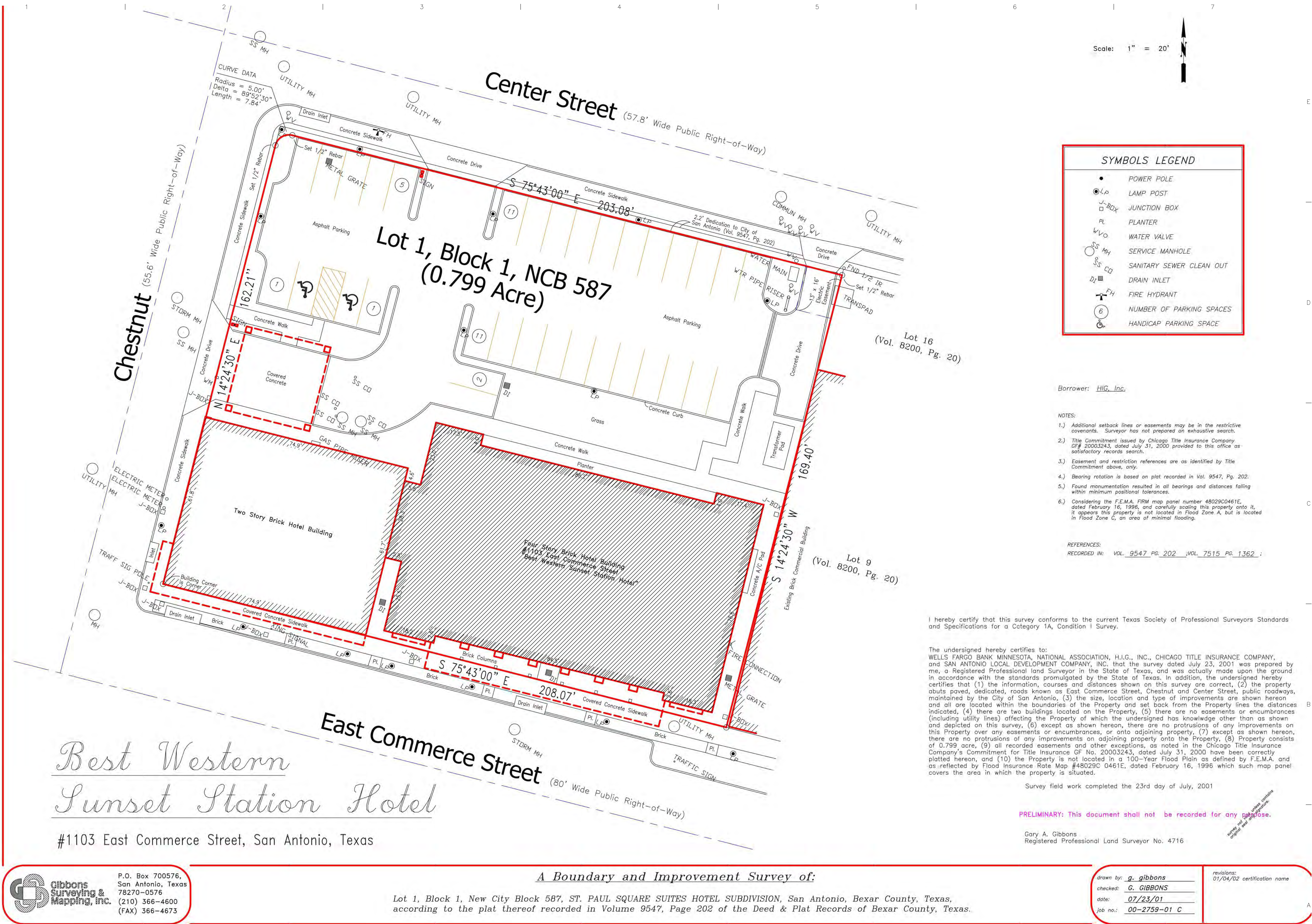
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CODE ANALYSIS
AND LIFE SAFETY
PLAN

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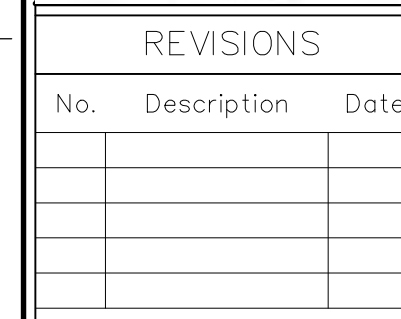
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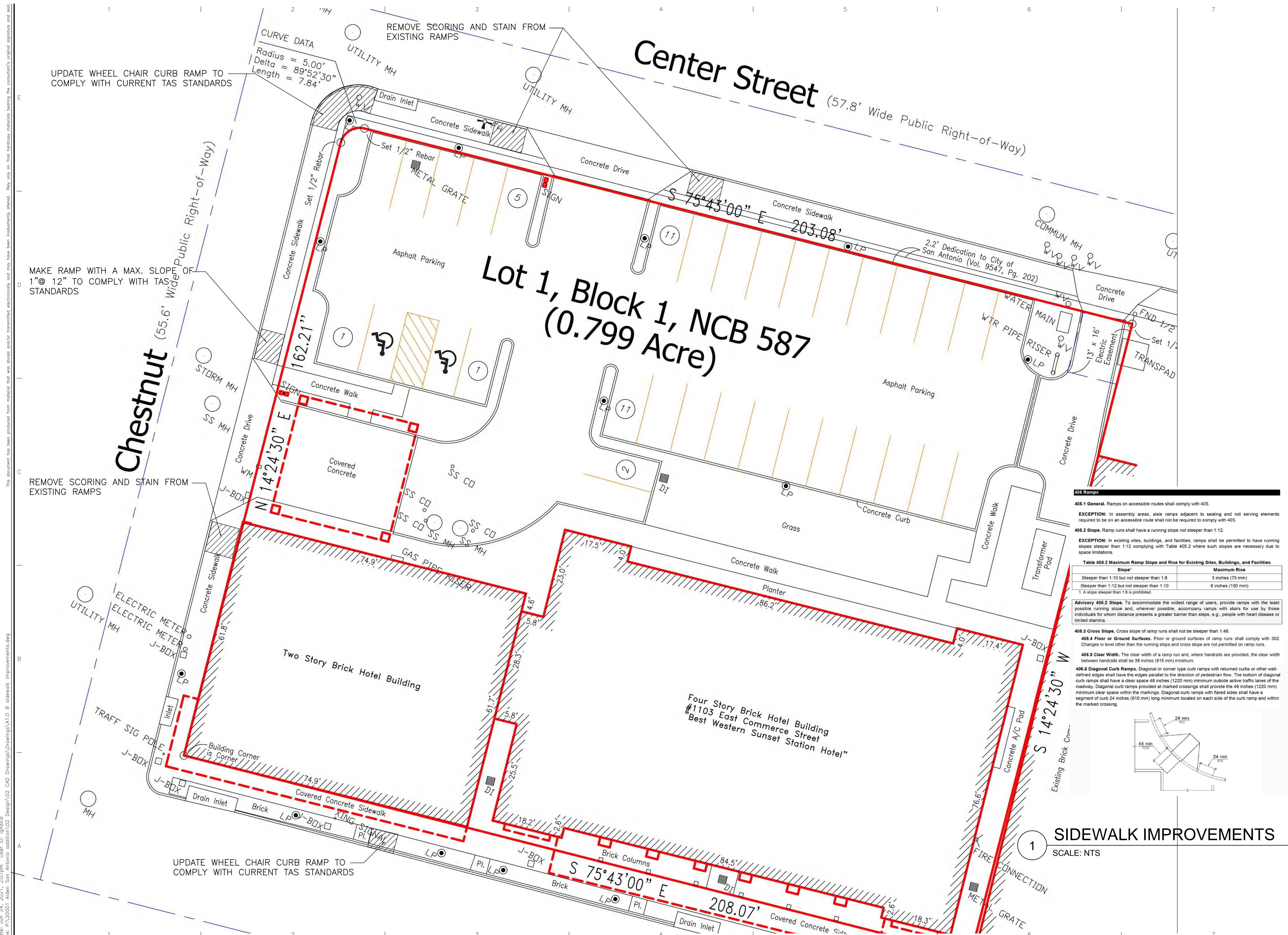
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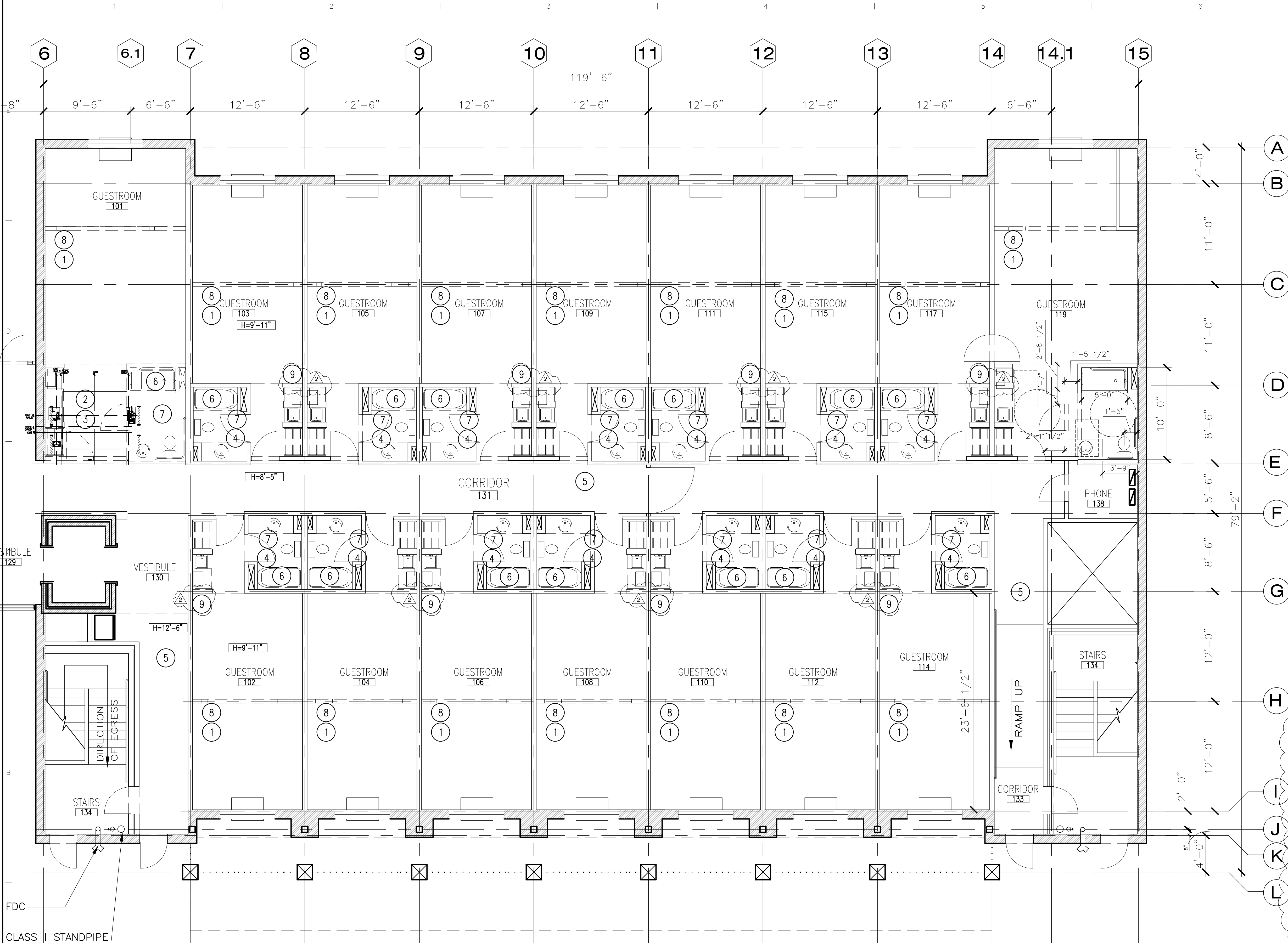


SIDEWALK IMPROVEMENTS

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1 DEMOLITION PLAN (typ.)
SCALE: 3/16" = 1'-0"

- GENERAL NOTES**
- 1 CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND VERIFYING ALL EXISTING CONDITIONS AND RELEVANT DIMENSIONS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY.
 - 2 CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL EXISTING FINISHES AND/OR MATERIALS DAMAGED DURING PERFORMANCE OF WORK.
 - 3 CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
 - 4 MILLWORK DETAILS AND ELEVATIONS ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR MANUFACTURE.
 - 5 INSTALLATION OF SYSTEMS SHALL BE DONE BY MANUFACTURER'S APPROVED INSTALLERS.
 - 6 SIGNAGE IS NOT PART OF THE CONTRACT. OWNER WILL COORDINATE WITH SIGNAGE CONTRACTOR FOR MANUFACTURING AND INSTALLATION.
 - 7 EXISTING FIRE PROTECTION SYSTEM TO BE ADJUSTED AS NEEDED.
 - 8 FOR COMPLETE SCOPE OF WORK CONTRACTOR AND SUB-CONTRACTORS MUST CHECK THE FINISH SCHEDULE
 - 9 ANY MODIFICATIONS TO THE FIRE SUPPRESSION SYSTEM, AIR CONDITIONING DUCTS, SOUND AND TELEPHONE SYSTEMS TO BE OWNER RESPONSABILITY

- DEMOLITION LEGEND**
- NEW WALL
 - EXISTING WALL TO REMAIN
 - REMOVE EXISTING FLOOR
 - EXISTING TO BE REMOVED

- DEMOLITION NOTES**
- 1 REMOVE EXISTING FLOORING, PATCH AND PREPARE SURFACE FOR NEW FLOORING
 - 2 CREATE OPENINGS BY REMOVING FLOORS AND CEILINGS TO ACCOMMODATE NEW ELEVATOR
 - 3 REMOVE EXISTING BATHROOM AND BAR AREA AT GUESTROOMS (101, 201, 301 & 401)
 - 4 REMOVE EXISTING DOORS
 - 5 REMOVE EXISTING CARPET TYPICAL ALL FLOORS
 - 6 REMOVE EXISTING BATHROOM FIXTURES AT ALL GUESTROOMS, EXCEPT ADA ROOMS
 - 7 REMOVE EXISTING CEILING AND SOFFIT AS NECESSARY
 - 8 REMOVE EXISTING WING WALLS AT ALL GUESTROOMS
 - 9 REMOVE EXISTING WING WALLS NEXT TO THE KITCHEN AREA AT ALL GUESTROOMS AND ADD NEW HEADER TO EXTEND SOFFIT
- NOTE: BUILDING WILL NOT BE OCCUPIED DURING CONSTRUCTION

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1	PLAN REVIEW	8/20/2020
2	UPDATE	5/12/2021

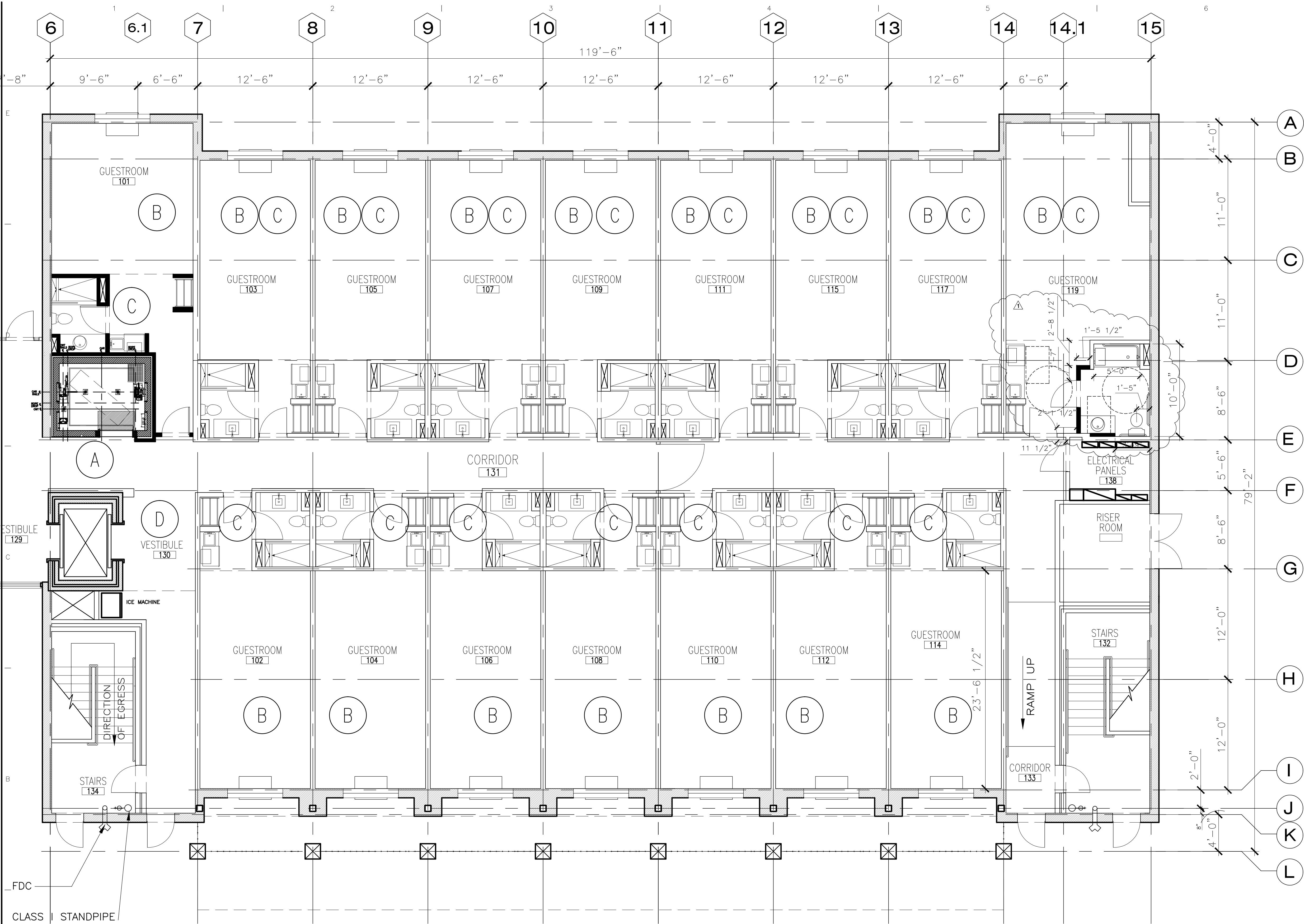
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DEMOLITON PLAN

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1 FIRST FLOOR
SCALE: 3/16" = 1'-0"

- GENERAL NOTES**
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 - 2 CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL EXISTING FINISHES AND/OR MATERIALS DAMAGED DURING PERFORMANCE OF WORK.
 - 3 CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
 - 4 MILLWORK DETAILS AND ELEVATIONS ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO MANUFACTURE.
 - 5 INSTALLATION OF SYSTEMS SHALL BE DONE BY MANUFACTURER'S APPROVED INSTALLERS.
 - 6 SIGNAGE IS NOT PART OF THE CONTRACT. OWNER WILL COORDINATE WITH SIGNAGE CONTRACTOR FOR MANUFACTURING AND INSTALLATION.
 - 7 EXISTING FIRE PROTECTION SYSTEM TO BE ADJUSTED AS NEEDED.
 - 8 FOR COMPLETE SCOPE OF WORK CONTRACTOR AND SUB-CONTRACTORS MUST CHECK THE FINISH SCHEDULE.
 - 9 ANY MODIFICATIONS TO THE FIRE SUPPRESSION SYSTEM, AIR CONDITIONING DUCTS, SOUND AND TELEPHONE SYSTEMS TO BE OWNER RESPONSIBILITY.

- NEW CONSTRUCTION NOTES**
- A NEW ELEVATOR
SEE A3.0 AND STRUCTURAL DRAWINGS
 - B FOR FLOOR, CEILING AND WALL FINISHES
SEE INTERIOR DESIGN FINISH SCHEDULE
 - C FOR GUESTROOM FIXTURES AND FINISHES
SEE INTERIOR DESIGN FINISH SCHEDULE
 - D EXISTING ELEVATOR WILL BE EXTENDED ONE MORE FLOOR

DEMOLITION LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN
	REMOVE EXISTING FLOOR
	EXISTING TO BE REMOVED

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1	ADA ROOM UPDATE	5/12/2021

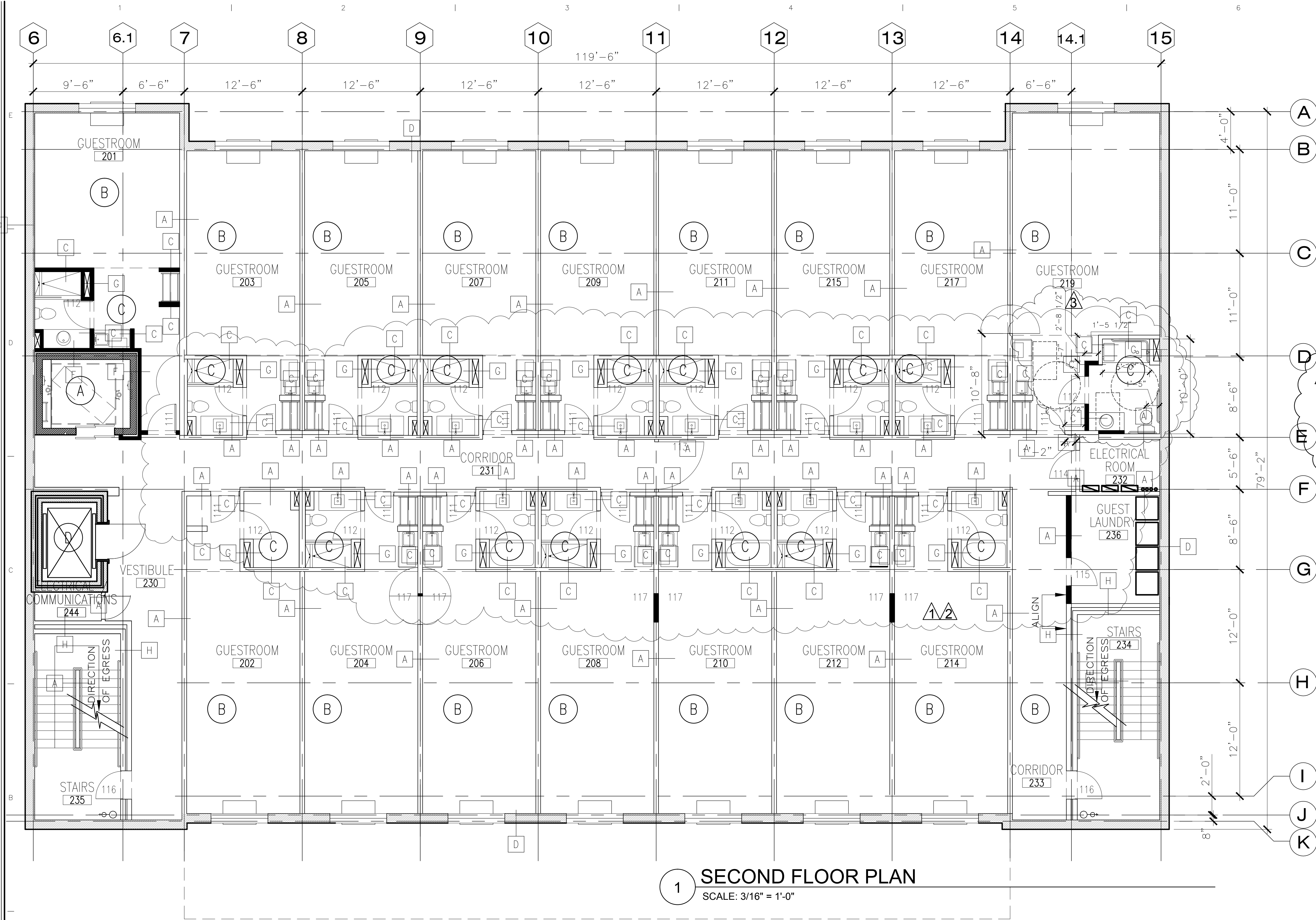
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FIRST FLOOR
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1 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

NEW CONSTRUCTION NOTES

- A NEW ELEVATOR SEE A2.8 AND STRUCTURAL DRAWINGS
- B FOR FLOOR, CEILING AND WALL FINISHES SEE INTERIOR DESIGN FINISH PACKAGE
- C INSTALL NEW BATHROOM FIXTURES AND FINISHES.
- D EXISTING ELEVATOR TO BE EXTENDED UP TO THE 5TH. FLOOR
- E NEW CARPET AT CORRIDORS

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND VERIFYING ALL EXISTING CONDITIONS AND RELEVANT DIMENSIONS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL EXISTING FINISHES AND/OR MATERIALS DAMAGED DURING PERFORMANCE OF WORK.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- MILLWORK DETAILS AND ELEVATIONS ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR MANUFACTURE.
- INSTALLATION OF SYSTEMS SHALL BE DONE BY MANUFACTURER'S APPROVED INSTALLERS.
- SIGNAGE IS NOT PART OF THE CONTRACT. OWNER WILL COORDINATE WITH SIGNAGE CONTRACTOR FOR MANUFACTURING AND INSTALLATION.
- EXISTING FIRE PROTECTION SYSTEM TO BE ADJUSTED AS NEEDED.
- FOR COMPLETE SCOPE OF WORK CONTRACTOR AND SUB-CONTRACTORS MUST CHECK THE FINISH SCHEDULE
- ANY MODIFICATIONS TO THE FIRE SUPPRESSION SYSTEM, AIR CONDITIONING DUCTS, SOUND AND TELEPHONE SYSTEMS TO BE OWNER RESPONSABILITY

DEMOLITION LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- REMOVE EXISTING FLOOR
- EXISTING TO BE REMOVED

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ADDITION
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REVISIONS

No.	Description	Date
1	PLAN REVIEW	8/20/2020
2	PLAN REVIEW	9/15/2020
3	ADA ROOM UPDATE	5/12/2021

CLIENT PROJ. # 2001
DATE : 7/21/2020

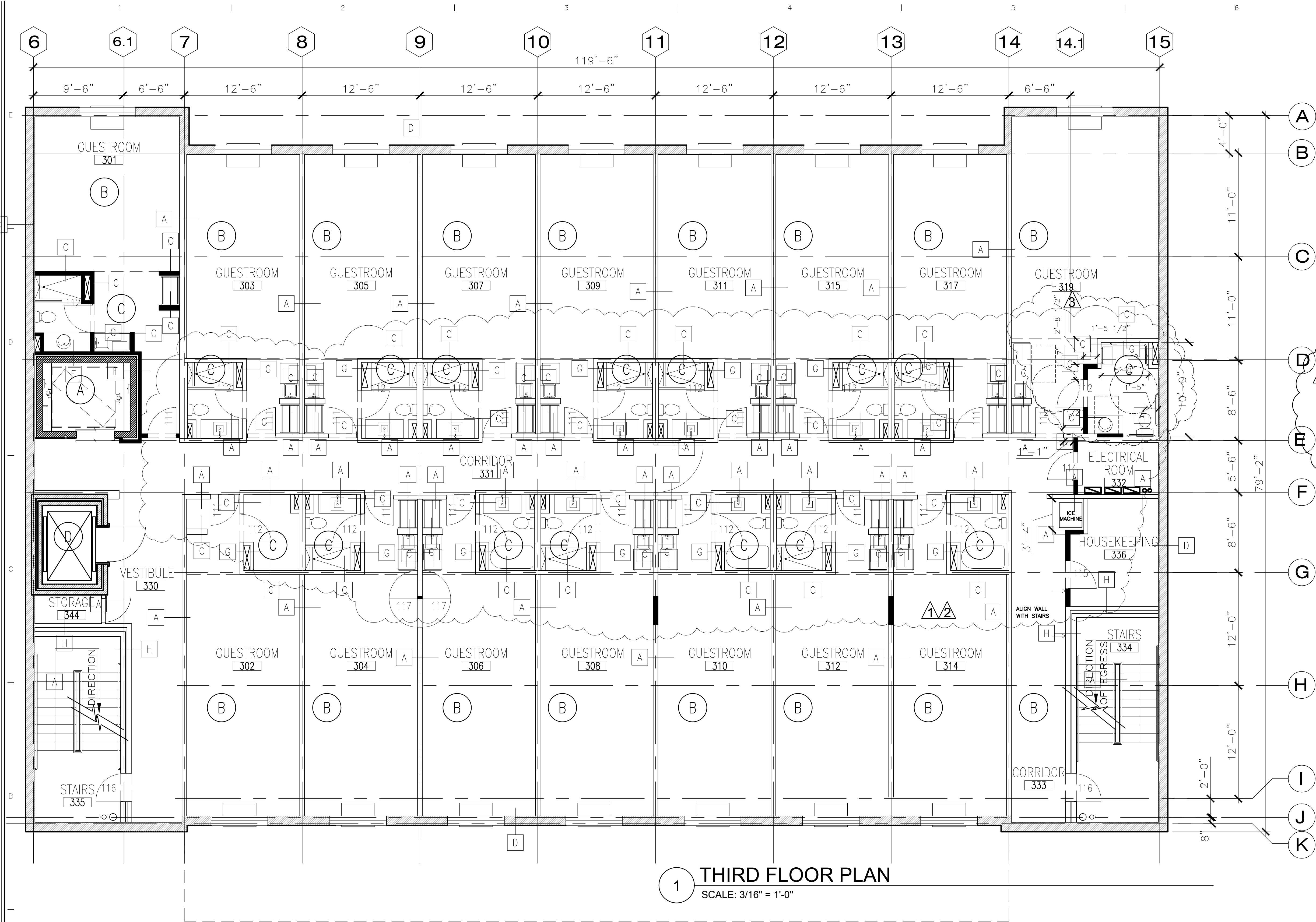
SECOND FLOOR
PLAN

SHEET

A2.2

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1 THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

NEW CONSTRUCTION NOTES

- A NEW ELEVATOR (SEE A2.8 AND STRUCTURAL DRAWINGS)
- B FOR FLOOR, CEILING AND WALL FINISHES (SEE INTERIOR DESIGN FINISH PACKAGE)
- C INSTALL NEW BATHROOM FIXTURES AND FINISHES.
- D EXISTING ELEVATOR TO BE EXTENDED UP TO THE 5TH. FLOOR
- E NEW CARPET AT CORRIDORS

GENERAL NOTES

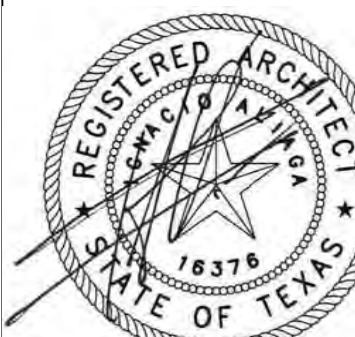
- CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND VERIFYING ALL EXISTING CONDITIONS AND RELEVANT DIMENSIONS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL EXISTING FINISHES AND/OR MATERIALS DAMAGED DURING PERFORMANCE OF WORK.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- MILLWORK DETAILS AND ELEVATIONS ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO MANUFACTURE.
- INSTALLATION OF SYSTEMS SHALL BE DONE BY MANUFACTURER'S APPROVED INSTALLERS.
- SIGNAGE IS NOT PART OF THE CONTRACT. OWNER WILL COORDINATE WITH SIGNAGE CONTRACTOR FOR MANUFACTURING AND INSTALLATION.
- EXISTING FIRE PROTECTION SYSTEM TO BE ADJUSTED AS NEEDED.
- FOR COMPLETE SCOPE OF WORK CONTRACTOR AND SUB-CONTRACTORS MUST CHECK THE FINISH SCHEDULE
- ANY MODIFICATIONS TO THE FIRE SUPPRESSION SYSTEM, AIR CONDITIONING DUCTS, SOUND AND TELEPHONE SYSTEMS TO BE OWNER RESPONSABILITY

DEMOLITION LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- REMOVE EXISTING FLOOR
- EXISTING TO BE REMOVED

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REVISIONS

No.	Description	Date
1	PLAN REVIEW	8/20/2020
2	PLAN REVIEW	9/15/2020
3	ADA ROOM UPDATE	5/12/2021

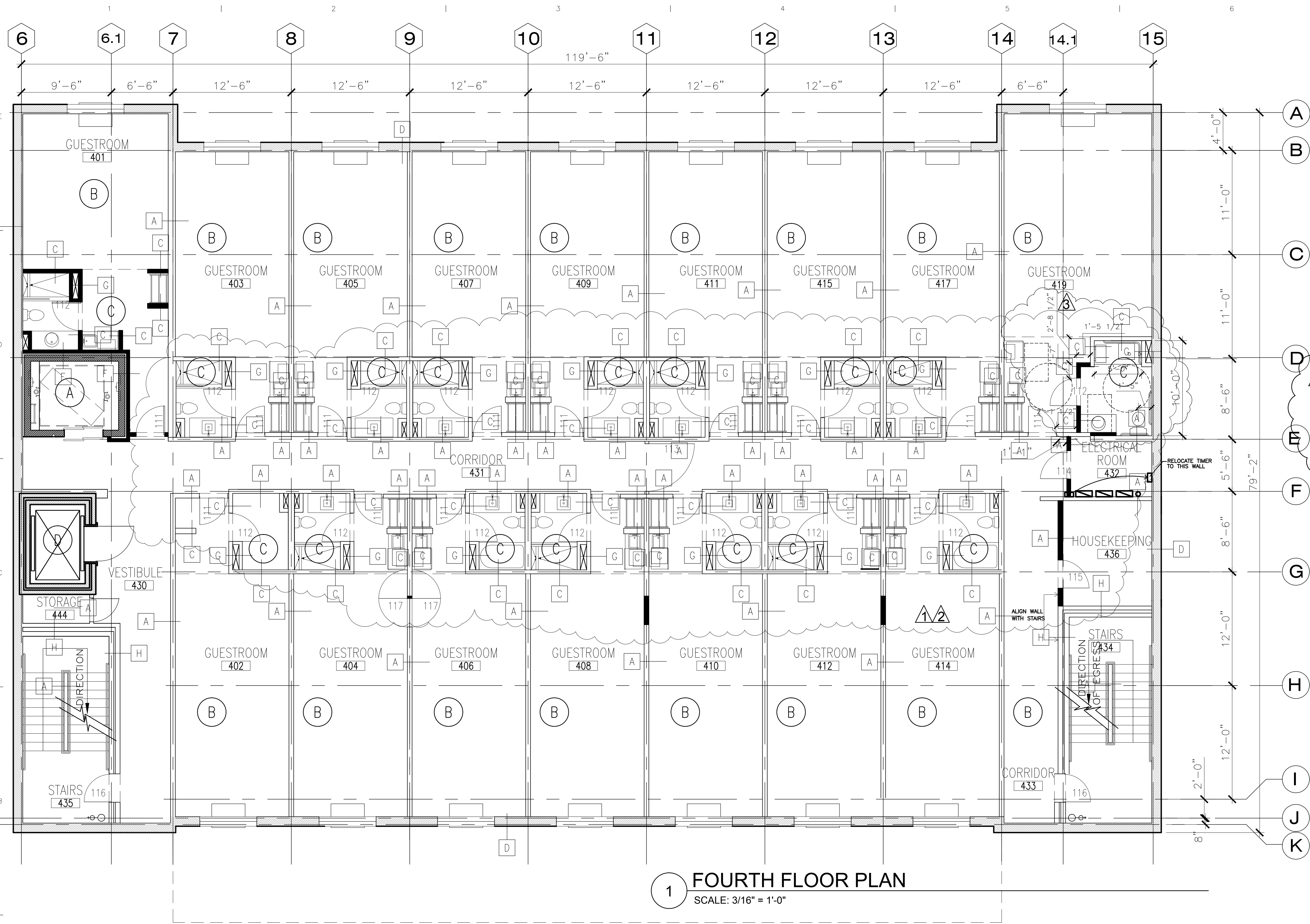
CLIENT PROJ. # 2001
DATE : 7/21/2020

THIRD FLOOR
PLAN

SHEET

A2.3

Date: Jun 24, 2021 2:40pm User: Ignacio
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1 FOURTH FLOOR PLAN
SCALE: 3/16" = 1'-0"

NEW CONSTRUCTION NOTES

- A NEW ELEVATOR SEE A2.8 AND STRUCTURAL DRAWINGS
- B FOR FLOOR, CEILING AND WALL FINISHES SEE INTERIOR DESIGN FINISH PACKAGE
- C INSTALL NEW BATHROOM FIXTURES AND FINISHES.
- D EXISTING ELEVATOR TO BE EXTENDED UP TO THE 5TH. FLOOR
- E NEW CARPET AT CORRIDORS

GENERAL NOTES

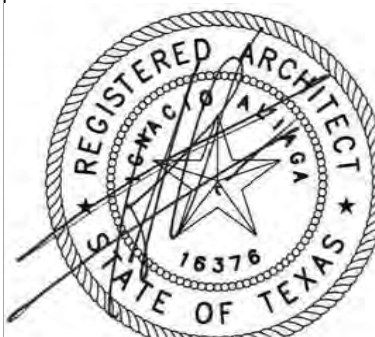
- CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND VERIFYING ALL EXISTING CONDITIONS AND RELEVANT DIMENSIONS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL EXISTING FINISHES AND/OR MATERIALS DAMAGED DURING PERFORMANCE OF WORK.
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- INSTALLATION OF SYSTEMS SHALL BE DONE BY MANUFACTURER'S APPROVED INSTALLERS.
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- EXISTING FIRE PROTECTION SYSTEM TO BE ADJUSTED AS NEEDED.
- FOR COMPLETE SCOPE OF WORK CONTRACTOR AND SUB-CONTRACTORS MUST CHECK THE FINISH SCHEDULE
- ANY MODIFICATIONS TO THE FIRE SUPPRESSION SYSTEM, AIR CONDITIONING DUCTS, SOUND AND TELEPHONE SYSTEMS TO BE OWNER RESPONSABILITY

DEMOLITION LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- REMOVE EXISTING FLOOR
- EXISTING TO BE REMOVED

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REVISIONS

No.	Description	Date
1	PLAN REVIEW	8/20/2020
2	PLAN REVIEW	9/15/2020
3	ADA ROOM UPDATE	5/12/2021

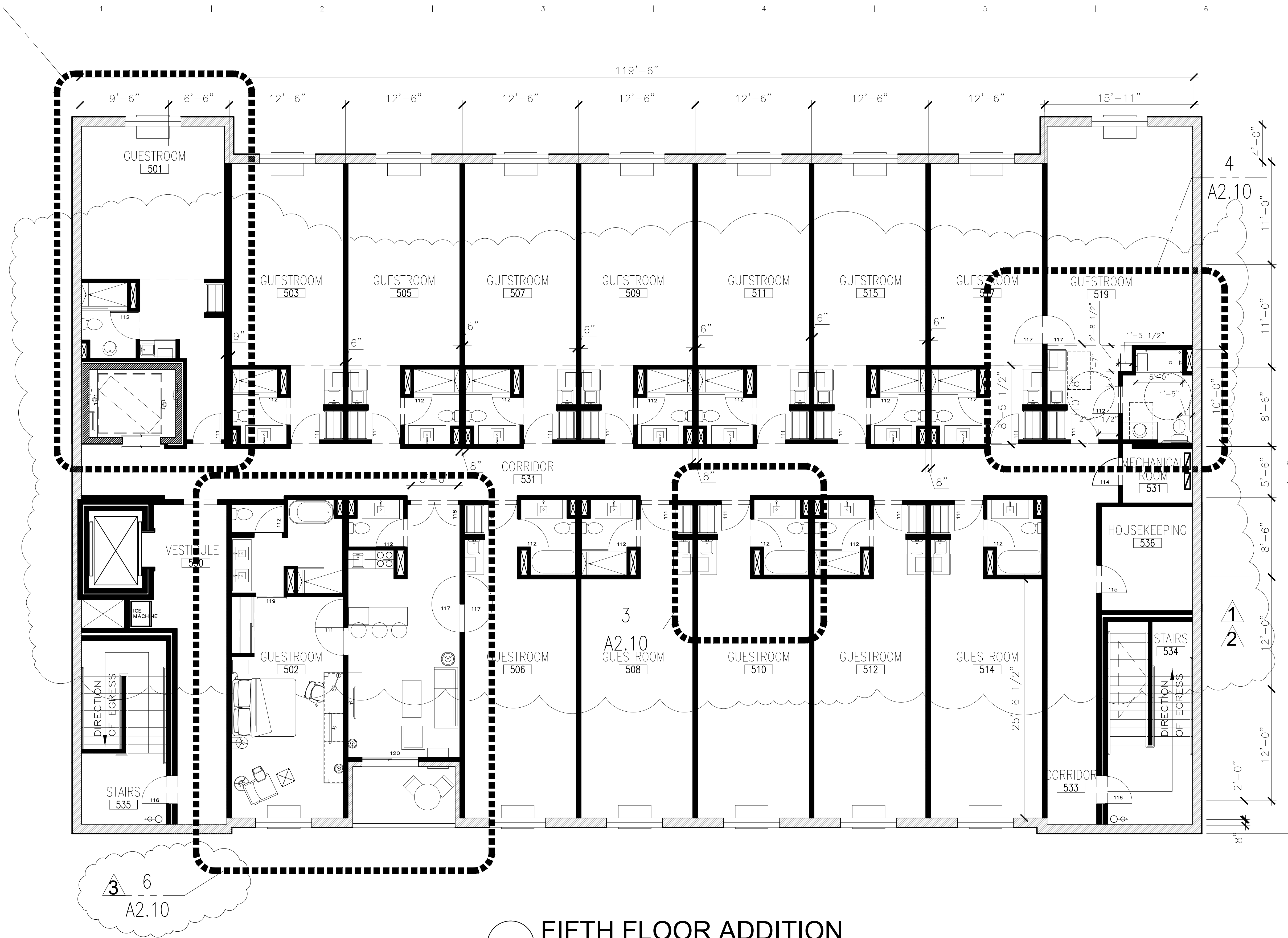
CLIENT PROJ. # 2001
DATE : 7/21/2020

FOURTH FLOOR
PLAN

SHEET

A2.4

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1 FIFTH FLOOR ADDITION
SCALE: 3/16" = 1'-0"

- GENERAL NOTES**
- 1 CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND VERIFYING ALL EXISTING CONDITIONS AND RELEVANT DIMENSIONS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY.
 - 2 CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL EXISTING FINISHES AND/OR MATERIALS DAMAGED DURING PERFORMANCE OF WORK.
 - 3 CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
 - 4 MILLWORK DETAILS AND ELEVATIONS ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR MANUFACTURE.
 - 5 INSTALLATION OF SYSTEMS SHALL BE DONE BY MANUFACTURER'S APPROVED INSTALLERS.
 - 6 SIGNAGE IS NOT PART OF THE CONTRACT. OWNER WILL COORDINATE WITH SIGNAGE CONTRACTOR FOR MANUFACTURING AND INSTALLATION.
 - 7 EXISTING FIRE PROTECTION SYSTEM TO BE ADJUSTED AS NEEDED.
 - 8 FOR COMPLETE SCOPE OF WORK CONTRACTOR AND SUB-CONTRACTORS MUST CHECK THE FINISH SCHEDULE
 - 9 ANY MODIFICATIONS TO THE FIRE SUPPRESSION SYSTEM, AIR CONDITIONING DUCTS, SOUND AND TELEPHONE SYSTEMS TO BE OWNER RESPONSABILITY

- NEW CONSTRUCTION NOTES**
- A NEW ELEVATOR
SEE S3.3 AND STRUCTURAL DRAWINGS
 - B FOR FLOOR, CEILING AND WALL FINISHES
SEE INTERIOR DESIGN PACKAGE
 - C NEW BATHROOM FIXTURES AND FINISHES
SEE INTERIOR DESIGN PACKAGE
 - D EXTEND EXISTING ELEVATOR TO THE FIFTH FLOOR

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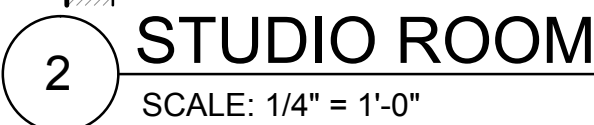
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REVISIONS		
No.	Description	Date
1	PLAN REVIEW	8/20/2020
2	PLAN REVIEW	9/15/2020
3	PRESIDENTIAL SUITE	5/12/2021

CLIENT PROJ. # 2001
DATE : 7/21/2020

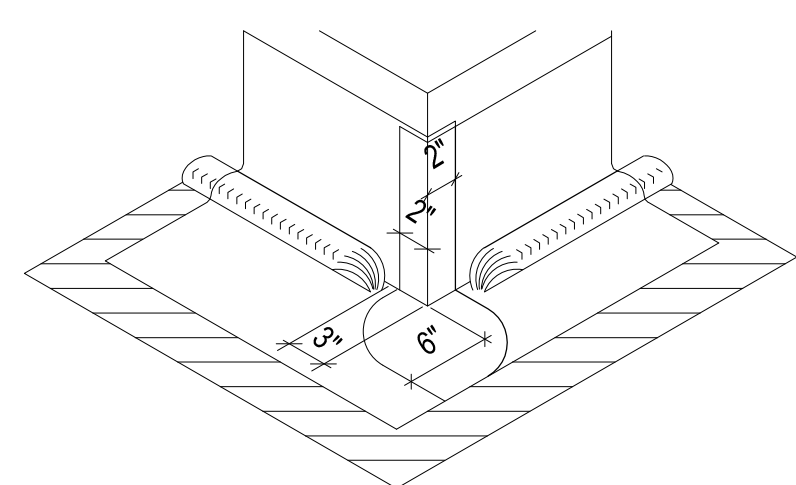
FIFTH FLOOR PLAN
ADDITION

SHEET
A2.5

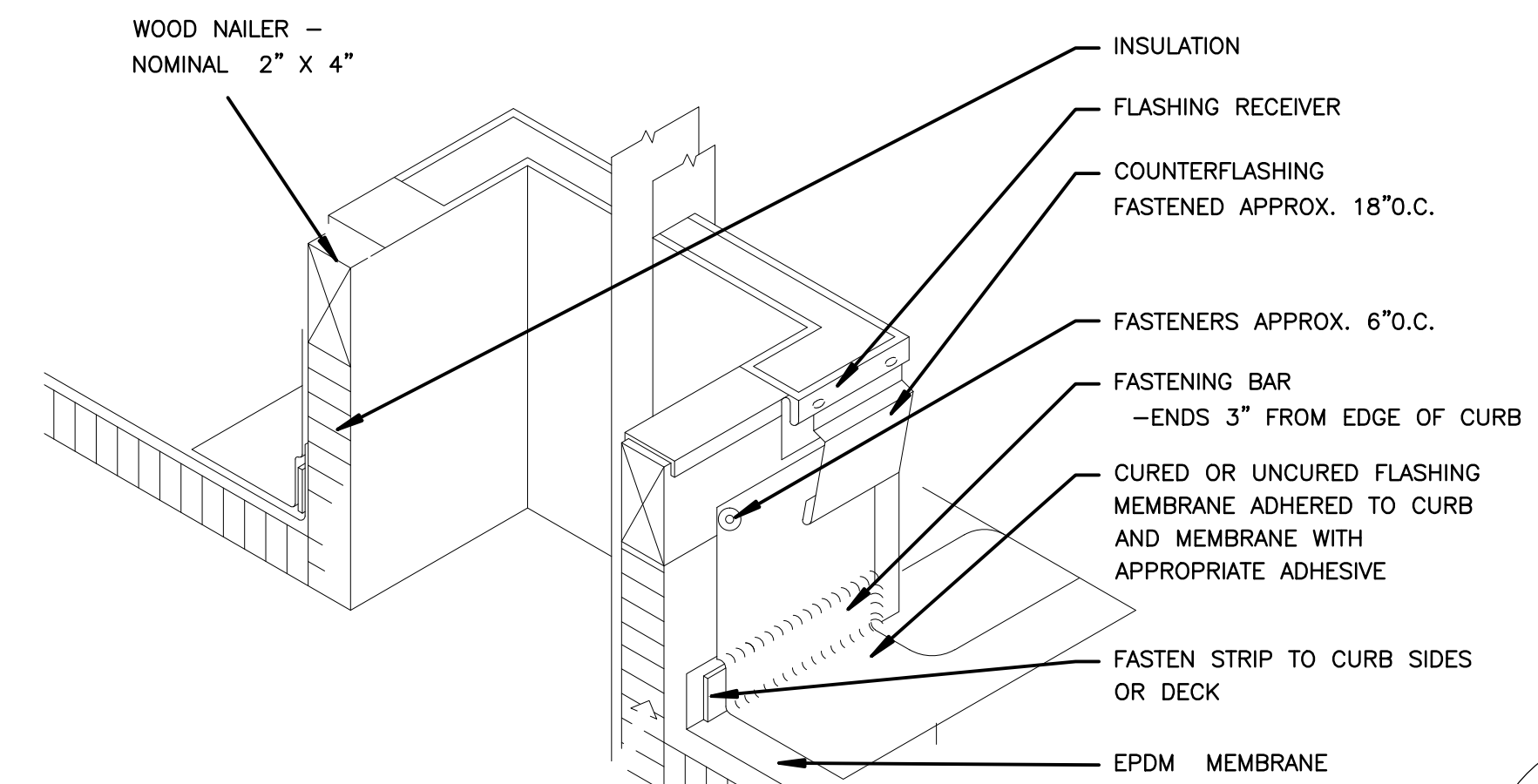


- A2.6

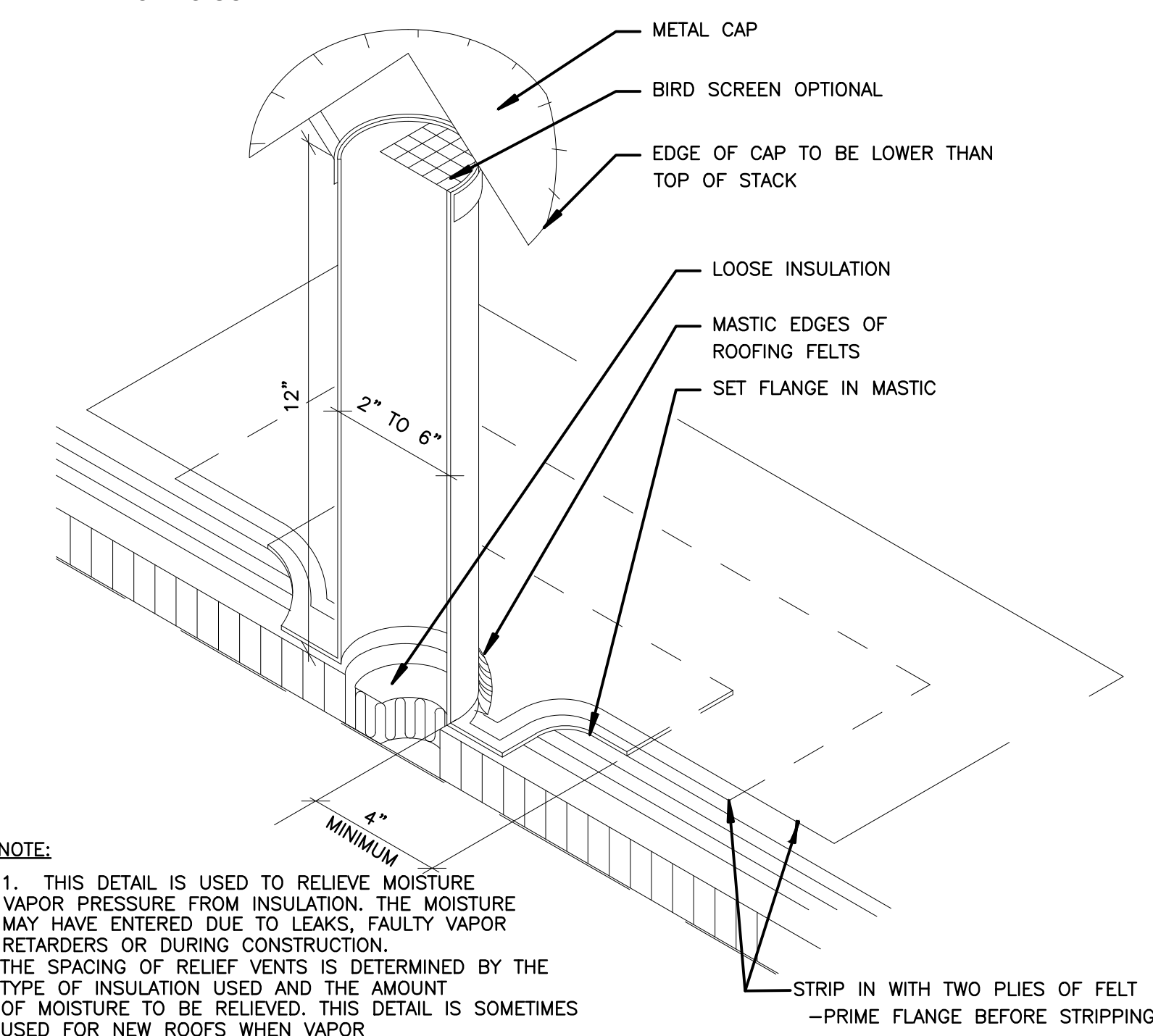
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5 OUTSIDE CORNER RAP
NOT TO SCALE

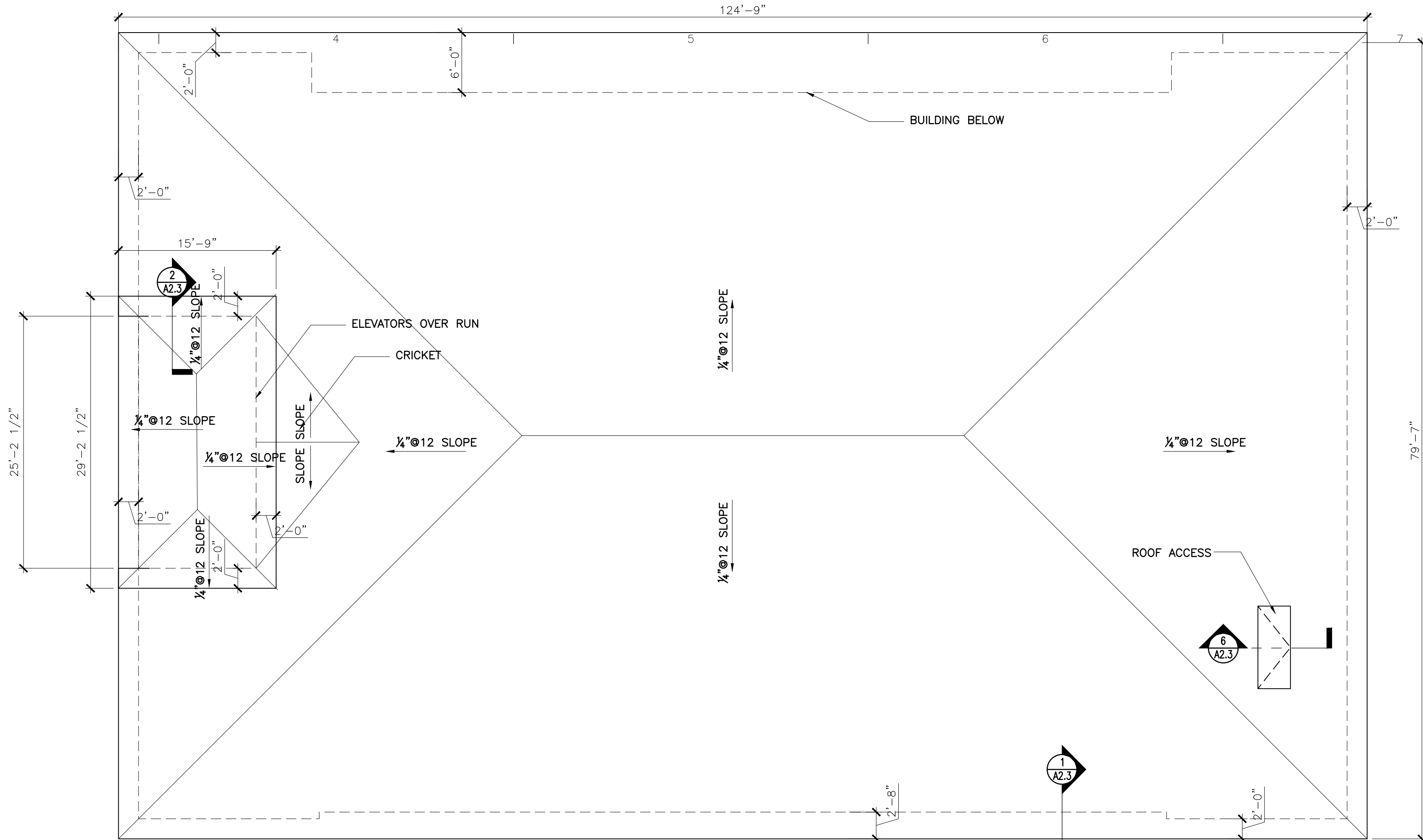


3 ROOF PENETRATION DETAIL
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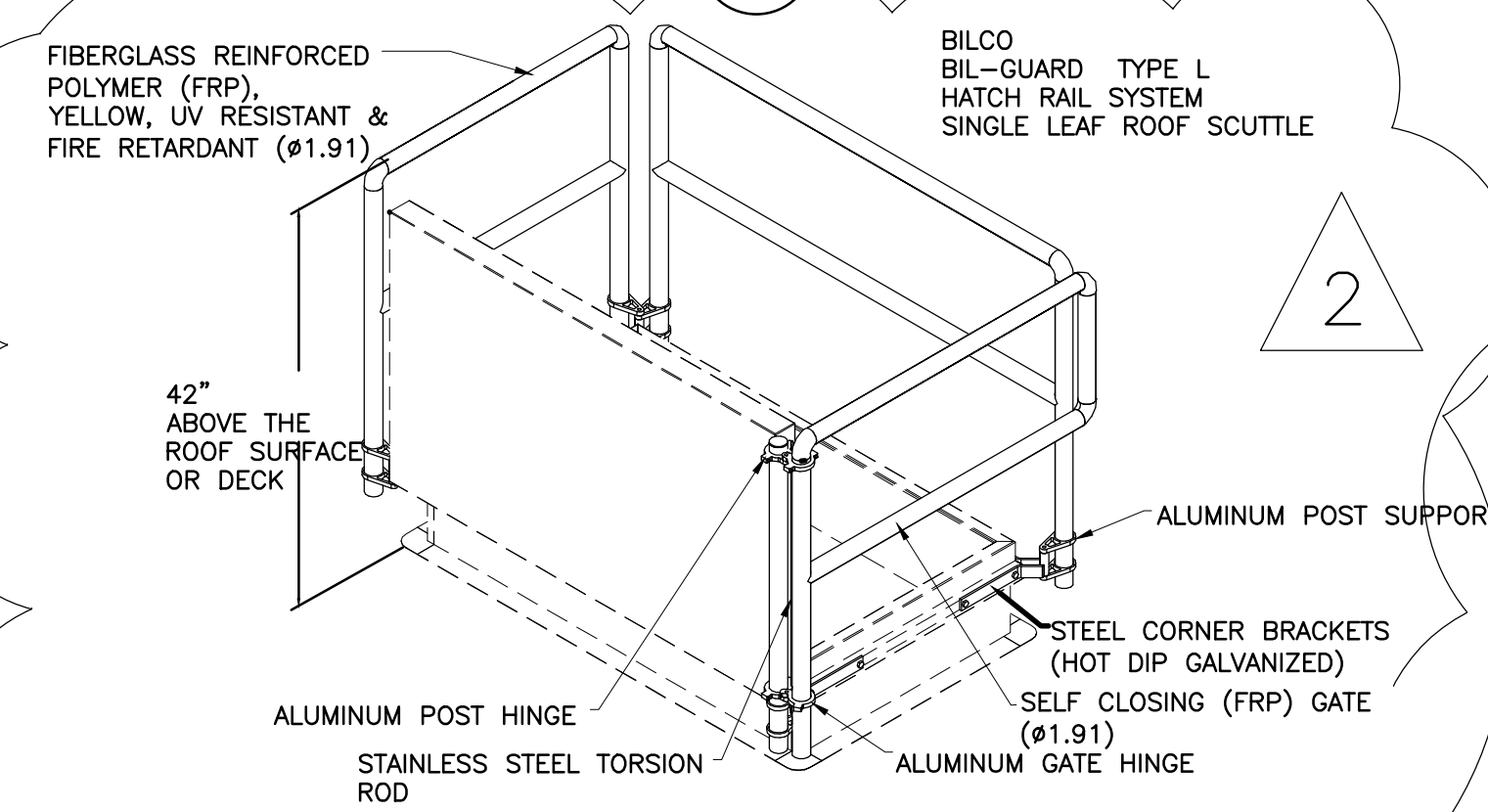


NOTE:
1. THIS DETAIL IS USED TO RELIEVE MOISTURE VAPOR PRESSURE FROM INSULATION. THE MOISTURE MAY HAVE ENTERED DUE TO LEAKS, FAULTY VAPOR RETARDERS OR DURING CONSTRUCTION. THE SPACING OF RELIEF VENTS IS DETERMINED BY THE TYPE OF INSULATION USED AND THE AMOUNT OF MOISTURE TO BE RELIEVED. THIS DETAIL IS SOMETIMES USED FOR NEW ROOFS WHEN VAPOR RETARDERS ARE USED AND A VENTING SYSTEM IS DESIRED.

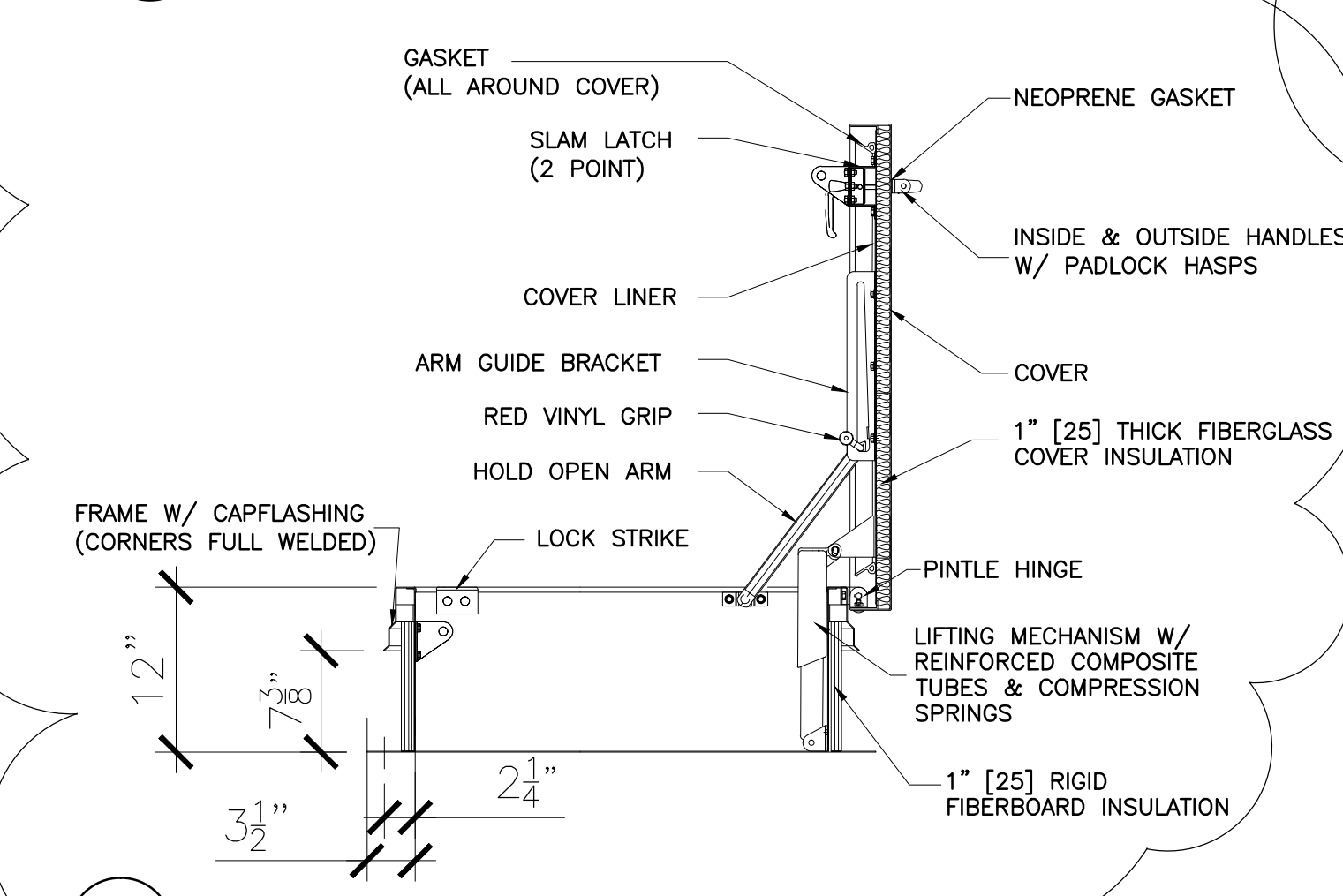
4 ROOF RELIEF VENT AXONOMETRIC
NOT TO SCALE



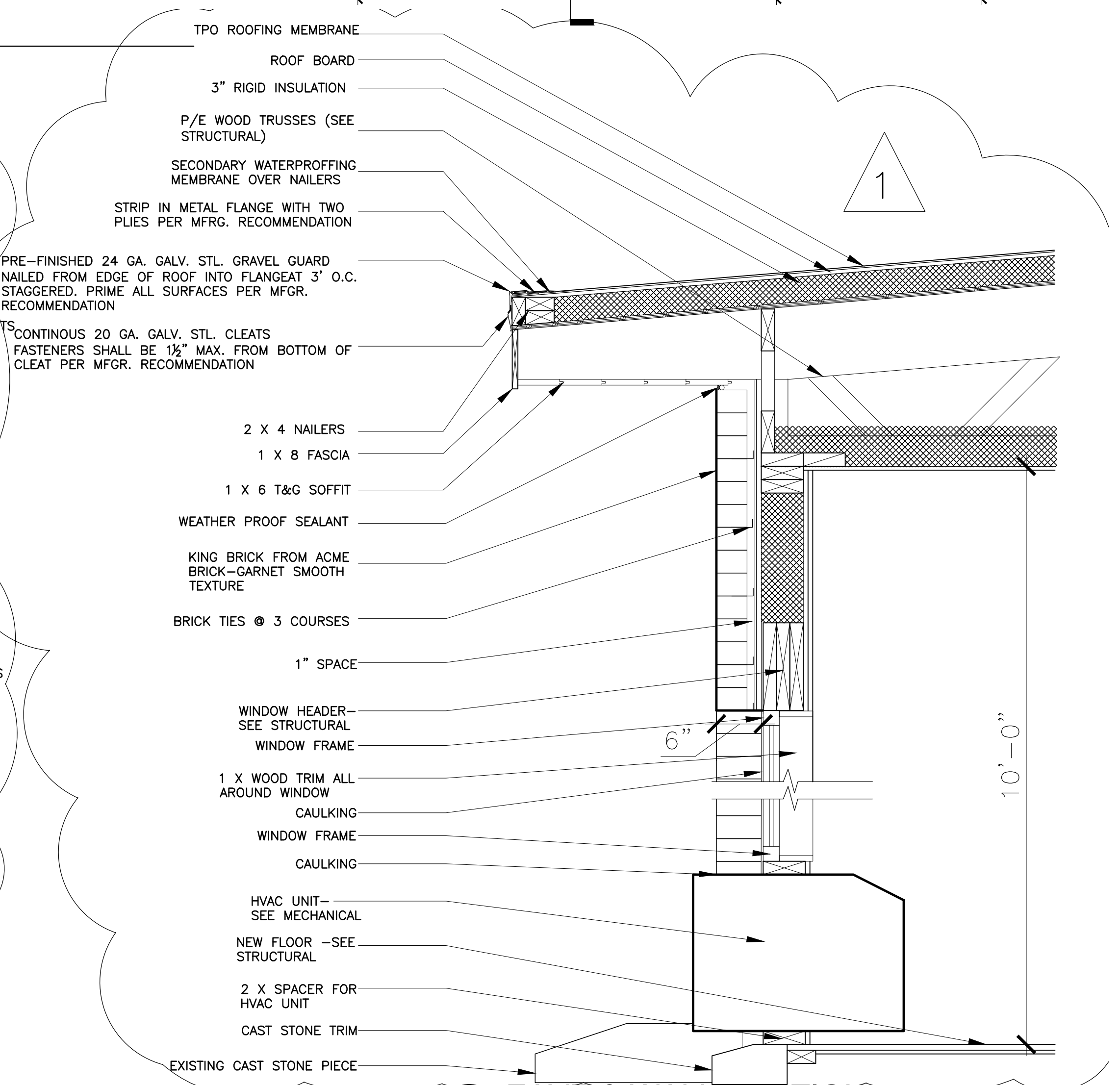
1 ROOF PLAN
SCALE: 1/8" = 1'-0"



7 ROOF HATCH GUARDRAIL
NOT TO SCALE



6 ROOF HATCH SECTION
SCALE: 1" = 1'-0"



2 EAVE & WALL SECTION
SCALE: 1" = 1'-0"

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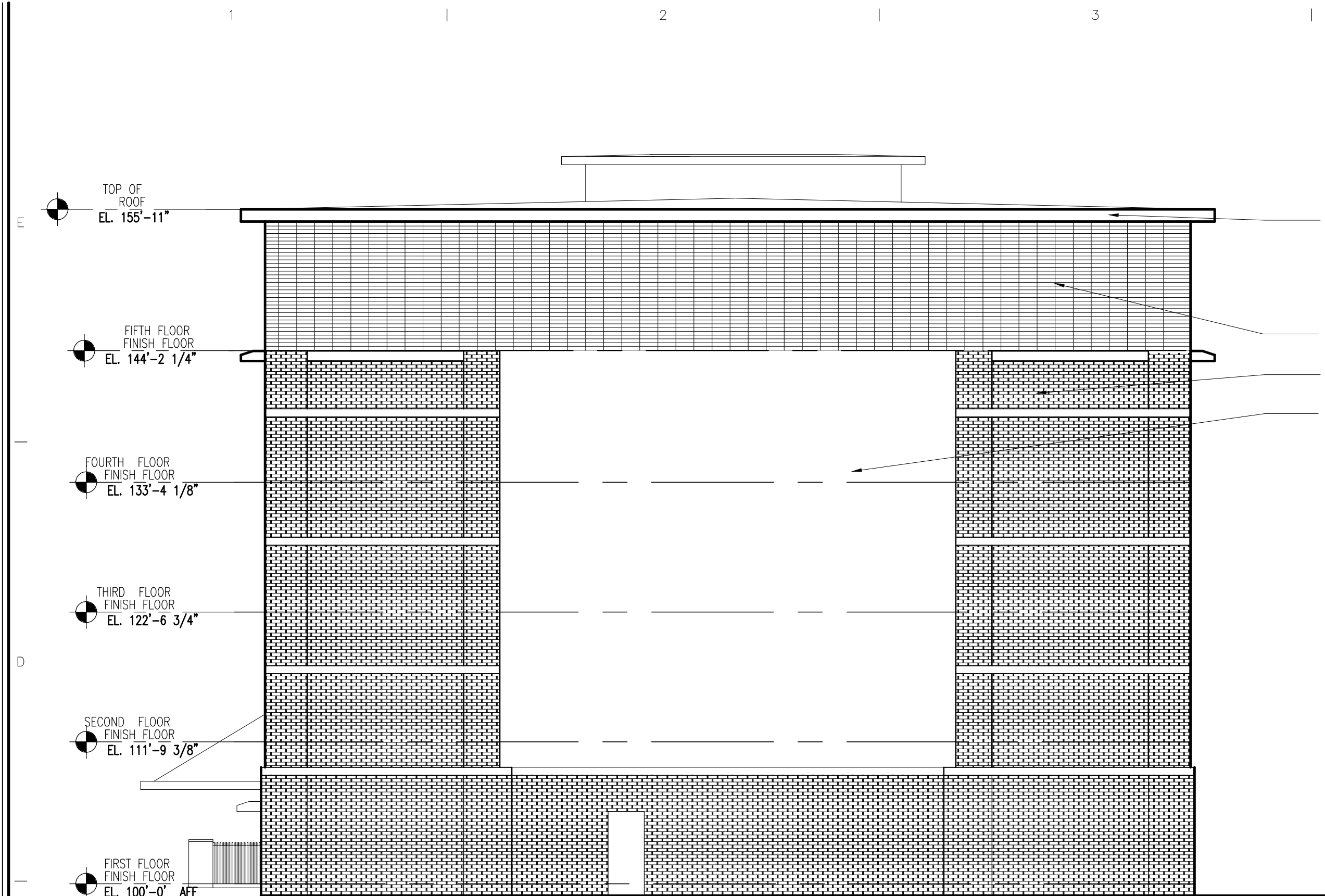
REVISIONS		
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1	PLAN REVIEW	8/20/2020
2	PLAN REVIEW	9/15/2020

CLIENT PROJ. # 2001
DATE : 7/21/2020

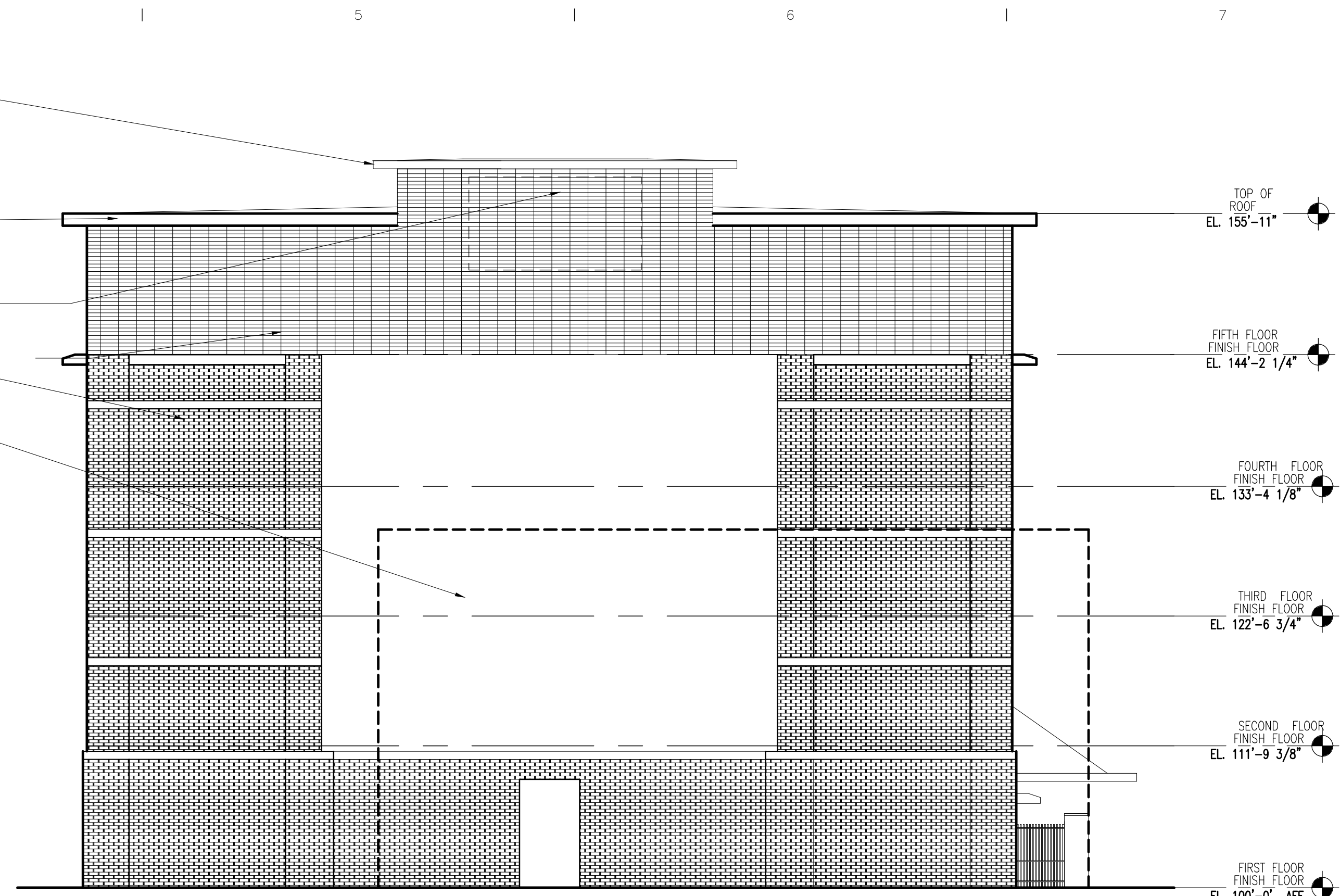
ROOF PLAN

SHEET
A3.0

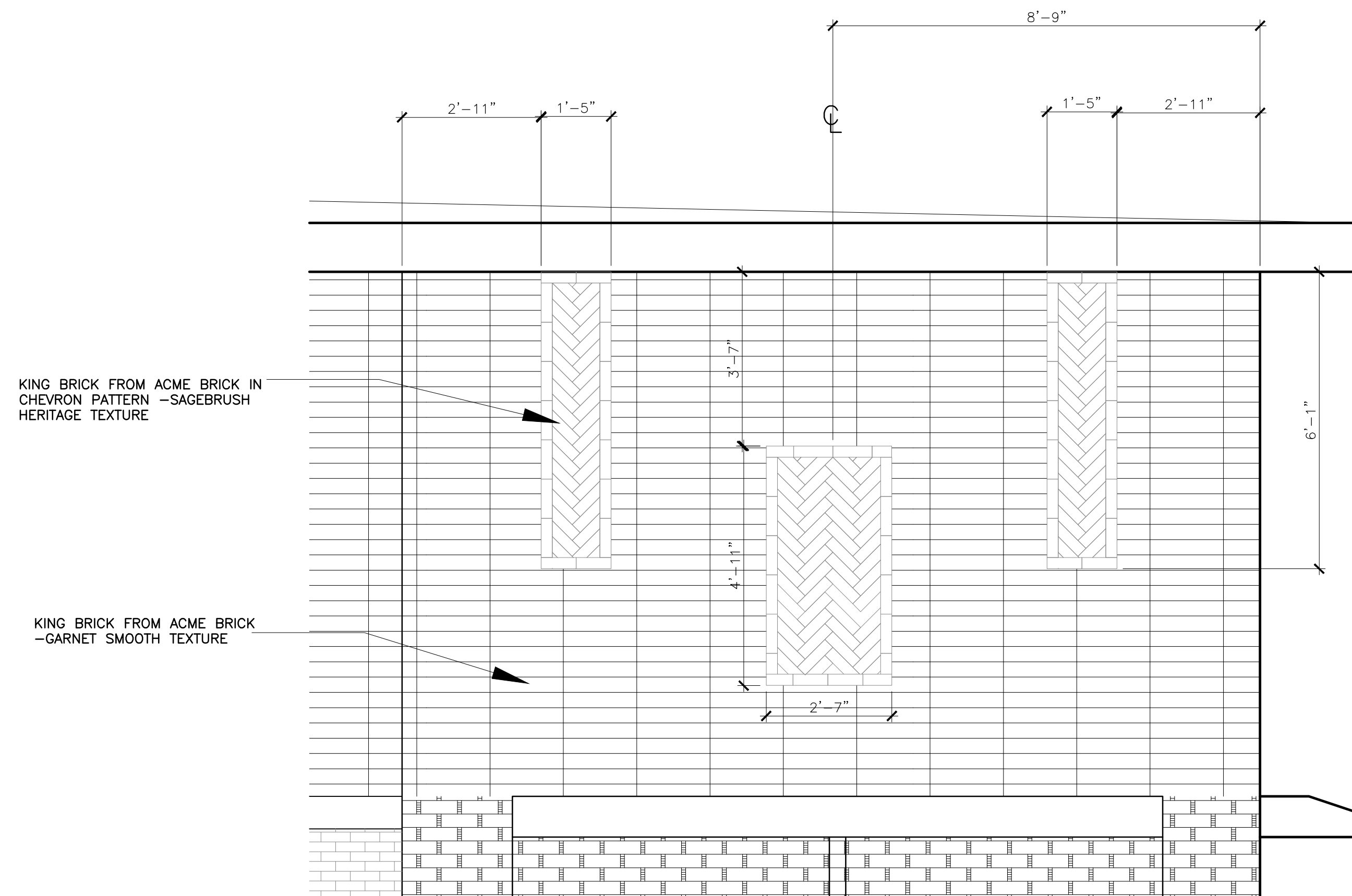
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2 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



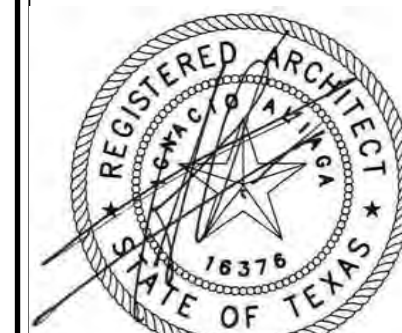
1 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 BRICK PATTERN @ CORNERS
SCALE: 1/2" = 1'-0"

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REVISIONS		
No.	Description	Date

CLIENT PROJ. # 2001
DATE : 7/21/2020

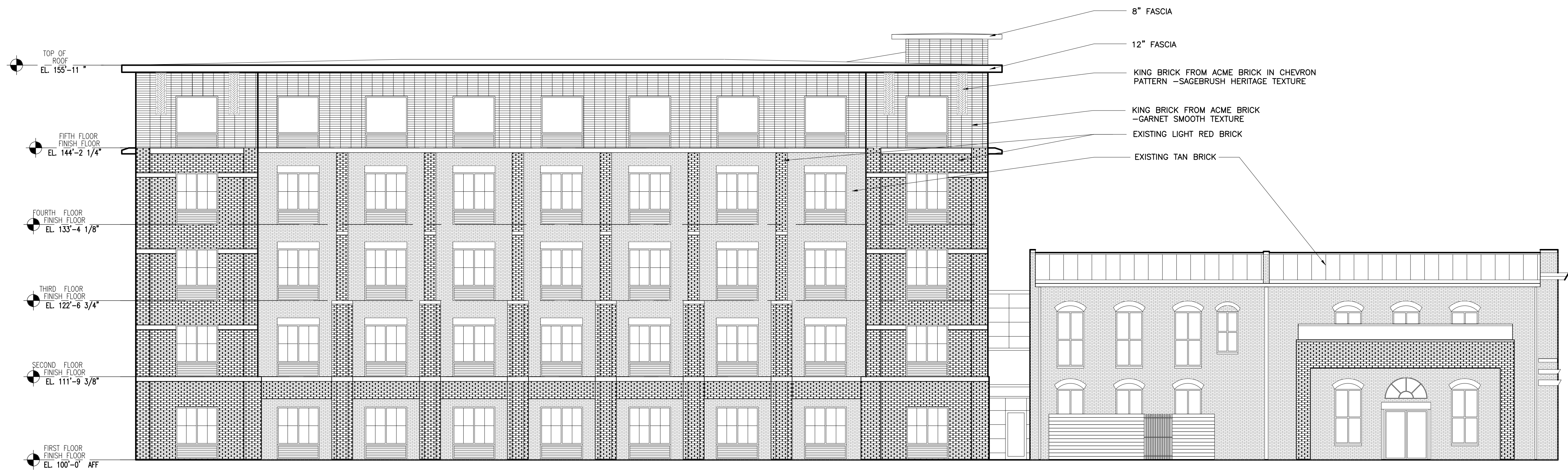
EAST & WEST
ELEVATIONS

SHEET
A4.1

Date: Jun 24, 2021, 3:08pm User: ID: Ignacio
File: P:\20001 Aiden San Antonio addition\02 Design\02 CAD Drawings\Drawings\A 4.0 EXTERIOR ELEVATIONS.dwg
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2 PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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REVISIONS

No.	Description	Date
1	BALCONY ON 5TH FLOOR	2/23/2020

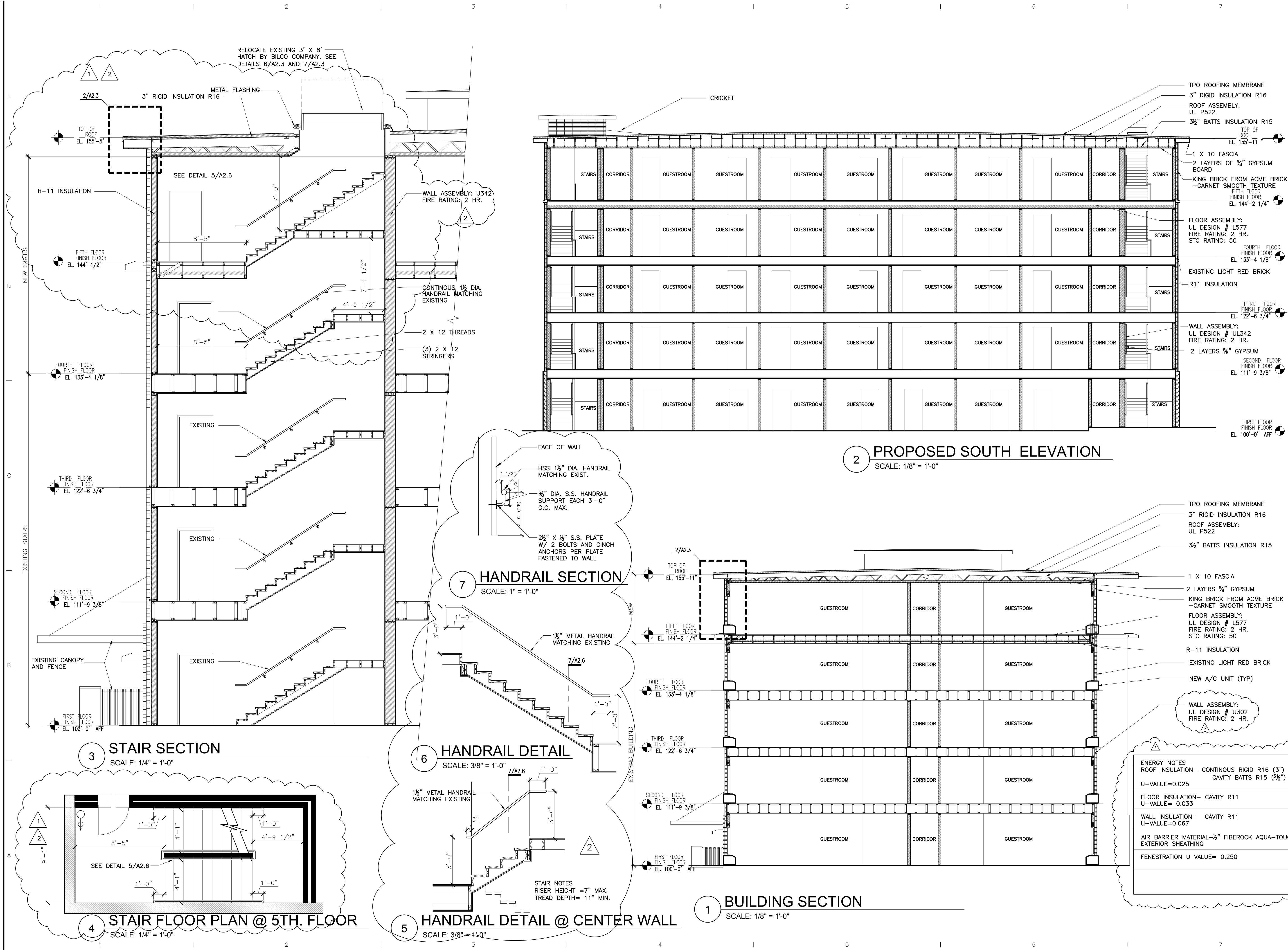
CLIENT PROJ. # 2001
DATE : 7/21/2020

NORTH & SOUTH
ELEVATIONS

SHEET

A4.0

Date: Jun 24, 2021, 3:13pm User: ID: Ignacio
File: P:\20001 Aiden San Antonio addition\02 CAD Drawings\Drawings\A 4.2 BUILDING SECTIONS.dwg
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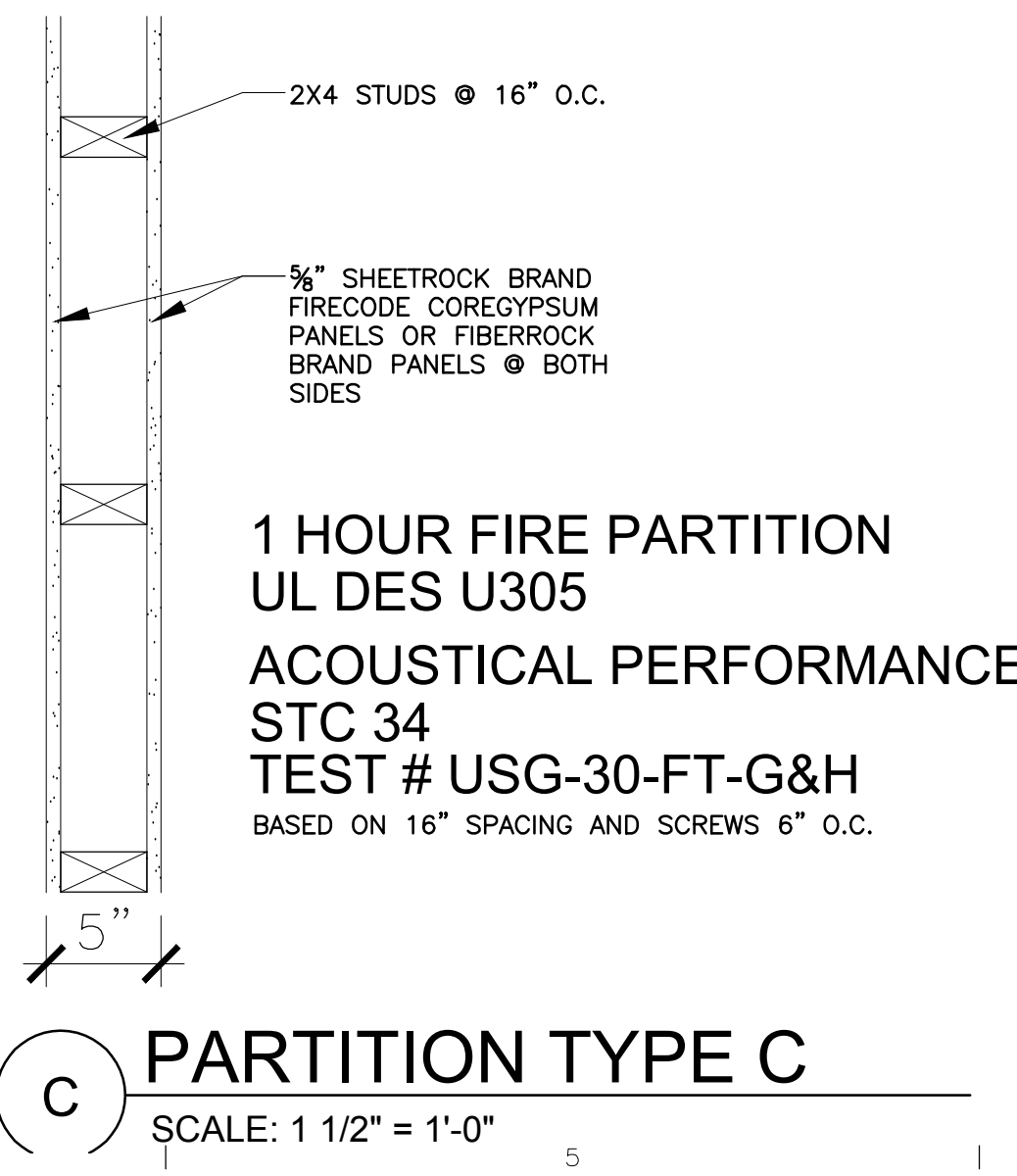
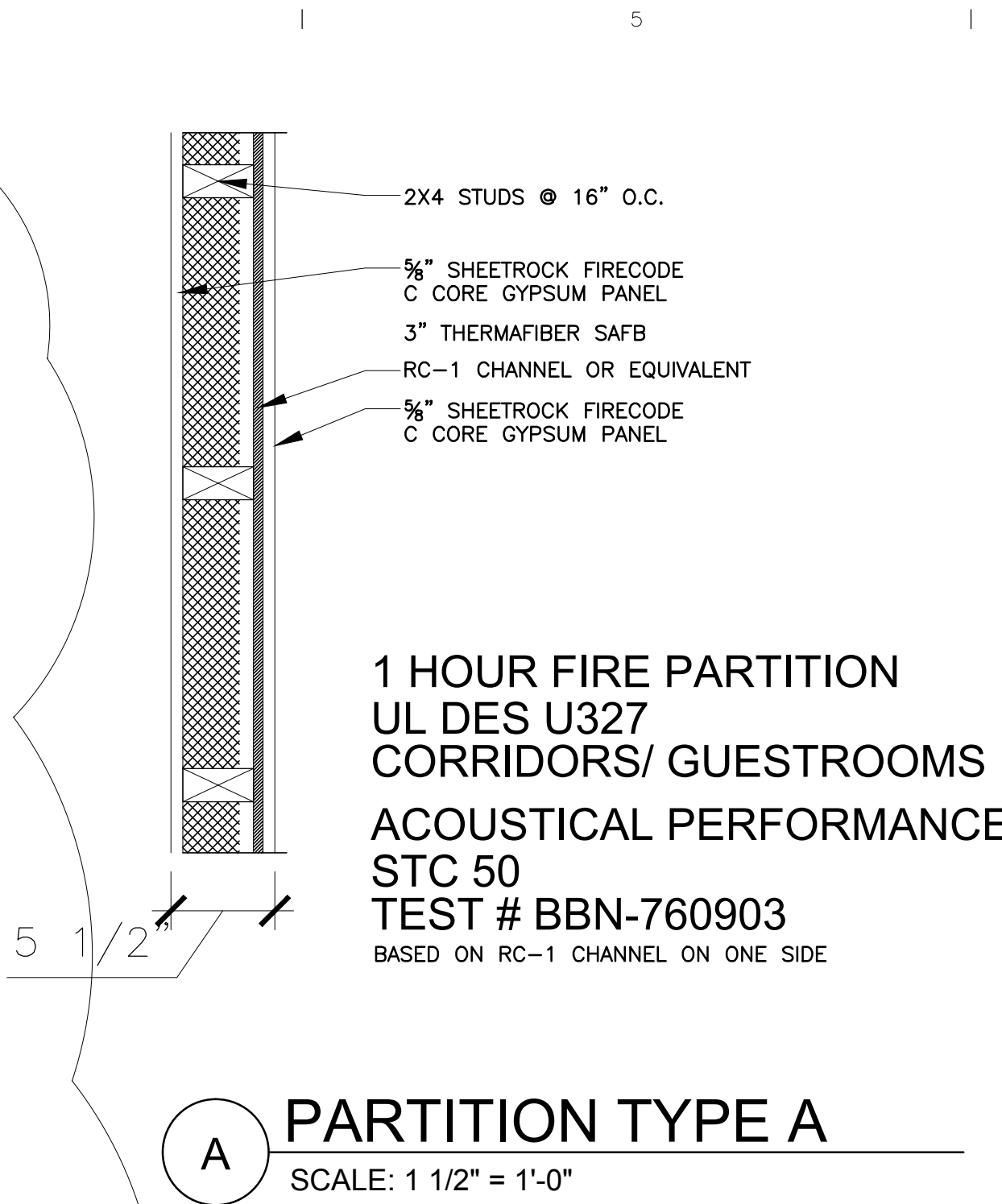
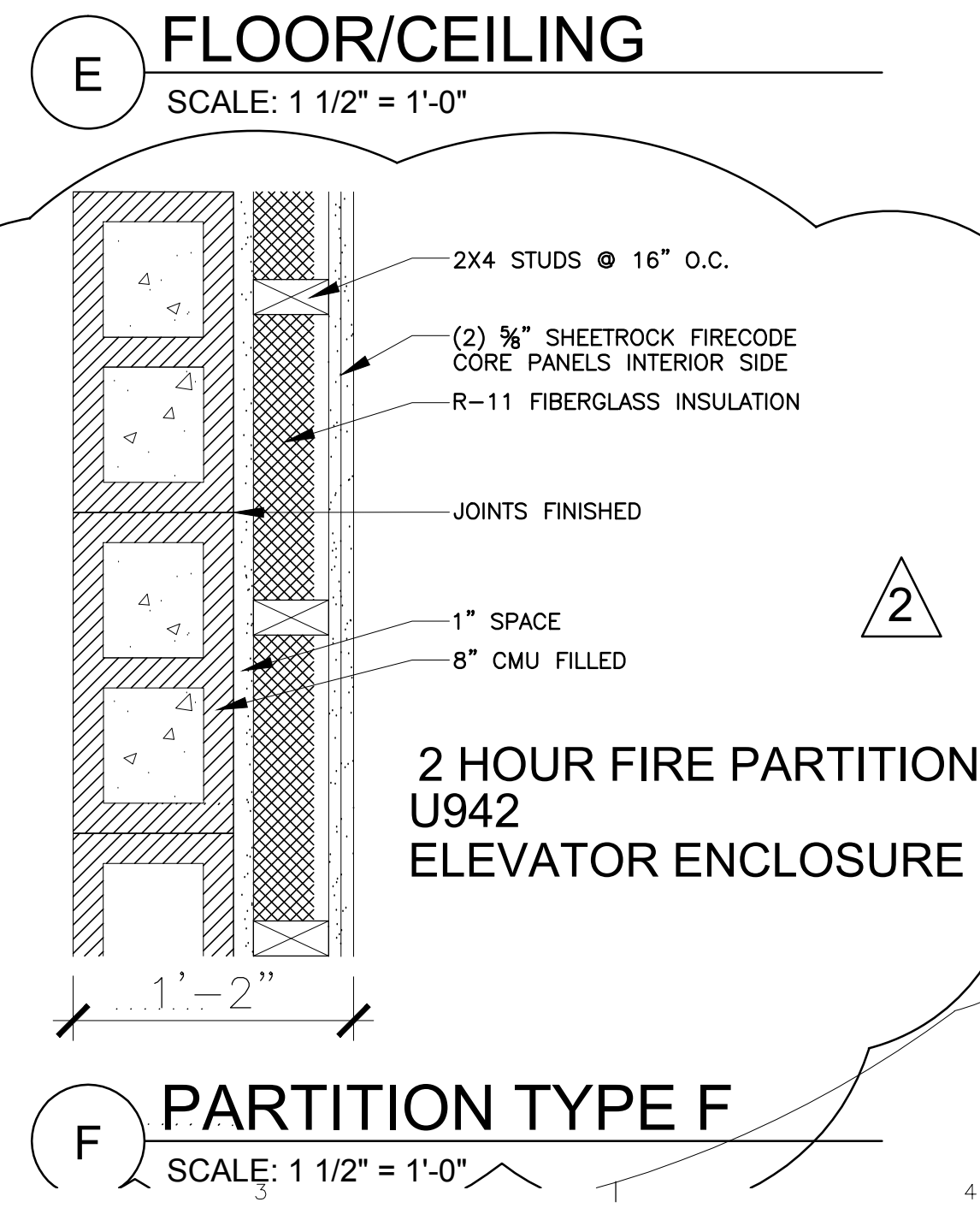
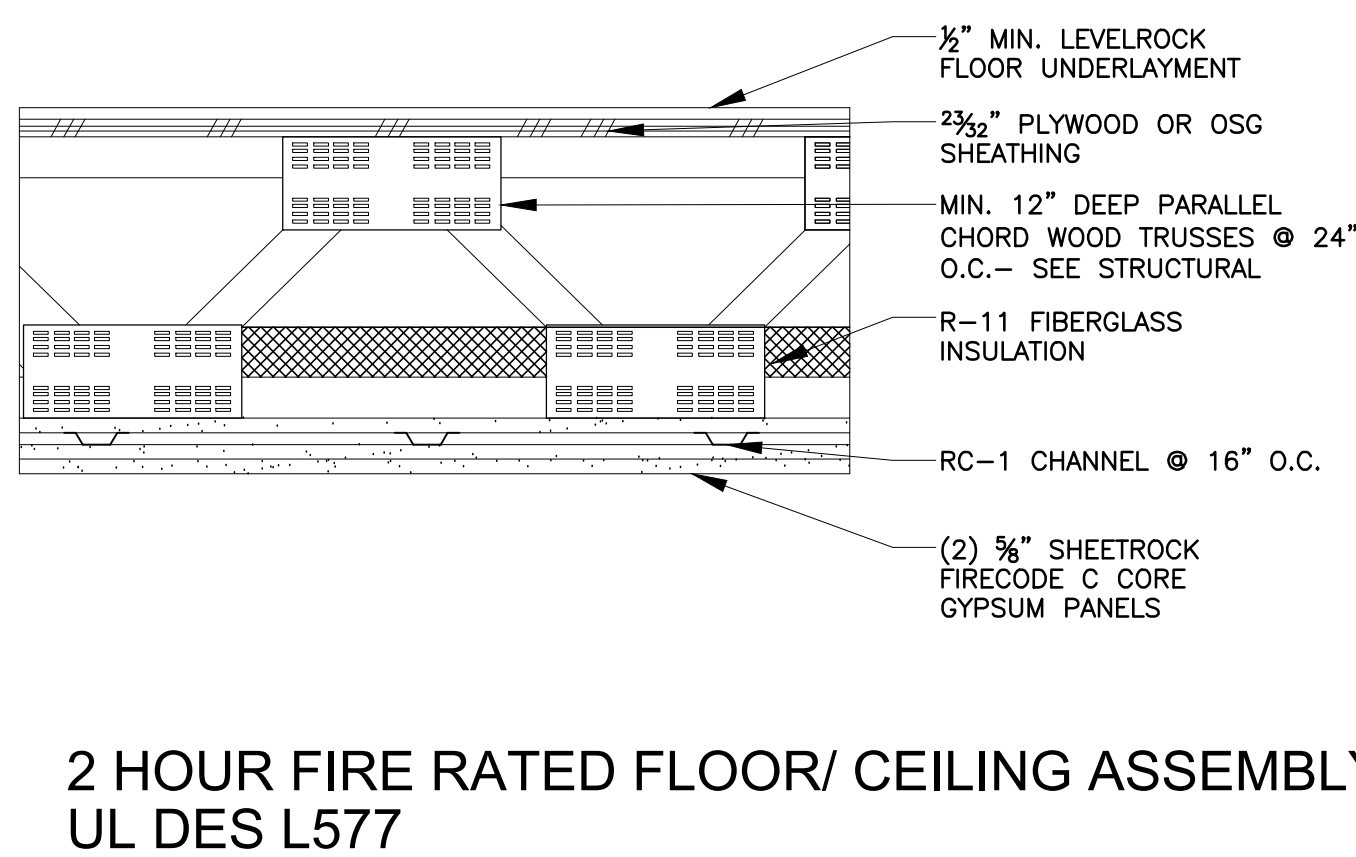
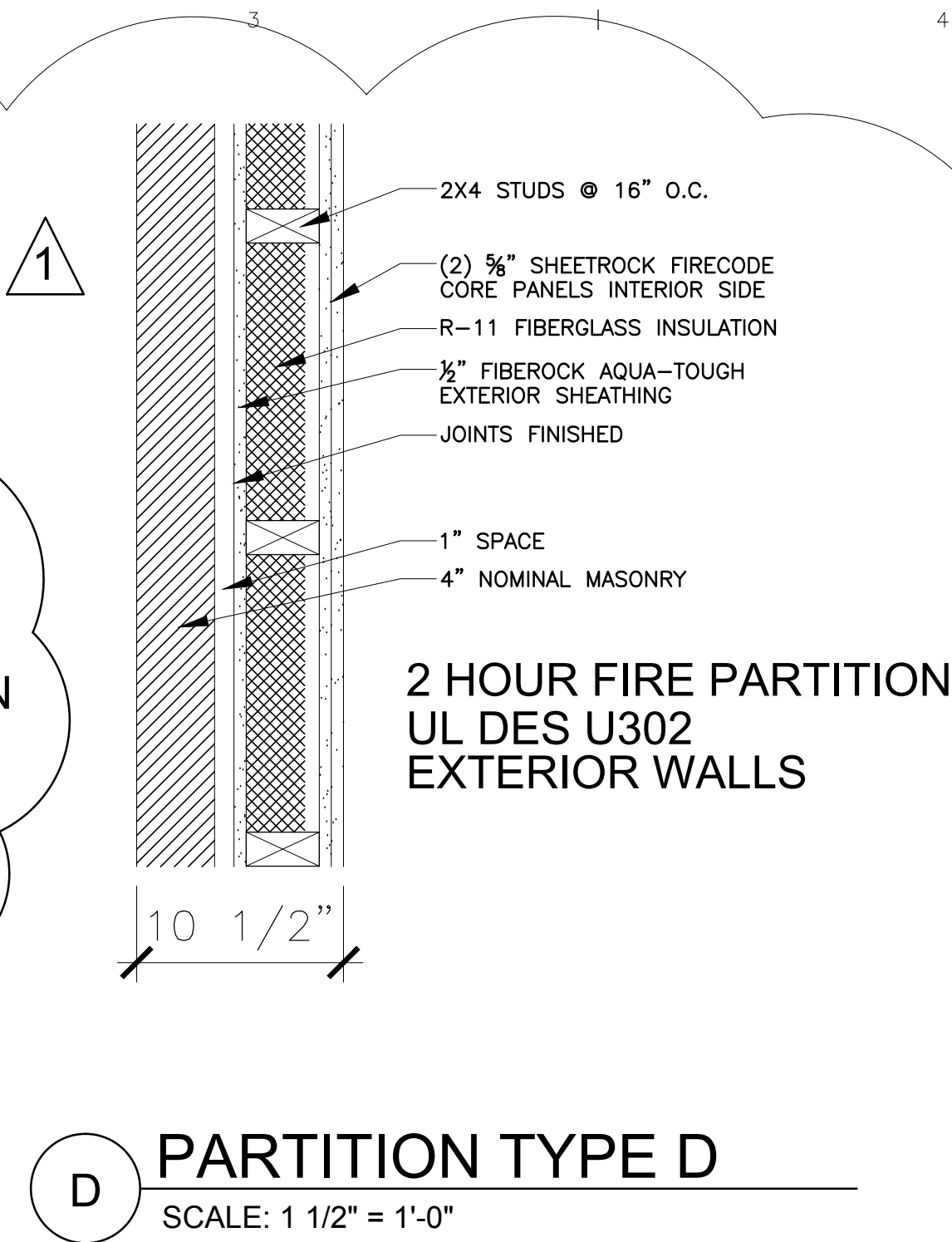
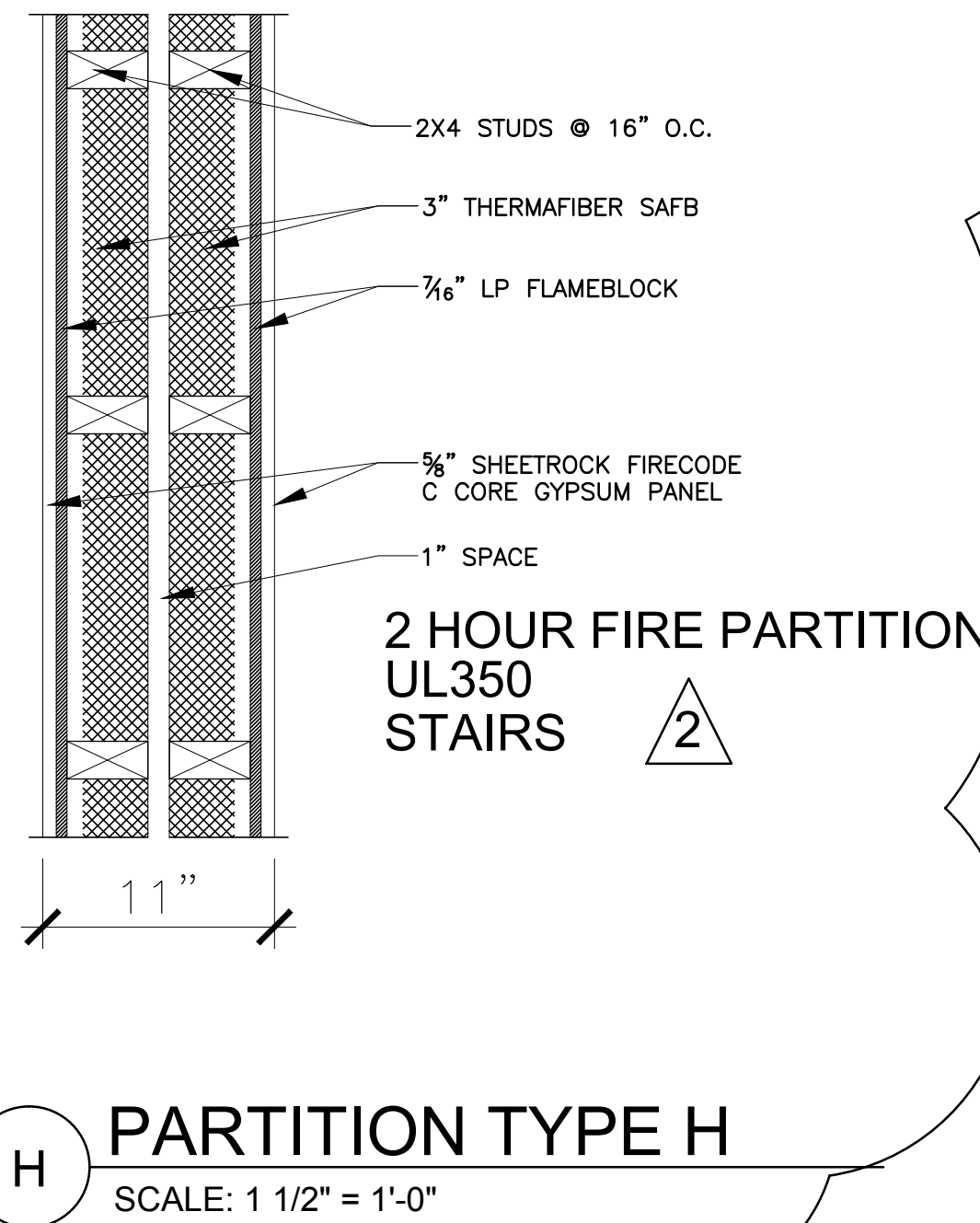
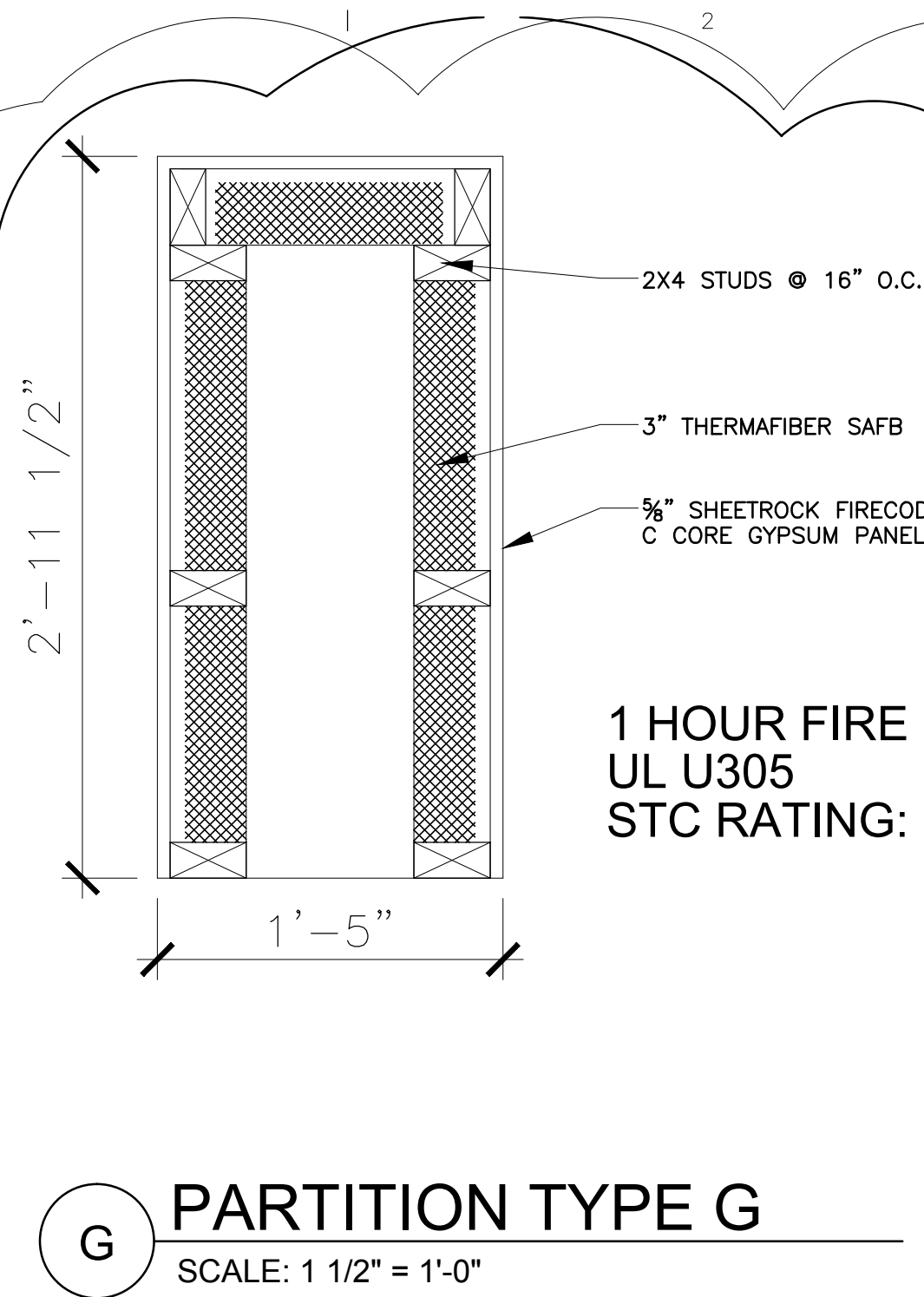
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REVISIONS		
No.	Description	Date
1	PLAN REVIEW	8/20/2020
2	PLAN REVIEW	9/15/2020

CLIENT PROJ. # 2001
DATE : 7/21/2020

BUILDING SECTIONS
SHEET
A4.2



PARTITION NOTES

1. THE LOCATIONS OF FIRE, SMOKE, OR FIRE/SMOKE PARTITIONS ARE INDICATED ON THE FLOOR PLANS BY LINE SYMBOLS IN THE CENTER OF THE PARTITIONS. AT THESE LOCATIONS, THE UL DESIGN ASSEMBLY LISTED WITH THE PARTITION TYPE SHALL BE COMPLIED WITH, INCLUDING FIRESTOPPING SEALANT AT THE PERIMETER OF THE PARTITION. WHERE THE PARTITION TYPE IS NOT INDICATED ON THE FLOOR PLAN AS BEING A FIRE, SMOKE, OR FIRE/SMOKE PARTITION, THE CONSTRUCTION SHALL BE IDENTICAL, EXCEPT THAT ACOUSTICAL SEALANT SHALL BE USED IN LIEU OF FIRESTOPPING SEALANT AT THE PERIMETER OF THE PARTITION.
2. PARTITION TYPE REFERENCES ARE INDICATED ON THE FLOOR PLANS.
3. PARTITION TYPES DO NOT DETERMINE EXTERIOR WALL CONSTRUCTION. REFER TO WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.
4. ALL PARTITIONS THAT EXTEND FROM FLOOR TO THE UNDERSIDE OF DECK ABOVE SHALL HAVE THEIR PERIMETER AND ALL PENETRATIONS SEALED SMOKE/TIGHT WITH ACOUSTICAL SEALANT OR FIRESTOPPING SEALANT, AS APPLICABLE.
5. ALL FIRE, SMOKE, OR FIRE/SMOKE PARTITIONS SHALL HAVE ALL CONTROL JOINTS AND EXPANSION JOINTS IN PARTITIONS CONSTRUCTED IN A MANNER SO AS TO NOT VIOLATE THE RATING. USING CONTINUOUS FIRESTOPPING MATERIAL WITHIN THE JOINT. OTHER UNRATED PARTITIONS SHALL HAVE ALL CONTROL JOINTS AND EXPANSION JOINTS IN PARTITIONS, CONSTRUCTED IN A MANNER TO RESIST SOUND TRANSMISSION, USING FIRE RESISTANT SOUND ATTENUATION BLANKET MATERIAL WITHIN THE JOINT.
6. WHERE CERAMIC TILE, PORCELAIN PAVERS, QUARRY TILE, TERRAZZO OR CEMENT ARE INDICATED TO BE APPLIED TO PARTITIONS AS A BASE OR WALL FINISH SURFACE, REPLACE THE GWB WITH 5/8" TILE BACKER BOARD THAT HAS BEEN TESTED AND CERTIFIED TO BE EQUIVALENT IN FIRE RATING TO THE GWB WHICH THEY REPLACE. THE SCHEDULED FIRE RATING OF ANY PARTITION SHALL NOT BE VIOLATED BY THE APPLICATION OF ANY FINISHES. ALSO USE U/360 DEFLECTION CRITERIA AND 20 GAUGE MINIMUM FRAMING AT THESE LOCATIONS.
7. FLOOR TO FLOOR DIMENSIONS MAY VARY. REFER TO BUILDING SECTIONS, WALL SECTIONS, AND OTHER CONTRACT DRAWINGS FOR DETERMINING FLOOR TO FLOOR DIMENSIONS.
8. CEILING HEIGHTS MAY VARY ON EITHER OR BOTH SIDES OF THE PARTITION. REFER TO FLOOR PLANS, REFLECTED CEILING PLANS AND CEILING DETAILS FOR CEILING HEIGHTS.
9. METAL STUDS SHALL BE SPACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE. LIGHT GAUGE METAL FRAMING STUDS SPACED AT 16" O.C. MAXIMUM SHALL BE USED WHERE SPECIFIED OR DETAILED. RESILIENT CHANNELS AND FURRING CHANNELS SPACED 24" O.C. VERTICALLY MAX. 4" MAX FROM TOP AND BOTTOM ENDS.
10. ALL STEEL STUDS ARE CONTINUOUS FROM FLOOR TRACK TO BOTTOM OF DECK ABOVE, UNLESS NOTED OTHERWISE. ALLOW FOR DEFLECTION WITH TOP TRACK ASSEMBLY.
11. COLD FORMED METAL FRAMING SHALL BE USED IN LIEU OF STEEL STUDS WHERE REQUIRED TO MAINTAIN STUD WIDTH INDICATED ON THE DRAWINGS.
12. ALL GYPSUM BOARD IS TO BE 5/8" THICK UNLESS NOTED OTHERWISE.
13. PARTITION TYPE REFERENCES DO NOT INCLUDE THE APPLIED FINISHES INDICATED BY THE ROOM FINISH REFERENCE.
14. REFER TO PARTITION DETAILS, DOOR INFORMATION, AND DOOR DETAILS FOR FRAMING AND ANCHORAGE AT DOORS.
15. INSTALL DOUBLE 20 GA. STUDS AT ALL OPENINGS, HEADS, SILLS, JAMBS UNLESS NOTED OTHERWISE AT MINIMUM.
16. WHERE ITEMS RECESSED IN THE WALLS OF FIRE RATED PARTITIONS, PROVIDE ADDITIONAL GYPSUM BOARD, FIREPROOFING, OF FIRESTOPPING AROUND THE RECESSED PORTION OF ITEM, IN THICKNESS AND CONSTRUCTION AS REQUIRED TO NOT VIOLATE THE FIRE RATING OF THE PARTITION.
17. PARTITION CONDITIONS. AT ALL CONDITIONS WHERE FIRE RATED PARTITIONS ABUT OR ATTACH TO FIREPROOFED STRUCTURAL MEMBERS, THE FIRE RATING OF THE FIREPROOFED STRUCTURAL MEMBER AND THE FIRE RATING OF THE PARTITION SHALL NOT BE VIOLATED.
18. REFER TO SYMBOLS ON PLAN FOR FLOOR PLAN INDICATION OF CHANGES IN PARTITION TYPE.
19. ALL JOINTS IN GYPSUM BOARD SURFACES TO BE TAPED AND FLOATED, INCLUDING RATED PARTITIONS, UNRATED PARTITIONS, EXPOSED SURFACES, CONCEALED SURFACES, AND SURFACES ABOVE THE CEILINGS.
20. ALL SOUND ATTENUATION BLANKETS SHALL BE CONTINUOUS FOR THE FULL HEIGHT OF PARTITION AND FULL WIDTH OF THE PARTITION, UNLESS OTHERWISE NOTED.
21. PARTITION TYPES AND DETAILS SHOWN HEREIN ARE TYPICAL. WHERE PARTITION TYPES OR DETAILS VARY ONLY SLIGHTLY FROM THE TYPICAL, THE ABBREVIATION "SIM" SHALL BE USED ADJACENT TO THE PARTITION TYPE REFERENCE OR DETAIL REFERENCE. PARTITIONS OR DETAILS NOT SIMILAR SHALL BE CONSTRUCTED IN A LOGICAL MANNER USING THE PRINCIPLES EVIDENT IN THE TYPICAL PARTITION TYPES AND DETAILS, AND IN ACCORDANCE WITH SPECIFICATION SECTIONS.
22. ALL FIRE, SMOKE OR FIRE SMOKE PARTITIONS SHALL HAVE MECH. AND ELEC. DEVICES SEALED WITH PUTTY PACKS OR CONSTRUCTED IN A MANNER SO AS NOT TO VIOLATE THE RATING. OTHER UNRATED PARTITIONS SHALL HAVE MECH. AND ELEC. DEVICES SEALED WITH PUTTY PACKS FOR WALLS THAT EXCEED STC 45.
23. GENERAL CONTRACTOR IS RESPONSIBLE TO FIRE STOP ALL THROUGH AND MEMBRANE PENETRATIONS DONE TO THE RATED WALL IN ACCORDANCE WITH A LISTED SYSTEM

REFERENCES

1. SSMA - STEEL STUD MANUFACTURERS ASSOCIATION, "PRODUCT TECHNICAL INFORMATION," COPYRIGHT 2010.
2. SFIA - STEEL FRAMING INDUSTRY ASSOCIATION, "TECHNICAL GUIDE FOR COLD-FORMED STEEL FRAMING," COPYRIGHT 2011.
3. ASTM - ASTM INTERNATIONAL DESIGNATION C754-08, "STANDARD SPECIFICATION FOR INSTALLATION OF STEEL FRAMING MEMBERS TO RECEIVE SCREW-ATTACHED GYPSUM PANEL PRODUCTS."
4. GA - GYPSUM ASSOCIATION, "FIRE RESISTIVE DESIGN MANUAL," 19TH EDITION GA-600-2009.
5. UL - UNDERWRITERS LABORATORIES, "BUILDING MATERIALS, FIRE PROTECTION, ROOFING MATERIALS AND SYSTEMS AND FIRE RESISTANCE DIRECTORIES (4 VOLUMES)," 2011 EDITION.
6. WHI-WARNOCK HERSEY MARK DIRECTORY
7. ICBO-ICBO EVALUATION SERVICES, INC. EVALUATION REPORT No. 3579
8. SAFB-MANUFACTURER THERMAFIBER PRODUCT: SOUND ATTENUATION FIRE BLANKET.

IGNACIO
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(210) 846-5508

AIDEN SAN ANTONIO
ADDITION
1103 E. COMMERCE ST.
SAN ANTONIO, TX -78205



REVISIONS		
No.	Description	Date
1	PLAN REVIEW	8/20/2020
2	PLAN REVIEW	9/15/2020

CLIENT PROJ. # 2001
DATE : 7/21/2020

PARTITION TYPES

SHEET
A5.0

SECTION 714
PENETRATIONS

714.1 Scope.

The provisions of this section shall govern the materials and methods of construction used to protect *through penetrations* and *membrane penetrations* of *horizontal assemblies* and fire-resistance-rated wall assemblies.

714.1.1 Ducts and air transfer openings.

Penetrations of fire-resistance-rated walls by ducts that are not protected with *dampers* shall comply with Sections 714.3 through 714.4.3. Penetrations of *horizontal assemblies* not protected with a shaft as permitted by Section 717.6, and not required to be protected with *fire dampers* by other sections of this code, shall comply with Sections 714.5 through 714.6.2. Ducts and air transfer openings that are protected with *dampers* shall comply with Section 717.

714.2 Installation.

A listed *penetration firestop* system shall be installed in accordance with the manufacturer's installation instructions and the listing criteria.

714.3 Installation details.

Where sleeves are used, they shall be securely fastened to the assembly penetrated. The space between the item contained in the sleeve and the sleeve itself and any space between the sleeve and the assembly penetrated shall be protected in accordance with this section. Insulation and coverings on or in the penetrating item shall not penetrate the assembly unless the specific material used has been tested as part of the assembly in accordance with this section.

714.4 Fire-resistance-rated walls.

Penetrations into or through *fire walls*, *fire barriers*, *smoke barrier* walls and *fire partitions* shall comply with Sections 714.4.1 through 714.4.3. Penetrations in *smoke barrier* walls shall also comply with Section 714.5.4.

714.4.1 Through penetrations.

Through *penetrations* of fire-resistance-rated walls shall comply with Section 714.4.1.1 or 714.4.1.2.

Exception: Where the penetrating items are steel, ferrous or copper pipes, tubes or conduits, the *annular space* between the penetrating item and the fire-resistance-rated wall is permitted to be protected by either of the following measures:

- In concrete or masonry walls where the penetrating item is a maximum 6-inch (152 mm) nominal diameter and the area of the opening through the wall does not exceed 144 square inches (0.0929 m²), concrete, grout or mortar is permitted where installed the full thickness of the wall or the thickness required to maintain the *fire-resistance rating*.
- The material used to fill the *annular space* shall prevent the passage of flame and hot gases sufficient to ignite cotton waste when subjected to ASTM E119 or UL 263 time-temperature fire conditions under a minimum positive pressure differential of 0.01 inch (2.49 Pa) of water at the location of the penetration for the time period equivalent to the *fire-resistance rating* of the construction penetrated.

714.4.1.1 Fire-resistance-rated assemblies.

Through *penetrations* shall be protected using systems installed as tested in the *approved fire-resistance-rated assembly*.

714.4.1.2 Through-penetration firestop system.

Through *penetrations* shall be protected by an *approved penetration firestop* system installed as tested in accordance with ASTM E814 or UL 1479, with a minimum positive pressure differential of 0.01 inch (2.49 Pa) of water and shall have an *F rating* of not less than the required *fire-resistance rating* of the wall penetrated.

714.4.2 Membrane penetrations.

Membrane penetrations shall comply with Section 714.4.1. Where walls or partitions are required to have a *fire-resistance rating*, recessed fixtures shall be installed such that the required *fire resistance* will not be reduced.

Exceptions:

- Membrane penetrations* of maximum 2-hour fire-resistance-rated walls and partitions by steel electrical boxes that do not exceed 16 square inches (0.0103 m²) in area, provided that the aggregate area of the openings through the membrane does not exceed 100 square inches (0.0645 m²) in any 100 square feet (9.29 m²) of wall area. The *annular space* between the wall membrane and the box shall not exceed 1/8 inch (3.2 mm). Such boxes on opposite sides of the wall or partition shall be separated by one of the following:
 - By a horizontal distance of not less than 24 inches (610 mm) where the wall or partition is constructed with individual noncommunicating stud cavities.
 - By a horizontal distance of not less than the depth of the wall cavity where the wall cavity is filled with cellulose loose-fill, rockwool or slag *mineral wool* insulation.
 - By solid *fireblocking* in accordance with Section 718.2.1.
 - By protecting both outlet boxes with *listed* putty pads.
 - By other *listed* materials and methods.
 - Membrane penetrations* by *listed* electrical boxes of any material, provided that such boxes have been tested for use in fire-resistance-rated assemblies and are installed in accordance with the instructions included in the listing. The *annular space* between the wall membrane and the box shall not exceed 1/8 inch (3.2 mm) unless *listed* otherwise. Such boxes on opposite sides of the wall or partition shall be separated by one of the following:
 - By the horizontal distance specified in the listing of the electrical boxes.
 - By solid *fireblocking* in accordance with Section 718.2.1.
 - By the horizontal distance specified in the listing of the electrical boxes.
 - By solid *fireblocking* in accordance with Section 718.2.1.
 - By protecting both boxes with *listed* putty pads.
 - By other *listed* materials and methods.
- Membrane penetrations* by electrical boxes of any size or type, that have been *listed* as part of a wall opening protective material system for use in fire-resistance-rated assemblies and are installed in accordance with the instructions included in the listing.
 - Membrane penetrations* by boxes other than electrical boxes, provided that such penetrating items and the *annular space* between the wall membrane and the box, are protected by an *approved membrane penetration firestop system* installed as tested in accordance with ASTM E814 or UL 1479, with a minimum positive pressure differential of 0.01 inch (2.49 Pa) of water, and shall have an F and T rating of not less than the required *fire-resistance rating* of the wall penetrated and be installed in

- The *annular space* created by the penetration of an automatic sprinkler, provided that it is covered by a metal escutcheon plate.
- Membrane penetrations* of maximum 2-hour fire-resistance-rated walls and partitions by steel electrical boxes that exceed 16 square inches (0.0103 m²) in area, or steel electrical boxes of any size having an aggregate area through the membrane exceeding 100 square inches (0.0645 m²) in any 100 square feet (9.29 m²) of wall area, provided that such penetrating items are protected by *listed* putty pads or other *listed* materials and methods, and installed in accordance with the listing.

714.4.3 Dissimilar materials.

714.4.3 Dissimilar materials.

Noncombustible penetrating items shall not connect to combustible items beyond the point of firestopping unless it can be demonstrated that the *fire-resistance* integrity of the wall is maintained.

714.5 Horizontal assemblies.

Penetrations of a *fire-resistance-rated* floor, floor/ceiling assembly or the ceiling membrane of a roof/ceiling assembly not required to be enclosed in a shaft by Section 712.1 shall be protected in accordance with Sections 714.5.1 through 714.5.4.

714.5.1 Through penetrations.

Through *penetrations* of *horizontal assemblies* shall comply with Section 714.5.1.1 or 714.5.1.2.

Exceptions:

- Penetrations by steel, ferrous or copper conduits, pipes, tubes or vents or concrete or masonry items through a single fire-resistance-rated floor assembly where the *annular space* is protected with materials that prevent the passage of flame and hot gases sufficient to ignite cotton waste when subjected to ASTM E119 or UL 263 time-temperature fire conditions under a minimum positive pressure differential of 0.01 inch (2.49 Pa) of water at the location of the penetration for the time period equivalent to the *fire-resistance rating* of the construction penetrated. Penetrating items with a maximum 6-inch (152 mm) nominal diameter shall not be limited to the penetration of a single fire-resistance-rated floor assembly, provided that the aggregate area of the openings through the assembly does not exceed 144 square inches (92 900 mm²) in any 100 square feet (9.3 m²) of floor area.
- Penetrations in a single concrete floor by steel, ferrous or copper conduits, pipes, tubes or vents with a maximum 6-inch (152 mm) nominal diameter, provided that the concrete, grout or mortar is installed the full thickness of the floor or the thickness required to maintain the *fire-resistance rating*. The penetrating items shall not be limited to the penetration of a single concrete floor, provided that the area of the opening through each floor does not exceed 144 square inches (92 900 mm²).
- Penetrations by *listed* electrical boxes of any material, provided that such boxes have been tested for use in fire-resistance-rated assemblies and installed in accordance with the instructions included in the listing.

714.5.1.1 Fire-resistance-rated assemblies.

Through *penetrations* shall be protected using systems installed as tested in the *approved* fire-resistance-rated assembly.

714.5.1.2 Through-penetration firestop system.

Through *penetrations* shall be protected by an *approved through-penetration firestop system* installed and tested in accordance with ASTM E814 or UL 1479, with a minimum positive pressure differential of 0.01 inch of water (2.49 Pa). The system shall have an F rating/T rating of not less than 1 hour but not less than the required rating of the floor penetrated.

Exceptions:

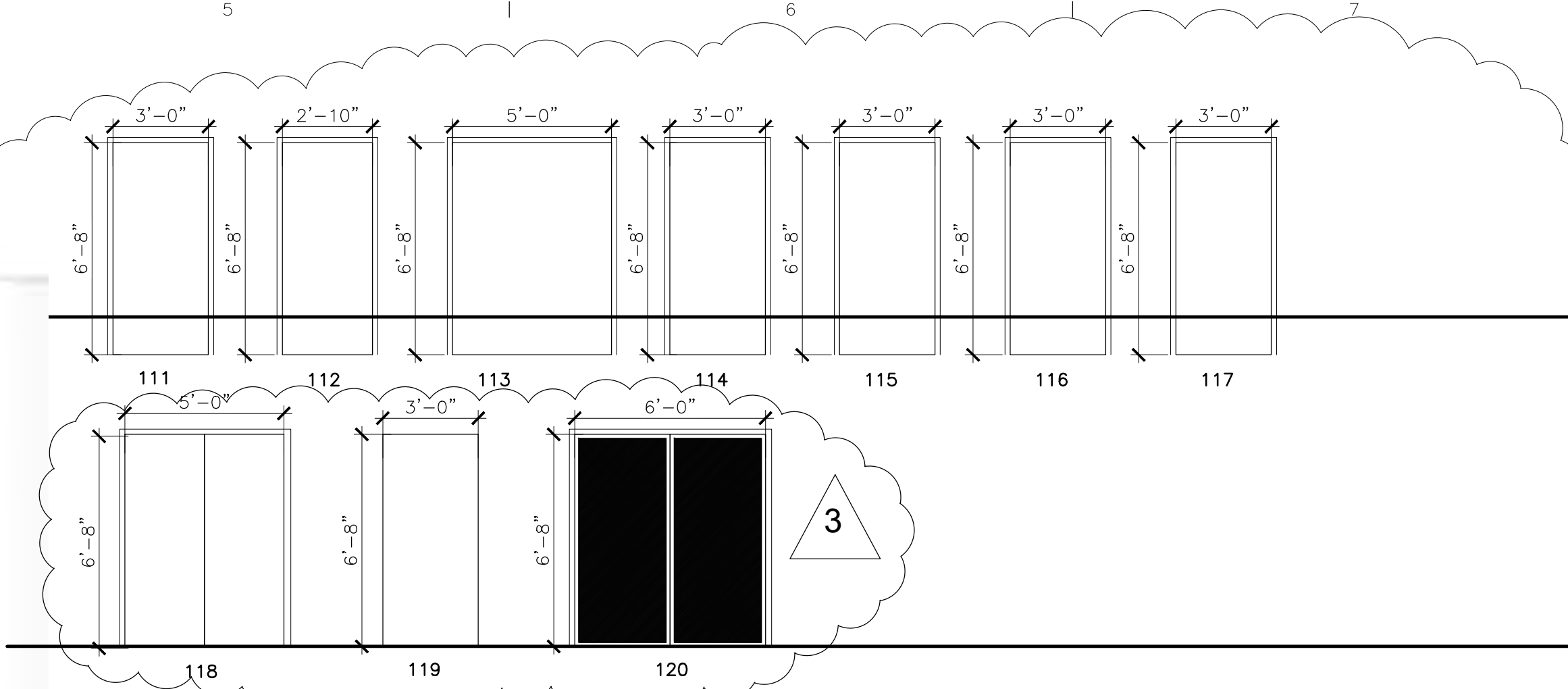
- Floor penetrations contained and located within the cavity of a wall above the floor or below the floor do not require a *T rating*.
- Floor penetrations by floor drains, tub drains or shower drains contained and located within the concealed space of a *horizontal assembly* do not require a *T rating*.
- Floor penetrations of maximum 4-inch (102 mm) nominal diameter metal conduit or tubing penetrating directly into metal-enclosed electrical power switchgear do not require a *T rating*.

714.5.2 Membrane penetrations.

Penetrations of membranes that are part of a *horizontal assembly* shall comply with Section 714.5.1.1 or 714.5.1.2. Where floor/ceiling assemblies are required to have a *fire-resistance rating*, recessed fixtures shall be installed such that the required *fire resistance* will not be reduced.

Exceptions:

- Membrane penetrations* by steel, ferrous or copper conduits, pipes, tubes or vents, or concrete or masonry items where the *annular space* is protected either in accordance with Section 714.5.1 or to prevent the free passage of flame and the products of combustion. The aggregate area of the openings through the membrane shall not exceed 100 square inches (64 500 mm²) in any 100 square feet (9.3 m²) of ceiling area in assemblies tested without penetrations.
- Ceiling *membrane penetrations* of maximum 2-hour *horizontal assemblies* by steel electrical boxes that do not exceed 16 square inches (10 323 mm²) in area, provided that the aggregate area of such penetrations does not exceed 100 square inches (44 500 mm²) in any 100 square feet (9.29 m²) of ceiling area, and the *annular space* between the ceiling membrane and the box does not exceed 1/8 inch (3.2 mm).
- Membrane penetrations* by electrical boxes of any size or type, that have been *listed* as part of an opening protective material system for use in *horizontal assemblies* and are installed in accordance with the instructions included in the listing.
- Membrane penetrations* by *listed* electrical boxes of any material, provided that such boxes have been tested for use in fire-resistance-rated assemblies and are installed in accordance with the instructions included in the listing. The *annular space* between the ceiling membrane and the box shall not exceed 1/8 inch (3.2 mm) unless *listed* otherwise.
- The *annular space* created by the penetration of a fire sprinkler, provided that it is covered by a metal escutcheon plate.
- Noncombustible items that are cast into concrete building elements and that do not penetrate both top and bottom surfaces of the element.
- The ceiling membrane of 1- and 2-hour fire-resistance-rated *horizontal assemblies* is permitted to be interrupted with the double wood top plate of a wall assembly that is sheathed with Type X gypsum wallboard, provided that all penetrating items through the double top plates are protected in accordance with Section 714.5.1.1 or 714.5.1.2 and the ceiling membrane is tight to the top plates.
- Ceiling membrane penetrations by *listed* luminaires (light fixtures) or by luminaires protected with *listed materials*, which have been tested for use in fire-resistance-rated assemblies and are installed in



DOOR SCHEDULE

#	SIZE	THICK	TYPE	FIRE RATING	FINISH	EXIT SIGN	HINGES	CARD LOCK	CLOSERS	LOCKSETS	CYLINDERS	PROTECTION PLATES	DOOR STOPS	THRESHOLD
111	3'-0" X 6'-8"	1 1/2"	SOLID	20 MIN.	PAINT	NO	STANLEY	QUANTUM III	STANLEY QDC200	STANLEY QCL200	BEST CORE MAX	TRIMCO	TRIMCO	NATIONAL GUARD
112	2'-10" X 6'-8"	1 1/2"	HOLLOW		PAINT	NO	STANLEY			QCL240 M FLR S4				
113	5'-0" X 6'-8"	1 1/2"	SOLID	20 MIN.	PAINT	NO	STANLEY		QDC211 BF S	QCL230 M 478 S4	DOOR NORMALLY HELD OPEN BY MAGNETIC HOLDER			
114	3'-0" X 6'-8"	1 1/2"	SOLID	20 MIN.	PAINT	NO	STANLEY		QDC213 BF S	QCL271 M FLR S4				
115	3'-0" X 6'-8"	1 1/2"	SOLID	20 MIN.	PAINT	NO	STANLEY		QDC211 BF S	QCL230 M 478S S4				
116	3'-0" X 6'-8"	1 1/2"	SOLID	90 MIN.	PAINT	YES	STANLEY		QDC211 BF S	QCL230 M 478S S4				
117	3'-0" X 6'-8"	1 1/2"	SOLID	45 MIN.	PAINT	NO	STANLEY		QDC211 BF S	QCL230 M 478S S4				
118	5'-0" X 6'-8"	1 1/2"	DOUBLE	20 MIN.	PAINT	NO	STANLEY	QUANTUM III	STANLEY QDC200	STANLEY QCL200	BEST CORE MAX	TRIMCO	TRIMCO	NATIONAL GUARD
119	3'-0" X 6'-8"	1 1/2"	POCKET		PAINT	NO	BARN							
118	5'-0" X 6'-8"	1 1/2"	SLIDING		GLASS	NO								

NOTES: 1. SEE DOOR HARDWARE SPECIFICATIONS FOR MORE INFORMATION.
2. DOORS 116 SHALL BE SELF- OR AUTOMATIC- CLOSING BY SMOKE DETECTION IN ACCORDANCE TO SECTION 716.2.6.6.
3. WHERE EXIT SIGNS ARE REQUIRED ADDITIONAL LOW-LEVEL EXIT SIGNS SHALL BE PROVIDED IN ALL AREAS SERVING GUESTROOMS IN GROUP R-1 OCCUPANCIES AND SHALL COMPLY WITH SECTION 1013.5

DOOR SCHEDULE

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

#	SIZE	TYPE	GLASS	QUANTITY	LOCATION	REMARKS
A	6'-0" X 5'-4"	FIXED	DOUBLE CLEAR GLASS LOW E	16	GUESTROOMS	

WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"

accordance with the instructions included in the listing.

714.5.3 Dissimilar materials.

Noncombustible penetrating items shall not connect to combustible materials beyond the point of firestopping unless it can be demonstrated that the *fire-resistance* integrity of the *horizontal assembly* is maintained.

714.5.4 Penetrations in smoke barriers.

Penetrations in *smoke barriers* shall be protected by an approved *through-penetration firestop system* installed and tested in accordance with the requirements of UL 1479 for air leakage. The *L rating* of the system measured at 0.30 inch (7.47 Pa) of water in both the ambient temperature and elevated temperature tests shall not exceed either of the following:

- 5.0 cfm per square foot (0.025 m³/ s · m²) of penetration opening for each *through-penetration firestop system*.
- A total cumulative leakage of 50 cfm (0.024 m³/s) for any 100 square feet (9.3 m²) of wall area, or floor area.

714.6 Nonfire-resistance-rated assemblies.

Penetrations of nonfire-resistance-rated floor or floor/ceiling assemblies or the ceiling membrane of a nonfire-resistance-rated roof/ceiling assembly shall meet the requirements of Section 713 or shall comply with Section 714.6.1 or 714.6.2.

714.6.1 Noncombustible penetrating items.

Noncombustible penetrating items that connect not more than five *stories* are permitted, provided that the *annular space* is filled to resist the free passage of flame and the products of combustion with an *approved* noncombustible material or with a fill, void or cavity material that is tested and classified for use in *through-penetration firestop systems*.

714.6.2 Penetrating items.

Penetrating items that connect not more than two *stories* are permitted, provided that the *annular space* is filled with an *approved* material to resist the free passage of flame and the products of combustion.

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SAN ANTONIO, TX -78205



REVISIONS

No.	Description	Date
1	PLAN REVIEW	8/20/2020
2	PLAN REVIEW	9/15/2020
3	DOORS 118, 119 & 120	2/23/2020

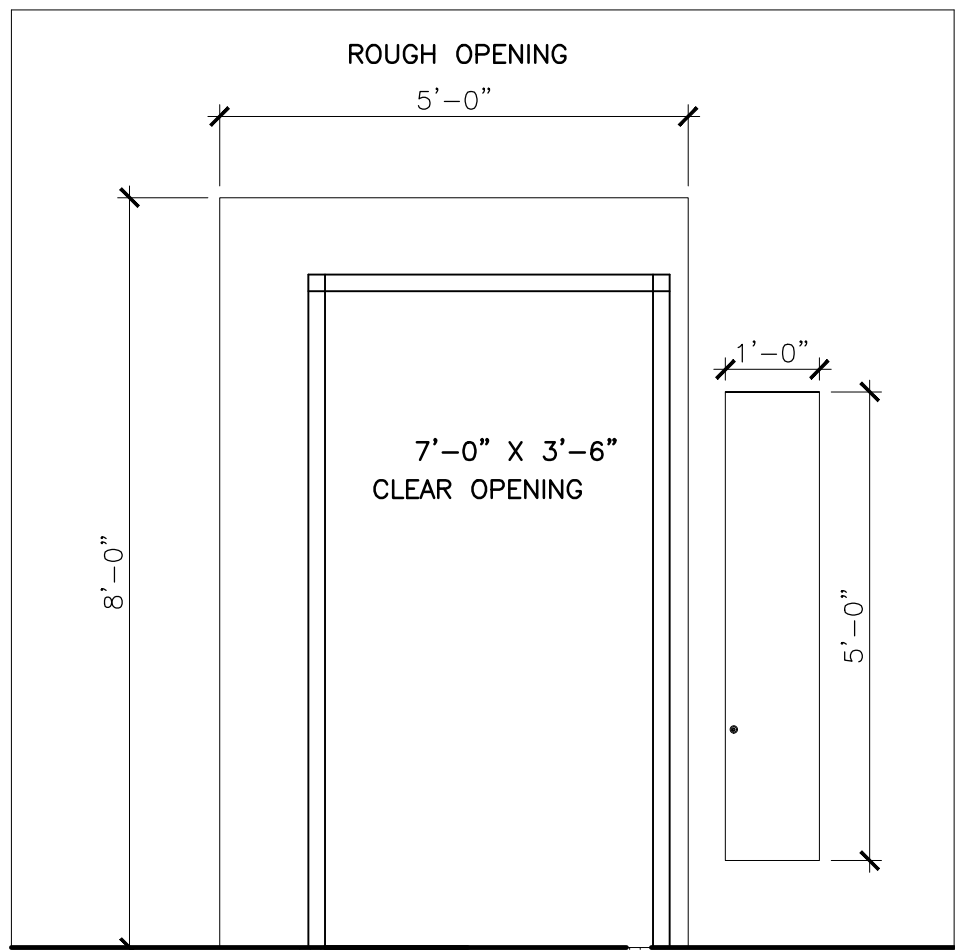
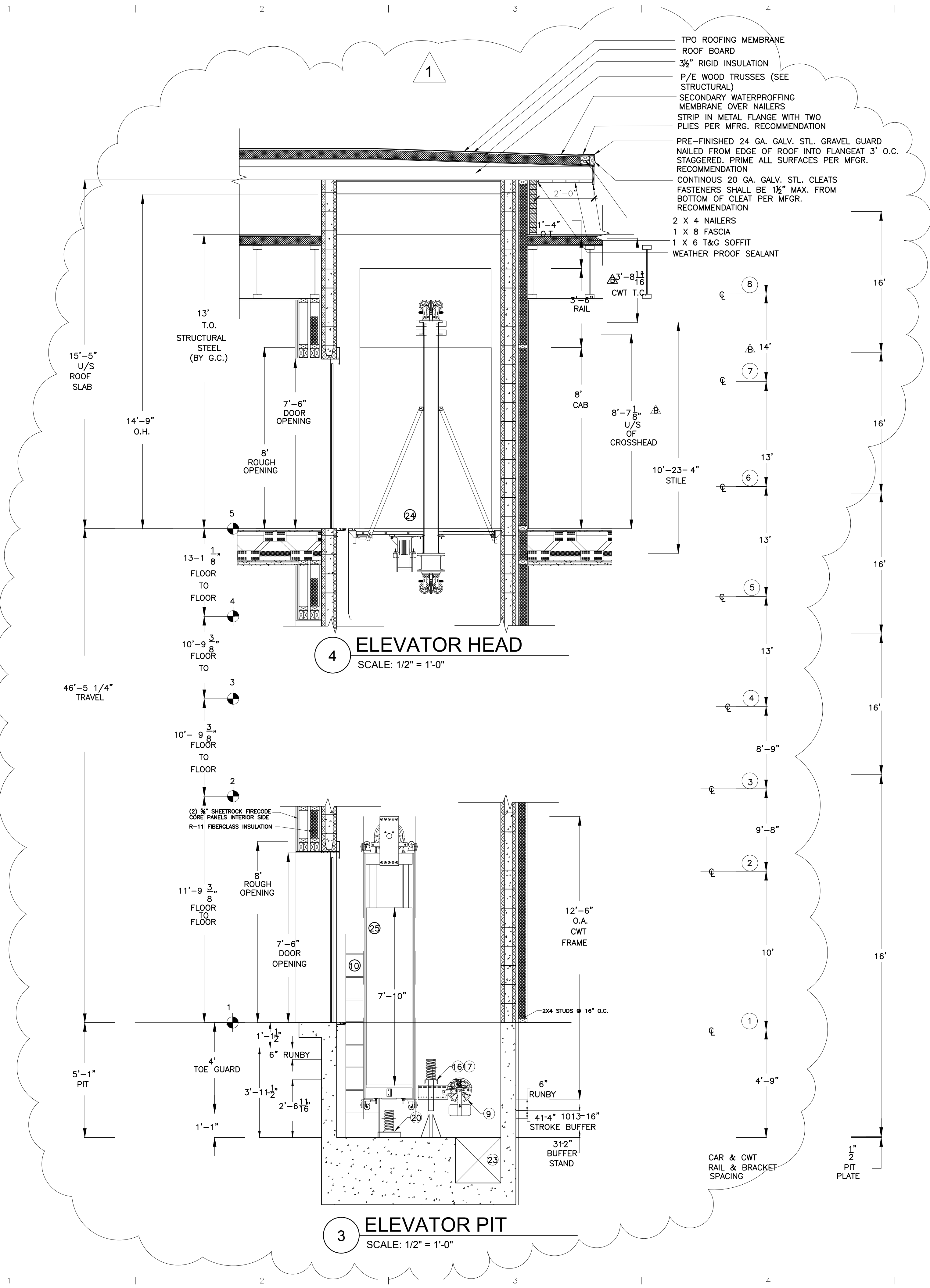
CLIENT PROJ. # 2001

DATE : 7/21/2020

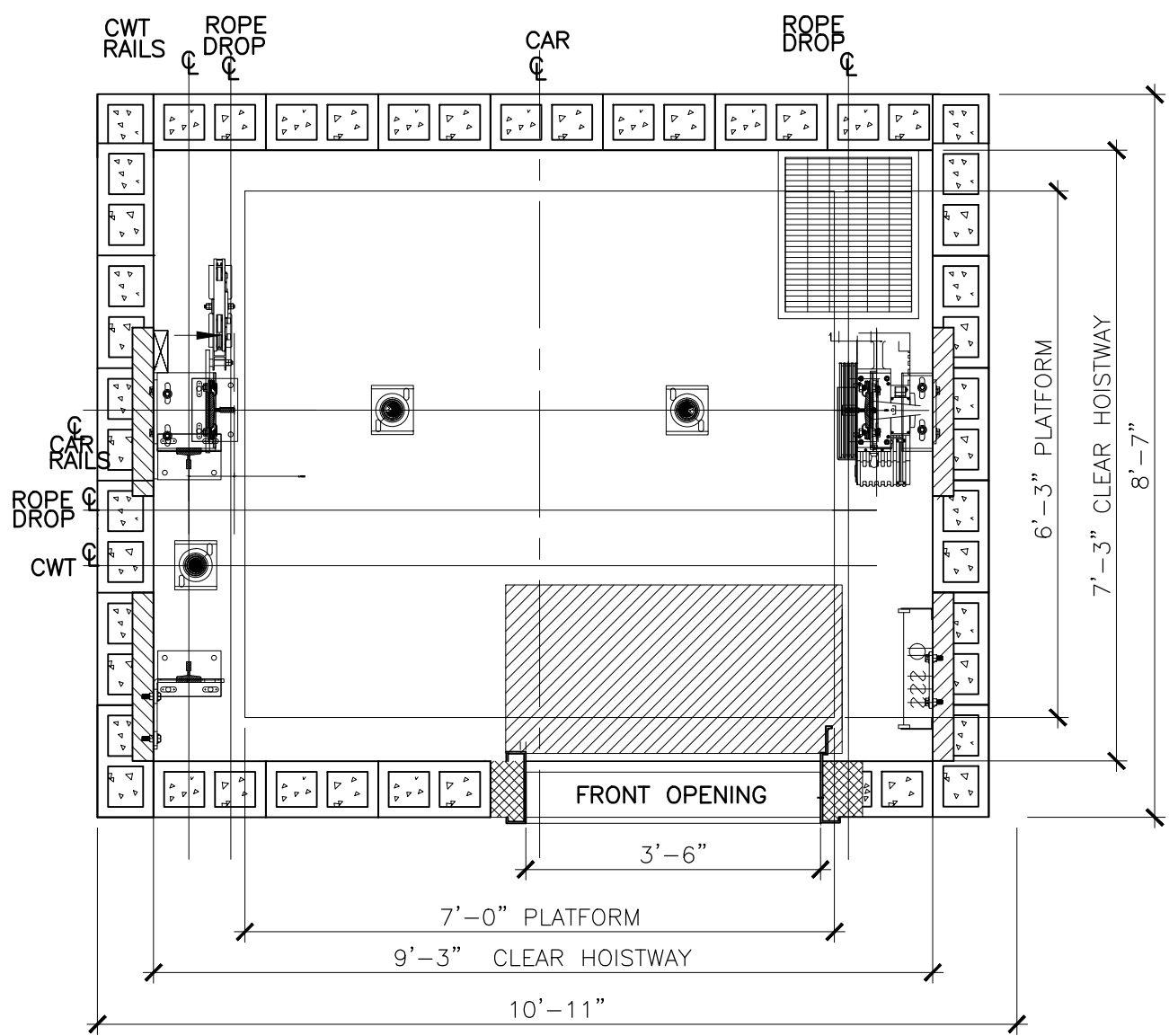
DOOR & WINDOW
SCHEDULES

SHEET

A5.1



2 ELEVATOR ELEVATION
SCALE: 1/2" = 1'-0"

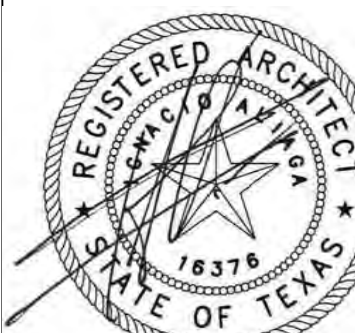


- NOTE:
1. CAR & CWT RAIL BRACKETS ARE TO BE ATTACHED TO WALL INSERTS AND TO BE FLUSH WITH THE CLEAR HATCH WALL LINES.
2. FINAL PLACEMENT OF PIT LADDER, TRAVELING, AND HOISTWAY WIRES ARE TO BE FIELD COORDINATED BY OTHERS.
3. FINAL PLACEMENT OF ELECTRICAL EQUIPMENT IS TO BE FIELD COORDINATED BY OTHERS, AND IS TO MEET LOCAL AND NATIONAL CODES.
4. G.C. TO COORDINATE SIZE AND LOCATION OF SUMP PIT WITH ELEVATOR CONTRACTOR.

1 ELEVATOR PLAN
SCALE: 1/2" = 1'-0"

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ADDITION
1103 E. COMMERCE ST.
SAN ANTONIO, TX -78205



REVISIONS		
No.	Description	Date
1	PLAN REVIEW	8/20/2020

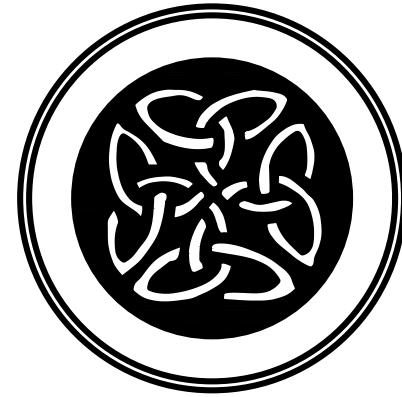
CLIENT PROJ. # 2001
DATE : 7/21/2020

ELEVATOR DETAILS

SHEET

A6.0

FINISH LEGEND											
FL		FLOORING	WL		VINYL WALL COVERING	WL		VINYL WALL COVERING (CONT.)	PT	PAINT	
FL-116	OF/CI	CORRIDOR CARPET TILE PATCRAFT PATTERN: 10562 HARMONIOUS COLOR: 00705 TRANSFORM SIZE: 18" X 36" TILE PLANK	WL-202	OF/CI	GUEST BATHROOM VWC MDC PATTERN: AVRIL COLOR: MAV7001 / EARL GRAY WIDTH: 52"/54" W.	WL-203.G1	OF/CI	GUESTROOM WALL MURAL KALISHER STYLE: G1 (GREEN) HEIGHT: 120" 1ST FLOOR, 108" FLOORS 2-5 WIDTH: SEE MURAL MATRIX	PT-1 CF/CI	GUESTROOM WALLS AND PAINTED CORRIDOR WALLS (1, 3, 4 & 5) PPG SPEC: SPEED HIDE 6-411 / LATEX EGGSHELL ENAMEL COLOR: FELTED WOOL PPG0997-2	
FL-101A	OF/CI	ELEVATOR LOBBY 1ST FLOOR TILE INTERCERAMIC STYLE: FORTY EIGHT TRILOGY RECTIFIED COLOR: COVELANO WHITE SIZE: 23-1/4" X 47" X 11.3MM THICK FINISH: MATTE GROUT: LATICRETE 44 BRIGHT WHITE	WL-308A	OF/CI	CORRIDOR VWC - 1ST FLOOR MDC STYLE: EPIC 4154 COLOR: GRAPHITE MEP8010 WIDTH: 52/54"	WL-203.P1	OF/CI	GUESTROOM WALL MURAL KALISHER STYLE: P1 (SOFT TONE PLUM/YELLOW) HEIGHT: 120" 1ST FLOOR, 108" FLOORS 2-5 WIDTH: SEE MURAL MATRIX	PT-2 CF/CI	GUESTROOM CEILINGS PPG SPEC: SPEED HIDE 6-70 / LATEX FLAT WALL PAINT COLOR: COMMERCIAL WHITE PPG1025-1	
FL-120		CORRIDOR, ICE & GUEST LAUNDRY TILE INTERCERAMIC STYLE: CORTINA RECTIFIED, MATTE COLOR: PEGASUS WHITE SIZE: 18" X 36" GROUT: LATICRETE 44 BRIGHT WHITE	WL-308B	OF/CI	CORRIDOR VWC - 2ND FLOOR MDC STYLE: EPIC 4154 COLOR: LIMELIGHT MEP8005 WIDTH: 52/54"	WL-203.P2	OF/CI	GUESTROOM WALL MURAL KALISHER STYLE: P2 (DEEP TONE PLUM/YELLOW) HEIGHT: 120" 1ST FLOOR, 108" FLOORS 2-5 WIDTH: SEE MURAL MATRIX	PT-3 CF/CI	GUESTROOM DOORS AND DOOR TRIM PPG SPEC: SPEED HIDE 6-500 / LATEX SEMI-GLOSS ENAMEL COLOR: GLAZED GRANITE PPG1011-6	
FL-201	OF/CI	GUESTROOM CARPET TILE PATCRAFT PATTERN: 10562 HARMONIOUS COLOR: 00550 AFFINITY SIZE: 18" X 36" TILE PLANK	WL-308C	OF/CI	CORRIDOR VWC - 3RD FLOOR MDC STYLE: EPIC 4154 COLOR: CYBERSPACE MEP8004 WIDTH: 52/54"	WL-203.BW	OF/CI	GUESTROOM WALL MURAL KALISHER STYLE: BW (BLACK, WHITE AND GREY) HEIGHT: 120" 1ST FLOOR, 108" FLOORS 2-5 WIDTH: SEE MURAL MATRIX	PT-4 CF/CI	PAINTED CORRIDOR WALLS (FLOOR 2) PPG SPEC: SPEED HIDE 6-411 / LATEX EGGSHELL ENAMEL COLOR: WHISKERS PPG1025-3	
FL-203	OF/CI	PORCELAIN FLOOR TILE TAG STYLE: ROCA DERBY COLOR: GRIS SIZE: 12" X 24" GROUT: LATICRETE #78 STERLING SILVER	WL-308D	OF/CI	CORRIDOR VWC - 4TH FLOOR MDC STYLE: EPIC 4154 COLOR: PATINA MEP8002 WIDTH: 52/54"	WL-204	OF/CI	PRESIDENTIAL SUITE BATH VWC MDC PATTERN: AVRIL COLOR: MAV7016 /JADE WIDTH: 52"/54" W.	CD	CORNER GUARD	
FL-204	OF/CI	RUBBER WALL BASE MANNINGTON STYLE: EDGE EFFECTS PATTERN: ETCHED EEETC COLOR: BLACK 701 SIZE: 4.25"H	WL-308E	OF/CI	CORRIDOR VWC - 5TH FLOOR MDC STYLE: EPIC 4154 COLOR: STARSHIP MEP8001 WIDTH: 52/54"	TR		TRANSITION STRIP		CD-2 OF/CI	INPRO CORP CORNER GUARD (FLOOR 2) STYLE: 12296N, 1-1/2" x 1-1/2", 90° CORNER COLOR: TAUPE 0113 SIZE: 8" HIGH
FL-205	OF/CI	STAIR CARPET SHAW PATTERN: RETREAT 5B119 COLOR: GEYSER #19540 SIZE: 12' WIDE				TR-1 CF/CI	TRANSITION FROM FLOOR TILE TO CARPET TILE SCHLUTER STYLE: RENO TK FINISH: BRUSHED GRAPHITE ANODIZED ALUMINUM AGRB				
						TR-2 CF/CI	TRANSITION FROM WALL MURAL TO PAINTED WALL FRY REGLET STYLE: WCTBT125-217 FINISH: TBD				
NOTES											
OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED										
CF/CI	CONTRACTOR FURNISHED / CONTRACTOR INSTALLED										



HSI DESIGN GROUP
10223 McAllister Fwy
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San Antonio, TX 78216
210-308-8484

DRAWN DS
CHECKED LP
DATE 06/28/2021

Aiden by Best Western #44502
San Antonio, Texas
Guestrooms
Finish Schedule and Legend

2021

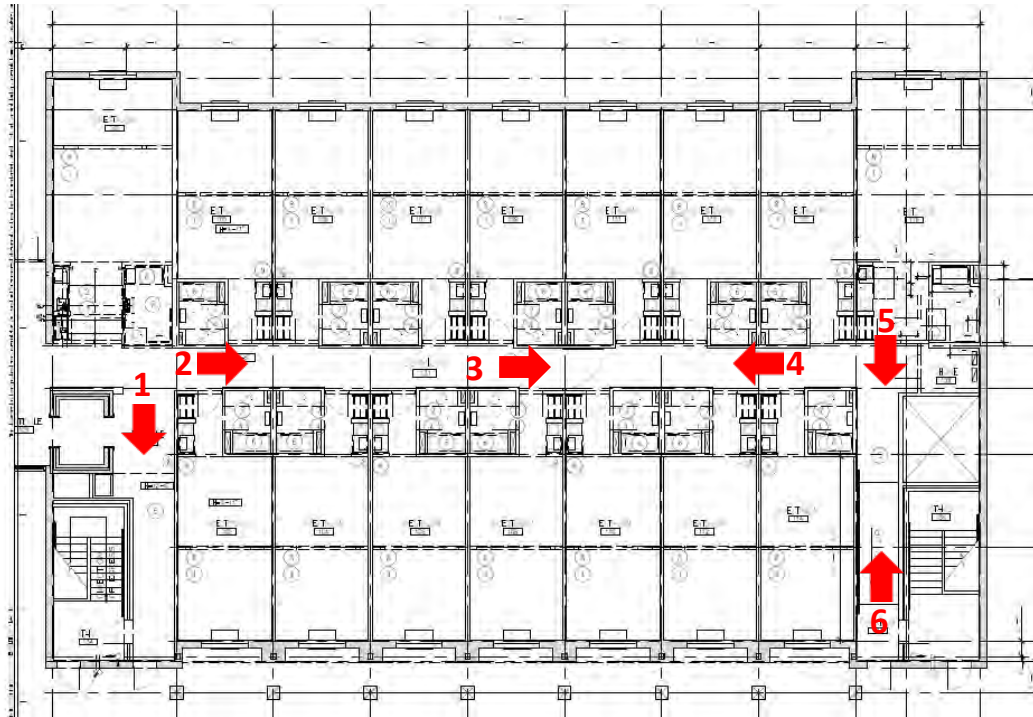
ISSUED / REVISIONS	
06/ 04/ 2021	ISSUED FOR BRAND REVIEW
06/ 28/ 2021	RESUBMITTAL FOR BRAND REVIEW

ID-411

MURAL MATRIX

MURAL DESIGNATION	WL-203.G1		WL-203.P1		WL-203.P2		WL-203.BW		TOTAL	WALL MURAL DIMENSIONS (W X H)	LIMITS OF MURAL IN ROOM
	GREY	ROOM NO.	YELLOW	ROOM NO.	YELLOW	ROOM NO.	PLUM	ROOM NO.			
HEADBOARD COLOR											
SHORT QUEEN-FIRST FLOOR (SQOF)	4	105,106 110,115	1	112	0	N/A	3	102,108,114	8	14'-0" W x 78" H	EDGES ALIGNED WITH EDGE OF QO HEADBOARD/NIGHTSTAND. CEILING TO 3" BELOW TOP OF HEADBOARD. THERE WILL BE A TRIM PIECE AT EACH END, LABEL: #TR-2.
SHORT QUEEN (SQQ)	6	205,305,405 215,315,415	0	N/A	0	N/A	0	N/A	6	14'-0" W x 66" H	EDGES ALIGNED WITH EDGE OF QO HEADBOARD/NIGHTSTAND. CEILING TO 3" BELOW TOP OF HEADBOARD. THERE WILL BE A TRIM PIECE AT EACH END, LABEL: #TR-2.
STANDARD QUEEN (SQQ)	8	206,306,406 506,210,310 410,510	4	212,312 412,512	0	N/A	10	202,302,402 208,308,408 214,314,414 514	22	17'-4" W x 108" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
ADA QUEEN (ADA-QQ)	0	N/A	0	N/A	0	N/A	3	219,319,519	3	14'-0" W x 66" H	EDGES ALIGNED WITH EDGE OF QO HEADBOARD/NIGHTSTAND. CEILING TO 3" BELOW TOP OF HEADBOARD. THERE WILL BE A TRIM PIECE AT EACH END, LABEL: #TR-2.
KING STANDARD-FIRST FLOOR (KSF)	0	N/A	2	103,111	2	107,117	1	109	5	13'-3" W x 120" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
KING STANDARD (KS)	2	505,515	8	203,303,403 503,211,311 411,511	8	207,307,407 507,217,317 417,517	4	209,309 409,509	22	13'-3" W x 108" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
KING LONG-FIRST FLOOR (KLF)	0	N/A	0	N/A	1	104	0	N/A	1	13'-4" W x 120" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
KING LONG (KL)	0	N/A	0	N/A	4	204,304 404	1	508	4	13'-4" W x 108" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
ADA KING (ADA-K)	0	N/A	0	N/A	0	N/A	1	419	1	13'-3" W x 108" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
ELEVATOR KING-FIRST FLOOR (EKF)	0	N/A	0	N/A	0	N/A	1	101	1	16'-4" W x 120" H	MURAL WILL RUN FULL WIDTH OF ENTIRE HEADBOARD WALL. FULL HEIGHT FLOOR TO CEILING. NOTE: NO ART ON HEADBOARD WALL - JUST THE MURAL THIS ROOM TYPE.
ELEVATOR KING (EK)	0	N/A	0	N/A	0	N/A	4	201,301 401,501	4	16'-4" W x 108" H	MURAL WILL RUN FULL WIDTH OF ENTIRE HEADBOARD WALL. FULL HEIGHT FLOOR TO CEILING. NOTE: NO ART ON HEADBOARD WALL - JUST THE MURAL THIS ROOM TYPE.
ADA KING FIRST FLOOR (ADA-K)	0	N/A	0	N/A	0	N/A	1	119	1	14'-10" W x 120" H	MURAL WILL RUN FROM THE BATHROOM TO THE BUMP-OUT FOR THE CHASE. FULL HEIGHT FLOOR TO CEILING.
KING SUITE (K-SITE)	0	N/A	0	N/A	0	502 (WITH 504)	0	N/A	1	13'-4" W x 108" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
TOTALS OF EACH MURAL:	20		15		15		29		79		

PHOTO KEY



Typical Floor, (All floors are exactly alike)



North

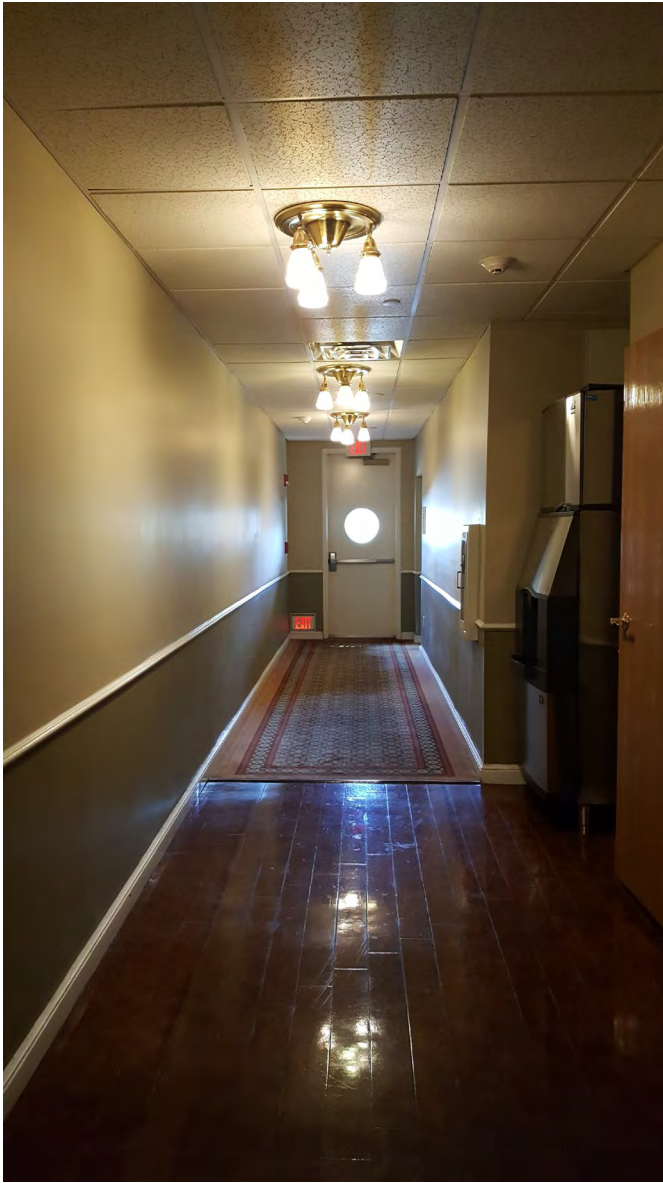


Photo 1 Exit corridor View S



Photo 2 Typical Corridor View E



Photo 3 Typical Corridor at fire separation Door View E



Photo 4 Typical corridor View W

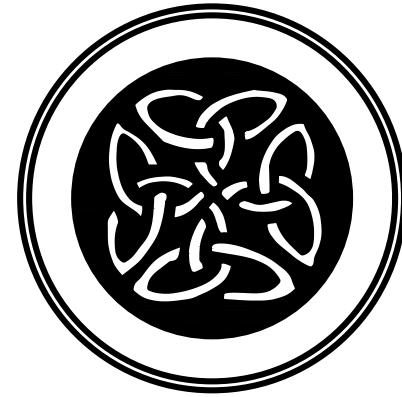


Photo 5 Typical Corridor ramp to fire exit
View S



Photo 6 Typical corridor ramp to fire exit
View N

FINISH LEGEND										
FL		FLOORING	WL		VINYL WALL COVERING	WL		VINYL WALL COVERING (CONT.)	PT	PAINT
FL-116		CORRIDOR CARPET TILE	WL-202		GUEST BATHROOM VWC	WL-203.G1		GUESTROOM WALL MURAL	PT-1	GUESTROOM WALLS AND PAINTED CORRIDOR WALLS (1, 3, 4 & 5)
OF/CI		PATCRAFT	OF/CI		MDC	OF/CI		KALISHER	CF/CI	PPG
		PATTERN: 10562 HARMONIOUS			PATTERN: AVRIL			STYLE: G1 (GREEN)		SPEC: SPEED HIDE 6-411 / LATEX EGGSHELL ENAMEL
		COLOR: 00705 TRANSFORM			COLOR: MAV7001 / EARL GRAY			HEIGHT: 120" 1ST FLOOR, 108" FLOORS 2-5		COLOR: FELTED WOOL PPG0997-2
		SIZE: 18" X 36" TILE PLANK			WIDTH: 52"/54" W.			WIDTH: SEE MURAL MATRIX		
FL-101A		ELEVATOR LOBBY 1ST FLOOR TILE	WL-308A		CORRIDOR VWC - 1ST FLOOR	WL-203.P1		GUESTROOM WALL MURAL	PT-2	GUESTROOM CEILINGS
OF/CI		INTERCERAMIC	OF/CI		MDC	OF/CI		KALISHER	CF/CI	PPG
		STYLE: FORTY EIGHT TRILOGY RECTIFIED			STYLE: EPIC 4154			STYLE: P1 (SOFT TONE PLUM/YELLOW)		SPEC: SPEED HIDE 6-70 / LATEX FLAT WALL PAINT
		COLOR: COVELANO WHITE			COLOR: GRAPHITE MEP8010			HEIGHT: 120" 1ST FLOOR, 108" FLOORS 2-5		COLOR: COMMERCIAL WHITE PPG1025-1
		SIZE: 23-1/4" X 47" X 11.3MM THICK			WIDTH: 52"/54"			WIDTH: SEE MURAL MATRIX		
		FINISH: MATTE								
		GROUT: LATICRETE 44 BRIGHT WHITE								
FL-120		CORRIDOR, ICE & GUEST LAUNDRY TILE	WL-308B		CORRIDOR VWC - 2ND FLOOR	WL-203.P2		GUESTROOM WALL MURAL	PT-3	GUESTROOM DOORS AND DOOR TRIM
		INTERCERAMIC	OF/CI		MDC	OF/CI		KALISHER	CF/CI	PPG
		STYLE: CORTINA RECTIFIED, MATTE			STYLE: EPIC 4154			STYLE: P2 (DEEP TONE PLUM/YELLOW)		SPEC: SPEED HIDE 6-500 / LATEX SEMI-GLOSS ENAMEL
		COLOR: PEGASUS WHITE			COLOR: LIMELIGHT MEP8005			HEIGHT: 120" 1ST FLOOR, 108" FLOORS 2-5		COLOR: GLAZED GRANITE PPG1011-6
		SIZE: 18" X 36"			WIDTH: 52"/54"			WIDTH: SEE MURAL MATRIX		
		GROUT: LATICRETE 44 BRIGHT WHITE								
FL-201		GUESTROOM CARPET TILE	WL-308C		CORRIDOR VWC - 3RD FLOOR	WL-203.BW		GUESTROOM WALL MURAL	PT-4	PAINTED CORRIDOR WALLS (FLOOR 2)
OF/CI		PATCRAFT	OF/CI		MDC	OF/CI		KALISHER	CF/CI	PPG
		PATTERN: 10562 HARMONIOUS			STYLE: EPIC 4154			STYLE: BW (BLACK, WHITE AND GREY)		SPEC: SPEED HIDE 6-411 / LATEX EGGSHELL ENAMEL
		COLOR: 00650 AFFINITY			COLOR: CYBERSPACE MEP8004			HEIGHT: 120" 1ST FLOOR, 108" FLOORS 2-5		COLOR: WHISKERS PPG1025-3
		SIZE: 18" X 36" TILE PLANK			WIDTH: 52"/54"			WIDTH: SEE MURAL MATRIX		
FL-203		PORCELAIN FLOOR TILE	WL-308D		CORRIDOR VWC - 4TH FLOOR	WL-204		PRESIDENTIAL SUITE BATH VWC	CD	CORNER GUARD
OF/CI		TAG	OF/CI		MDC	OF/CI		MDC	OF/CI	INPRO CORP
		STYLE: ROCA DERBY			STYLE: EPIC 4154			PATTERN: AVRIL		CORNER GUARD
		COLOR: GRIS			COLOR: PATINA MEP8002			COLOR: MAV7016 /JADE		STYLE: 11296N, 1-1/2" x 1-1/2", 90° CORNER
		SIZE: 12" X 24"			WIDTH: 52"/54"			WIDTH: 52"/54" W.		COLOR: CASTLE 0256
		GROUT: LATICRETE #78 STERLING SILVER								SIZE: 8" HIGH
FL-204		RUBBER WALL BASE	WL-308E		CORRIDOR VWC - 5TH FLOOR	TR		TRANSITION STRIP	CD-2	INPRO CORP
OF/CI		MANNINGTON	OF/CI		MDC	TR-1		TRANSITION FROM FLOOR TILE TO CARPET TILE	OF/CI	CORNER GUARD (FLOOR 2)
		STYLE: EDGE EFFECTS			STYLE: EPIC 4154	CF/CI		SCHLUTER		STYLE: 12296N, 1-1/2" x 1-1/2", 90° CORNER
		PATTERN: ETCHED EEETC			COLOR: STARSHIP MEP8001			STYLE: RENO TK		COLOR: TAUPE 0113
		COLOR: BLACK 701			WIDTH: 52"/54"			FINISH: BRUSHED GRAPHITE ANODIZED ALUMINUM AGRB		SIZE: 8" HIGH
		SIZE: 4.25"H								
FL-205		STAIR CARPET				TR-2		TRANSITION FROM WALL MURAL TO PAINTED WALL		
OF/CI		SHAW				CF/CI		FRY REGLET		
		PATTERN: RETREAT 5B119						STYLE: WCTBT125-217		
		COLOR: GEYSER #19540						FINISH: TBD		
		SIZE: 12' WIDE								
NOTES										
OF/CI		OWNER FURNISHED / CONTRACTOR INSTALLED								
CF/CI		CONTRACTOR FURNISHED / CONTRACTOR INSTALLED								



HSI DESIGN GROUP
10223 McAllister Fwy
Ste 202
San Antonio, TX 78216
210-308-8484

DRAWN DS
CHECKED LP
DATE 06/28/2021

Aiden by Best Western #44502
San Antonio, Texas
Guestrooms
Finish Schedule and Legend

2021

ISSUED / REVISIONS	
06/ 04/ 2021	ISSUED FOR BRAND REVIEW
06/ 28/ 2021	RESUBMITTAL FOR BRAND REVIEW

ID-411

MURAL MATRIX

MURAL DESIGNATION	WL-203.G1		WL-203.P1		WL-203.P2		WL-203.BW		TOTAL	WALL MURAL DIMENSIONS (W X H)	LIMITS OF MURAL IN ROOM
	GREY	ROOM NO.	YELLOW	ROOM NO.	YELLOW	ROOM NO.	PLUM	ROOM NO.			
HEADBOARD COLOR											
SHORT QUEEN-FIRST FLOOR (SQOF)	4	105,106 110,115	1	112	0	N/A	3	102,108,114	8	14'-0" W x 78" H	EDGES ALIGNED WITH EDGE OF QO HEADBOARD/NIGHTSTAND. CEILING TO 3" BELOW TOP OF HEADBOARD. THERE WILL BE A TRIM PIECE AT EACH END, LABEL: #TR-2.
SHORT QUEEN (SQQ)	6	205,305,405 215,315,415	0	N/A	0	N/A	0	N/A	6	14'-0" W x 66" H	EDGES ALIGNED WITH EDGE OF QO HEADBOARD/NIGHTSTAND. CEILING TO 3" BELOW TOP OF HEADBOARD. THERE WILL BE A TRIM PIECE AT EACH END, LABEL: #TR-2.
STANDARD QUEEN (SQQ)	8	206,306,406 506,210,310 410,510	4	212,312 412,512	0	N/A	10	202,302,402 208,308,408 214,314,414 514	22	17'-4" W x 108" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
ADA QUEEN (ADA-QQ)	0	N/A	0	N/A	0	N/A	3	219,319,519	3	14'-0" W x 66" H	EDGES ALIGNED WITH EDGE OF QO HEADBOARD/NIGHTSTAND. CEILING TO 3" BELOW TOP OF HEADBOARD. THERE WILL BE A TRIM PIECE AT EACH END, LABEL: #TR-2.
KING STANDARD-FIRST FLOOR (KSF)	0	N/A	2	103,111	2	107,117	1	109	5	13'-3" W x 120" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
KING STANDARD (KS)	2	505,515	8	203,303,403 503,211,311 411,511	8	207,307,407 507,217,317 417,517	4	209,309 409,509	22	13'-3" W x 108" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
KING LONG-FIRST FLOOR (KLF)	0	N/A	0	N/A	1	104	0	N/A	1	13'-4" W x 120" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
KING LONG (KL)	0	N/A	0	N/A	4	204,304 404	1	508	4	13'-4" W x 108" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
ADA KING (ADA-K)	0	N/A	0	N/A	0	N/A	1	419	1	13'-3" W x 108" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
ELEVATOR KING-FIRST FLOOR (EKF)	0	N/A	0	N/A	0	N/A	1	101	1	16'-4" W x 120" H	MURAL WILL RUN FULL WIDTH OF ENTIRE HEADBOARD WALL. FULL HEIGHT FLOOR TO CEILING. NOTE: NO ART ON HEADBOARD WALL - JUST THE MURAL THIS ROOM TYPE.
ELEVATOR KING (EK)	0	N/A	0	N/A	0	N/A	4	201,301 401,501	4	16'-4" W x 108" H	MURAL WILL RUN FULL WIDTH OF ENTIRE HEADBOARD WALL. FULL HEIGHT FLOOR TO CEILING. NOTE: NO ART ON HEADBOARD WALL - JUST THE MURAL THIS ROOM TYPE.
ADA KING FIRST FLOOR (ADA-K)	0	N/A	0	N/A	0	N/A	1	119	1	14'-10" W x 120" H	MURAL WILL RUN FROM THE BATHROOM TO THE BUMP-OUT FOR THE CHASE. FULL HEIGHT FLOOR TO CEILING.
KING SUITE (K-SITE)	0	N/A	0	N/A	0	502 (WITH 504)	0	N/A	1	13'-4" W x 108" H	MURAL WILL RUN FROM THE WINDOW WALL TO THE DIVIDER WALL, FULL HEIGHT FLOOR TO CEILING.
TOTALS OF EACH MURAL:	20		15		15		29		79		

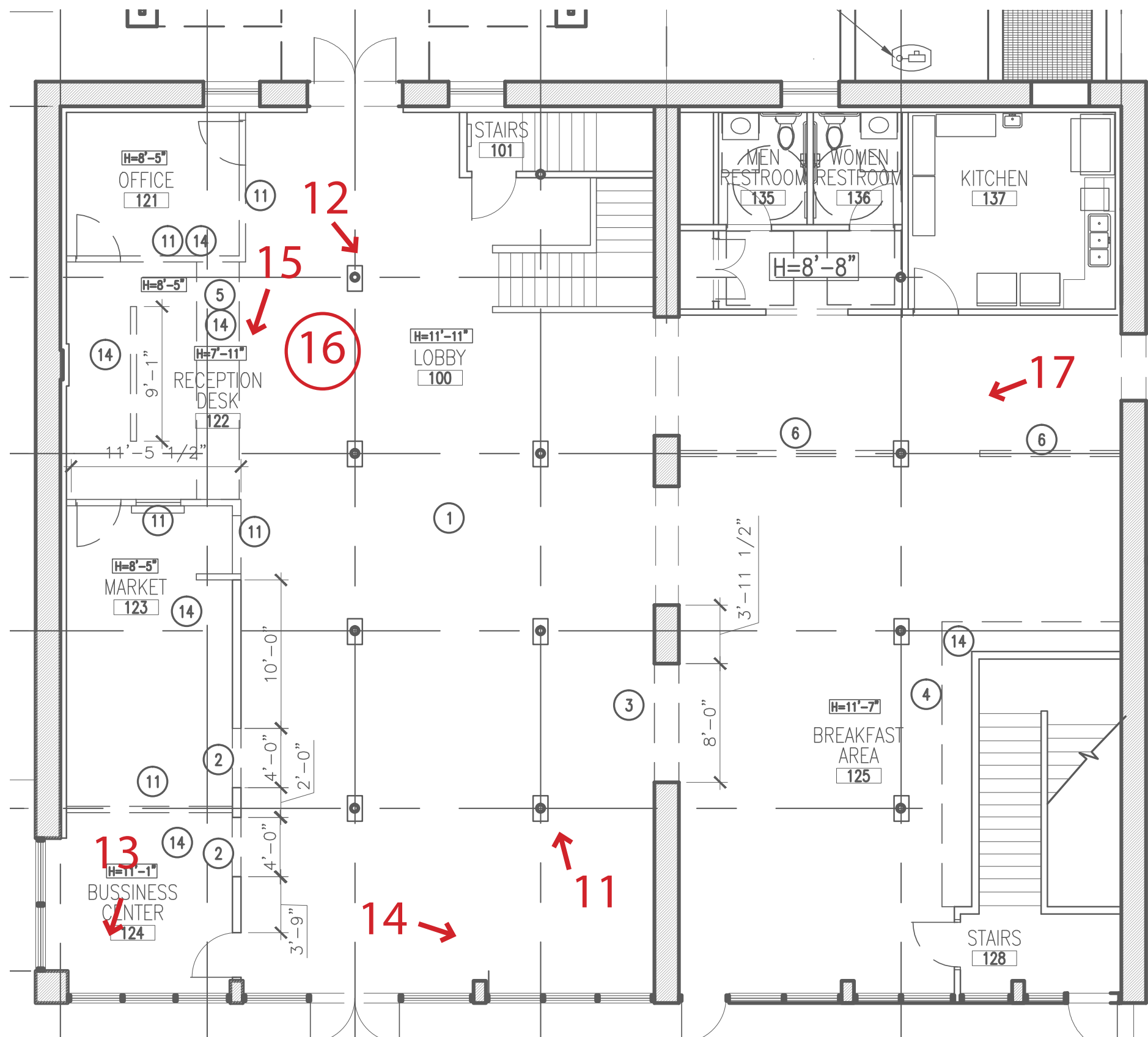


EXTERIOR

George Icke & Bros. Building
San Antonio, TX



1103 E Commerce St
Pre-Rehabilitation Photos

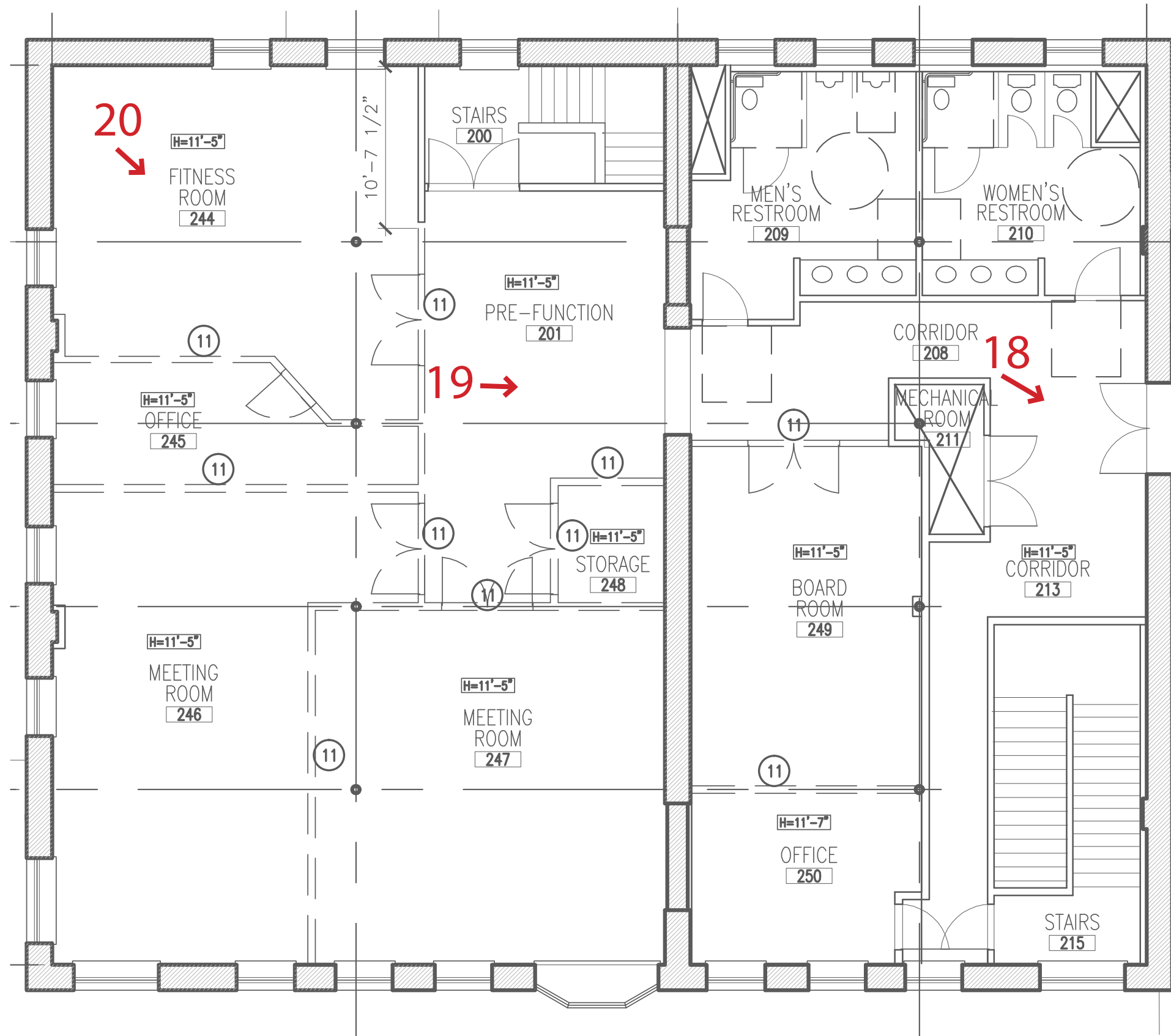


FIRST FLOOR (HISTORIC BUILDING)

George Icke & Bros. Building
San Antonio, TX



1103 E Commerce St
Pre-Rehabilitation Photos

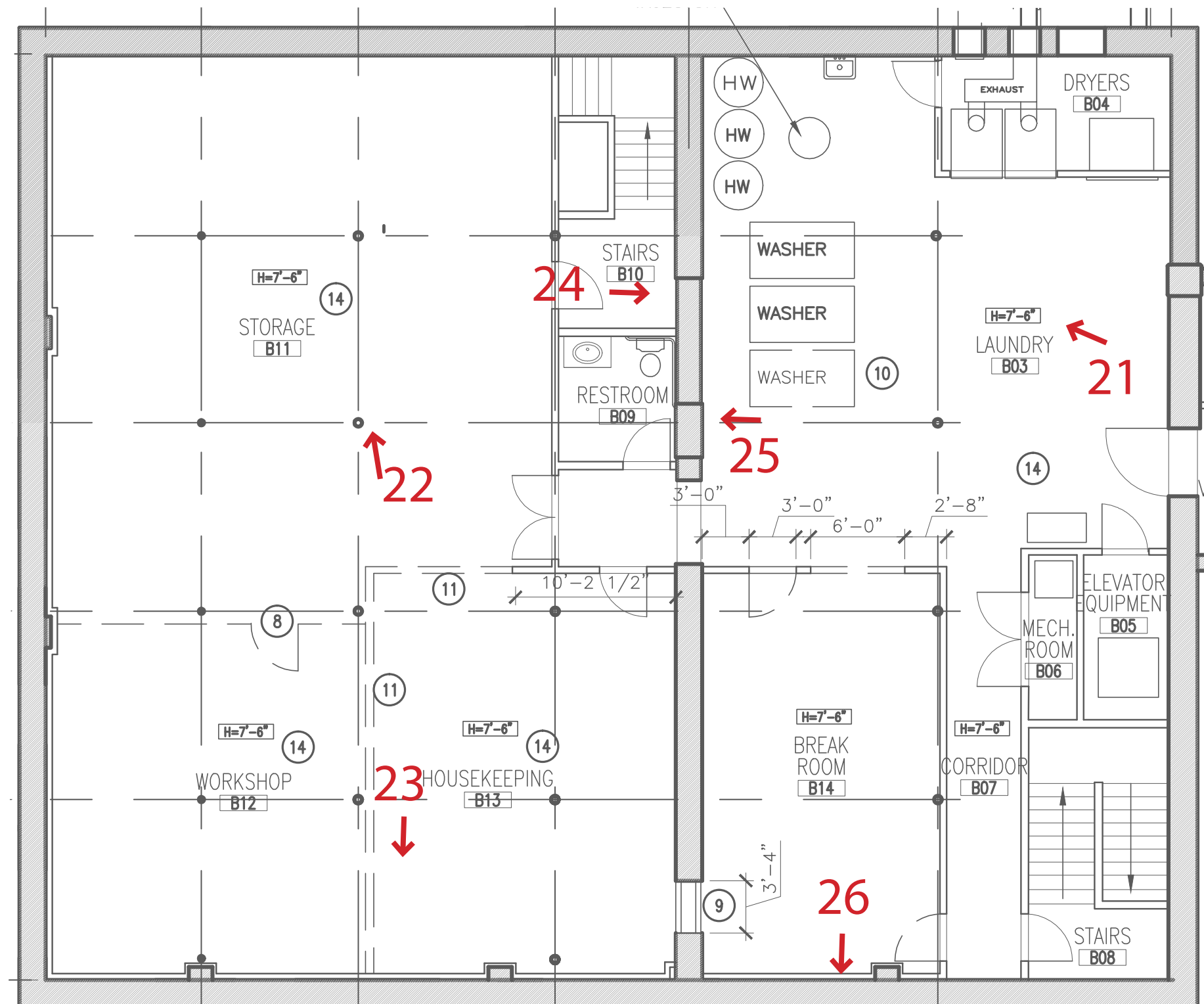


SECOND FLOOR (HISTORIC BUILDING)

George Icke & Bros. Building
San Antonio, TX



1103 E Commerce St
Pre-Rehabilitation Photos



BASEMENT (HISTORIC BUILDING)

George Icke & Bros. Building
San Antonio, TX



1103 E Commerce St
Pre-Rehabilitation Photos



1.
Primary (SW)
Elevation
View NE



2.
Oblique,
Primary (SW)
Elevation and
Northwest
Elevation
View E



3.
Oblique,
Northwest
and Rear (NE)
Elevation
View SW



4.
Rear (NE)
Elevation
View SW



5.
Rear (NE)
Elevation
Showing
Hyphen and
Non-Historic
Addition
View SW



6.
Primary (SE)
Elevation
Storefront
Detail
View NW



7.
Northwest
Elevation
Storefront and
Window Detail
View SE



8.
Rear (NE)
Elevation
Entrance
Detail
View SW



9.
Primary (SW)
Elevation of
Non-Historic
Addition
View NW



10.
Rear (NE)
Elevation of
Non-Historic
Elevation
View SW



11.
First Floor
West Lobby
View NE



12.
First Floor
West Lobby
View S



13.
First Floor
West Lobby
Business
Center
View SW



14.
First Floor
West Lobby
Seating Area
and Storefront
Detail
View SE



15.
First Floor
West Lobby
Reception
Desk
View SW



16.
First Floor
West Lobby
Floor Finish
Detail



17.
First Floor
East Dining
View NW



18.
Second Floor
Corridor
Looking into
Elevator Lobby
View SE



19.
Pre-Function
Space Looking
into Corridor
View SE



20.
Second Floor
Fitness Room
View S



21.
Basement
Laundry Room
View N



22.
Basement
Storage Room
View NE



23.
Basement
Workshop
View SW



24.
Masonry Detail
in Stair
View SE



25.
Basement
Masonry Detail
in Laundry
Room
View NW



26.
Basement
Masonry Detail
in Break Room
View SW

AIDEN - SUNSET SUITES

PROPERTY NUMBER 44502
1103 EAST COMMERCE STREET
SAN ANTONIO, TX 78205

PUBLIC AREAS

GENERAL NOTES

1. DRAWINGS ARE NOT TO BE SCALED. ALL WORK, LINES AND LEVELS SHALL BE LAID OUT BY DIMENSIONS. DIMENSIONS TO TAKE PRECEDENCE OVER SCALE ON CONSTRUCTION DOCUMENTS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. ANY DEVIATIONS SHALL BE DEEMED CORRECTED BY CONTRACTOR BEFORE BEGINNING HIS PORTION OF THE WORK.
2. ALL DIMENSIONS ARE TO FACE OF DRYWALL UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS.
4. CONSTRUCTION OF WORK INDICATED ON THE DRAWINGS AS (N.I.C.) IS NOT IN CONTRACT.
5. DETAILS NOT SHOWN ARE SIMILAR IN NATURE TO THOSE DETAILED. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT DESIGNER BEFORE PROCEEDING WITH THE WORK. TYPICAL DETAILS APPLY AT ALL SIMILAR CONDITIONS WHETHER CROSS REFERENCED OR NOT.
6. SHOULD MATERIAL SUBSTITUTIONS BE REQUIRED, THE GENERAL CONTRACTOR SHALL SUBMIT A WRITTEN LIST OF SUBSTITUTIONS WITHIN ONE (1) WEEK AFTER CONTRACT AWARD. SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL OF THE DESIGNER.

SHEET INDEX

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ID1.2	DEMOLITION PLAN – 2ND FLOOR
ID1.3	DEMOLITION PLAN – BASEMENT
ID2.1	FLOOR PLAN – 1ST FLOOR
ID2.2	FLOOR PLAN – 2ND FLOOR
ID2.3	FLOOR PLAN – BASEMENT
ID3.1	REFLECTED CEILING PLAN – 1ST FLOOR
ID3.2	REFLECTED CEILING PLAN – 2ND FLOOR
ID3.3	REFLECTED CEILING PLAN – BASEMENT
ID4.1	ELECTRICAL PLAN – 1ST FLOOR
ID4.2	ELECTRICAL PLAN – 2ND FLOOR
ID4.3	ELECTRICAL PLAN – BASEMENT
ID5.1	FLOOR PATTERN PLAN – 1ST FLOOR
ID5.2	FLOOR PATTERN PLAN – 2ND FLOOR
ID5.3	FLOOR PATTERN PLAN – BASEMENT
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ID6.3	FINISH PLAN – BASEMENT
ID7.1	FURNITURE PLAN – 1ST FLOOR
ID7.2	FURNITURE PLAN – 2ND FLOOR
ID7.3	FURNITURE PLAN – BASEMENT
ID8.1	INTERIOR ELEVATIONS
ID8.2	INTERIOR ELEVATIONS
ID8.3	INTERIOR ELEVATIONS



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COVER PAGE

AIDEN – SUNSET SUITES
1103 EAST COMMERCE STREET
SAN ANTONIO, TX 78205

ISSUED PLANS

NO.	BY	DATE	NOTES
1	J.D./K.W.	06.12.20	PUBLIC AREA DESIGN DEVELOPMENT PLANS

DRAWINGS ARE BASED ON OWNER/MEMBER PROVIDED DIMENSIONS. OWNER SHALL FIELD-VERIFY DIMENSIONS PRIOR TO ORDERING AND/OR INSTALLING NEW FURNITURE & FIXTURES. BEST WESTERN STUDIO DESIGN IS NOT LIABLE FOR ANY DIFFERENCES BETWEEN MEMBER-SUBMITTED DIMENSIONS AND ACTUAL FIELD DIMENSIONS.

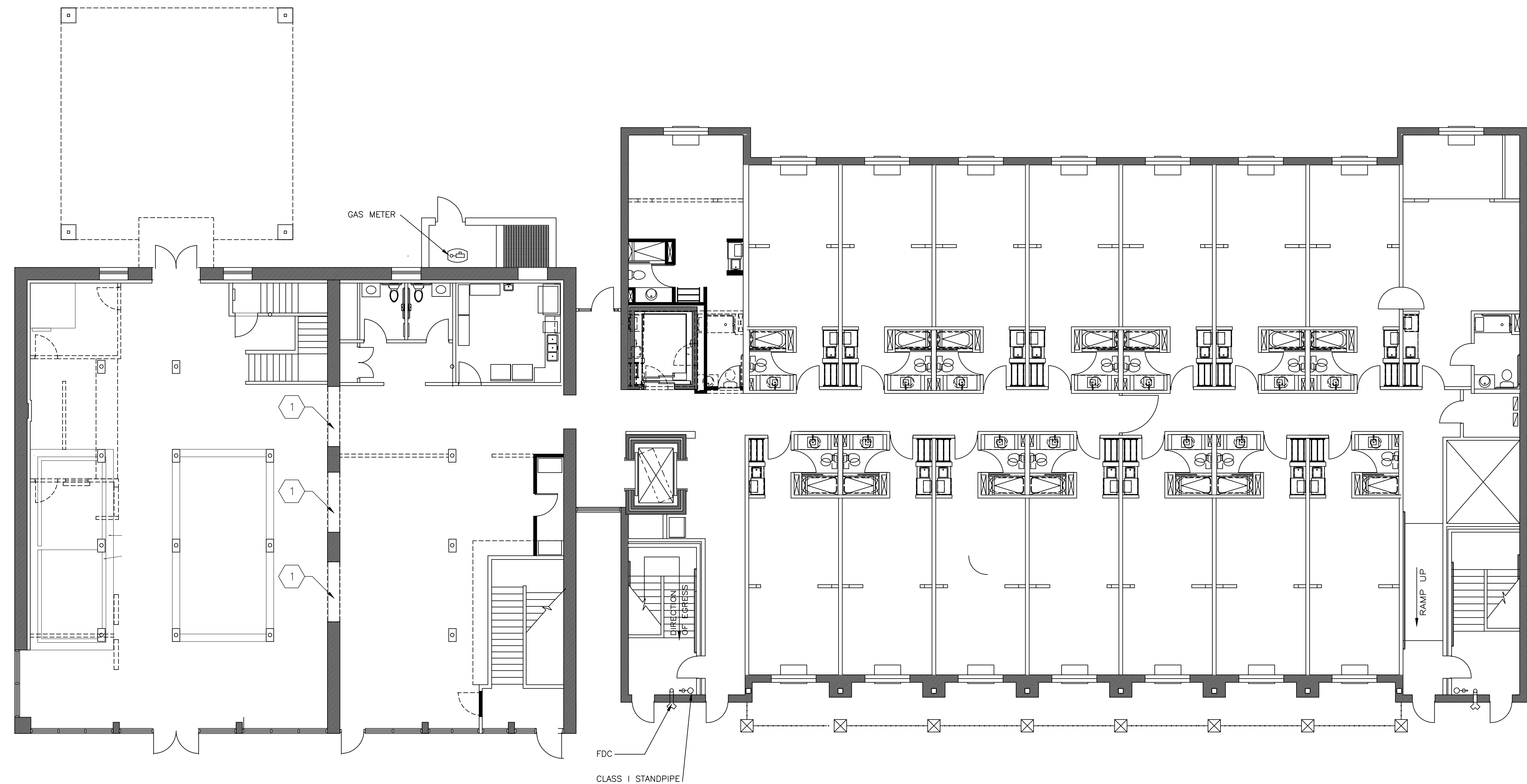
CONTRACT NUMBER:
44502-19-01PA-R2

ISSUE DATE:
05.18.2020

ISSUED BY:
J.DEMENNA / K.WEBER

SCALE:
N/A

SHEET:
ID0.0



1 DEMOLITION PLAN – FIRST FLOOR
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

OWNER/MEMBER SHALL CONSULT WITH LOCALLY LICENSED ARCHITECT/ENGINEER OF RECORD REQUIRED FOR ANY BEST WESTERN STUDIO DESIGN CONCEPTUALLY PROPOSED DEMOLITION OF WALLS OR STRUCTURAL CHANGES.

BEST WESTERN STUDIO DESIGN GUIDELINES STATE: "EACH APPLICANT OR MEMBER SHALL UNDERTAKE THE NECESSARY INVESTIGATION INTO THE EXISTING BUILDING, EQUIPMENT, SYSTEM, OR STRUCTURE IN ORDER TO DETERMINE THE SUITABILITY OF THE PROPOSED ADDITION OR ALTERATION PRIOR TO THE START OF DEVELOPMENT OR AS PART OF THE DEVELOPMENT PROPOSAL."

VERIFY ALL DEMOLITION DIMENSIONS IN FIELD PRIOR TO ANY DEMOLITION.

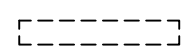
DEMOLITION KEYNOTES

*NOTE: KEYNOTES MAY NOT BE REFERENCED ON ALL PLANS.

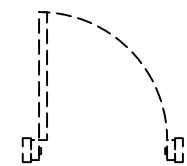
1

OPEN UP WALL BETWEEN LOBBY AND BAR. HEADER HEIGHT TO BE X'-X". ARCHITECT TO CONFIRM.

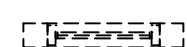
DEMOLITION LEGEND



REMOVE EXISTING WALL; PATCH AND REPAIR FLOOR FINISH TO LIKE-NEW CONDITION



REMOVE EXISTING DOOR; PATCH AND REPAIR WALL FINISH TO LIKE-NEW CONDITION



REMOVE EXISTING WINDOW; PATCH AND REPAIR WALL FINISH TO LIKE-NEW CONDITION



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WWW.BESTWESTERNDDESIGN.COM

1ST FLOOR DEMOLITION PLAN

AIDEN SUNSET SUITES RIVERAWLK
1103 E COMMERCE ST
SAN ANTONIO, TX 78205

ISSUED PLANS

NO.	BY	DATE	NOTES
1		XX.XX.XX	DETAILS HERE

DRAWINGS ARE BASED ON
OWNER/MEMBER PROVIDED DIMENSIONS.
OWNER SHALL FIELD-VERIFY DIMENSIONS
PRIOR TO ORDERING AND/OR
INSTALLING NEW FURNITURE &
FIXTURES. BEST WESTERN STUDIO
DESIGN IS NOT LIABLE FOR ANY
DIFFERENCES BETWEEN
MEMBER-SUBMITTED DIMENSIONS AND
ACTUAL FIELD DIMENSIONS.

CONTRACT NUMBER:
44502-19-01PA-R2

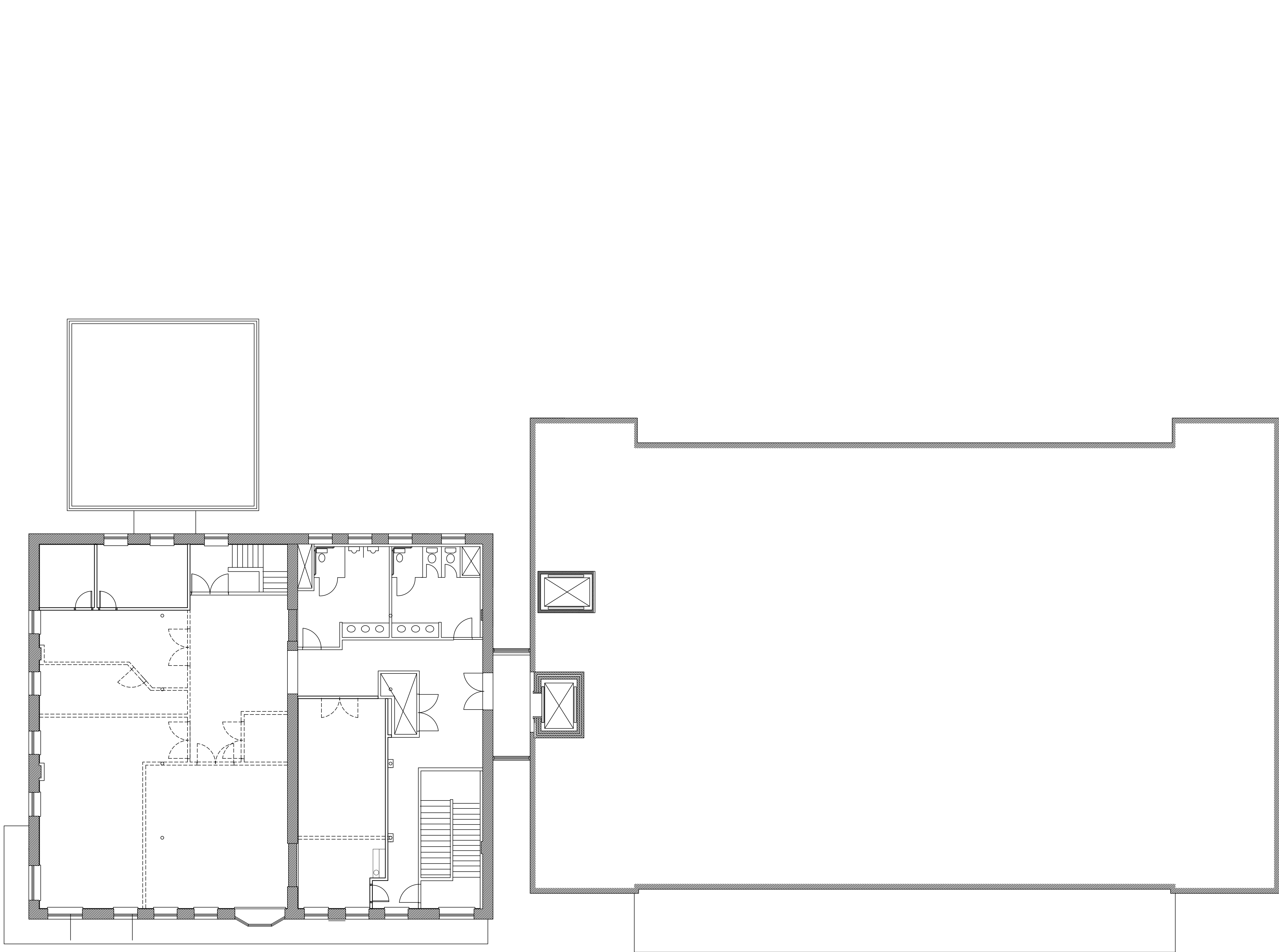
ISSUE DATE:
05.18.2020

ISSUED BY:
J. DEMENNA / K. WEBER

SCALE:
1/8" = 1'-0"

SHEET:

ID1.1



1 DEMOLITION PLAN – SECOND FLOOR
1/8" = 1'-0"

DEMOLITION
GENERAL NOTES

OWNER/MEMBER SHALL CONSULT WITH LOCALLY LICENSED ARCHITECT/ENGINEER OF RECORD REQUIRED FOR ANY BEST WESTERN STUDIO DESIGN CONCEPTUALLY PROPOSED DEMOLITION OF WALLS OR STRUCTURAL CHANGES.

BEST WESTERN STUDIO DESIGN GUIDELINES STATE: "EACH APPLICANT OR MEMBER SHALL UNDERTAKE THE NECESSARY INVESTIGATION INTO THE EXISTING BUILDING, EQUIPMENT, SYSTEM, OR STRUCTURE IN ORDER TO DETERMINE THE SUITABILITY OF THE PROPOSED ADDITION OR ALTERATION PRIOR TO THE START OF DEVELOPMENT OR AS PART OF THE DEVELOPMENT PROPOSAL."

VERIFY ALL DEMOLITION DIMENSIONS IN FIELD PRIOR TO ANY DEMOLITION.

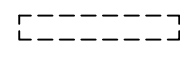
DEMOLITION KEYNOTES

*NOTE: KEYNOTES MAY NOT BE REFERENCED ON ALL PLANS.

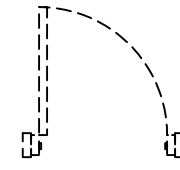
1

OPEN UP WALL BETWEEN LOBBY AND BAR. HEADER HEIGHT TO BE X'-X". ARCHITECT TO CONFIRM.

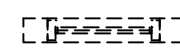
DEMOLITION LEGEND



REMOVE EXISTING WALL; PATCH AND REPAIR FLOOR FINISH TO LIKE-NEW CONDITION



REMOVE EXISTING DOOR; PATCH AND REPAIR WALL FINISH TO LIKE-NEW CONDITION



REMOVE EXISTING WINDOW; PATCH AND REPAIR WALL FINISH TO LIKE-NEW CONDITION



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SECOND FLOOR
DEMOLITION PLAN

AIDEN SUNSET SUITES RIVERAWLK
1103 E COMMERCE ST
SAN ANTONIO, TX 78205

ISSUED PLANS				NOTES	
NO.	BY	DATE	INITIALS	DETAILS HERE	
1		XX.XX.XX			

DRAWINGS ARE BASED ON OWNER/MEMBER PROVIDED DIMENSIONS. OWNER SHALL FIELD-VERIFY DIMENSIONS PRIOR TO ORDERING AND/OR INSTALLING NEW FURNITURE & FIXTURES. BEST WESTERN STUDIO DESIGN IS NOT LIABLE FOR ANY DIFFERENCES BETWEEN MEMBER-SUBMITTED DIMENSIONS AND ACTUAL FIELD DIMENSIONS.

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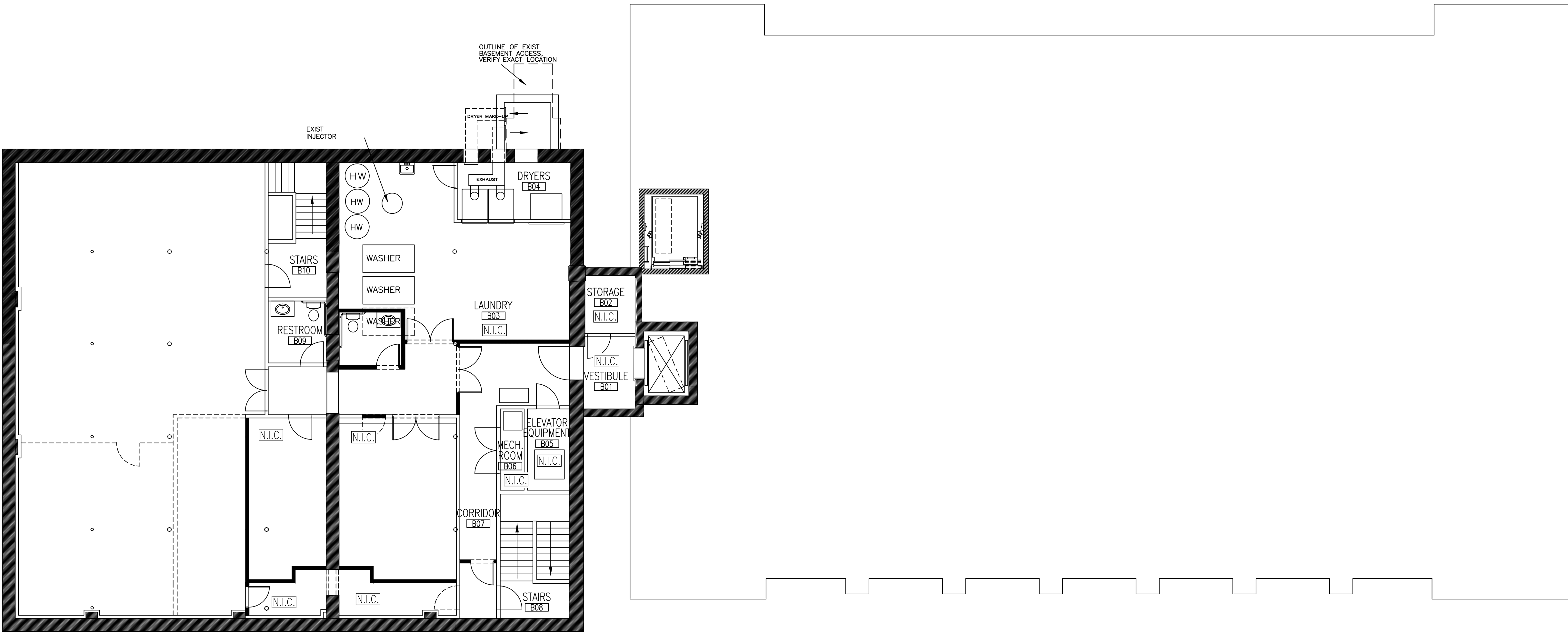
ISSUE DATE:
05.18.2020

ISSUED BY:
J. DEMENNA / K. WEBER

SCALE:
1/8" = 1'-0"

SHEET:

ID1.2



1 DEMOLITION PLAN – BASEMENT
1/8" = 1'-0"

DEMOLITION
GENERAL NOTES

OWNER/MEMBER SHALL CONSULT WITH LOCALLY LICENSED ARCHITECT/ENGINEER OF RECORD REQUIRED FOR ANY BEST WESTERN STUDIO DESIGN CONCEPTUALLY PROPOSED DEMOLITION OF WALLS OR STRUCTURAL CHANGES.

BEST WESTERN STUDIO DESIGN GUIDELINES STATE: "EACH APPLICANT OR MEMBER SHALL UNDERTAKE THE NECESSARY INVESTIGATION INTO THE EXISTING BUILDING, EQUIPMENT, SYSTEM, OR STRUCTURE IN ORDER TO DETERMINE THE SUITABILITY OF THE PROPOSED ADDITION OR ALTERATION PRIOR TO THE START OF DEVELOPMENT OR AS PART OF THE DEVELOPMENT PROPOSAL."

VERIFY ALL DEMOLITION DIMENSIONS IN FIELD PRIOR TO ANY DEMOLITION.

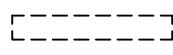
DEMOLITION KEYNOTES

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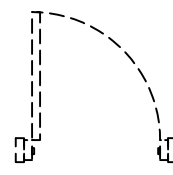
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OPEN UP WALL BETWEEN LOBBY AND BAR. HEADER HEIGHT TO BE X'-X". ARCHITECT TO CONFIRM.

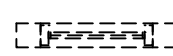
DEMOLITION LEGEND



REMOVE EXISTING WALL; PATCH AND REPAIR FLOOR FINISH TO LIKE-NEW CONDITION



REMOVE EXISTING DOOR; PATCH AND REPAIR WALL FINISH TO LIKE-NEW CONDITION



REMOVE EXISTING WINDOW; PATCH AND REPAIR WALL FINISH TO LIKE-NEW CONDITION



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BASEMENT
DEMOLITION PLAN

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SAN ANTONIO, TX 78205

ISSUED PLANS

NO.	BY	DATE	NOTES
1	INITIALS	XX.XX.XX	DETAILS HERE

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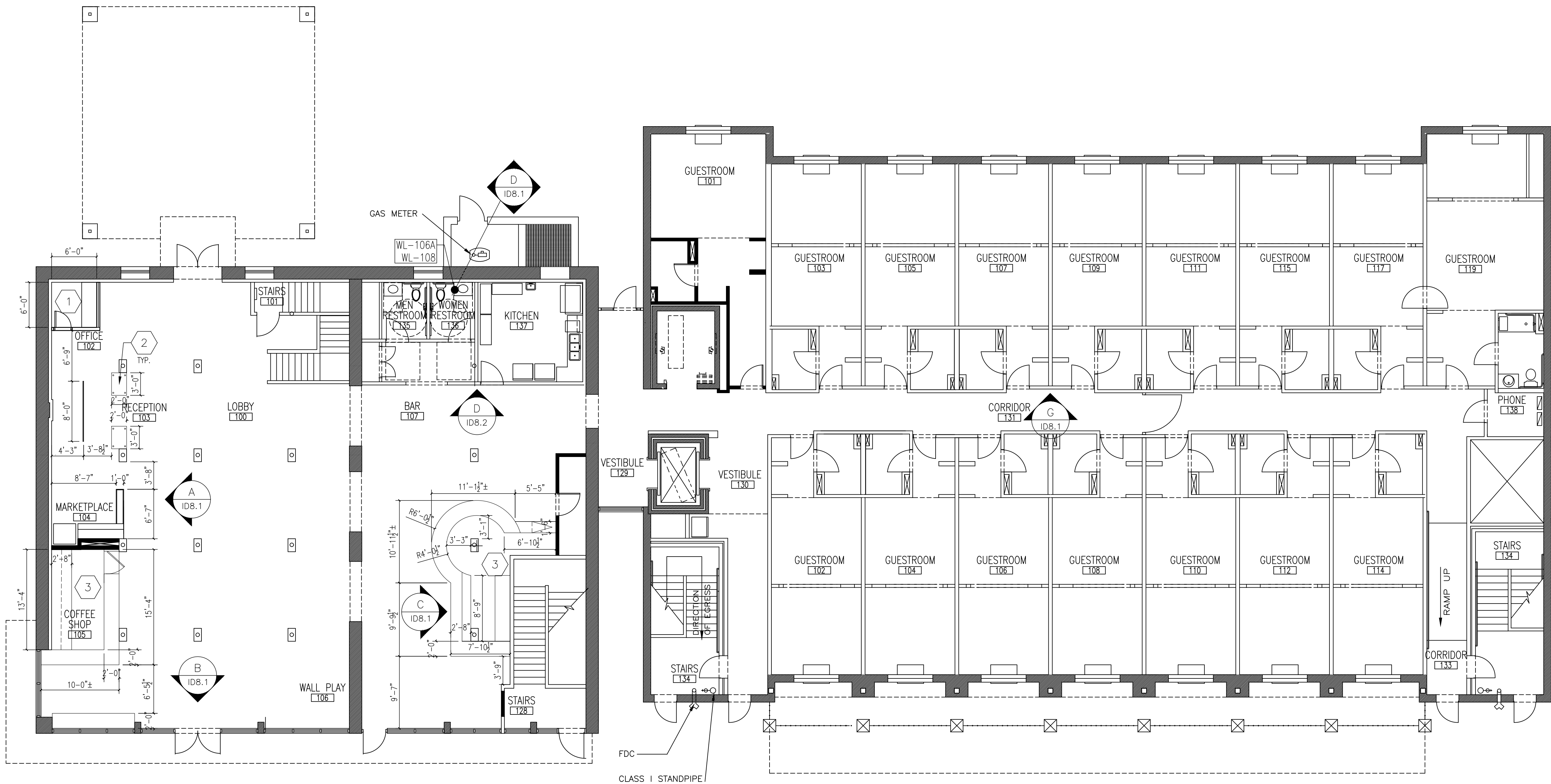
ISSUE DATE:
05.18.2020

ISSUED BY:
J. DEMENNA / K. WEBER

SCALE:
1/8" = 1'-0"

SHEET:

ID1.3



1 FLOOR PLAN – FIRST FLOOR
1/8" = 1'-0"

FLOOR PLAN
GENERAL NOTES

ALL DIMENSIONS ARE TO FACE OF DRYWALL UNLESS NOTED OTHERWISE.
DIMENSIONS GIVEN ARE BASED ON PLANS PROVIDED BY OWNER. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION, AS DIMENSIONS MAY VARY BETWEEN PLANS AND FIELD.
REFER TO ELEVATION SHEETS FOR ALL FINISH LOCATIONS AND ADDITIONAL INFORMATION.
NOTIFY INTERIOR DESIGNER IMMEDIATELY FOR ANY PLAN DISCREPANCIES.

FLOOR PLAN KEYNOTES

*NOTE: KEYNOTES MAY NOT BE REFERENCED ON ALL PLANS.	
1	ARCHITECT TO CONFIRM OVERALL SIZE OF NEW OFFICE.
2	NEW FLOATING RECEPTION DESKS. SEE ELEVATION FOR MORE DETAILS. ARCHITECT/MEMBER TO CONFIRM ALL FUNCTIONALITY OF FLOATING DESKS AND CABINETS/STORAGE NEEDS.
3	ARCHITECT/MEMBER TO CONFIRM COMPLIANCE OF NEW MILLWORK WITH ALL LOCAL BUILDING CODES.
4	RAISED STAGE. ARCHITECT/MEMBER TO CONFIRM COMPLIANCE WITH ALL LOCAL BUILDING CODES.

FLOOR PLAN LEGEND

	ELEVATION SYMBOL
	ROOM NAME SYMBOL
	SECTION SYMBOL
	DETAIL SYMBOL
	EXISTING PARTITION TO REMAIN
	NEW INTERIOR PARTITION
	NEW PARTIAL HEIGHT PARTITION



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FIRST FLOOR
FLOOR PLAN
AIDEN SUNSET SUITES RIVERAWLK
1103 E COMMERCE ST
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ISSUED PLANS		NOTES
NO.	DATE	DETAILS HERE
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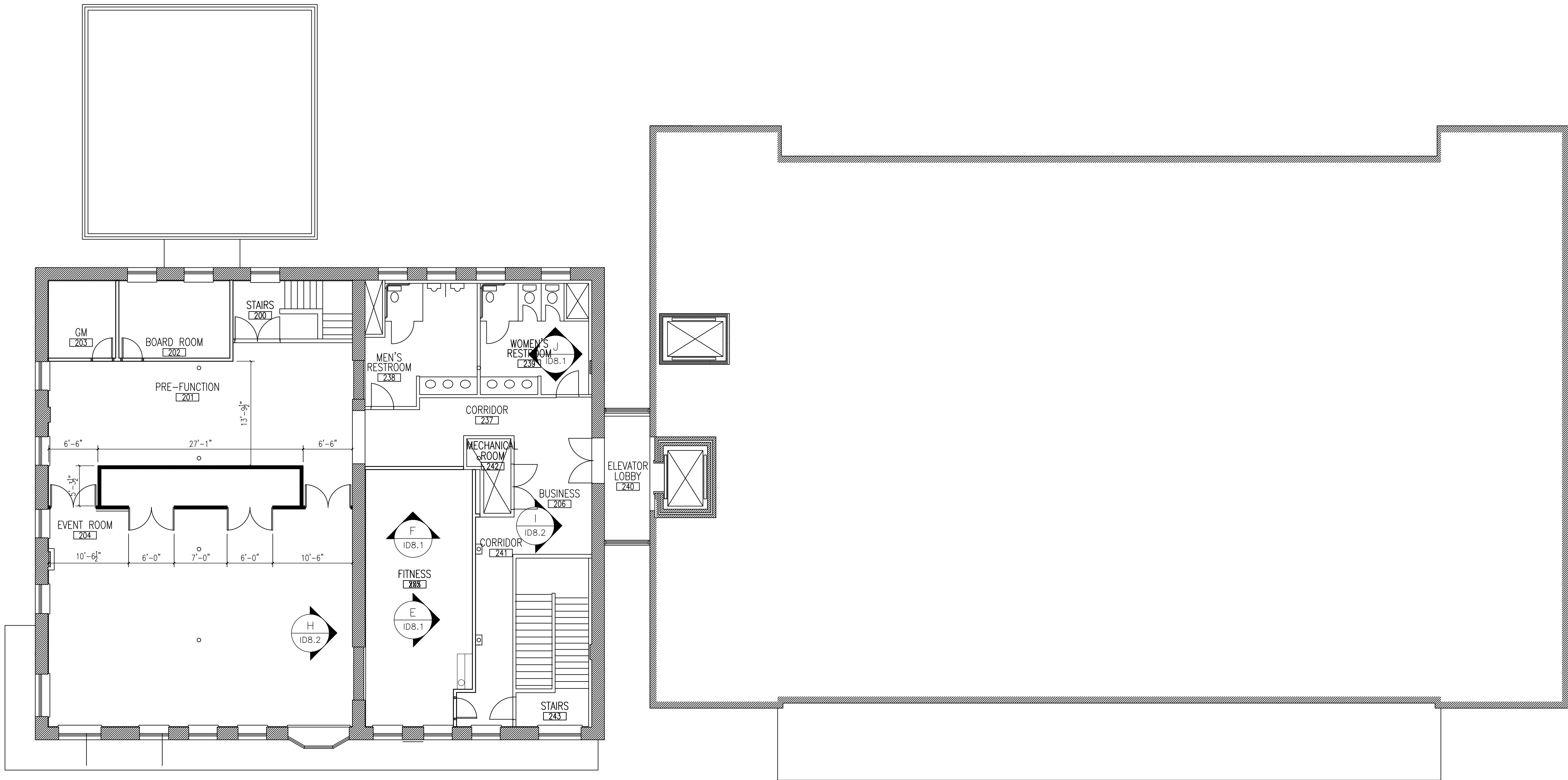
ISSUE DATE:
05.18.2020

ISSUED BY:
J. DEMENNA / K. WEBER

SCALE:
INSERT SCALE HERE

SHEET:

ID2.1



1 FLOOR PLAN – SECOND FLOOR
1/8" = 1'-0"

FLOOR PLAN
GENERAL NOTES

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FLOOR PLAN LEGEND

	ELEVATION SYMBOL
	ROOM NAME SYMBOL
	SECTION SYMBOL
	DETAIL SYMBOL
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SECOND FLOOR
FLOOR PLAN
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ISSUED PLANS		NO.	BY	DATE	NOTES
		1		XX.XX.XX	DETAILS HERE

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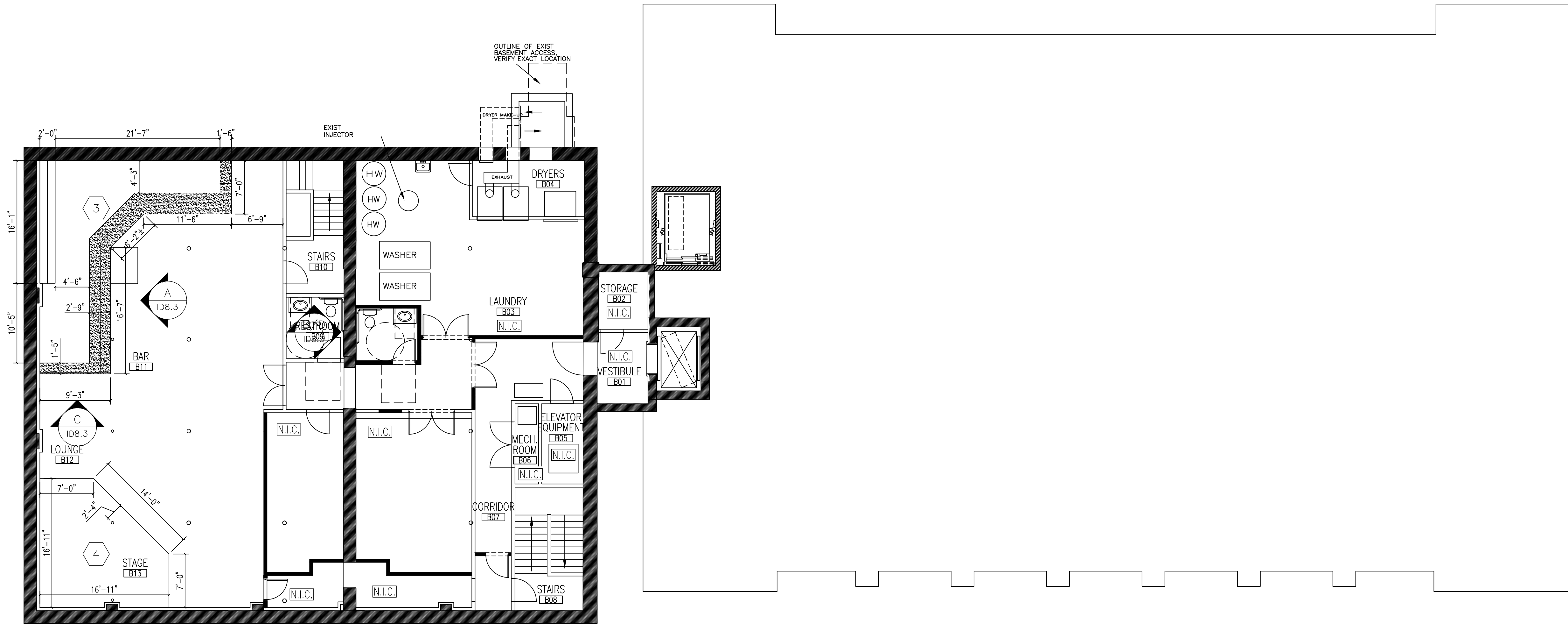
ISSUE DATE:
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ISSUED BY:
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SCALE:
1/8" = 1'-0"

SHEET:

ID2.2



1 FLOOR PLAN — BASEMENT
1/8" = 1'-0"

FLOOR PLAN
GENERAL NOTES

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FLOOR PLAN LEGEND

	ELEVATION SYMBOL
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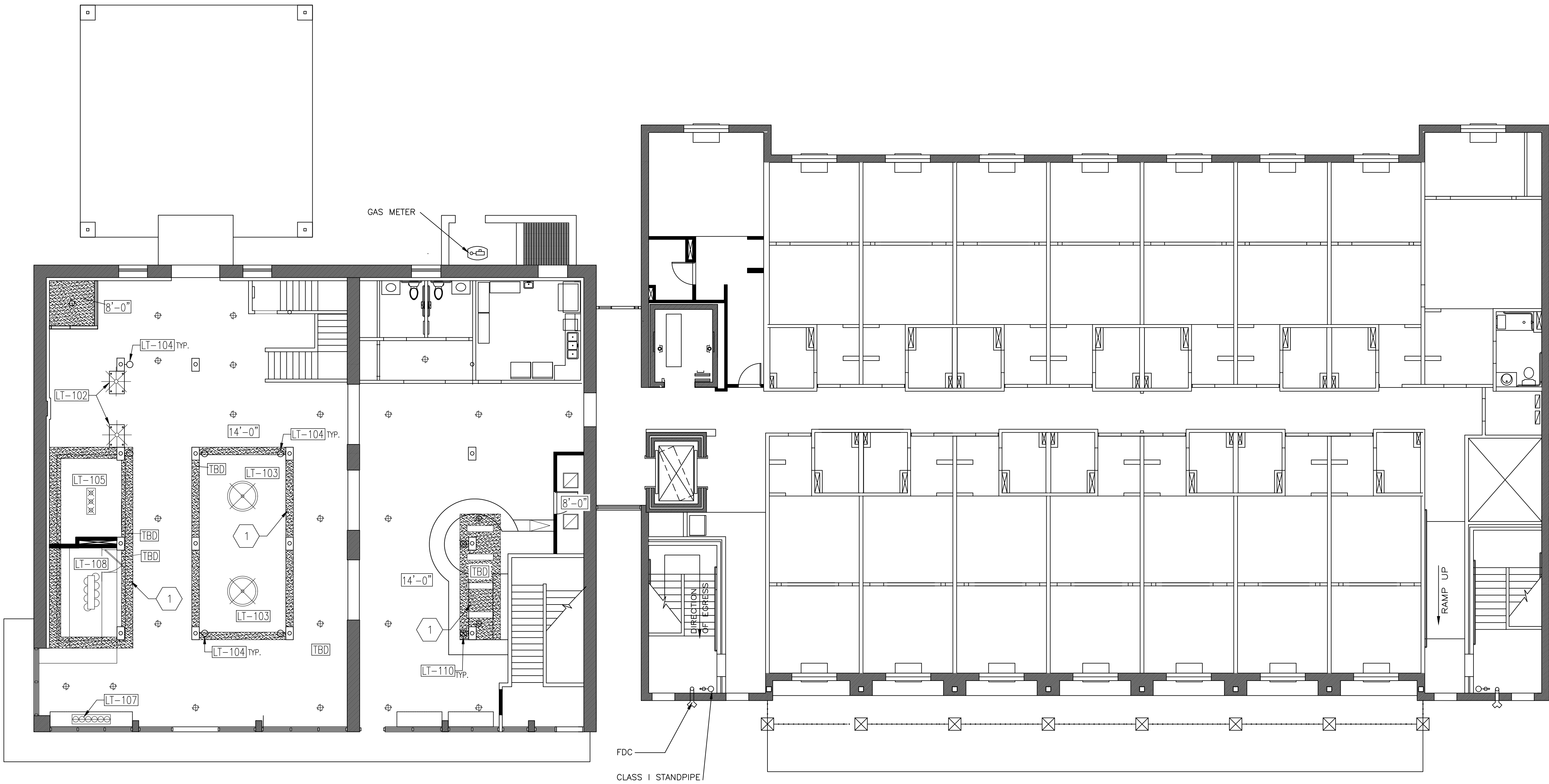
ISSUE DATE:
05.18.2020

ISSUED BY:
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SCALE:
1/8" = 1'-0"

SHEET:

ID2.3



1 REFLECTED CEILING PLAN – FIRST FLOOR
SCALE : 1/8" = 1'-0"

REFLECTED CEILING
KEYNOTES

*NOTE: KEYNOTES MAY NOT BE REFERENCED ON ALL PLANS.

1

CEILING SOFFIT

REFLECTED CEILING
GENERAL NOTES

ELECTRICAL AND LIGHTING SHOWN ON ID PLANS ARE INTENDED TO SHOW LIGHTING, DECORATIVE LIGHTING, AND/OR ELECTRICAL REQUIRED FOR THE INTENT OF THE DESIGN. OWNER/MEMBER SHALL CONSULT WITH LOCALLY LICENSED ARCHITECT/ELECTRICAL ENGINEER TO PROVIDE ADDITIONAL LIGHTING AND ELECTRICAL ADEQUATE TO MEET LOCAL CODES. REFER TO ELECTRICAL DRAWINGS INCLUDED WITH THE CONSTRUCTION DOCUMENTS FOR ALL OTHER LIGHTING AND ELECTRICAL REQUIREMENTS.

OWNER/OWNER REPRESENTATIVE TO VERIFY LIGHTING FIXTURE LOCATIONS IN FIELD PRIOR TO ORDERING/INSTALLATION OF ANY FF&E ITEMS.

REFER TO INTERIOR ELEVATIONS AND LIGHTING SPECIFICATIONS FOR ALL HANGING HEIGHT DIMENSIONS.

NOTIFY INTERIOR DESIGNER IMMEDIATELY FOR ANY PLAN DISCREPANCIES.

LIGHTING LEGEND

LOBBY WALL SCONCE

BAR WALL SCONCE

RECEPTION DESK PENDANT

MARKETPLACE CEILING LIGHT

RECESSED DOWNLIGHT

COFFEE SHOP CEILING LIGHT

EVENT ROOM CEILING LIGHT

BOARDROOM CEILING LIGHT

RECESSED DOWNLIGHT

RECESSED WALL WASHER

RECESSED FLUORESCENT LIGHT 2'X2'

LINE OF MILLWORK/ FURNITURE BELOW

DROPPED CEILING

CEILING HEIGHT

CEILING LIGHT AT WINDOW SEATING

RECEPTION DESK – PENDANT LIGHTING

LOBBY – CHANDELIER

LOBBY – WALL SCONCE AT PILLARS

MARKETPLACE – CEILING LIGHT

COFFEE SHOP – CEILING LIGHT AT WINDOW SEATING

COFFEE SHOP – CEILING LIGHT AT SERVING COUNTER

BAR – CEILING LIGHT

BAR – WALL SCONCE

BOARDROOM – CHANDELIER

EVENT ROOM – CHANDELIER

PRE-FUNCTION – CEILING TRACK LIGHTS

FIXED LIGHTING SCHEDULE

FIRST FLOOR
REFLECTED CEILING PLAN

AIDEN SUNSET SUITES RIVERAWLK
1103 E COMMERCE ST
SAN ANTONIO, TX 78205

ISSUED PLANS

NOTES

DATE

BY

NO.

1

INITIALS

XX.XX.XX

DETAILS HERE

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ISSUE DATE:

05.18.2020

ISSUED BY:

J. DEMENNA / K. WEBER

SCALE:

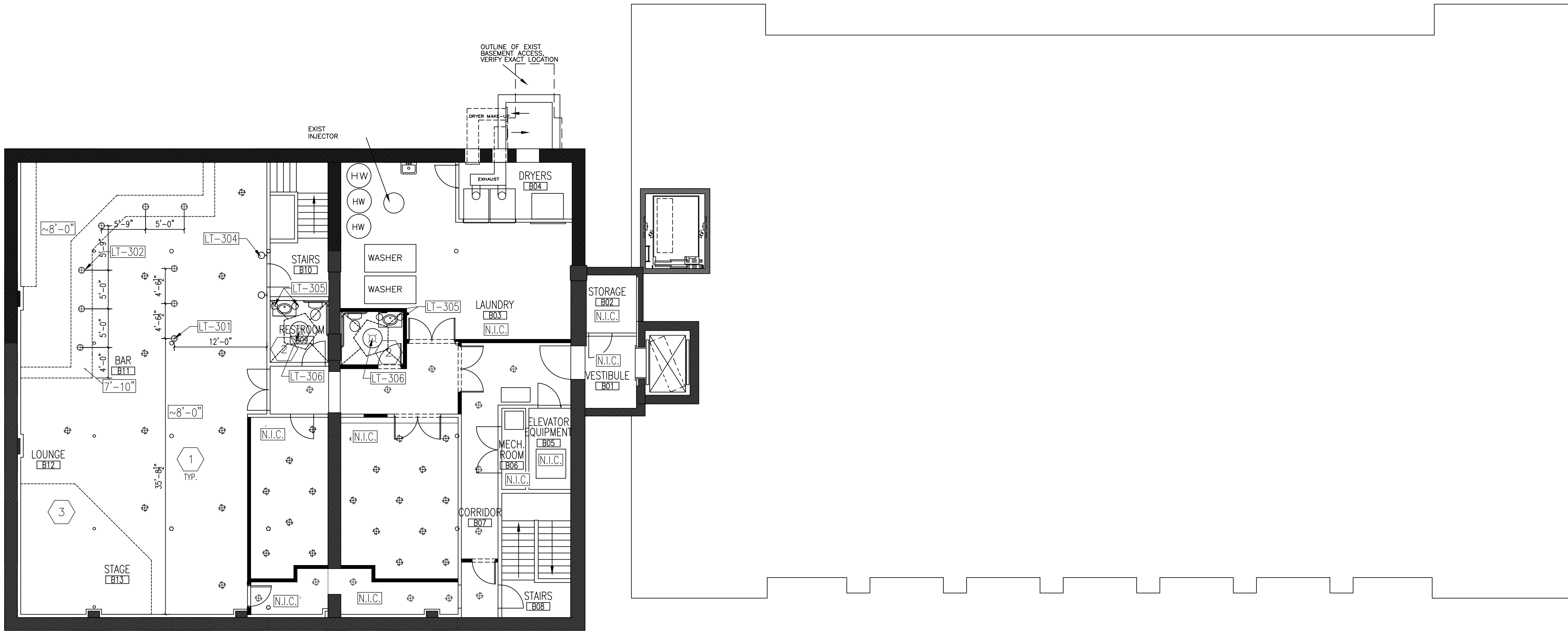
1/8" = 1'-0"

SHEET:

ID3.1



ID3.2



1 REFLECTED CEILING PLAN – BASEMENT
1/8" = 1'-0"

REFLECTED CEILING GENERAL NOTES

ELECTRICAL AND LIGHTING SHOWN ON ID PLANS ARE INTENDED TO SHOW LIGHTING, DECORATIVE LIGHTING, AND/OR ELECTRICAL REQUIRED FOR THE INTENT OF THE DESIGN. OWNER/MEMBER SHALL CONSULT WITH LOCALLY LICENSED ARCHITECT/ELECTRICAL ENGINEER TO PROVIDE ADDITIONAL LIGHTING AND ELECTRICAL ADEQUATE TO MEET LOCAL CODES. REFER TO ELECTRICAL DRAWINGS INCLUDED WITH THE CONSTRUCTION DOCUMENTS FOR ALL OTHER LIGHTING AND ELECTRICAL REQUIREMENTS.

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REFER TO INTERIOR ELEVATIONS AND LIGHTING SPECIFICATIONS FOR ALL HANGING HEIGHT DIMENSIONS.

NOTIFY INTERIOR DESIGNER IMMEDIATELY FOR ANY PLAN DISCREPANCIES.

FLOOR PLAN KEYNOTES

*NOTE: KEYNOTES MAY NOT BE REFERENCED ON ALL PLANS.

1	GENERAL CEILING FINISH, DECORATIVE (BLUE UP) 2X2 CEILING TILES U.N.O. (WL-306)
2	DECORATIVE MILLWORK TRIM FOR SPEAKEASY RESTROOM CEILINGS (MW-106 - LOCAL PURCHASE)
3	ALL GENERAL, NON-DECORATIVE LIGHTING N.I.C.

LIGHTING LEGEND

⊙	WALL SCONCE
⊗	CEILING LIGHT
⊕	RECESSED DOWNLIGHT
⊗	SURFACE-MOUNTED DOWNLIGHT
⊕	DECORATIVE PENDANT
⊙	RECESSED WALL WASHER

LIGHTING SCHEDULE

LT-301	DECORATIVE PENDANT, 11.02"DIA. X 12.26"H - LOUNGE
LT-302	ARC PENDANT, OPTION A (SEE ELEVATION FOR DETAILS - BAR
LT-303	SUSPENDED TRUSS, OPTION B - BAR (NOT SHOWN)
LT-304	ENTRY WALL SCONCE, 13"DIA. X 2"D - ENTRY
LT-305	VANITY WALL SCONCE, 6"W X 8"D X 24"H - RESTROOMS
LT-306	CEILING FIXTURE, 30"DIA. X 17"H - RESTROOMS



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BASEMENT REFLECTED CEILING PLAN

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ISSUED PLANS

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1	INITIALS	XXXXXX	DETAILS HERE

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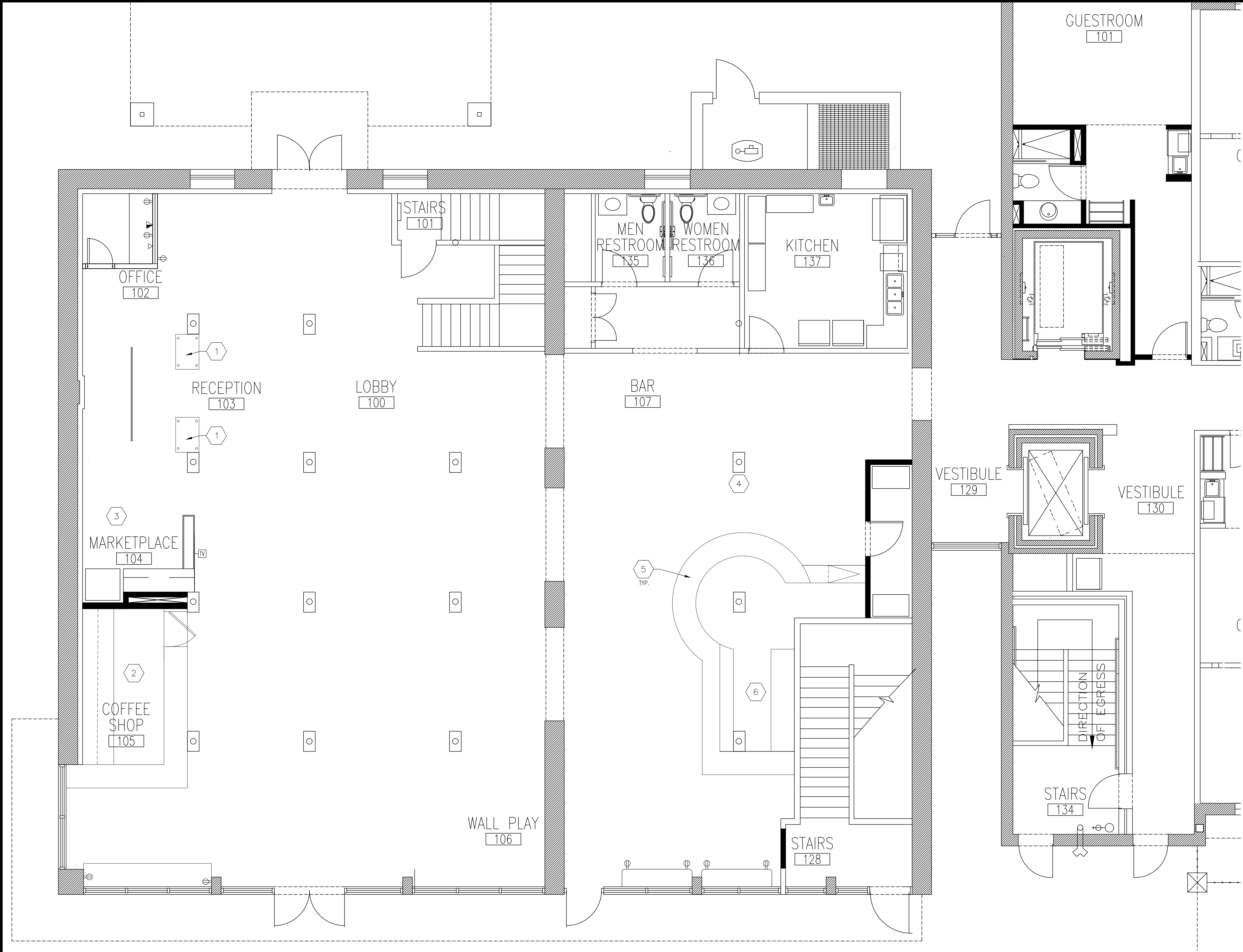
ISSUE DATE:
05.18.2020

ISSUED BY:
J. DEMENNA / K. WEBER

SCALE:
1/8" = 1'-0"

SHEET:

ID3.3



ELECTRICAL GENERAL NOTES

ELECTRICAL AND LIGHTING SHOWN ON ID PLANS ARE INTENDED TO SHOW LIGHTING, DECORATIVE LIGHTING, AND/OR ELECTRICAL REQUIRED FOR THE INTENT OF THE DESIGN. OWNER/MEMBER SHALL CONSULT WITH LOCALLY LICENSED ARCHITECT/ELECTRICAL ENGINEER TO PROVIDE ADDITIONAL LIGHTING AND ELECTRICAL ADEQUATE TO MEET LOCAL CODES. REFER TO ELECTRICAL DRAWINGS INCLUDED WITH THE CONSTRUCTION DOCUMENTS FOR ALL OTHER LIGHTING AND ELECTRICAL REQUIREMENTS.

OWNER/OWNER REPRESENTATIVE TO VERIFY ELECTRICAL SOURCE LOCATIONS IN FIELD PRIOR TO ORDERING/INSTALLATION OF ANY FF&E ITEMS.

ALL DUPLEX OUTLETS MOUNTED AT 18" AFF UNLESS NOTED OTHERWISE.

DESIGN RECOMMENDS OUTLETS PLACED EVERY 48" @ BREAKFAST COUNTER @ 30" AFF TO CENTERLINE, UNLESS NOTED OTHERWISE. ADD GROMMETS IN BREAKFAST COUNTER FOR ACCESS TO DUPLEX OUTLETS.

NOTIFY INTERIOR DESIGNER IMMEDIATELY FOR ANY PLAN DISCREPANCIES.

ELECTRICAL KEYNOTES

- *NOTE: KEYNOTES MAY NOT BE REFERENCED ON ALL PLANS.
- | | |
|---|---|
| 1 | ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR FLOATING RECEPTION DESK PODS. |
| 2 | ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR COFFEE SHOP APPLIANCES AND WORK FUNCTIONS. |
| 3 | ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR MARKETPLACE APPLIANCES. |
| 4 | ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR VIDEO GAME CONSOLE. |
| 5 | DESIGN RECOMMENDS PLACING OUTLETS/USB CONNECTIONS UNDER BAR COUNTER FOR GUEST USE. ARCHITECT/MEMBER TO DETERMINE PLACEMENT AND ELECTRICAL REQUIREMENTS. |
| 6 | ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR BAR. |
| 7 | ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENT FOR STAGE AND REQUIRED EQUIPMENT. |

ELECTRICAL LEGEND

\$	SWITCH
\$	DIMMER SWITCH
\$	3-WAY SWITCH
⊖	DUPLEX OUTLET, WALL-MOUNTED AT 18" A.F.F. UNO
⊖GFI	GFI OUTLET, WALL-MOUNTED
⊖	QUAD OUTLET, WALL-MOUNTED AT 18" A.F.F. UNO
⊖	DUPLEX OUTLET, FLOOR-MOUNTED
⊖	QUAD OUTLET, FLOOR-MOUNTED
⊖	JUNCTION BOX
⊖	TELEPHONE OUTLET
⊖TV	TV OUTLET
⊖	DATA OUTLET
⊖	THERMOSTAT
⊖	CEILING FAN

ISSUED PLANS	NO.	BY	DATE	NOTES	DETAILS HERE
	1		XXXXXX		

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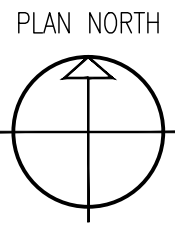
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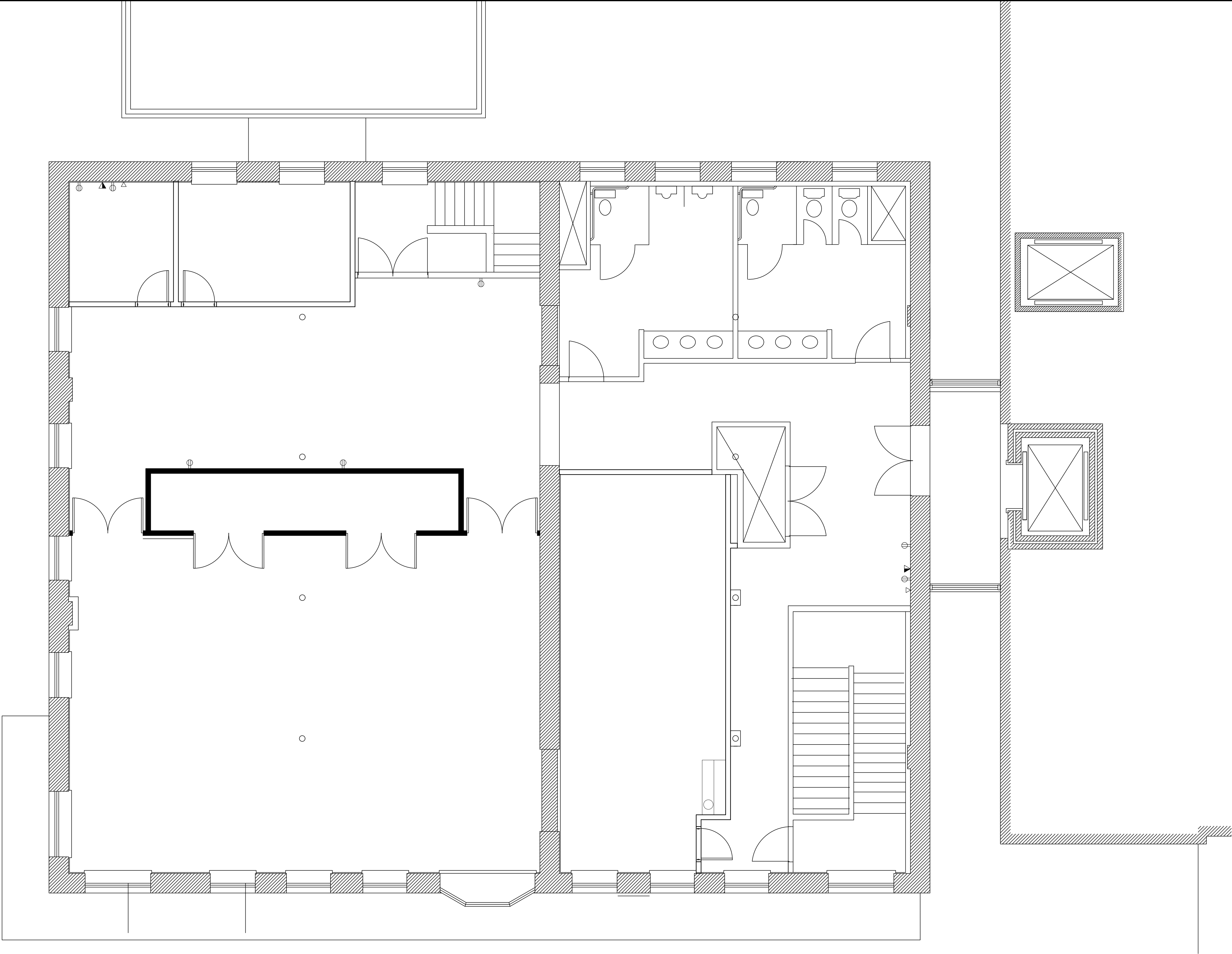
ISSUE DATE:
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ISSUED BY:
J. DEMENNA / K. WEBER

SCALE:
1/4" = 1'-0"

SHEET:





1 ELECTRICAL PLAN – SECOND FLOOR
1/4" = 1'-0"

ELECTRICAL
GENERAL NOTES

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ELECTRICAL KEYNOTES

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3	ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR MARKETPLACE APPLIANCES.
4	ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR VIDEO GAME CONSOLE.
5	DESIGN RECOMMENDS PLACING OUTLETS/USB CONNECTIONS UNDER BAR COUNTER FOR GUEST USE. ARCHITECT/MEMBER TO DETERMINE PLACEMENT AND ELECTRICAL REQUIREMENTS.
6	ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR BAR.
7	ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENT FOR STAGE AND REQUIRED EQUIPMENT.

ELECTRICAL LEGEND

\$	SWITCH
\$ ₂	DIMMER SWITCH
\$ ₃	3-WAY SWITCH
⊖	DUPLEX OUTLET, WALL-MOUNTED AT 18" A.F.F. UNO
⊖GFI	GFI OUTLET, WALL-MOUNTED
⊖⊕	QUAD OUTLET, WALL-MOUNTED AT 18" A.F.F. UNO
⊖⊕	DUPLEX OUTLET, FLOOR-MOUNTED
⊖⊕	QUAD OUTLET, FLOOR-MOUNTED
⊖	JUNCTION BOX
⊖	TELEPHONE OUTLET
⊖TV	TV OUTLET
⊖	DATA OUTLET
⊖	THERMOSTAT
⊖	CEILING FAN

ISSUED PLANS	NO.	BY	DATE	NOTES
	1		XX.XX.XX	DETAILS HERE

DRAWINGS ARE BASED ON
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OWNER SHALL FIELD-VERIFY DIMENSIONS
PRIOR TO ORDERING AND/OR
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MEMBER-SUBMITTED DIMENSIONS AND
ACTUAL FIELD DIMENSIONS.

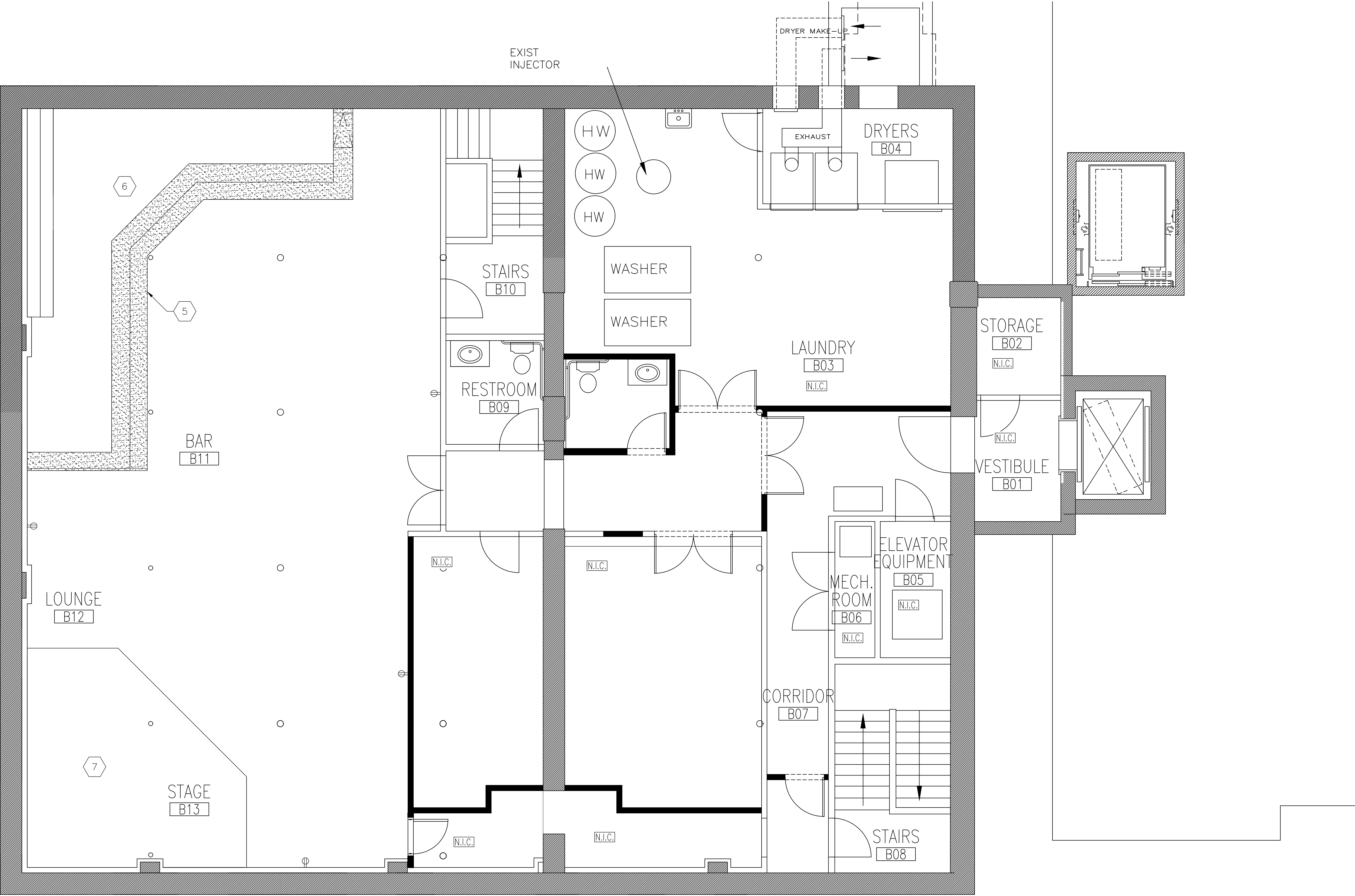
CONTRACT NUMBER:
44502-19-01PA-R2

ISSUE DATE:
05.18.2020

ISSUED BY:
J. DEMENNA / K. WEBER

SCALE:
1/4" = 1'-0"

SHEET:



ELECTRICAL
GENERAL NOTES

ELECTRICAL AND LIGHTING SHOWN ON ID PLANS ARE INTENDED TO SHOW LIGHTING, DECORATIVE LIGHTING, AND/OR ELECTRICAL REQUIRED FOR THE INTENT OF THE DESIGN. OWNER/MEMBER SHALL CONSULT WITH LOCALLY LICENSED ARCHITECT/ELECTRICAL ENGINEER TO PROVIDE ADDITIONAL LIGHTING AND ELECTRICAL ADEQUATE TO MEET LOCAL CODES. REFER TO ELECTRICAL DRAWINGS INCLUDED WITH THE CONSTRUCTION DOCUMENTS FOR ALL OTHER LIGHTING AND ELECTRICAL REQUIREMENTS.

OWNER/OWNER REPRESENTATIVE TO VERIFY ELECTRICAL SOURCE LOCATIONS IN FIELD PRIOR TO ORDERING/INSTALLATION OF ANY FF&E ITEMS.

ALL DUPLEX OUTLETS MOUNTED AT 18" AFF UNLESS NOTED OTHERWISE.

DESIGN RECOMMENDS OUTLETS PLACED EVERY 48" @ BREAKFAST COUNTER @ 30" AFF TO CENTERLINE, UNLESS NOTED OTHERWISE. ADD GROMMETS IN BREAKFAST COUNTER FOR ACCESS TO DUPLEX OUTLETS.

NOTIFY INTERIOR DESIGNER IMMEDIATELY FOR ANY PLAN DISCREPANCIES.

ELECTRICAL KEYNOTES

*NOTE: KEYNOTES MAY NOT BE REFERENCED ON ALL PLANS.

- 1 ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR FLOATING RECEPTION DESK PODS.
- 2 ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR COFFEE SHOP APPLIANCES AND WORK FUNCTIONS.
- 3 ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR MARKETPLACE APPLIANCES.
- 4 ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR VIDEO GAME CONSOLE.
- 5 DESIGN RECOMMENDS PLACING OUTLETS/USB CONNECTIONS UNDER BAR COUNTER FOR GUEST USE. ARCHITECT/MEMBER TO DETERMINE PLACEMENT AND ELECTRICAL REQUIREMENTS.
- 6 ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENTS FOR BAR.
- 7 ARCHITECT/MEMBER TO DETERMINE ELECTRICAL REQUIREMENT FOR STAGE AND REQUIRED EQUIPMENT.

ELECTRICAL LEGEND

\$	SWITCH
\$	DIMMER SWITCH
\$	3-WAY SWITCH
⊖	DUPLEX OUTLET, WALL-MOUNTED AT 18" A.F.F. UNO
⊖GFI	GFI OUTLET, WALL-MOUNTED
⊖	QUAD OUTLET, WALL-MOUNTED AT 18" A.F.F. UNO
⊖	DUPLEX OUTLET, FLOOR-MOUNTED
⊖	QUAD OUTLET, FLOOR-MOUNTED
⊖	JUNCTION BOX
⊖	TELEPHONE OUTLET
⊖TV	TV OUTLET
▶	DATA OUTLET
⊖T	THERMOSTAT
⊖	CEILING FAN



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**BASEMENT
ELECTRICAL PLAN**

AIDEN SUNSET SUITES RIVERAWLK
1103 E COMMERCE ST
SAN ANTONIO, TX 78205

ISSUED PLANS	NO.	BY	DATE	NOTES	DETAILS HERE
	1		XX.XX.XX		

DRAWINGS ARE BASED ON OWNER/MEMBER PROVIDED DIMENSIONS. OWNER SHALL FIELD-VERIFY DIMENSIONS PRIOR TO ORDERING AND/OR INSTALLING NEW FURNITURE & FIXTURES. BEST WESTERN STUDIO DESIGN IS NOT LIABLE FOR ANY DIFFERENCES BETWEEN MEMBER-SUBMITTED DIMENSIONS AND ACTUAL FIELD DIMENSIONS.

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ISSUE DATE:
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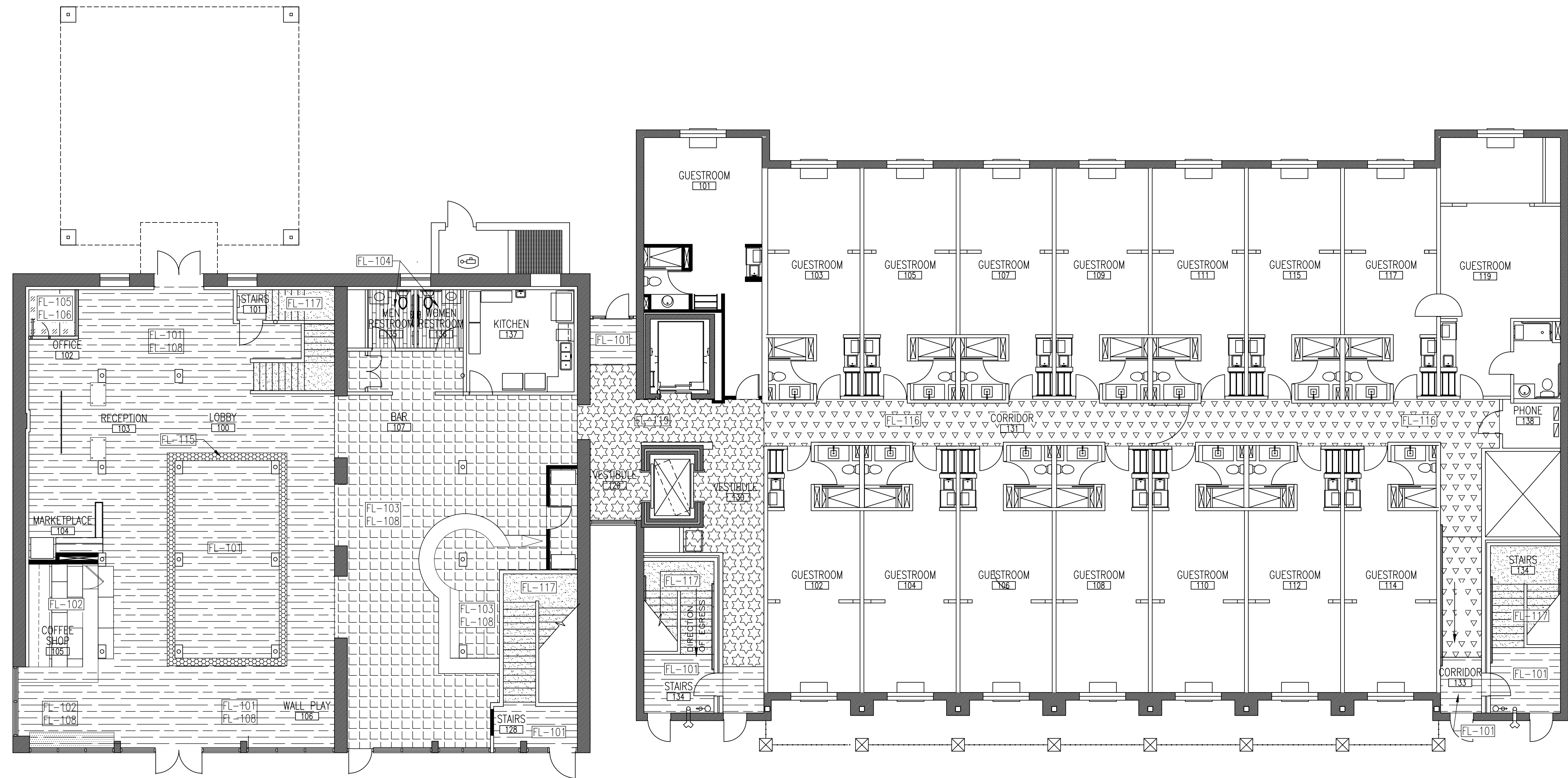
SCALE:
1/4" = 1'-0"

SHEET:

ID4.3



1 ELECTRICAL PLAN - BASEMENT
1/4" = 1'-0"



1 FLOOR PATTERN PLAN – FIRST FLOOR
1/8" = 1'-0"

FLOOR PATTERN GENERAL NOTES

FLOOR PATTERN PLAN IS RECOMMENDED TO MEET BEST WESTERN GUIDELINES

FLOORING MIGHT NOT REPRESENT EXACT FLOORING SIZE OR PATTERN. PATTERN IS FOR INSTALLATION CONCEPT ONLY. REFER TO SPECIFICATIONS FOR ALL JOINT DIMENSIONS AND GROUT COLORS.

PROVIDE APPROPRIATE METAL SCHLUTER STRIP BETWEEN ALL FLOORING TRANSITIONS, FINISH DETERMINED BY INTERIOR DESIGNER.

GENERAL CONTRACTOR TO PROVIDE QUANTITIES FOR ALL FLOORING TO INCLUDE PATTERN, REPEAT, OVERAGE AND PATTERN INSTALLATION.

FLOOR PATTERN SCHEDULE

FL-101	LOBBY – FLOOR TILE
FL-102	COFFEE SHOP – FLOOR TILE, 24"x24"
FL-103	BAR/LOUNGE – FLOOR TILE, 24"x24"
FL-104	PUBLIC RESTROOMS – FLOOR TILE, 24"x24"
FL-105	GM OFFICE & MEZZANINE – CARPET TILE, 18"x36"
FL-106	GM OFFICE – RUBBER WALL BASE, 4.25"H
FL-107	BOARDROOM & EVENT CENTER – CARPET TILE, 18"x36"
FL-108	PUBLIC AREAS – RUBBER WALL BASE, 4.25"H
FL-109	FITNESS CENTER – RUBBER FLOORING, 6'x30' ROLL
FL-110	FITNESS CENTER – RUBBER WALL BASE, 4.25"H
FL-111	PUBLIC AREAS – CARPET TILE ADHESIVE (NOT SHOWN ON PLANS)
FL-112	PUBLIC AREAS – WALL BASE ADHESIVE (NOT SHOWN ON PLANS)
FL-113	FITNESS CENTER – ADHESIVE FOR RUBBER FLOORING (NOT SHOWN ON PLANS)
FL-114	FITNESS CENTER – WELD ROD FOR RUBBER FLOORING (NOT SHOWN ON PLANS)
FL-115	LOBBY – ACCENT FLOOR TILE
FL-116	CORRIDORS – (TBD)
FL-117	STAIRWELLS – (TBD)
FL-118	ELEVATOR LOBBY – (TBD)
FL-119	VESTIBULE – (TBD)

FLOOR FINISH LEGEND

FL-101	FL-102
FL-103	FL-104
FL-105	FL-107
FL-109	FL-115
FL-116	FL-117
FL-118	FL-119



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FIRST FLOOR FLOOR PATTERN PLAN

AIDEN SUNSET SUITES RIVERAWLK
1103 E COMMERCE ST
SAN ANTONIO, TX 78205

ISSUED PLANS

NO.	BY	DATE	NOTES
1		XX.XX.XX	DETAILS HERE

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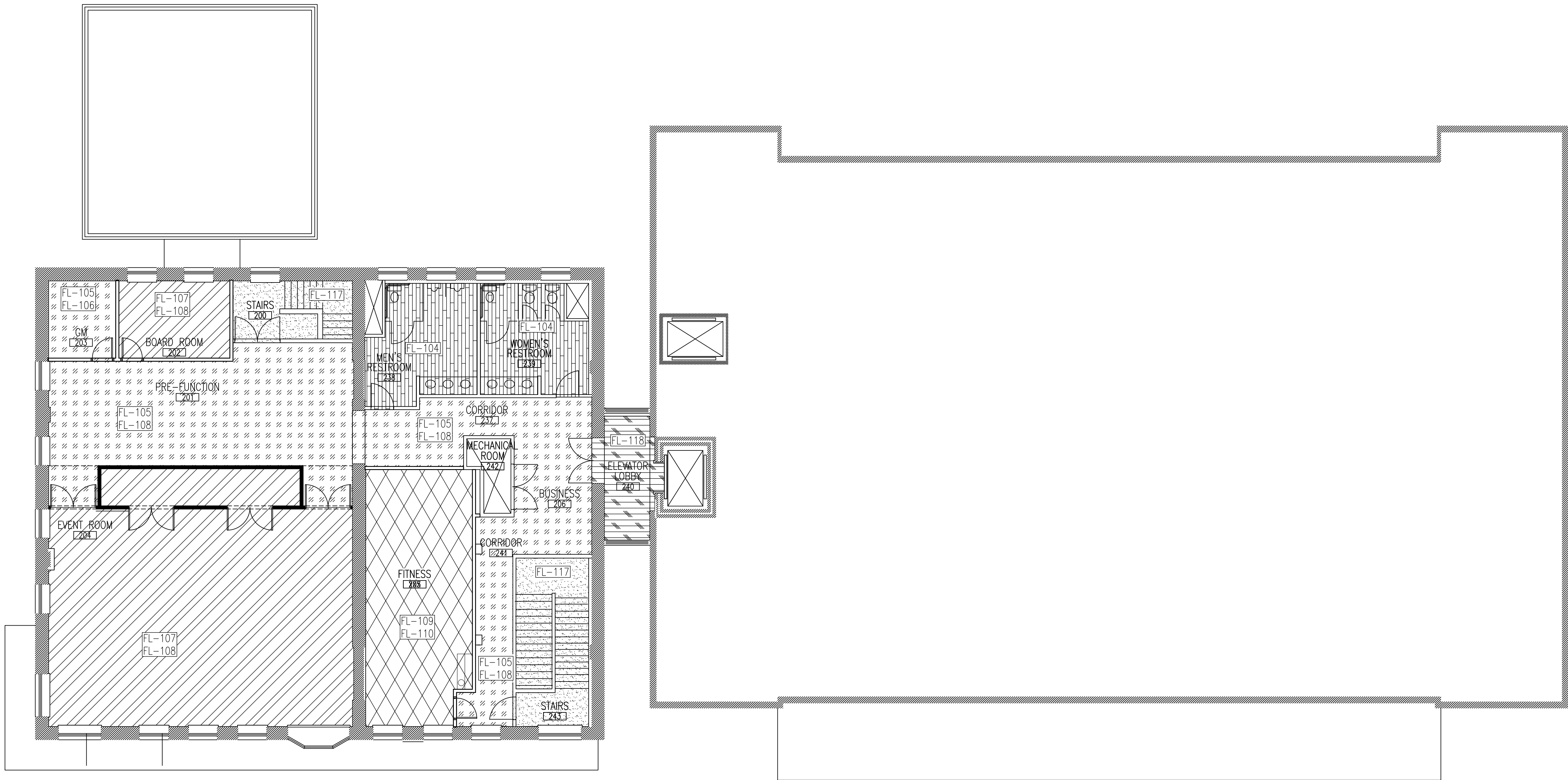
ISSUE DATE:
05.18.2020

ISSUED BY:
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SCALE:
1/8" = 1'-0"

SHEET:

ID5.1



1 FLOOR PATTERN PLAN – SECOND FLOOR
1/8" = 1'-0"

FLOOR PATTERN GENERAL NOTES

FLOOR PATTERN PLAN IS RECOMMENDED TO MEET BEST WESTERN GUIDELINES
FLOORING MIGHT NOT REPRESENT EXACT FLOORING SIZE OR PATTERN. PATTERN IS FOR INSTALLATION CONCEPT ONLY. REFER TO SPECIFICATIONS FOR ALL JOINT DIMENSIONS AND GROUT COLORS.

PROVIDE APPROPRIATE METAL SCHLUTER STRIP BETWEEN ALL FLOORING TRANSITIONS, FINISH DETERMINED BY INTERIOR DESIGNER.

GENERAL CONTRACTOR TO PROVIDE QUANTITIES FOR ALL FLOORING TO INCLUDE PATTERN, REPEAT, OVERAGE AND PATTERN INSTALLATION.

FLOOR PATTERN SCHEDULE

FL-101	LOBBY – FLOOR TILE
FL-102	COFFEE SHOP – FLOOR TILE, 24"x48"
FL-103	BAR/LOUNGE – FLOOR TILE, 24"x24"
FL-104	PUBLIC RESTROOMS – FLOOR TILE, 24"x24"
FL-105	GM OFFICE & MEZZANINE – CARPET TILE, 18"x36"
FL-106	GM OFFICE – RUBBER WALL BASE, 4.25"H
FL-107	BOARDROOM & EVENT CENTER – CARPET TILE, 18"x36"
FL-108	PUBLIC AREAS – RUBBER WALL BASE, 4.25"H
FL-109	FITNESS CENTER – RUBBER FLOORING, 6'x30' ROLL
FL-110	FITNESS CENTER – RUBBER WALL BASE, 4.25"H
FL-111	PUBLIC AREAS – CARPET TILE ADHESIVE (NOT SHOWN ON PLANS)
FL-112	PUBLIC AREAS – WALL BASE ADHESIVE (NOT SHOWN ON PLANS)
FL-113	FITNESS CENTER – ADHESIVE FOR RUBBER FLOORING (NOT SHOWN ON PLANS)
FL-114	FITNESS CENTER – WELD ROD FOR RUBBER FLOORING (NOT SHOWN ON PLANS)
FL-115	LOBBY – ACCENT FLOOR TILE
FL-116	CORRIDORS – (TBD)
FL-117	STAIRWELLS – (TBD)
FL-118	ELEVATOR LOBBY – (TBD)
FL-119	VESTIBULE – (TBD)

FLOOR FINISH LEGEND

FL-101	FL-102
FL-103	FL-104
FL-105	FL-107
FL-109	FL-115
FL-116	FL-117
FL-118	FL-119



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SECOND FLOOR FLOOR PATTERN PLAN

AIDEN SUNSET SUITES RIVERAWLK
1103 E COMMERCE ST
SAN ANTONIO, TX 78205

ISSUED PLANS

NO.	BY	DATE	NOTES
1	INITIALS	XXXXXX	DETAILS HERE

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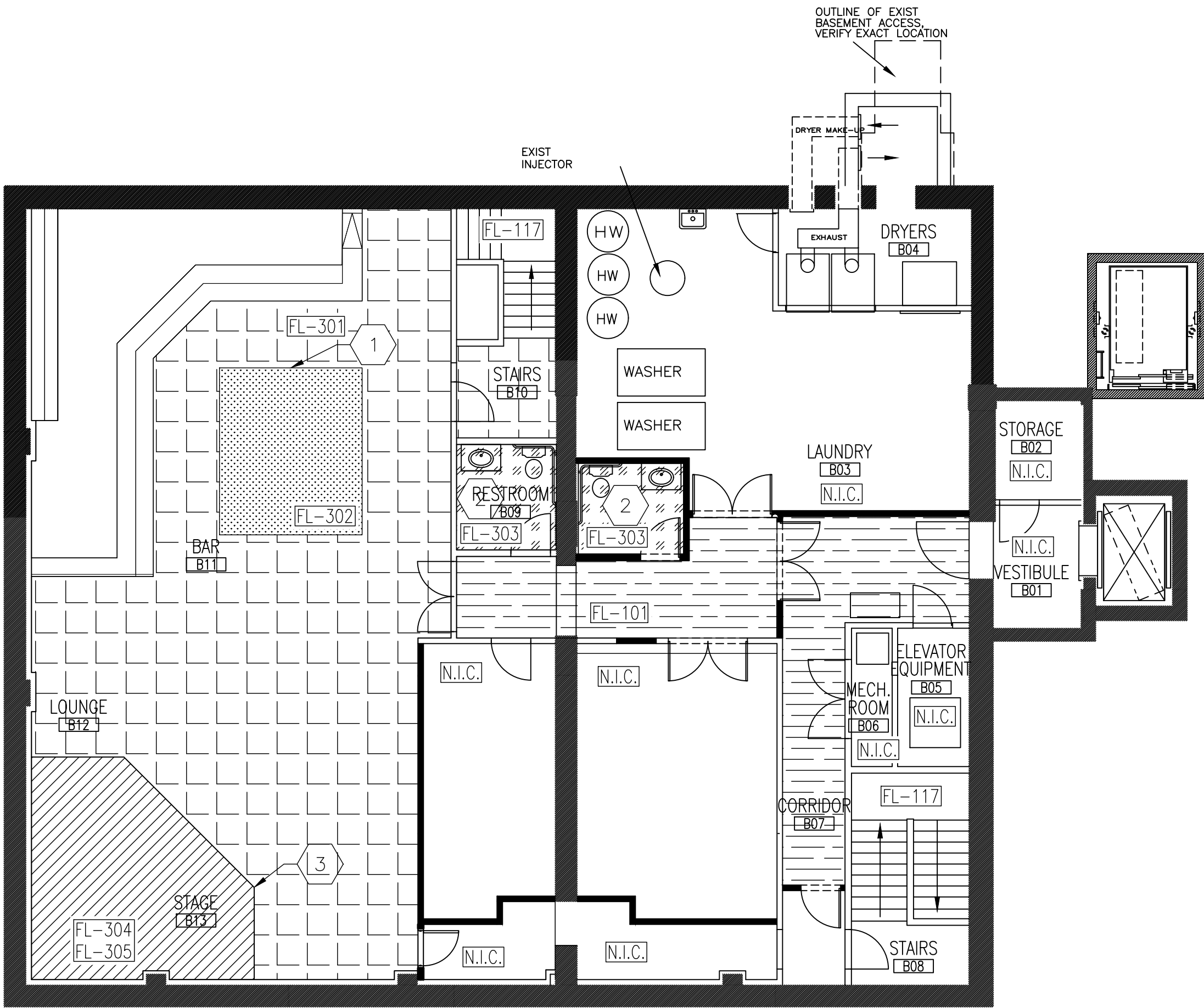
ISSUE DATE:
05.18.2020

ISSUED BY:
J. DEMENNA / K. WEBER

SCALE:
1/8" = 1'-0"

SHEET:

ID5.2



1 FLOOR PATTERN PLAN – BASEMENT
1/8" = 1'-0"

FLOOR PATTERN GENERAL NOTES

FLOOR PATTERN PLAN IS RECOMMENDED TO MEET BEST WESTERN GUIDELINES

FLOORING MIGHT NOT REPRESENT EXACT FLOORING SIZE OR PATTERN. PATTERN IS FOR INSTALLATION CONCEPT ONLY. REFER TO SPECIFICATIONS FOR ALL JOINT DIMENSIONS AND GROUT COLORS.

PROVIDE APPROPRIATE METAL SCHLUTER STRIP BETWEEN ALL FLOORING TRANSITIONS, FINISH DETERMINED BY INTERIOR DESIGNER.

GENERAL CONTRACTOR TO PROVIDE QUANTITIES FOR ALL FLOORING TO INCLUDE PATTERN, REPEAT, OVERAGE AND PATTERN INSTALLATION.

FLOOR PATTERN KEYNOTES

*NOTE: KEYNOTES MAY NOT BE REFERENCED ON ALL PLANS.	
1	PROVIDE METAL SCHLUTER STRIP BETWEEN TILE FLOORING TRANSITIONS (LOCAL PURCHASE) – LOUNGE
2	PROVIDE METAL SCHLUTER STRIP COVE BASE PROFILE FOR FLOOR TILE TO WALL TILE JOINT (LOCAL PURCHASE) – RESTROOMS
3	PROVIDE SLOPED METAL SCHLUTER STRIP, OR APPROVED EQUAL TO FINISH EXPOSED LVT EDGE (LOCAL PURCHASE) – STAGE

FLOOR PATTERN SCHEDULE

FL-301	MAIN FLOORING, LARGE SCALE MOSAIC 24"x24" – SPEAKEASY
FL-302	MOSAIC ACCENT TILE AT BUCKET CHAIRS, 15"x15" – LOUNGE
FL-303	SILHOUETTE MOSAIC TILE, 17.5"x12.25" – RESTROOMS
FL-304	WOOD-LOOK LVT FLOORING (GLUE DOWN APPLICATION) – STAGE
FL-305	LVT ADHESIVE (NOT SHOWN) – STAGE
FL-306	METAL TRANSITION STRIP AT LVT (NOT SHOWN – LOCAL PURCHASE) – STAGE
FL-307	TILE TO TILE EDGE TRANSITION STRIP (NOW SHOWN – LOCAL PURCHASE) – LOUNGE
FL-308	METAL COVE BASE FINISHING STRIP (NOW SHOWN – LOCAL PURCHASE) – RESTROOMS

FLOOR FINISH LEGEND

FL-301	FL-302
FL-303	FL-304/305
FL-101	



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BASEMENT
FLOOR PATTERN PLAN

AIDEN SUNSET SUITES RIVERAWLK
1103 E COMMERCE ST
SAN ANTONIO, TX 78205

ISSUED PLANS		NOTES		DETAILS HERE	
NO.	BY	DATE	INITIALS		
1		XX.XX.XX			

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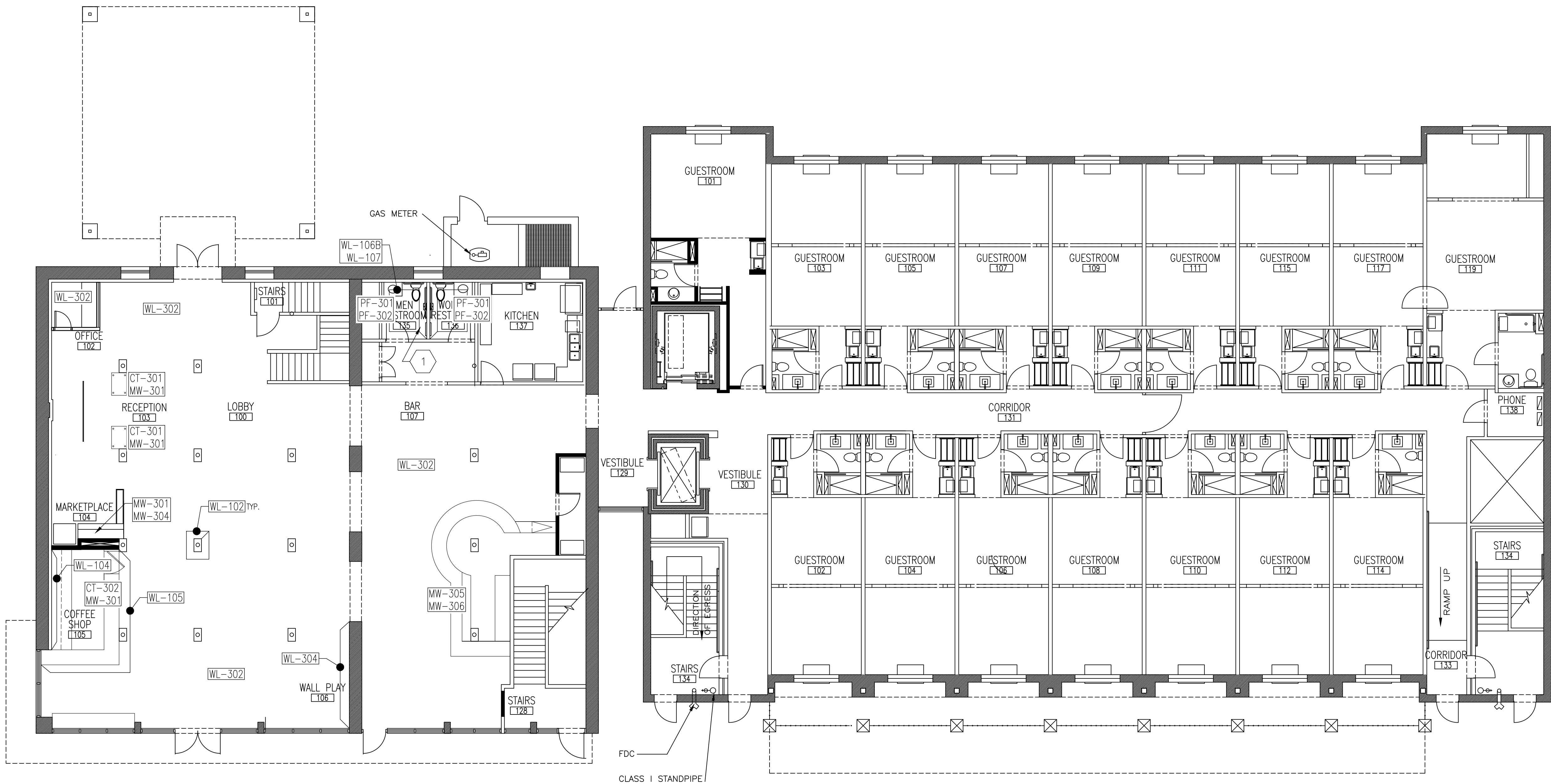
CONTRACT NUMBER:
44502-19-01PA-R2

ISSUE DATE:
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ISSUED BY:
J. DEMENNA / K. WEBER

SCALE:
1/8" = 1'-0"

SHEET:
ID5.3



1 FINISH PLAN – FIRST FLOOR
1/8" = 1'-0"

FINISH GENERAL NOTES

NON-GUEST ROOM DOORS AND DOOR FRAMES:
AS REQUIRED, ALL STAIRWAY, MECHANICAL, ELECTRICAL, AND STORAGE ROOMS MUST HAVE BOTH SIDES OF THE FRAME PAINTED.

GUEST ROOM DOORS AND DOOR FRAMES AS REQUIRED, CORRIDOR SIDE OF DOOR AND FRAME TO COORDINATE WITH CORRIDOR FINISHES AND TRIM. ROOM SIDE OF DOOR AND TRIM MUST COORDINATE WITH ROOM FINISHES AND TRIM.

PAINT SHEENS – THE GUIDELINES FOR SELECTING PAINT SHEENS ARE AS FOLLOWS:
WALLS – EGGSHELL
CEILING – FLAT
TRIM – GLOSS OR SEMI-GLOSS

ALL CEILINGS TO BE PAINTED TAG NUMBER PT- 301, FLAT, AND ALL TRIM TO BE PAINTED TAG NUMBER PT-301 , SEMI-GLOSS, UNLESS NOTED OTHERWISE.

ALL GENERAL WALLS TO BE PAINTED PT- 302, EGGSHELL, UNLESS NOTED OTHERWISE

NOTE: PLEASE REFER TO DESIGN GUIDELINES, FINISH SCHEDULE AND/OR PROJECT SPECIFICATIONS FOR MORE DETAIL.

FINISH KEYNOTES

*NOTE: KEYNOTES MAY NOT BE REFERENCED ON ALL PLANS.

1 MULTIPLE WALL FINISHES. SEE ELEVATION FOR DETAILS.

MILLWORK SCHEDULE

MW-301	PUBLIC AREAS – MILLWORK FINISH
MW-302	PUBLIC AREAS – BLACK METAL SUSPENSION WIRE (NOT SHOWN ON PLANS)
MW-303	LOBBY – INTERIOR GLASS STAIR RAILING (NOT SHOWN ON PLANS)
MW-304	PUBLIC AREAS – METAL ACCENT FINISH
MW-305	BAR/LOUNGE – LIVE-EDGE WOOD & EPOXY FINISH
MW-306	BAR/LOUNGE – MILLWORK FINISH
MW-307	BAR/LOUNGE – BACK OF BAR METAL FINISH (NOT SHOWN ON PLANS)
MW-308	BAR/LOUNGE – BUILT-IN SEATING
MW-309	MARKETPLACE – GRADIENT ACRYLIC PANEL

COUNTERTOP SCHEDULE

CT-301	RECEPTION DESK – QUARTZ COUNTERTOP
CT-302	COFFEE SHOP – QUARTZ COUNTERTOP
CT-303	PUBLIC RESTROOMS – QUARTZ COUNTERTOP

WALL FINISH SCHEDULE

WL-102	LOBBY – PILLAR ACCENT TILE
WL-104	COFFEE SHOP – BACK WALL MOSAIC TILE
WL-105	COFFEE SHOP – MILLWORK FASCIA TILE
WL-106A	WOMEN'S PUBLIC RESTROOMS – WALL TILE
WL-106B	MEN'S PUBLIC RESTROOMS – WALL TILE
WL-107	MEN'S PUBLIC RESTROOMS – WALLCOVERING
WL-108	WOMEN'S PUBLIC RESTROOMS – WALLCOVERING
WL-109	BOARDROOM & EVENT ROOM – WALLCOVERING
WL-110	FITNESS CENTER – WALL GRAPHIC
WL-301	PUBLIC AREAS – CEILING PAINT, PPG1001-1 (NOT SHOWN ON PLANS)
WL-302	PUBLIC AREAS – WALL PAINT, PPG1008-3
WL-303	PUBLIC RESTROOMS – WALL PARTITIONS
WL-304	LOBBY – INTERACTIVE SEQUINS WALL PLAY
WL-305	MEZZANINE, PRE-FUNCTION, & MEZZANINE RESTROOMS – GENERAL WALL PAINT – PPG1002-2
WL-306	FITNESS CENTER – ACCENT CEILING PAINT & WALL PAINT, PPG1011-5
WL-307	MEZZANINE RESTROOMS – ACCENT CEILING & WALL PAINT, PPG1003-7

PLUMBING FIXTURES

PF-301	PUBLIC RESTROOMS – LAVATORY FAUCET
PF-302	PUBLIC RESTROOMS – SINK



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FIRST FLOOR
FINISH PLAN

AIDEN SUNSET SUITES RIVERAWLK
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SAN ANTONIO, TX 78205

ISSUED PLANS

NO.	BY	DATE	NOTES	
			DETAILS	HERE
1		XXXXXX		

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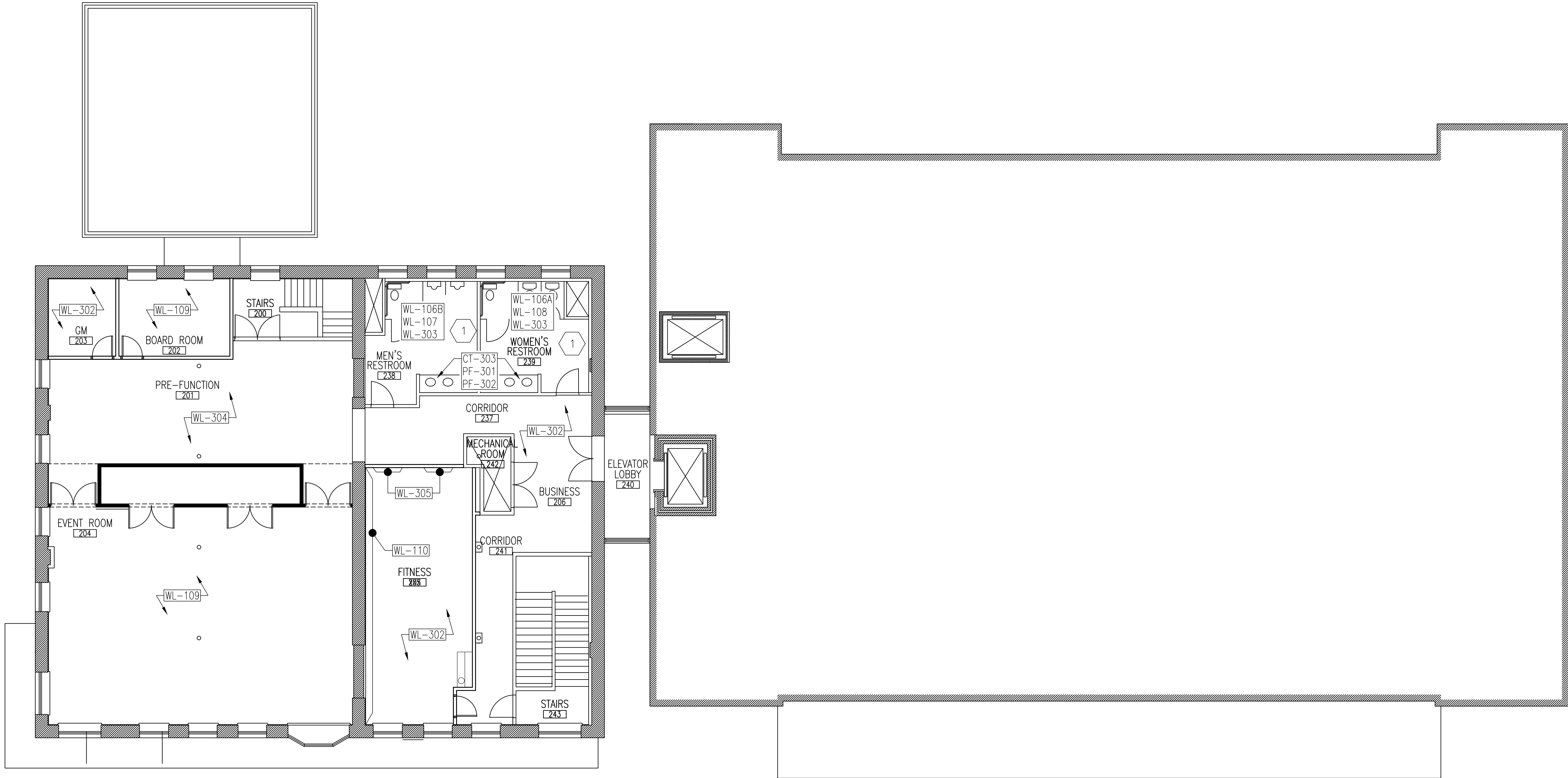
ISSUE DATE:
05.18.2020

ISSUED BY:
J. DEMENNA / K. WEBER

SCALE:
1/8" = 1'-0"

SHEET:

ID6.1



1 FINISH PLAN – SECOND FLOOR
1/8" = 1'-0"

FINISH GENERAL NOTES

NON-GUEST ROOM DOORS AND DOOR FRAMES:
AS REQUIRED, ALL STAIRWAY, MECHANICAL, ELECTRICAL, AND STORAGE ROOMS MUST HAVE BOTH SIDES OF THE FRAME PAINTED.

GUEST ROOM DOORS AND DOOR FRAMES AS REQUIRED, CORRIDOR SIDE OF DOOR AND FRAME TO COORDINATE WITH CORRIDOR FINISHES AND TRIM. ROOM SIDE OF DOOR AND TRIM MUST COORDINATE WITH ROOM FINISHES AND TRIM.

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WALLS – EGGSHELL
CEILING – FLAT
TRIM – GLOSS OR SEMI-GLOSS

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ALL GENERAL WALLS TO BE PAINTED PT- 302, EGGSHELL, UNLESS NOTED OTHERWISE

NOTE: PLEASE REFER TO DESIGN GUIDELINES, FINISH SCHEDULE AND/OR PROJECT SPECIFICATIONS FOR MORE DETAIL.

FINISH KEYNOTES

*NOTE: KEYNOTES MAY NOT BE REFERENCED ON ALL PLANS.	
1	MULTIPLE WALL FINISHES. SEE ELEVATION FOR DETAILS.

MILLWORK SCHEDULE

MW-301	PUBLIC AREAS – MILLWORK FINISH
MW-302	PUBLIC AREAS – BLACK METAL SUSPENSION WIRE (NOT SHOWN ON PLANS)
MW-303	LOBBY – INTERIOR GLASS STAIR RAILING (NOT SHOWN ON PLANS)
MW-304	PUBLIC AREAS – METAL ACCENT FINISH
MW-305	BAR/LOUNGE – LIVE-EDGE WOOD & EPOXY FINISH
MW-306	BAR/LOUNGE – MILLWORK FINISH
MW-307	BAR/LOUNGE – BACK OF BAR METAL FINISH (NOT SHOWN ON PLANS)
MW-308	BAR/LOUNGE – BUILT-IN SEATING
MW-309	MARKETPLACE – GRADIENT ACRYLIC PANEL

COUNTERTOP SCHEDULE

CT-301	RECEPTION DESK – QUARTZ COUNTERTOP
CT-302	COFFEE SHOP – QUARTZ COUNTERTOP
CT-303	PUBLIC RESTROOMS – QUARTZ COUNTERTOP

WALL FINISH SCHEDULE

WL-102	LOBBY – PILLAR ACCENT TILE
WL-104	COFFEE SHOP – BACK WALL MOSAIC TILE
WL-105	COFFEE SHOP – MILLWORK FASCIA TILE
WL-106A	WOMEN'S PUBLIC RESTROOMS – WALL TILE
WL-106B	MEN'S PUBLIC RESTROOMS – WALL TILE
WL-107	MEN'S PUBLIC RESTROOMS – WALLCOVERING
WL-108	WOMEN'S PUBLIC RESTROOMS – WALLCOVERING
WL-109	BOARDROOM & EVENT ROOM – WALLCOVERING
WL-110	FITNESS CENTER – WALL GRAPHIC
WL-301	PUBLIC AREAS – CEILING PAINT, PPG1001-1 (NOT SHOWN ON PLANS)
WL-302	PUBLIC AREAS – WALL PAINT, PPG1008-3
WL-303	PUBLIC RESTROOMS – WALL PARTITIONS
WL-304	LOBBY – INTERACTIVE SEQUINS WALL PLAY
WL-305	MEZZANINE, PRE-FUNCTION, & MEZZANINE RESTROOMS – GENERAL WALL PAINT – PPG1002-2
WL-306	FITNESS CENTER – ACCENT CEILING PAINT & WALL PAINT, PPG1011-5
WL-307	MEZZANINE RESTROOMS – ACCENT CEILING & WALL PAINT, PPG1003-7

PLUMBING FIXTURES

PF-301	PUBLIC RESTROOMS – LAVATORY FAUCET
PF-302	PUBLIC RESTROOMS – SINK



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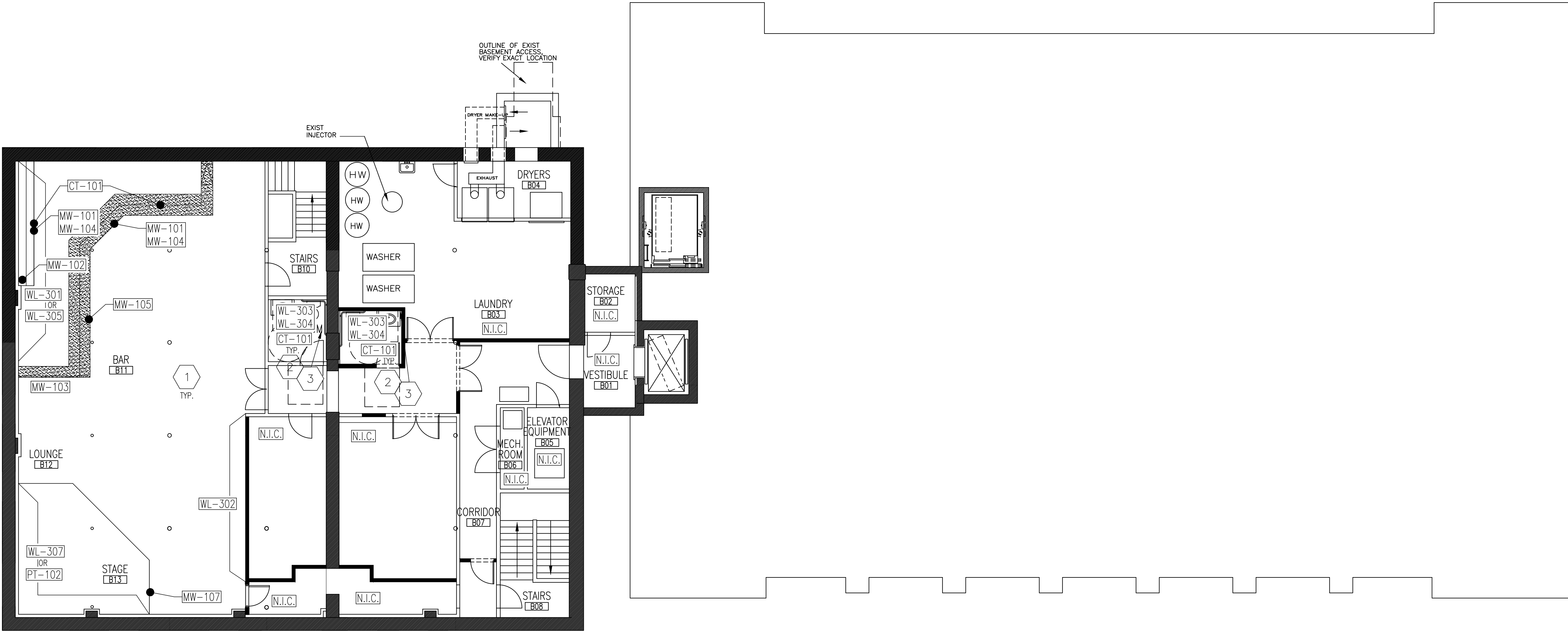
SECOND FLOOR
FINISH PLAN

AIDEN SUNSET SUITES RIVERAWLK
1103 E COMMERCE ST
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ISSUED PLANS	NO.	BY	DATE	NOTES	DETAILS HERE				
		INITIALS	XXXXXX						
	1								

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CONTRACT NUMBER: 44502-19-01PA-R2
ISSUE DATE: 05.18.2020
ISSUED BY: J. DEMENNA / K. WEBER
SCALE: 1/8" = 1'-0"
SHEET:



1 FINISH PLAN – BASEMENT
1/8" = 1'-0"

FINISH GENERAL NOTES

NON-GUEST ROOM DOORS AND DOOR FRAMES:
AS REQUIRED, ALL STAIRWAY, MECHANICAL, ELECTRICAL, AND STORAGE ROOMS MUST HAVE BOTH SIDES OF THE FRAME PAINTED.

GUEST ROOM DOORS AND DOOR FRAMES AS REQUIRED, CORRIDOR SIDE OF DOOR AND FRAME TO COORDINATE WITH CORRIDOR FINISHES AND TRIM; ROOM SIDE OF DOOR AND TRIM MUST COORDINATE WITH ROOM FINISHES AND TRIM.

PAINT SHEENS – THE GUIDELINES FOR SELECTING PAINT SHEENS ARE AS FOLLOWS:
WALLS – EGGSHELL
CEILING – FLAT
TRIM – GLOSS OR SEMI-GLOSS

ALL CEILINGS TO BE PAINTED TAG NUMBER PT- 301, FLAT, AND ALL TRIM TO BE PAINTED TAG NUMBER PT-301 , SEMI-GLOSS, UNLESS NOTED OTHERWISE.

ALL GENERAL WALLS TO BE PAINTED PT- 101, EGGSHELL, UNLESS NOTED OTHERWISE

NOTE: PLEASE REFER TO DESIGN GUIDELINES, FINISH SCHEDULE AND/OR PROJECT SPECIFICATIONS FOR MORE DETAIL.

FINISH KEYNOTES	
*NOTE: KEYNOTES MAY NOT BE REFERENCED ON ALL PLANS.	
1	MULTIPLE WALL FINISHES. SEE ELEVATION FOR DETAILS.
2	PROVIDE METAL SCHLUTER FINISHING STRIP AT UNFINISHED WALL TILE EDGE, APPROX. 60"H (LOCAL PURCHASE).
3	MAIN WALL PAINT PT-101; TYPICAL THROUGHOUT SPEAKEASY U.N.O..

MILLWORK SCHEDULE	
MW-101	PUBLIC AREAS – MILLWORK FINISH
MW-102	PUBLIC AREAS – BLACK METAL SUSPENSION WIRE (NOT SHOWN ON PLANS)
MW-103	LOBBY – INTERIOR GLASS STAIR RAILING (NOT SHOWN ON PLANS)
MW-104	PUBLIC AREAS – METAL ACCENT FINISH
MW-105	BAR/LOUNGE – LIVE-EDGE WOOD & EPOXY FINISH
MW-106	BAR/LOUNGE – MILLWORK FINISH
MW-107	BAR/LOUNGE – BACK OF BAR METAL FINISH (NOT SHOWN ON PLANS)

COUNTERTOP SCHEDULE	
CT-101	BAR & RESTROOM VANITY – QUARTZ COUNTERTOP

PAINT SCHEDULE	
PT-101	MAIN WALL PAINT, SHEEN: EGGSHELL (LOCAL PURCHASE) – BAR/LOUNGE
PT-102	ACCENT WALL PAINT, SHEEN: EGGSHELL (LOCAL PURCHASE – OPTION 1) – STAGE

WALL FINISH SCHEDULE	
WL-101	ETCHED ANTIQUE MIRROR AT BACKSPLASH (LOCAL PURCHASE – OPTION 1)
WL-102	CUSTOM WALLCOVERING – LOUNGE
WL-103	WALL TILE (60"AFF – SEE ELEVATION) – RESTROOMS
WL-104	TEXTURED WALL TILE (SEE ELEVATION) – RESTROOMS
WL-105	METALLIC 3X6 SUBWAY TILE AT BACKSLASH – BAR (OPTION 2)
WL-106	DECORATIVE CEILING TILE (SEE RCP) – MAIN CEILING FINISH
WL-107	ANTIQUE MIRROR BEHIND STAGE DRAPERY (LOCAL PURCHASE OPTION 2) – STAGE

BASEMENT
FINISH PLAN

AIDEN SUNSET SUITES RIVERAWLK
1103 E COMMERCE ST
SAN ANTONIO, TX 78205

ISSUED PLANS		BY	DATE	NOTES	DETAILS HERE				
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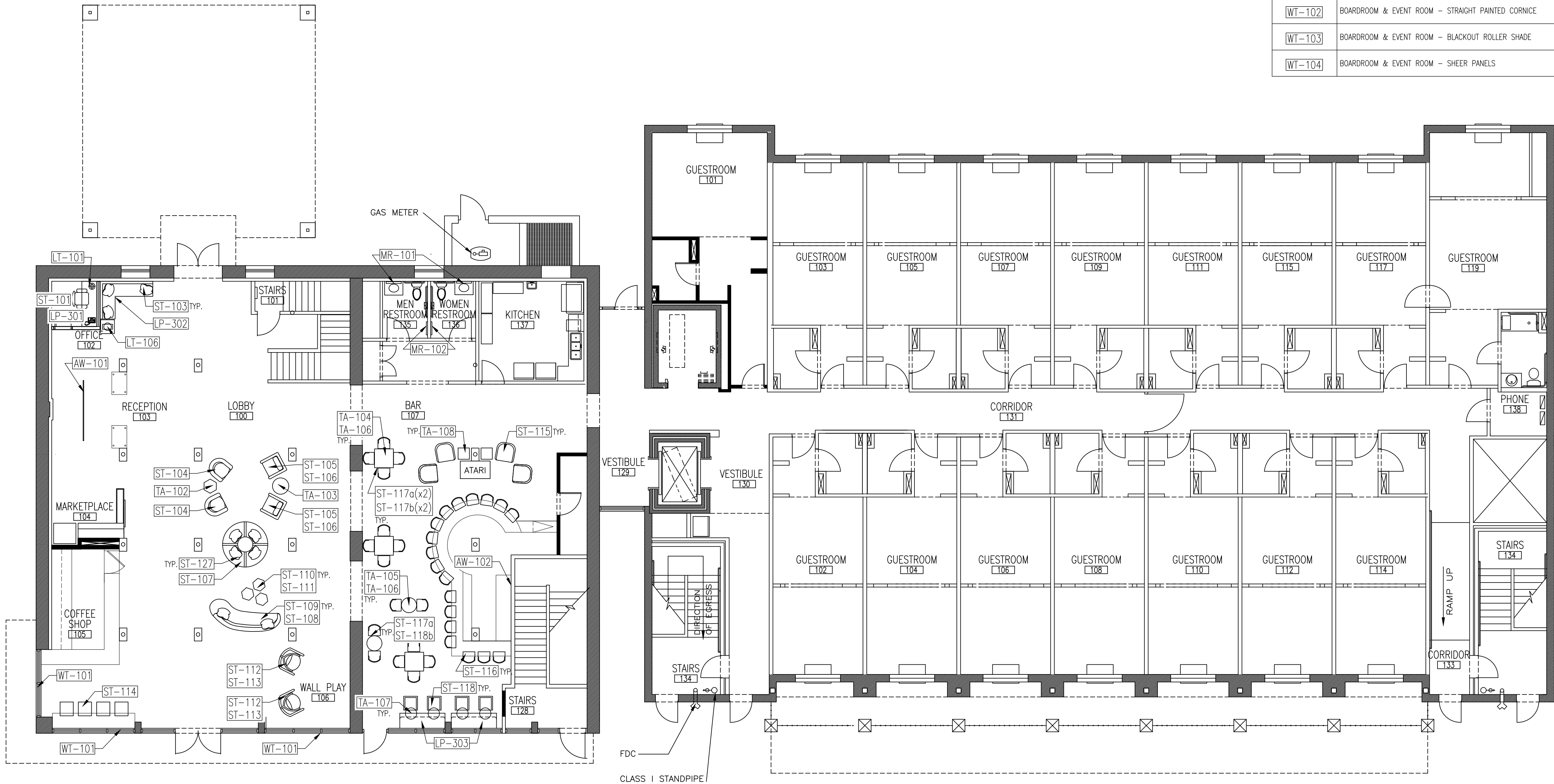
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SHEET:



FURNITURE SCHEDULE CONT.	
TA-101	LOBBY - END TABLE
TA-102	LOBBY - HEXAGON TABLE AT SWIVEL CHAIRS
TA-103	LOBBY - SIDE TABLE AT LARGE LOUNGE CHAIRS
TA-104	BAR/LOUNGE - SQUARE DINING TABLE TOP, 30"X30"
TA-105	BAR/LOUNGE - ROUND DINING TABLE TOP, 24"DIA.
TA-106	BAR/LOUNGE - DINING TABLE BASE
TA-107	BAR/LOUNGE - ACCENT TABLE AT BUILT-IN SEATING
TA-108	BAR/LOUNGE - DRINK TABLE AT SWIVEL CHAIRS
TA-109	BOARDROOM - MEETING TABLE
TA-110	EVENT ROOM - 60"DIA. BANQUET TABLE
TA-111	PRE-FUNCTION - SIDE TABLE
TA-112	PRE-FUNCTION - COCKTAIL TABLE
TA-113	BUSINESS CENTER - DESK
WT-101	LOBBY - DRAPERY PANELS
WT-102	BOARDROOM & EVENT ROOM - STRAIGHT PAINTED CORNICE
WT-103	BOARDROOM & EVENT ROOM - BLACKOUT ROLLER SHADE
WT-104	BOARDROOM & EVENT ROOM - SHEER PANELS

FURNITURE GENERAL NOTES	
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NOTE: PLEASE REFER TO DESIGN GUIDELINES, FINISH SCHEDULE AND/OR PROJECT SPECIFICATIONS FOR MORE DETAIL.	
FURNITURE SCHEDULE	
AW-101	RECEPTION DESK - WIRE HUNG BACKLIT PANEL (TBD)
AW-102	BAR/LOUNGE - BACK OF BAR ARTWORK (TBD)
AW-1XX	CORRIDOR - ARTWORK (TBD)
LT-101	GM OFFICE - TASK LAMP
LT-106	LOBBY - TABLE LAMP
LT-113	BUSINESS CENTER - TASK LAMP
MR-101	PUBLIC RESTROOMS - VANITY MIRROR
MR-102	PUBLIC RESTROOMS - FULL LENGTH MIRROR
ST-101	GM OFFICE & BUSINESS CENTER - TASK CHAIR
ST-102a	LOBBY - BUILT-IN SEATING UPHOLSTERY FOR LP-302, BACK UPH (NOT SHOWN ON PLANS)
ST-102b	LOBBY - BUILT-IN SEATING UPHOLSTERY FOR LP-302, SEAT UPH (NOT SHOWN ON PLANS)
ST-103	LOBBY - THROW PILLOWS FOR BUILT-IN SEATING
ST-104	LOBBY - SWIVEL CHAIR WITH ACCENT PILLOW
ST-105	LOBBY - LARGE LOUNGE CHAIR
ST-106	LOBBY - BOLSTER PILLOW FOR LARGE LOUNGE CHAIR
ST-107	LOBBY - CIRCULAR BENCH
ST-108	LOBBY - CURVED SOFA
ST-109	LOBBY - THROW PILLOWS FOR CURVED SOFA
ST-110	LOBBY - HEXAGON OTTOMAN #1 (WHITE)
ST-111	LOBBY - HEXAGON OTTOMAN #2 (BLACK)
ST-112	LOBBY - INDOOR SWING
ST-113	LOBBY - THROW PILLOW FOR INDOOR SWING
ST-114	COFFEE SHOP - BARSTOOL
ST-115	BAR/LOUNGE - SWIVEL CHAIR
ST-116	BAR/LOUNGE - BARSTOOL
ST-117a	BAR/LOUNGE - DINING CHAIR (BLACK & WHITE UPH)
ST-117b	BAR/LOUNGE - DINING CHAIR (PURPLE UPH)
ST-118	BAR/LOUNGE - DINING CHAIR AT BUILT-IN SEATING
ST-119	BAR/LOUNGE - UPHOLSTERY FOR BUILT-IN SEATING (NOT SHOWN ON PLANS)
ST-120	GM OFFICE - GUEST SIDE CHAIR
ST-121	BOARDROOM - ERGO CHAIR
ST-122	EVENT ROOM - STACKABLE CHAIR
ST-123	PRE-FUNCTION - BENCH
ST-124	PRE-FUNCTION - LOUNGE CHAIR
ST-125	PRE-FUNCTION - SOFA (PURPLE UPH)
ST-126	PRE-FUNCTION - SOFA (GREEN UPH)
ST-127	LOBBY - THROW PILLOW AT CIRCULAR BENCH
LP-301	GM OFFICE - DESK, 1ST FLOOR LOBBY
LP-302	LOBBY - BUILT-IN SEATING AT NORTH ENTRANCE
LP-303	BAR/LOUNGE - BUILT-IN SEATING AT WINDOW
LP-304	GM OFFICE - L-SHAPED DESK, MEZZANINE LEVEL
LP-305	FITNESS CENTER - FRAMED MIRROR

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FIRST FLOOR
FURNITURE PLAN

AIDEN SUNSET SUITES RIVERAWLK
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ISSUED PLANS		NO.	BY	DATE	NOTES
		1		XX.XX.XX	DETAILS HERE

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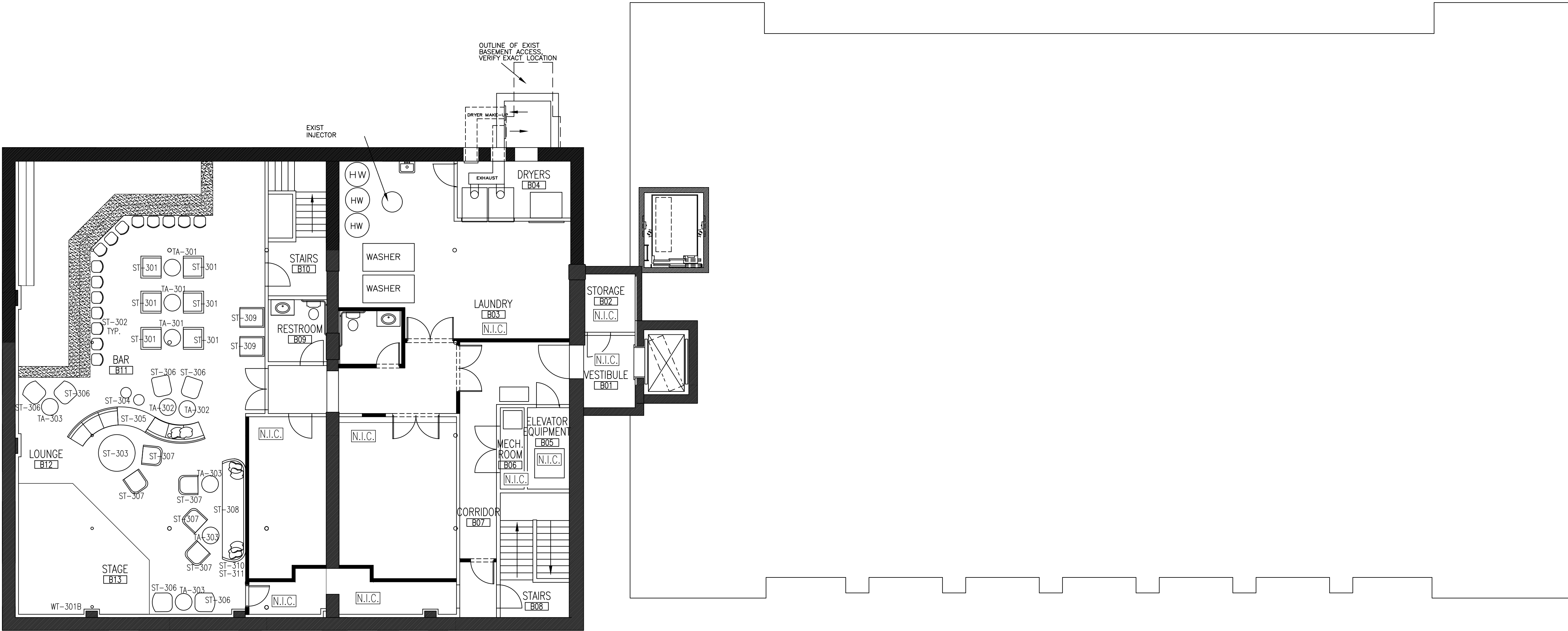
SHEET:

ID7.1

1 FURNITURE PLAN - FIRST FLOOR
SCALE : 1/8"=1'-0"



ID7.2



1 FURNITURE PLAN -- BASEMENT
SCALE : 1/8"=1'-0"

FURNITURE
GENERAL NOTES

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FURNITURE SCHEDULE

AW-301	SPEAKEASY ARTWORK (TBD)
AW-302	SPEAKEASY ARTWORK (TBD)
MR-301	VANITY MIRROR - SPEAKEASY RESTROOMS
ST-301	ROLLED LEATHER STYLE BUCKET CHAIR - BAR/LOUNGE
ST-302	BARSTOOL - BAR
ST-303	OVERSIZED OTTOMAN 60"DIA. X 20"H - LOUNGE
ST-304	ULL OTTOMAN, 16.5"DIA. X 20"H - LOUNGE
ST-305	SERPENTINE DOUBLE-SIDED SOFA - LOUNGE
ST-306	LOUNGE CHAIR (1) ARMLESS - LOUNGE
ST-307	LOUNGE CHAIR (2) WING - LOUNGE
ST-308	LARGE CURVED SOFA - LOUNGE
ST-309	WINGED BACK CLUB CHAIR - BAR/ENTRY
ST-310	PILLOW FOR CURVED LOUNGE (1) 18" X 18"
ST-311	PILLOW FOR CURVED LOUNGE (2) 18"X 18"
TA-301	BUCKET CHAIR ACCENT TABLE - BAR
TA-302	ACCENT TABLE (1) 28"DIA. X 26"H - LOUNGE
TA-303	ACCENT TABLE (2) 26"DIA.X 25"H - LOUNGE
WT-301A	DRAPERY PANELS (FABRIC OPTION 1 - NOT SHOWN) - STAGE
WT-301B	DRAPERY PANELS (FABRIC OPTION 2) - STAGE



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BASEMENT
FURNITURE PLAN

AIDEN SUNSET SUITES RIVERAWLK
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NO.	BY	DATE	NOTES
1	INITIALS	XXXXXX	DETAILS HERE

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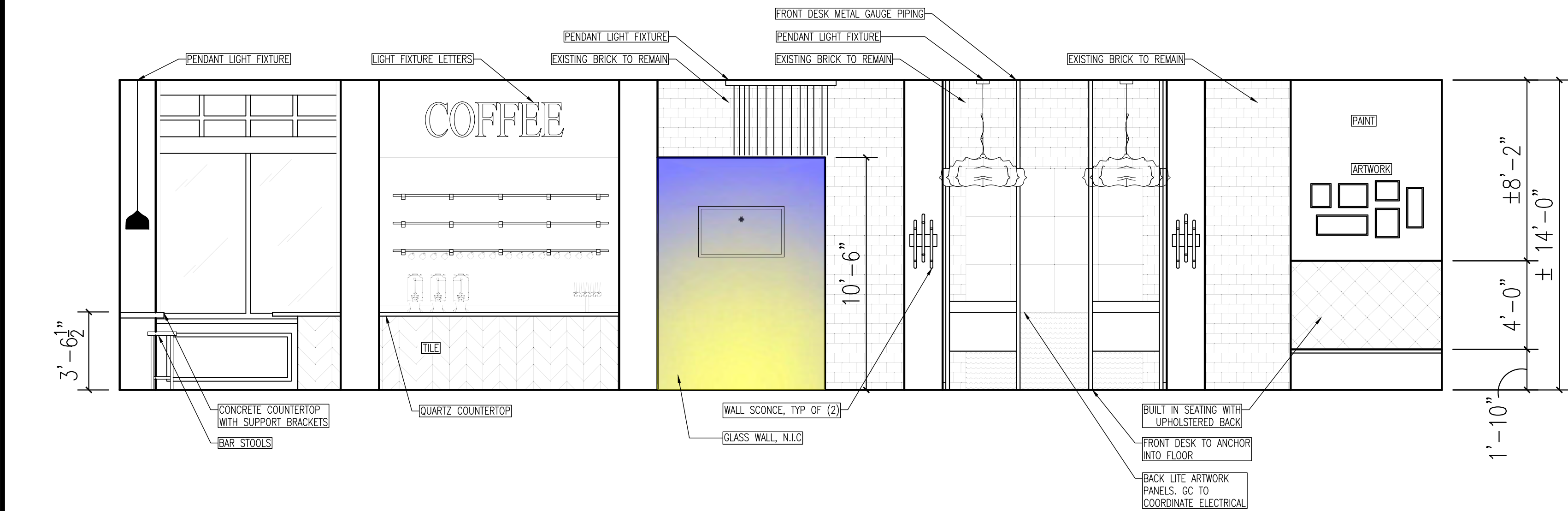
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1/8" = 1'-0"

SHEET:

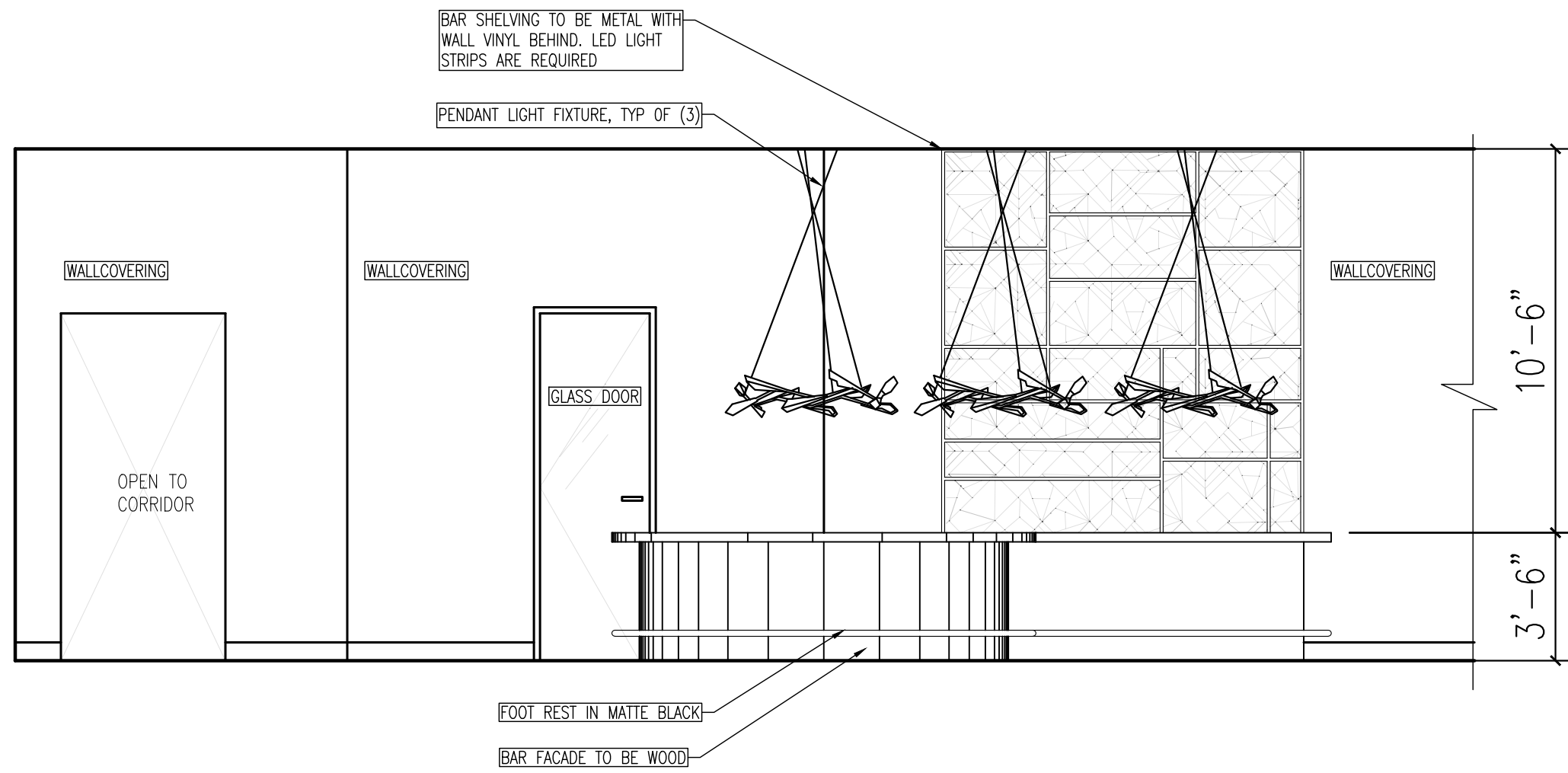
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INTERIOR ELEVATIONS

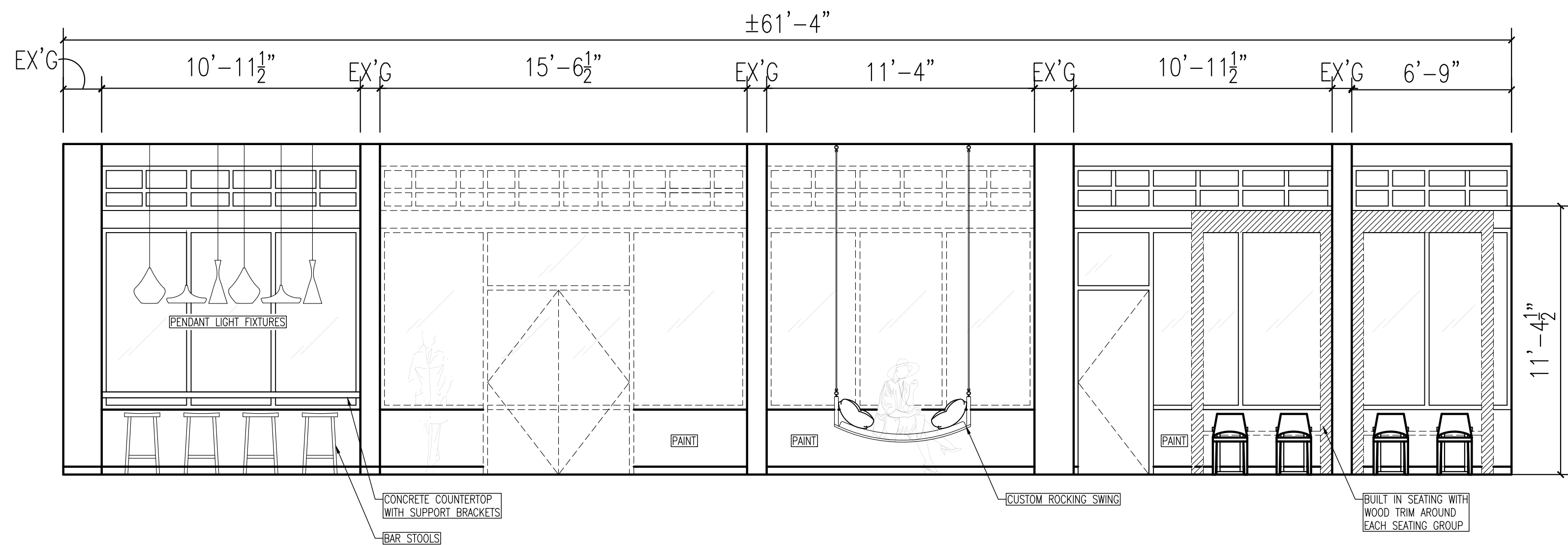
AIDEN SUNSET SUITES RIVERAWLK
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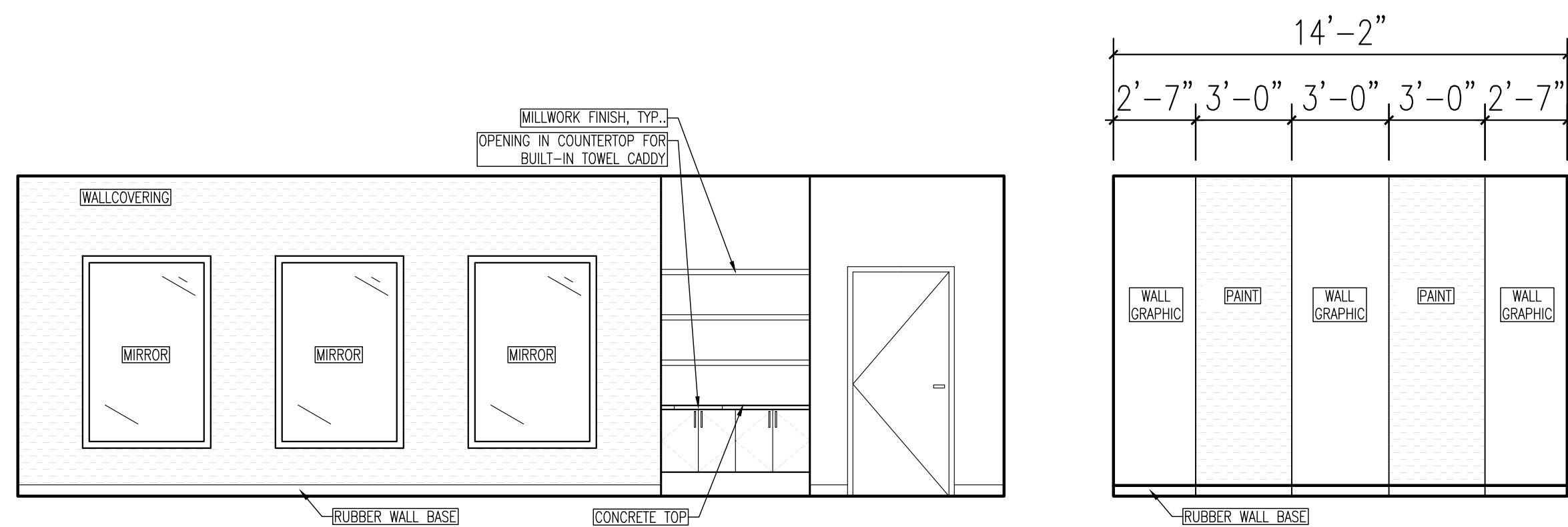
A SERVICE ELEVATION
1/4"=1'-0"



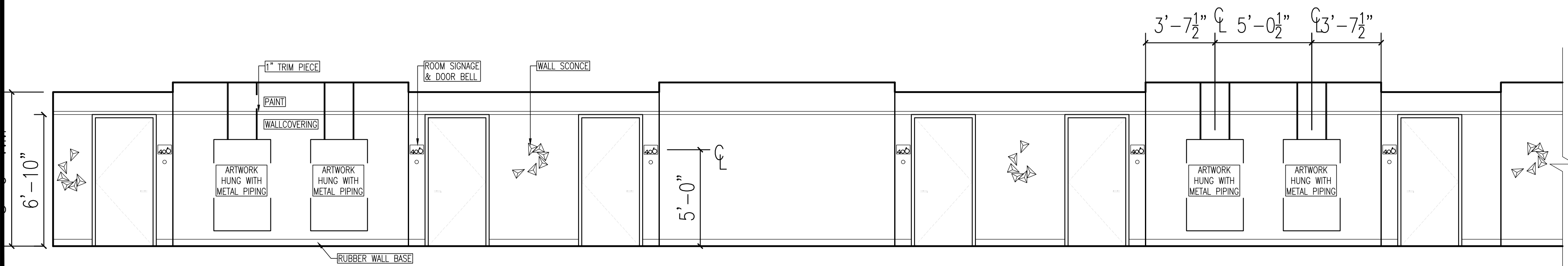
C BAR ELEVATION
1/4"=1'-0"



B ENTRY ELEVATION
1/4"=1'-0"



E FITNESS CENTER ELEVATION
1/4"=1'-0"



G TYPICAL GUEST CORRIDOR ELEVATION
1/4"=1'-0"



D FIRST FLOOR PUBLIC RESTROOM ELEVATION
1/4"=1'-0"

ISSUED PLANS

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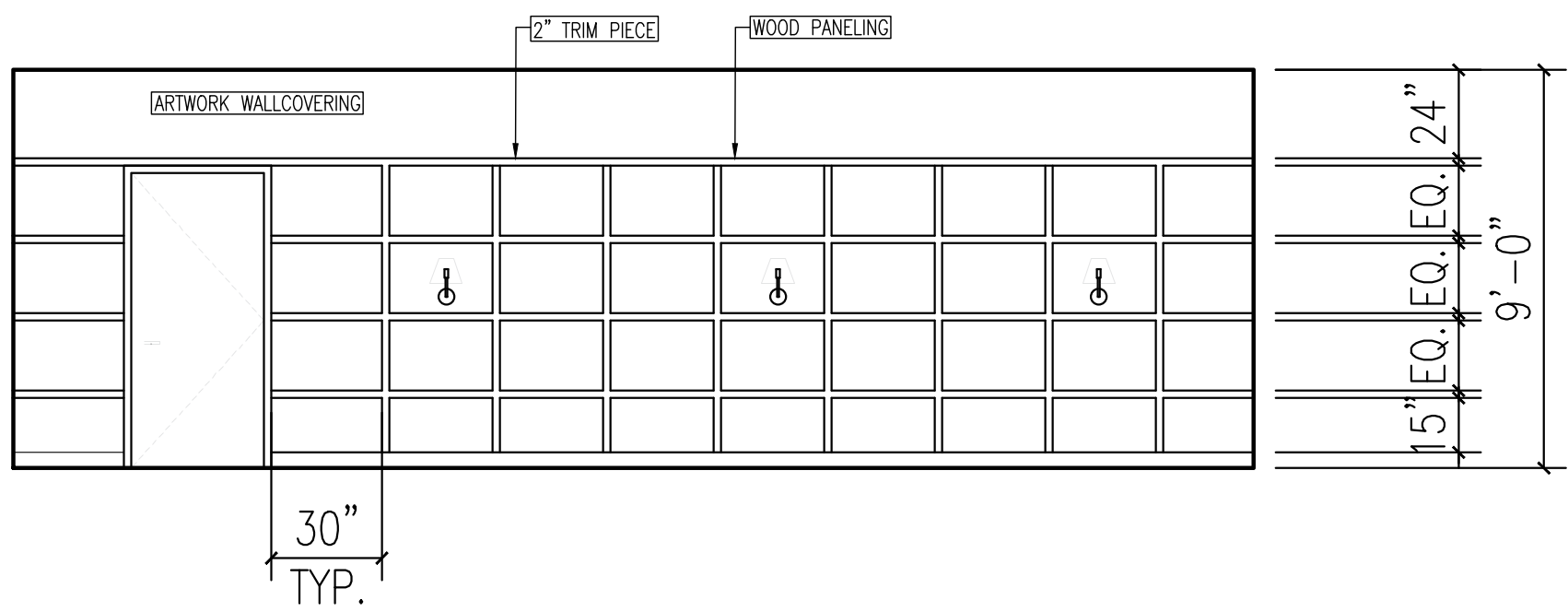
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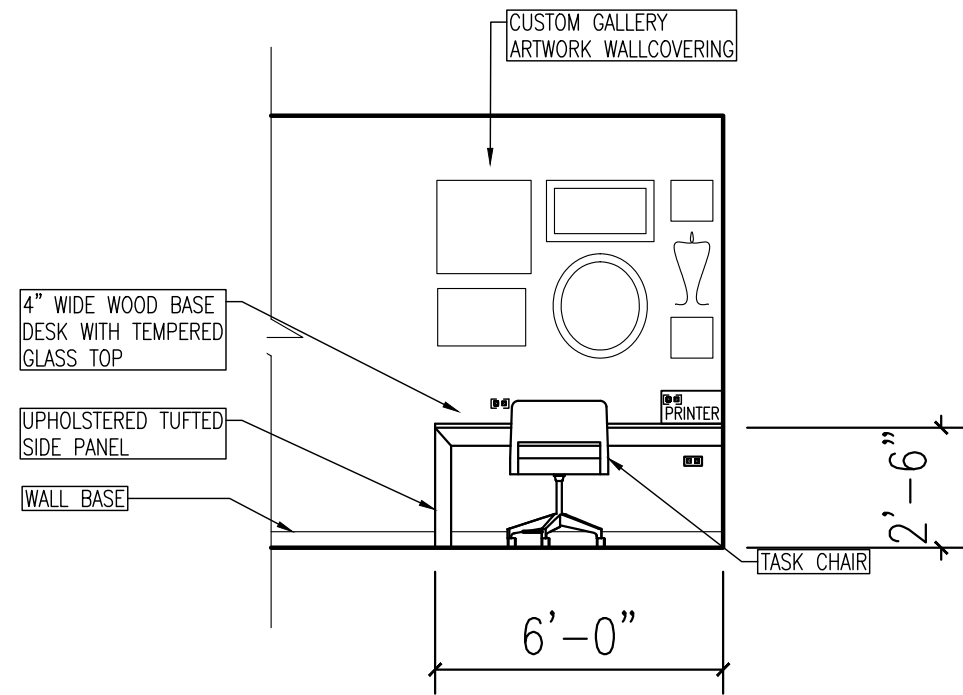
SCALE:
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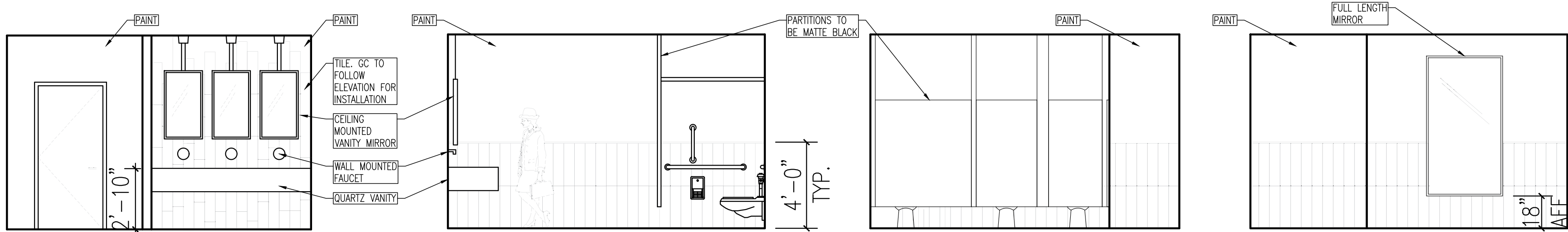
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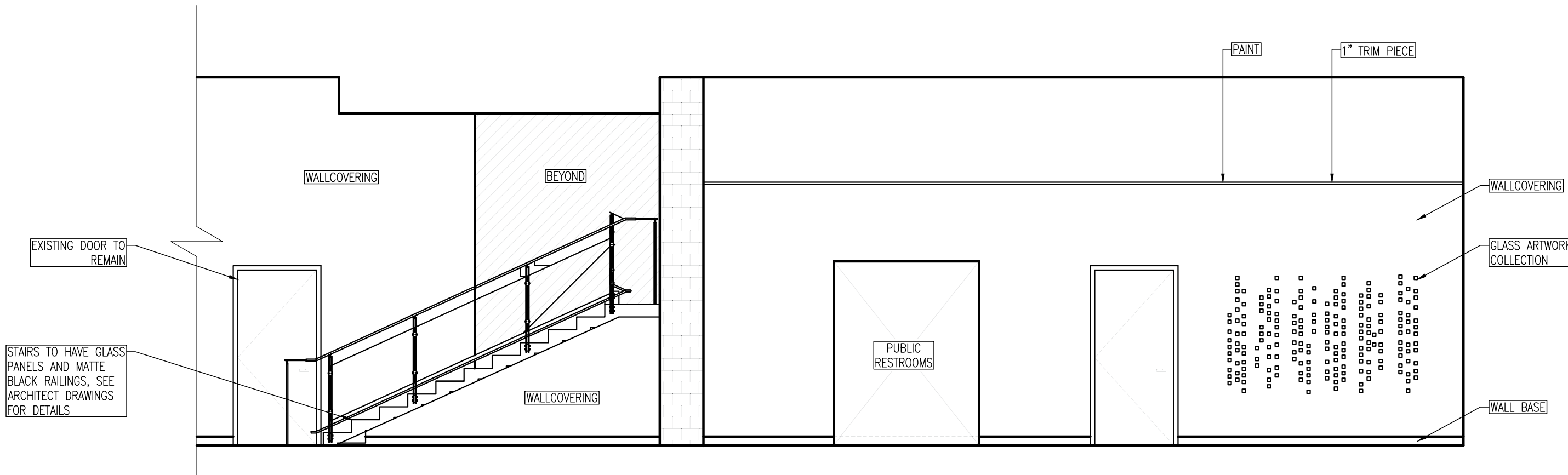
H TYPICAL MEETING ROOM WALL (EAST & WEST WALL)
1/4"=1'-0"



I BUSINESS CENTER - SECOND FLOOR
1/4"=1'-0"



J PUBLIC RESTROOM - SECOND FLOOR (WOMEN'S & MEN'S)
1/4"=1'-0"



K LOBBY
1/4"=1'-0"

INTERIOR ELEVATIONS

AIDEN SUNSET SUITES RIVERAWLK
1103 E COMMERCE ST
SAN ANTONIO, TX 78205

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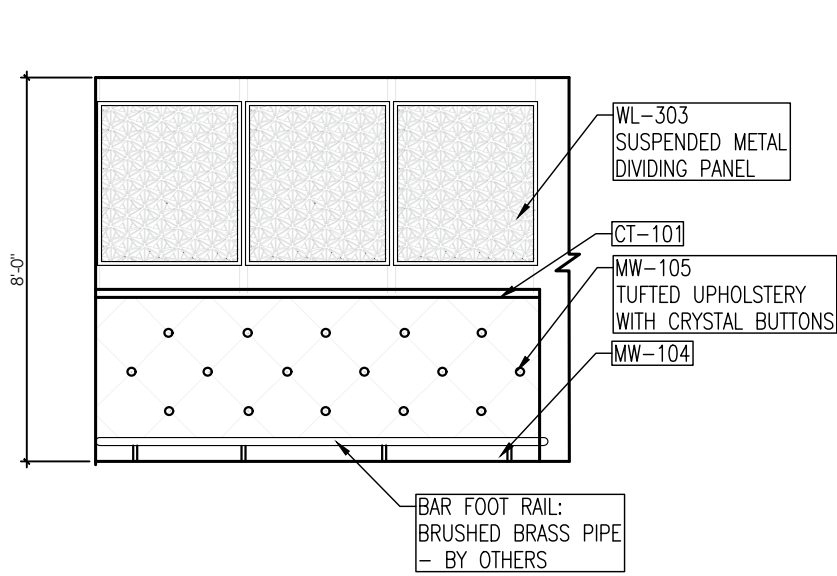
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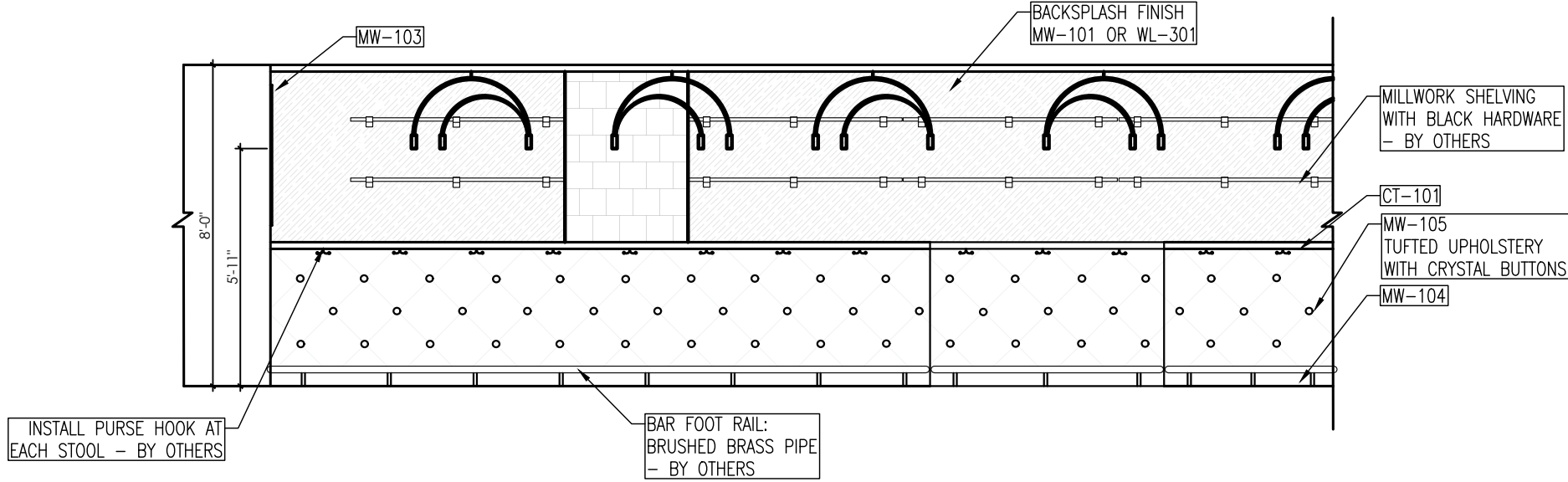
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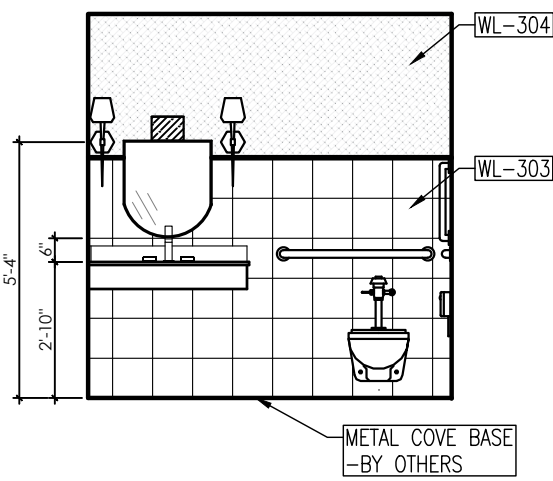
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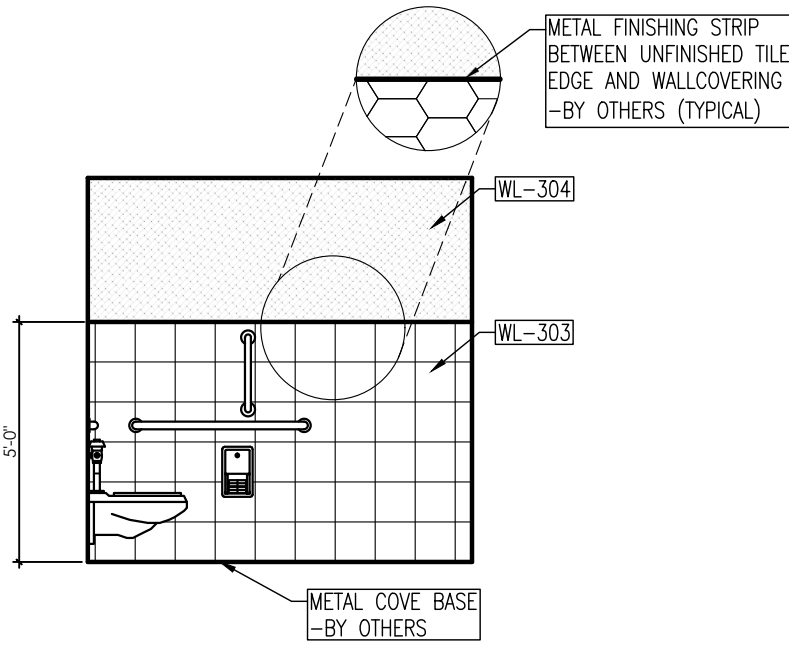
3 BAR DIVIDER PANEL ELEVATION
1/4"=1'-0"



1 BAR ELEVATION
1/4"=1'-0"



4 TYPICAL PUBLIC RESTROOM ELEVATION
1/4"=1'-0"



2 TYPICAL PUBLIC RESTROOM ELEVATION
1/4"=1'-0"

INTERIOR ELEVATIONS

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by **BEST WESTERN**

44502 Aiden Sunset Suites Riverwalk

San Antonio, TX

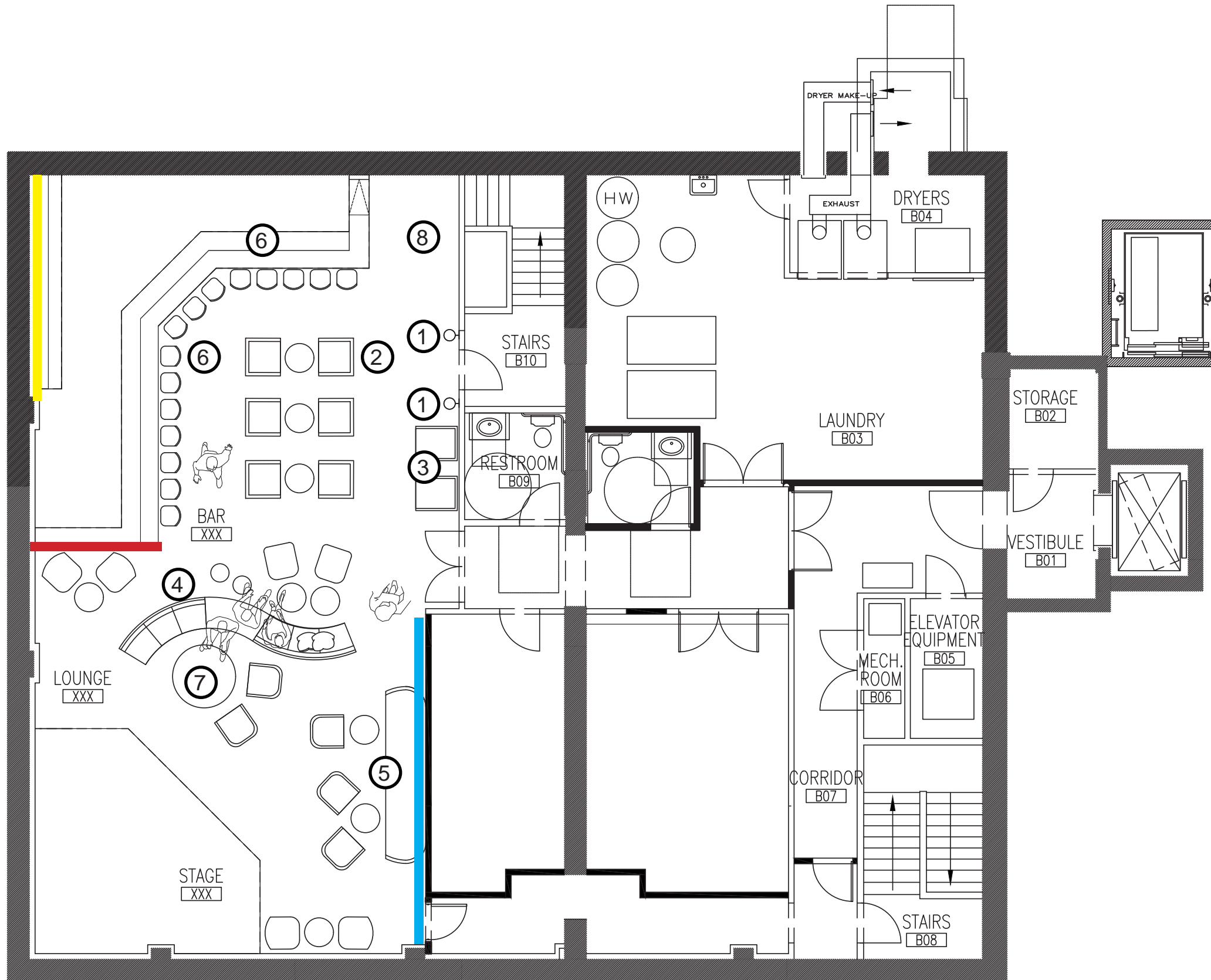
44502-19-02PA-R2

SpeakEasy Design Development

DESIGNER CONTACT:

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NAME: KAYLA WEBER
TITLE: INTERIOR DESIGNER
PHONE: 602-957-5992
EMAIL: KAYLA.WEBER@BESTWESTERN.COM



Keynote Legend

- ① Wall Sconce
- ② Bucket Chair with Accent Table
- ③ Wing Back Chair
- ④ Serpentine Sofa, Lounge Chairs & Accent Tables
- ⑤ Oversized Curved Sofa, Lounge Chair & Accent Tables
- ⑥ Barstools & Lighting
- ⑦ Oversized Ottoman
- ⑧ Main Flooring

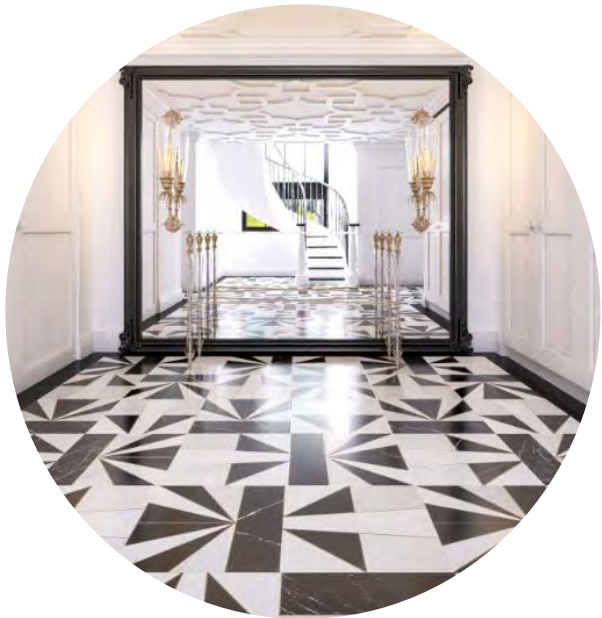
Artwork Legend

- Decorative Wall Panel, MW-103
- Etched Antique Mirror, WL-101
- Custom Wallcovering, WL-102

SpeakEasy Bar
Scale:NTS



Lounge / Bar
Main Flooring, 24"x24"



Lounge / Bar
Main Flooring, 24"x24"
Install Image

FL-301



Bar/Lounge
Pendant Light Fixture
Size:11.02"Dia. x 12.6"H



Bar
Bar Stool & Textured
Vinyl Uph.

ST-302 / UPH-303

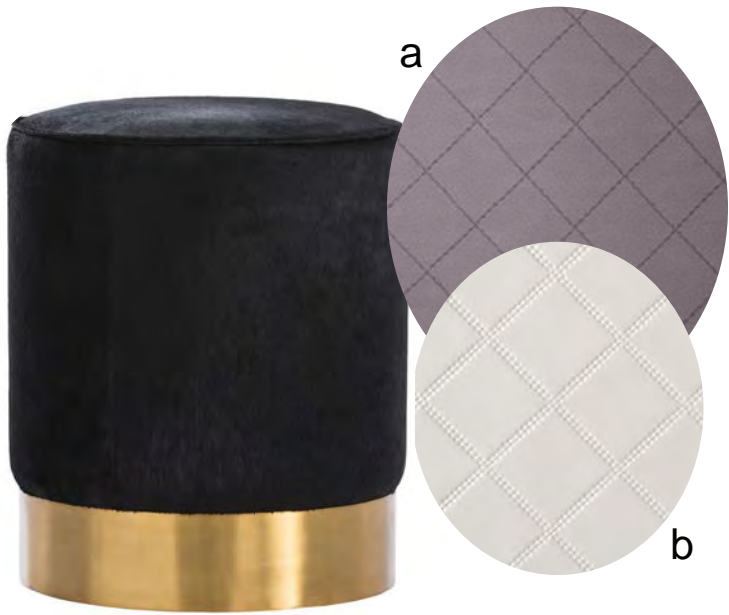


Bar
Rolled Leather Style
Bucket Chair

ST-301 / UPH-302



Bar
Bucket Chair Accent Table



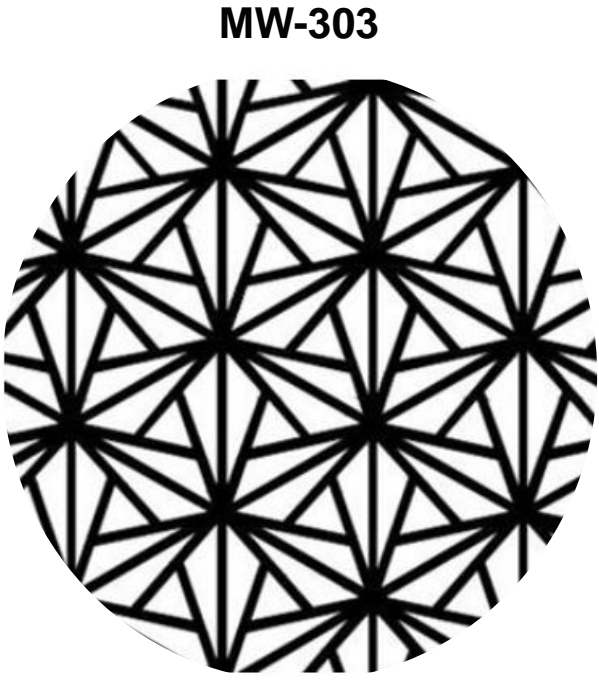
Bar/Lounge
a.) Oversized Ottoman and
b.) Sm Ottoman Style
w/Quilted Vinyl Uph.
ST-303 & ST-304
UPH-304 & UPH-313



Bar
Back Bar Inspiration Image



Bar
Shelving Inspiration Image
w/Hardware [Local Purchase]



Bar (Side) Black Metallic
Metal Decorative Divider Panel



Bar
Lighting Option a



Bar
Etched Antique Mirror
Backsplash [Local Purchase]



Bar
Millwork Finish
[Local Purchase]



Bar
Tufted Upholstery
Face Front w/Crystal Buttons



Bar
Lighting Option b

WL-301

MW-304

MW-305 / UPH-301

LT-303

ST-305



Lounge
Serpentine Sofa - Double Sided

ST-306 / UPH-307



Lounge
Lounge Chair (1) & Uph.

ST-307



Lounge
Lounge Chair (2)

WL-302



Lounge
Custom Wallcovering
Currently Being Developed



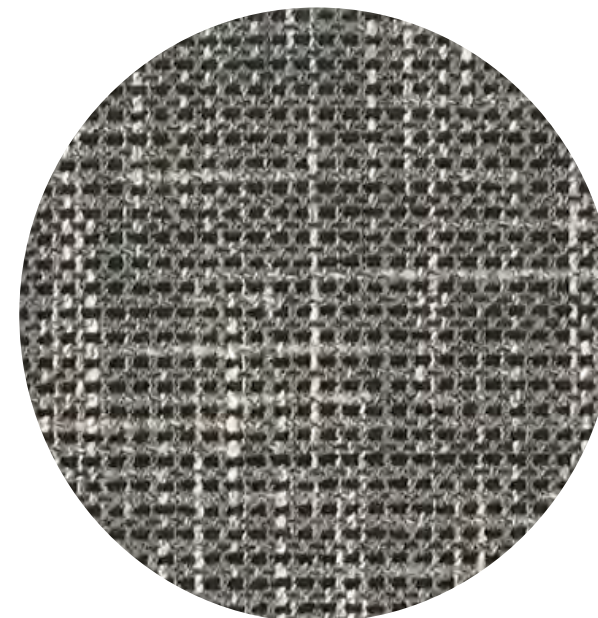
Lounge
Serpentine Sofa
a.Seat Upholstery **UPH-105**
b.Back Upholstery **UPH-106**

ST-305



Lounge
Accent Table (1)
Size: 28"Dia. x 26"H

TA-302



Lounge
Lounge Chair (2)
Upholstery

ST-307 / UPH-308



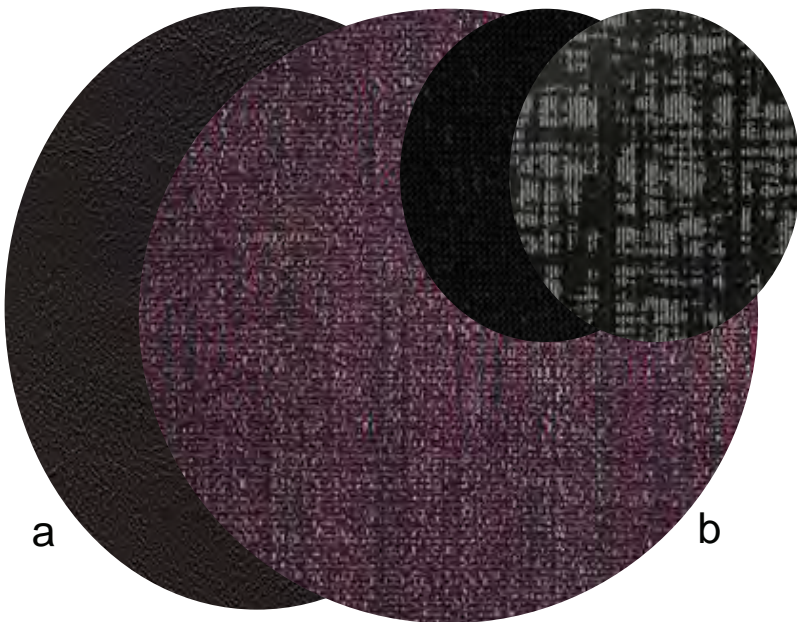
Lounge
Entry Wall Sconce
Size: 13"Dia. x 2"D

LT-304

ST-308



Lounge
Large Curved Sofa



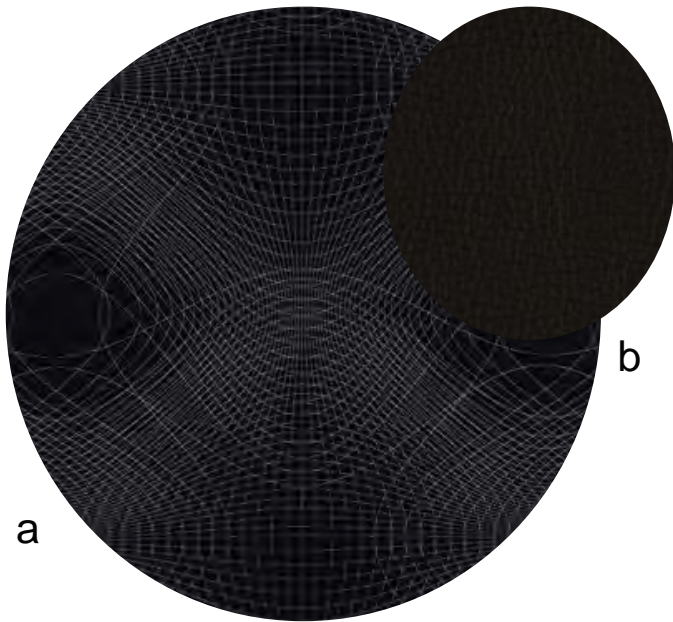
Lounge
Large Curved Sofa w/Pillows
a.Seat Uph. (Vinyl) **UPH-309**
b.Back Upholstery **UPH-310**

ST-308 / ST-310 / ST-311

ST-309



Bar/Entry
Winged Back Club Chair



Bar
Winged Back Chair
a. Main Upholstery **UPH-311**
b.Seat Uph.(Vinyl) **UPH-312**

ST-309

TA-303



Lounge
Accent Table (2)
Size: 26"Dia. x 25"H



Lounge
Accent Tile at Bucket Chairs
Size: Approx.15"x15"

FL-303

PT-301



Bar / Lounge
Main Wall Finish
[Local Purchase]



Bar / Lounge
Accent Wall Finish @ Stage
Option 2 [Local Purchase]

PT-302

FL-304



Public Restroom
Main Flooring, 17.5" x 12.25"

LT-305



Public Restroom
Wall Sconce, 6"W x 8"D x 22"H

MR-301



Public Restroom
Vanity Mirror
Size: 22"W x 2"D x 30"H

LT-306



Public Restroom
Ceiling Light Fixture
Size: 30'Dia. x 17"H



Public Restroom
Main Flooring, 17.5" x 12.25"
Larger Scale

FL-304



Public Restroom
Wall Tile, 9.5" x 15.5"
60" AFF

WL-303



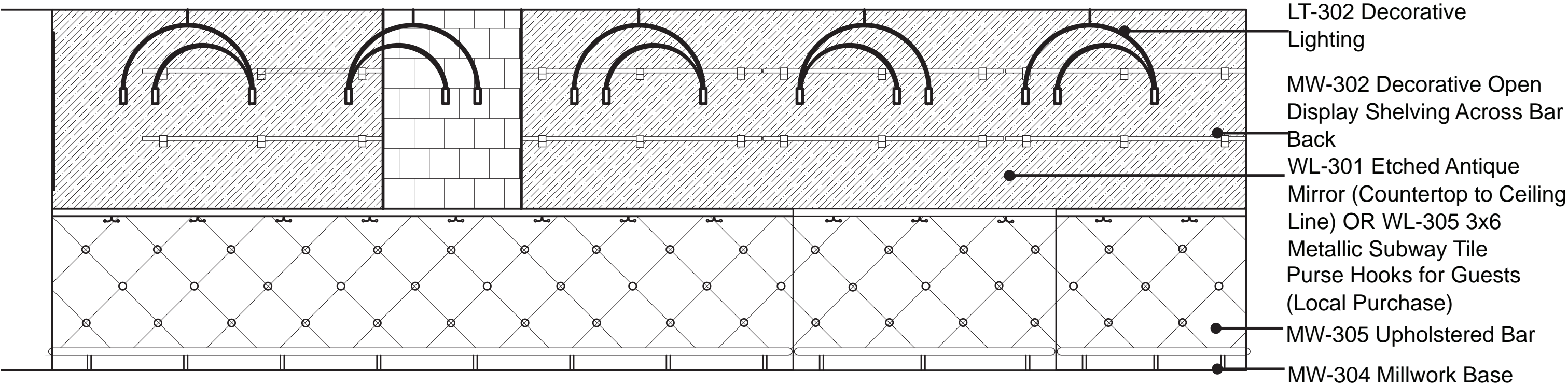
Public Restroom
Wallcovering
With Texture (Above Wall Tile)

WL-304



Public Restroom
Ceiling Trim Detail
[Local Purchase]

MW-306



SpeakEasy Bar Concept Elevation
Scale: NTS

WT-301A/B



Stage Backdrop Concept Only
Lush Drapery Curtains

MW-307 & FL-304



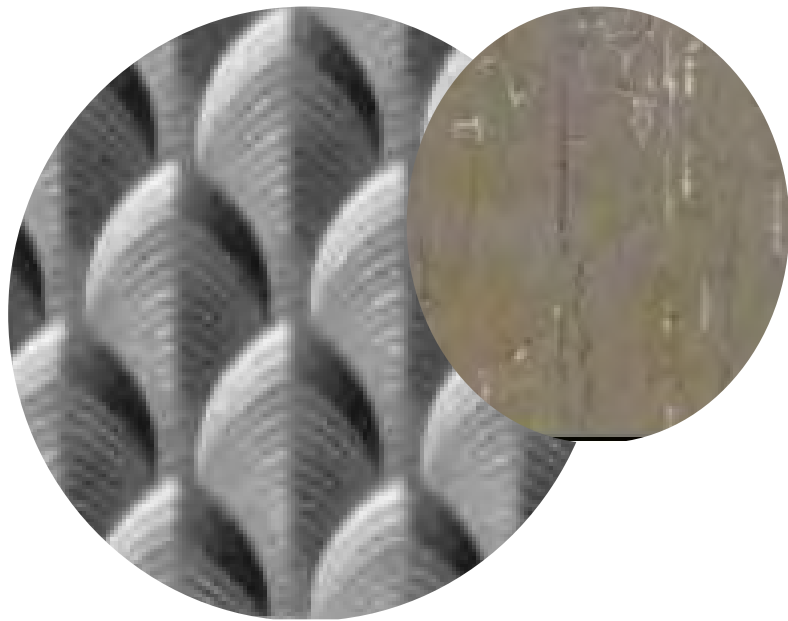
Stage Finish (Black Matte) &
Stone-Look LVT for Stage
Floor (Glue Down, 12x24)

WL-306



Decorative Ceiling Tile
(Concept Only)

WL-306



Decorative Ceiling Tile, 2'x2'
(Finish: Vintage Metal)



Stage Backdrop
Drapery Fabric(Chenille Finish)
Option 1

WT-301A / FA-301



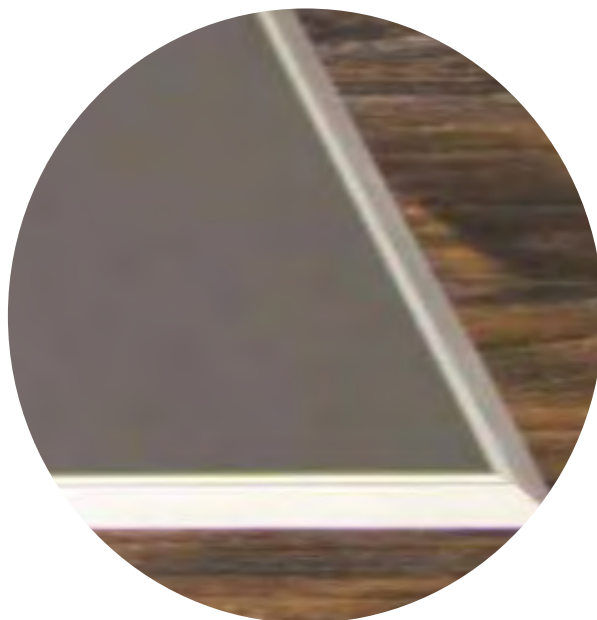
Stage Backdrop
Drapery Fabric (Velvet Finish)
Option 2

WT-301B / FA-302



Antique Mirror
Behind Stage Drapery (Opt.1)
(Option w/Drapery Tie-Backs)

WL-307



Transition Strip
For Glue Down LVT at Stage
[Local Purchase]

FL-306



PHOTO KEY



Photo # 1 View of 1995 Addition and adjacent buildings View N from across Commerce St.



Photo #2 View of Icke Building, 1995 Addition and adjacent buildings View N



Photo # 3 View on Commerce Street Icke building visible on far right

Geo.Icke Building
San Antonio, TX



Photo # 1 View of 1995 Addition and adjacent buildings View N from across Commerce St.



Rendering of Proposed addition View north on Commerce Street

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION**

**Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas**

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LIST OF COMPLETED WORK

- Repair roof
- Add 5th story to the non-historic 1995 portion of the building, raise existing elevator to reach 5th floor
- Repair existing windows and doors; replace north door to match south door
- Construct new amenity and office spaces on the first and second floors
- Install new finishes in existing hotel rooms and corridors
- Create a speakeasy in the former utilitarian basement space
- Install new railing on existing stairs
- Renovate/repair existing HVAC, electrical, and plumbing systems
- Install new interior lighting
- Install new signage

COMPLETED TIME SCHEDULE: 6/8/20 - 4/3/2024

ESTIMATED ASSOCIATED COSTS

Total Rehabilitation Costs: \$8,183,468

Qualified Rehabilitation Expenses: \$7,727,238

The written narrative explaining the completed work begins on the following page. The itemized list of final associated costs, photos, and Certificate of Occupancy and Certificates of Appropriateness are attached as separate files.

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION

Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas

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1 SUMMARY

Existing Condition

The George Icke & Bros. building is located at the entrance to the local St. Paul Square Historic District and the National Register Southern Pacific Depot Historic District. Located on East Commerce Street and Chestnut Street, adjacent to the downtown IH-37 on-ramp, the building is an important anchor to the district. The two-story yellow brick building was extensively remodeled into a hotel in the late 1990's. A new four story addition was added to the east at that time, connected to the historic building by a glass and stucco link. During the renovation the interior was demolished and no historic interior features remain with the exception of some cast iron columns, and load bearing interior brick wall.

Photos: All

Drawings: All

Date work started: 6/8/20

Date work completed: 3/1/21

Proposed Work

The renovation of the historic portion of the building will primarily be changes to the non-historic interior including new finishes, a reconfiguration of the dining bar area and check in desk on the ground floor, a reconfiguration of meeting rooms on the second floor and a new speakeasy in the basement. An additional opening will be made to the interior brick wall on the first floor that will match the existing arched openings. The only exterior work on the 1910 portion of the building will be repairs and repainting of the storefront and windows, a new roof and a new door that will replace a non-historic door on the north adjacent to the port cochere.

In the 1995 addition, the Applicant will add one story and install new finishes in the existing rooms and corridors..

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION

Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas

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2 SITE; c. 1900, 1959, 1995 w/ alterations

Existing Condition

The George Icke & Bros Building site is situated with E. Commerce Street on the south, Chestnut Street on the west and Center Street on the north. A sidewalk with planted trees and decorative light poles is adjacent to the building on Commerce Street. The sidewalk continues around the corner along Chestnut. An asphalt parking lot is located to the north of the building along Center street with some landscaping planting. A non-historic detached port cochere is located north of the original building.

PHOTOS: 9-10

DRAWINGS: A1.0

DATE WORK STARTED: n/a

DATE WORK COMPLETED: n/a

Proposed Work

No site work is proposed for the project.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION**

**Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas**

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3 ROOF; contemporary

Existing Condition

The existing roof is a modified bitumen roof. It is in poor condition, having been damaged in a recent storm. The roof is not visible behind a parapet wall on all sides.

PHOTOS: n/a

DRAWINGS: Addition Drawings A2.6

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

A new modified bitumen roof will replace the existing roof. On the 1995 portion a new minimally sloped flat roof with overhang will be added to the fifth floor. A small enclosed elevator hood will be installed.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION**

**Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas**

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4 EXTERIOR WALLS; c. 1910 w/ alterations

Existing Condition

The existing walls are yellow brick with some cast stone detailing. They are in relatively good condition. The 1990 addition has beige and light red brick.

PHOTOS: 1-10

DRAWINGS: Fifth Floor Addition A4.0-4.1

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

No work is proposed on the 1910 exterior masonry. The exterior design of the fifth floor will use a red king size brick. The end panels will have a decorative chevron insert out of a contrasting brick. This pays homage to the decorative end panel on the historic building without mimicking the design.

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION

Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas

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5 WINDOWS; c. 1995

Existing Condition

The existing windows are wood double-hung and are not original to the building. The aluminum windows on the 1990's addition are in good repair.

PHOTOS: 2, 4, 7

DRAWINGS: n/a

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

The windows will be repaired and re-sealed as needed. The windows will be repainted. They are in relatively good shape. The aluminum windows on the 1990's addition will match the existing. In the presidential suite the window wall will be set back to create a balcony that does not protrude from the building. Rather than windows a window and door combination will be added.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION**

**Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas**

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6 ENTRANCES; c. 1995

Existing Condition

The existing entrance doors on the south are wood with single lights. The north door is non-historic wood with leaded glass.

PHOTOS: 6-8

DRAWINGS: none

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

The north entrance door will be replaced with single light wood doors to match the south doors.

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION

Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas

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7 INTERIOR- PRIMARY PUBLIC SPACES; c. 1910, c. 1995, w/ alterations

Existing Condition

Configuration

The interior is divided into two parts by a load-bearing brick wall that runs north to south from basement to roof. On all floors, the space on the west side of the wall is larger than the east.

On the first floor, the western half of the space is an open lobby. Along the west perimeter all, the lobby contains a centered reception area flanked by an open business center in the southwest corner, and a small office in the northwest corner (see Interior- Secondary Spaces, below). The east half of the space contains an open dining room, which has a food service counter along the east wall. The wall dividing the west and east halves is exposed yellow brick with two arched openings providing egress between the lobby and dining room.

Finishes

Existing finishes on the ground floor include painted gyp board walls, a replica tin ceiling, and a wood-look laminate floor. There are areas of tile flooring near the reception desk and in a portion of the dining room.

PHOTOS: 11-17

DRAWINGS: ID1.1, ID2.1, ID5.1, ID6.1, ID8.1, ID8.3,

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

Configuration

First Floor

The first floor will retain its open character and ceiling height. In the west half of the space, the Applicants will retain the open lobby space, as well as the configuration of the business center, reception desk, and office (see Interior- Secondary Spaces, below) along the west wall. The Applicants will convert the business center into a coffee shop at the southwest corner and a marketplace to its north. The coffee shop will have a counter and worker area along the west wall. The market will be partially separated from the rest of the lobby by built in shelving units. The existing reception desk will be demolished and replaced with a new desk suspended from the ceiling by metal cables. The Applicants will create a new arched opening in the demising wall between the west and east halves of the first floor. It will be located at the south part of the wall and will echo the existing two arched openings.

The east half of the space where the current dining room is located will be used as a bar/ lounge area. The Applicants will retain the open space and will construct a curved bar top in the southeast part of the space, abutting the partition walls that enclose the corner stair. There will also be built-in seating along the storefront; it will not interfere with display windows.

Finishes

First Floor

West Lobby:

The lobby, including the coffee shop and marketplace, will have differing shapes and patterns of decorative tile flooring. Walls will be painted gyp with a tile backsplash behind the coffee shop counter. Ceilings will be painted gyp. The gyp-wrapped posts punctuating the space will have decorative tile wainscot.

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION

Property Name: George Icke & Bros. Building
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The coffee shop counter will be wood with quartz countertops. The shelving units forming the marketplace walls will have wood bases with metal and glass shelves. The new reception desk will be wood with a quartz countertop and will be suspended from the ceiling by a black metal wire.

East Bar/ Lounge:

The new bar and lounge will have decorative tile floors and painted gyp walls and ceilings. The new bartop will be wood with decorative millwork and a live-edge wood with epoxy countertop. Backlit glass and metal shelves will cover the wall behind the bar. Built in seating along the storefront will have a wood base and upholstered cushions.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION**

**Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas**

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8 INTERIOR - SECONDARY SPACES; c. 1910, c. 1995, w/ alterations

Existing Condition

Configuration

First Floor

There is a small office in the northwest corner of the first floor, immediately to the rear of the reception desk area.

Second Floor

On the second floor in the western portion there is a pre-function space at the top of the stairs. A fitness room is in the northwest corner. Two large meeting rooms are located in the south half of the west space. An arched opening in the wall separating the west and east halves of the building leads to a wide corridor on the east half of the floor. A second opening can be seen, but has been infilled with gyp board. South of the corridor, a conference room and office are situated on the east side of the dividing wall. There is a small seating area at the east end of the corridor. An opening on the east perimeter wall leads to the elevator lobby outside the footprint of the historic building.

1995 Addition

Each of the three floors of the 1990 addition is organized around a double loaded corridor with hotel rooms on each side.

Finishes

First Floor

First floor finishes include carpet floors and LVT (not wood grain), lay-in acoustical ceiling tiles, and painted gyp board walls.

Second Floor

Second floor finishes include carpet floors and LVT (not wood grain), lay-in acoustical ceiling tiles, and painted gyp board walls.

1995 Addition

Existing finishes in the addition are gyp board walls, carpets floor and acoustical tile on the ceiling.

PHOTOS: 18-20

DRAWINGS: ID1.1-1.2, ID2.1-2.2, ID5.1-5.2, ID6.1-6.2, ID8.1, ID8.2

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

Configuration

First Floor

The Applicants will demolish existing walls forming the northwest corner office. They will construct new walls, forming a smaller office, still in the northwest corner. New walls will not interfere with windows.

Second Floor

The west half of the second floor space will be entirely reconfigured. All non-historic walls will be demolished. The Applicants will construct a small office and a small board room in the northwest corner. The south half of the west second floor will contain an event space. Between the north office and boardroom and the south event space, the Applicants will

HISTORIC PRESERVATION CERTIFICATION APPLICATION

PART 2 – DESCRIPTION OF COMPLETED REHABILITATION

Property Name: George Icke & Bros. Building
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create a new pre-function space. A partition forming a small storage closet will form the south wall dividing the pre-function space and event space.

The east half of the second floor will retain nearly all of its existing configuration, including existing corridors. The existing open space immediately north of the corner stair will be used as a business center. The Applicants will retain the perimeter walls of the existing boardroom and office, but will remove an existing non-historic partition dividing the two spaces, creating one large space. The Applicants will use this space as the new fitness center.

1995 Addition

The Applicants will retain the existing double loaded corridor and hotel room configuration in the non-historic addition.

Finishes

First Floor

The Applicants will install new carpet tile floors in the northwest corner office. Walls and ceilings will be painted gyp board with rubber base trim.

Second Floor

Corridors & Pre-Function Space

The Corridors and Pre-function Space will have painted gyp walls with rubber base trim, painted gyp ceilings, and carpet tile flooring.

Event Room

The Event Room will have wallpapered walls with rubber base trim, painted gyp ceilings, and carpet tile flooring.

Fitness Center

The Fitness Center will have painted gyp walls with graphic accents and rubber base trim, painted gyp ceilings, and rubber sheet flooring.

GM Office and Boardroom

The Applicants will install new carpet tile flooring and painted gyp board ceiling. The GM office will have painted gyp board walls with rubber base trim, and the Boardroom will have wallpapered walls with rubber base trim.

1995 Addition

The applicants will install all new finishes in the non-historic addition including new carpet, new tile and fixtures in the bathrooms and new paint.

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PART 2 – DESCRIPTION OF COMPLETED REHABILITATION

Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas

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9 INTERIOR - BASEMENT AND UTILITARIAN SPACES; c. 1910, c. 1995, w/ alterations

Existing Condition

Configuration

Basement

The basement, like the first and second floors, is divided into two spaces at the west and east. On the east side is a laundry facility and an employee break room. On the west side of the wall is a general storage area, a workshop, and a housekeeping storage area.

Other Utilitarian Spaces

On the first floor, there are restrooms and a kitchen situated at the rear (N) of the east dining room space; on the second floor, restrooms are located in the northeast corner, immediately above the first floor restrooms.

Finishes

Basement

The basement is relatively unfinished-- floors are concrete, the walls are brick, and the ceiling is exposed wood beams and rafters. In the east laundry area, there is an acoustical tile ceiling. Some walls and floors have been painted. An old painting/graffiti can be seen on the laundry room wall.

Other Utilitarian Spaces

The kitchen and restrooms have tile floors, gyp walls, and exposed structure at the ceilings. Fixtures and appliances are not historic. These areas are in good condition.

PHOTOS: 21-26

DRAWINGS: ID1.1, ID 1.3, ID2.1, ID 2.3, ID5.1, ID 5.3 ID6.1, ID 6.3, ID8.1-8.3

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/12/22

Proposed Work

Configuration

Basement

The Applicants propose the rehabilitation of the west half of the basement to house a Speakeasy. Non-historic partition walls in the southwest corner will be demolished to create a large open space occupying the majority of the west half of the basement; this will contain the Speakeasy. The Applicants will construct a bar in the northwest corner and a stage in the southwest corner. The existing housekeeping storage room along the south part of the brick demising wall bisecting the basement will remain in its existing location, but will be reduced in size; the Applicants will demolish existing perimeter walls of the housekeeping storage room and reconstruct new walls in a smaller footprint. The east half of the basement will retain its existing configuration, with the laundry room remaining in the northeast corner, and the employee break room remaining in the southeast corner. A new corridor will run along the south wall of the existing housekeeping storage and break rooms, leading from the Speakeasy to the southeast fire stair.

Other Utilitarian Spaces

The first floor north kitchen and both the first and second floor restrooms will remain in their current locations.

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION

Property Name: George Icke & Bros. Building
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Finishes

Basement

The Speakeasy occupying the west half of the basement will have large mosaic tile flooring, with smaller mosaic tile accents by the bar seating area. The new stage in the southwest corner will have wood-look luxury vinyl tile flooring. Walls will have custom wallpaper with a custom tile or antique etched mirror backsplash behind the bartop, which will be upholstered wood with a quartz countertop. Ceilings will be clad in decorative tile.

Applicants will not change existing finishes in the east half of the basement, nor in the housekeeping storage room. The new corridor created along the south wall of the existing housekeeping storage and break rooms will retain existing finishes.

Other Utilitarian Spaces

First and second floor restrooms will have gyp board ceilings and new tile floors and base trim. Walls will be a combination of painted gyp board, wallpaper, and subway tile. The Applicants will install new plumbing fixtures as well and vanities with quartz countertops.

The Applicants will not change existing finishes in the kitchen.

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PART 2 – DESCRIPTION OF COMPLETED REHABILITATION

Property Name: George Icke & Bros. Building
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10 INTERIOR - VERTICAL CIRCULATION; c. 1995

Existing Condition

Configuration

The historic building has one main stair along the rear (north) wall of the space, immediately west of the exposed brick wall bisecting all floors. On the first floor, the stair is open in the west lobby. There is also a southeast fire stair concealed in a stair tower. Neither the main nor the southeast stairs are historic, having been added in the 1990's renovation.

The historic building does not have an elevator, but the non-historic hyphen connecting the building to the addition contains an elevator. This elevator accesses the first, second, and basement floors of the historic building and all floors of the non-historic addition. There are stairs at the west and east ends of the non-historic addition corridors. These are all outside the scope of work.

Finishes

The main wood stair is visible in the first floor west lobby. Wood rails and newel posts have been painted, and a non-historic carpet runner covers wood treads and risers. Where the main stair is concealed leading to the basement and where it opens into the second floor, the stairs have utilitarian finishes. The southeast fire stair has utilitarian finishes as well.

The elevator and stairs in the addition have contemporary finishes.

PHOTOS: 12

DRAWINGS: ID8.2

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

Configuration

Stairs will remain in their existing locations and configurations.

Finishes

The Applicants will install new glass and metal railings on the main stair where it is visible in the lobby. They will remove the non-historic carpet runner as well. Finishes on treads and risers in the main and southeast fire stairs are LVT and will be contemporary and compatible with the character of the building (not wood grain.)

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION

Property Name: George Icke & Bros. Building
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11 MEP; contemporary

Existing Condition

Mechanical

The building has an HVAC system. Ducts are concealed within walls and ceilings. HVAC equipment is located in the basement mechanical closet, the second floor mechanical closet, and on the roof; rooftop HVAC is not visible from the street.

Electrical

The building has electricity. Wires run within walls and ceilings on the first and second floors; wires run in exposed conduit along the basement walls. On the first floor, wire runs in exposed conduit on the exposed brick wall dividing the west and east spaces.

Plumbing

The building has functional plumbing. The hot water tanks are located in the basement laundry room. Pipes are concealed within ceilings and walls.

PHOTOS: 21, 25-26

DRAWINGS: ID4.1-4.3,

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

Mechanical

The building will retain its existing HVAC system. Equipment will be housed in the basement and second floor mechanical closets and on the roof.

Electrical

The Applicants will install new light panels and switches. All existing and new wires will run within walls and ceilings, with the exception of surface-mount conduit along exposed brick walls.

Plumbing

The building will retain existing plumbing servicing the existing kitchen, bathrooms, and laundry room. New plumbing will be installed as needed to service the coffee shop and bars. The basement will retain existing water heater tanks. All existing and new pipes will be concealed within floors, walls, and ceilings.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION**

**Property Name: George Icke & Bros. Building
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12 LIGHTING; contemporary

Existing Condition

Exterior

The building does not retain any historic exterior lighting. On the primary (south) elevation, two lanterns are affixed to the storefront system flanking the primary entrance. On the rear (north) elevation, matching lanterns flank the rear entrance.

Interior

The building does not retain any historic lighting on the interior. The first floor lighting consists of contemporary light fixtures suspended from ceilings. The second floor common areas have a combination of recessed downlighting and lay-in fluorescent lighting. The basement has linear fluorescent lighting flush-mount on ceilings.

Lighting in the addition interior is contemporary.

PHOTOS: 1, 8, 11-12, 17, 20-21

DRAWINGS: ID3.1-3.3

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

Exterior

There is no new lighting proposed on the exterior.

Interior

The Applicants propose all new contemporary lighting in the hotel interior.

In the first floor lobby, they will install a combination of recessed downlighting and contemporary decorative pendants, chandeliers, and wall sconces.

On the second floor, the Applicants will install recessed downlighting in all rooms except the fitness center, which will have ceiling mounted track lighting. The event space will have decorative chandeliers in addition to the recessed downlighting, and the board room will have a new light fixture mounted on the ceiling in addition to the recessed downlighting.

In the basement, the Applicants will install recessed downlighting in all spaces except the northeast laundry room, which will retain its existing lighting. Additionally, the basement restrooms will have sconces flanking the vanity mirrors, and there will be decorative pendant lighting suspended from the ceiling over the Speakeasy bar.

The applicants will install new lighting in the non-historic addition.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION**

**Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas**

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13 FIRE PROTECTION; contemporary

Existing Condition

The building is sprinkled with pipes running above ceilings and sprinkler heads dropped through the ceilings.

PHOTOS: n/a

DRAWINGS: n/a

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

There is no proposed work on the fire system

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF COMPLETED REHABILITATION**

**Property Name: George Icke & Bros. Building
San Antonio, Bexar County, Texas**

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14 SIGNAGE; c. 1995

Existing Condition

There is a non-historic wood sign on the primary (south) elevation, centered in front of the transoms. The sign reads “Best Western SUNSET SUITES.” It is black with a blue border and gold lettering.

There is additional signage on the primary elevation of the non-historic east addition; a vinyl sign emblazoned with the Best Western Hotel logo is located at the top of the west tower.

PHOTOS: 1, 9

DRAWINGS: See rendering

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

All Best Western Sunset Suites signage will be replaced in the same style with “Aiden by Best Western.” A new back lit channel letter sign will be added to the fifth floor on the west elevation corner.

15 ADDITION:

Existing Condition

An addition was made to the original building in 1995. It is 4 stories but because the floor to floor heights are much shorter than the original historic structures in the neighborhood it's overall height is the same as the 3 story structure one lot to the east along Commerce Street. It is also similar to the 3 story buildings on the other side of commerce. The building is a pinkish brick to contrast with the buff colored historic building (a preservation preference in the 1990's).

PHOTOS: Streetscape photo sheet

DRAWINGS: Drawing set - Fifth Floor Addition C.1-A.6

DATE WORK STARTED: 10/1/21

DATE WORK COMPLETED: 4/1/22

Proposed Work

An additional floor will be added to the 1995 addition using the same floor plan layout and dimensions of the lower floors with the exception of guest room 502, the presidential suite, which combines two typical rooms into one suite and adds an internal balcony. (see rendering in Street View photos.) The existing building has a parapet that will be removed. The height of the addition starts at the roof deck, so the actual height addition is visually less than a full story. The new addition will be clad in a king size red brick to give it a more horizontal image to minimize the height of the addition.

The elevator will be raised and the firestairs extended. The addition was deemed appropriate by the local Historic and Design Review Commission.

CERTIFICATE OF OCCUPANCY

CITY OF SAN ANTONIO, TEXAS DEVELOPMENT SERVICES DEPARTMENT

Date: 04/03/2024

Certificate No: COO-COMM24-38100309

The described portion of the following structure has been inspected for compliance with the **current International Building Code (IBC)** and meets the minimum requirements for occupancy and division of occupancy, along with the use for which the proposed occupancy is classified.

Business Name: AIDEN HOTEL

Occupancy Group: R1

Building Address:

1103 E COMMERCE ST, City of San Antonio, TX 78205

Occupancy Use: Assembly Use - Hotel

Building Number: N/A

Occupant Load

413

Unit/Suite Number: N/A

Construction Type: Type III-B

Name of Owner/Authorized Agent:

AIDEN HOTEL (BEST WESTERN)

Special Stipulations and Conditions:

Hotel has paid in advance 6 months worth of TCO extensions. Now-November.

Automatic Fire Sprinkler: Yes

Automatic Fire Sprinkler Required: Yes

Automatic Fire Alarm: Yes

Automatic Fire Alarm Required: Yes

Code Modification Request No(s):

N/A



**DEVELOPMENT
SERVICES**

Michael P. Shannon, PE, CBO
Director, Development Services Department



Partnering with our community to build and maintain a safer San Antonio



CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

HISTORIC AND DESIGN REVIEW COMMISSION

COMMISSION ACTION

This is not a Certificate of Appropriateness and cannot be used to acquire permits

May 1, 2020

HDRC CASE NO: 2020-148
ADDRESS: 1103 E COMMERCE ST
LEGAL DESCRIPTION: NCB 587 BLK 1 LOT 1 ST PAUL SQUARE SUITES HOTEL
HISTORIC DISTRICT: St Paul Square
APPLICANT: Ignacio Aliaga - 17446 Low Road
OWNER: Marc Weinstein/WEINRITTER ST PAUL SQUARE LLC - PO BOX 782129
TYPE OF WORK: Addition

REQUEST:

The applicant is requesting conceptual approval to construct a rooftop addition to the existing structure at 1103 E Commerce Street, located within the St Paul Square Historic District.

FINDINGS:

- a. The applicant is requesting conceptual approval to construct a rooftop addition to the existing structure at 1103 E Commerce Street, located within the St Paul Square Historic District. The proposed rooftop addition will be to the hotel structure constructed circa 2000.
- b. ADDITION – The Guidelines for Additions 2.A. notes that additions should be in keeping with the existing, historic context of the block, should utilize a similar roof form as the primary historic structure, should be subordinate to the principal façade, and should be distinguished as new without distracting from the original structure. Generally, staff finds the proposed addition to be consistent with the Guidelines as it utilizes a similar roof form, is subordinate to the original structure and is distinguishable from the original structure.
- c. SCALE, MASSING & FORM – The Guidelines for Additions 2.B. notes that rooftop additions should be limited to no more than forty (40) percent of the height of the original structure. The proposed addition features only one story in height, and is consistent with the Guidelines.
- d. MATERIALS – The applicant has proposed materials that include red brick and metal fascia panels. The applicant has not specified materials for windows at this time; however, per the submitted application documents, windows will feature profiles that are consistent with those of the original structure. The Guidelines for Additions 3.i. note that materials that match in type, color, and texture should be used. Additionally, new materials must be compatible with the architectural style and materials of the original structure. Generally, staff finds the proposed addition to be appropriate and consistent with the Guidelines; however, staff finds that all windows should be installed in a manner that matches those of the original structure.
- e. ARCHITECTURAL DETAILS – The Guidelines for Additions 4.A. notes that additions should be designed to reflect their time while respecting the existing, historic context. Additionally, architectural details that are in keeping with those of the original structure should be incorporated into the design of the addition. Generally, staff finds the proposed architectural details to be appropriate.
- f. SIGNAGE – The applicant has noted the installation of wall signage on the proposed addition to feature an internally illuminated cabinet sign. While the applicant has not submitted detailed signage documents, staff finds that the proposed signage to be inappropriate due to the internally illuminated cabinet.

RECOMMENDATION:

Staff recommends conceptual approval based on findings a through g with the following stipulations:

- i. That the proposed windows match those of the original structure in regards to profile and installation depth.
- ii. That the proposed signage be less than fifty (50) square feet, and be consistent with the Guidelines.

COMMISSION ACTION:

Approved with staff's stipulations.

A handwritten signature in black ink, reading "Shanon Shea Miller". The signature is written in a cursive, flowing style.

Shanon Shea Miller
Historic Preservation Officer



CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

HISTORIC AND DESIGN REVIEW COMMISSION

CERTIFICATE OF APPROPRIATENESS

September 2, 2020

HDRC CASE NO: 2020-368
ADDRESS: 1103 E COMMERCE ST
LEGAL DESCRIPTION: NCB 587 BLK 1 LOT 1 ST PAUL SQUARE SUITES HOTEL
HISTORIC DISTRICT: St Paul Square
PUBLIC PROPERTY: No
LANDMARK: Individual Landmark
APPLICANT: Ignacio Aliaga - 17446 Low Road
OWNER: Alan Levy/WEINRITTER ST PAUL SQUARE LLC - PO BOX 782129
TYPE OF WORK: Addition

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a rooftop addition to the existing structure at 1103 E Commerce Street, located within the St Paul Square Historic District.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to construct a rooftop addition to the existing structure at 1103 E Commerce Street, located within the St Paul Square Historic District.
- b. CONCEPTUAL APPROVAL – This request received conceptual approval at the May 1, 2020, Historic and Design Review Commission hearing with the following stipulations:
 - i. That the proposed windows match those of the original structure in regards to profile and installation depth.
 - ii. That the proposed signage be less than fifty (50) square feet, and be consistent with the Guidelines.
- c. ADDITION – The Guidelines for Additions 2.A. notes that additions should be in keeping with the existing, historic context of the block, should utilize a similar roof form as the primary historic structure, should be subordinate to the principal façade, and should be distinguished as new without distracting from the original structure. Generally, staff finds the proposed addition to be consistent with the Guidelines as it utilizes a similar roof form, is subordinate to the original structure and is distinguishable from the original structure.
- d. MATERIALS – The applicant has proposed materials that include red brick, tan brick, and metal fascia panels. The applicant has not specified materials for windows at this time; however, per the submitted application documents, windows will feature profiles that are consistent with those of the original structure. The Guidelines for Additions 3.i. note that materials that match in type, color, and texture should be used. Additionally, new materials must be compatible with the architectural style and materials of the original structure. Generally, staff finds the proposed addition to be appropriate and consistent with the Guidelines; however, staff finds that all windows should be installed in a manner that matches those of the original structure. A detail of installation methods is to be submitted to staff for review and approval prior to issuance of a Certificate of Appropriateness.
- e. ARCHITECTURAL DETAILS – The Guidelines for Additions 4.A. notes that additions should be designed to reflect their time while respecting the existing, historic context. Additionally, architectural details that are in keeping with those of the original structure should be incorporated into the design of the addition. Generally, staff finds the proposed architectural details to be appropriate.
- f. SIGNAGE – Signage has not been included in this request and must receive a Certificate of Appropriateness prior to installation.

RECOMMENDATION:

Staff recommends approval based on findings a through f with the stipulation that a window installation detail and wall section be submitted to OHP staff for review and approval.

COMMISSION ACTION:

Approved with staff's stipulations.

A handwritten signature in black ink, reading "Shanon Shea Miller". The signature is fluid and cursive, with the first name "Shanon" and last name "Miller" clearly legible.

Shanon Shea Miller

Historic Preservation Officer

A Certificate of Appropriateness (COA) serves as a record of design approval and is valid for 180 days. Work that is not completed in accordance with this certificate may be subject to correction orders and other penalties.

A COA does not take the place of any required building permits nor does it authorize the use of a property beyond what is allowed by the Unified Development Code. Prior to beginning your construction project, please contact the Development Services Department at (210) 207-1111 to ensure that all requirements have been met.

This Certificate must remain posted on the job site for the duration of your project. Modifications to an approved design or an expired approval will require a re-issue of your Certificate of Appropriateness by OHP staff. Please contact OHP Staff at (210) 207-0035 with



CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

September 18, 2020

ADDRESS: 1103 E COMMERCE ST
LEGAL DESCRIPTION: NCB 587 BLK 1 LOT 1 ST PAUL SQUARE SUITES HOTEL
HISTORIC DISTRICT: St Paul Square
PUBLIC PROPERTY: No
RIVER IMPROVEMENT OVERLAY: No
APPLICANT: KEVIN BOWYER/MODUS LLC - 1601 HOLLY STREET
OWNER: WEINRITTER ST PAUL SQUARE LLC - PO BOX 782129
TYPE OF WORK: Antenna/satellite

REQUEST:

Permit # COSA-8124-20200713. XY coordinates are 29.422588, -98.479951. The streetlight is located on the southeast corner of the Center St and Chestnut St intersection. Currently, the site is an existing metal streetlight pole owned by CPS Energy. The pole will be replaced. Verizon Wireless proposes to install a new wireless communication site on the metal street pole (to be replaced). The scope will consist of the following: new pole foundation, install canister antenna and radio units, install RRH, install fiber box, and install a meter. A trench/bore is required for power, coming from a CPS manhole ~25' from the north. Based on previous communication with OHP, we are proposing to stealth the antenna equipment as shown in the photo simulations. *Pending final cable concealment solution. *

ADMINISTRATIVE APPROVAL TO: Replace existing CPS streetlight pole with new pole for network node equipment at the right-of-way near 1103 E COMMERCE ST, 204 CENTER at 29.422588, -98.479951 to feature a stealth aesthetic primarily in simplified forms and matching color.

Approval from OHP does not omit nor supersede any additional permissions required by TCI (traffic) or CPS Energy (utilities).

The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

The administrative approval above must adhere to the HDRC Case 2020-404 where all stipulations from the Pilot Program and final product design continues to apply.

APPROVED BY: Huy Pham

**CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION**

DATE: 9/18/2020 3:40:59 PM

**Shanon Shea Miller
Historic Preservation Officer**

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CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS

March 24, 2021

ADDRESS: 1103 E COMMERCE ST
LEGAL DESCRIPTION: NCB 587 BLK 1 LOT 1 ST PAUL SQUARE SUITES HOTEL
HISTORIC DISTRICT: St Paul Square
PUBLIC PROPERTY: No
RIVER IMPROVEMENT OVERLAY: No
APPLICANT: Ignacio Aliaga/Architect - 17446 Low Road
OWNER: Alan Levy/WEINRITTER ST PAUL SQUARE LLC - PO BOX 782129
TYPE OF WORK: Exterior alterations

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to: Modify a previously approved rooftop addition to feature an inset balcony. The one story addition was approved by the Historic and Design Review Commission on September 2, 2020.

ADMINISTRATIVE APPROVAL TO: Modify a previously approved rooftop addition to feature an inset balcony. All materials and details are to match those previously approved by the Historic and Design Review Commission. No signage is approved through this administrative approval.

APPROVED BY: Edward Hall

**CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION**

DATE: 3/24/2021 8:53:46 AM

Shanon Shea Miller
Historic Preservation Officer

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CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

HISTORIC AND DESIGN REVIEW COMMISSION

COMMISSION ACTION

This is not a Certificate of Appropriateness and cannot be used to acquire permits

November 3, 2021

HDCR CASE NO: 2021-552
ADDRESS: 1103 E COMMERCE ST
LEGAL DESCRIPTION: NCB 587 BLK 1 LOT 1 ST PAUL SQUARE SUITES HOTEL
HISTORIC DISTRICT: St Paul Square
LANDMARK: Individual Landmark
APPLICANT: Philip Ewing/Signarama - 2625 Broadway St.
OWNER: WEINRITTER ST PAUL SQUARE LLC - PO BOX 782129
TYPE OF WORK: Signage

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Install a wall mounted, internally illuminated wall sign to feature 8' – 0" in height and 7' – 9 11/16" in width for a total size of approximately 62 square feet, to be located on the east facade. This sign will feature plastic faces and will replace an existing wall sign. This sign is identified as N01 in the signage documents.
2. Install a wall mounted, internally illuminated wall sign to feature 5' – 6 11/16" in height and 5' – 6 7/8" in width for a total size of approximately 31 square feet, to be located on the north façade of the rear canopy. The sign will feature plastic faces. This sign is identified as N02 and will not replace an existing sign in this location.
3. Reface an existing, freestanding sign that is currently located at the Center Street entrance to the property. This sign will not change in size or location. This sign is identified as N03 in the signage documents.
4. Reface an existing, freestanding sign that is currently located at the Chestnut Street entrance to the property. This sign will not change in size or location. This sign is identified as N04 in the signage documents.
5. Install a wall mounted, internally illuminated wall sign to feature wall sign to feature 8' – 0" in height and 7' – 9 11/16" in width for a total size of approximately 62 square feet, to be located on the south facade. This sign will feature plastic faces and will replace an existing wall sign. This sign is identified as N05 in the signage documents.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness a Certificate of Appropriateness for approval to install signage at 1103 E Commerce, located within the St Paul Square Historic District.
- b. ALLOWABLE SIGNAGE – The Historic Design Guidelines recommend one major and two minor signs per application, not to exceed fifty (50) square feet total. The Commission may approve additional signage and square footage.
- c. EXISTING SIGNAGE – The property at 1103 E Commerce currently features a number of signs, including three walls signs and two walls signs, one canopy sign and two freestanding signs. The applicant has noted that the existing, channel letter and cabinet signs on the north façade will be removed.
- d. WALL SIGN (East Façade) – The applicant has proposed to install a wall mounted, internally illuminated wall sign to feature 8' – 0" in height and 7' – 9 11/16" in width for a total size of approximately 62 square feet, to be located on the east facade. This sign will feature plastic faces and will replace an existing wall sign. This sign is identified as N01 in the signage documents. The Guidelines for Signage note that signage should not feature plastic or be internally illuminated. Staff finds the proposed signage to be inconsistent with the Guidelines.
- e. WALL SIGN (East Façade, Automobile Canopy) – The applicant has proposed to install a wall mounted, internally illuminated wall sign to feature 5' – 6 11/16" in height and 5' – 6 7/8" in width for a total size of approximately 31 square feet, to be located on the north façade of the rear canopy. The sign will feature plastic faces. This sign is identified as N02 and will not replace an existing sign in this location. The Guidelines for

Signage note that signage should not feature plastic or be internally illuminated. Staff finds the proposed signage to be inconsistent with the Guidelines.

f. FREESTANDING SIGNS (Center and Chestnut Streets) – The applicant has proposed to reface two existing, freestanding signs that are currently located at vehicular entrances on Chestnut and Center Streets. Staff finds the proposed refacing of both signs to be appropriate.

g. WALL SIGN (South Façade) – The applicant has proposed to install a wall mounted, internally illuminated wall sign to feature wall sign to feature 8' – 0" in height and 7' – 9 11/16" in width for a total size of approximately 62 square feet, to be located on the south facade. This sign will feature plastic faces and will replace an existing wall sign. This sign is identified as N05 in the signage documents. The Guidelines for Signage note that signage should not feature plastic or be internally illuminated. Staff finds the proposed signage to be inconsistent with the Guidelines.

RECOMMENDATION:

1. Staff does not recommend approval of item #1, the installation of a wall mounted, internally illuminated sign as noted in finding d. Staff recommends the applicant install signage that features metal construction and indirect illumination.
2. Staff does not recommend approval of item #2, the installation of a wall mounted, internally illuminated sign as noted in finding e. Staff recommends the applicant install signage that features metal construction and indirect illumination.
3. Staff recommends approval of item #3, the refacing of the freestanding sign on Center Street based on finding e.
4. Staff recommends approval of item #4, the refacing of the freestanding sign on Chestnut Street based on finding f.
5. Staff does not recommend approval of item #5, the installation of a wall mounted, internally illuminated sign on the south façade as noted in finding g.

COMMISSION ACTION:

Withdrawn by the applicant at the November 3, 2021, HDRC hearing.

A handwritten signature in black ink, reading "Shanon Shea Miller". The signature is fluid and cursive, with the first name "Shanon" and last name "Miller" clearly legible.

Shanon Shea Miller
Historic Preservation Officer



CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

HISTORIC AND DESIGN REVIEW COMMISSION

CERTIFICATE OF APPROPRIATENESS

May 4, 2022

HDRC CASE NO: 2022-227
ADDRESS: 1103 E COMMERCE ST
LEGAL DESCRIPTION: NCB 587 BLK 1 LOT 1 ST PAUL SQUARE SUITES HOTEL
HISTORIC DISTRICT: St Paul Square
PUBLIC PROPERTY: No
APPLICANT: jose guajardo/g5signage - 14075 DUBLIN SQ
OWNER: WEINRITTER ST PAUL SQUARE LLC - PO BOX 782129
TYPE OF WORK: Signage

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Install one, internally illuminated monument sign to replace an existing, monument sign on Center Street. The proposed sign will feature an overall height of 46.89 inches and an overall width of 54.26 inches for a total size of approximately 35.2 square feet in size, including both sides. This sign is identified as sign 1 in the signage documents.
2. Install one, internally illuminated monument sign to replace an existing, monument sign on Chestnut Street. The proposed sign will feature an overall height of 46.89 inches and an overall width of 54.26 inches for a total size of approximately 35.2 square feet in size, including both sides. This sign is identified as sign 2 in the signage documents.
3. Install one, internally illuminated channel letter sign on the west façade of the vehicular drop off canopy, fronting Chestnut Street. The sign will feature an overall height of 32.2 inches and an overall width of 216.74 inches for a total size of 48.47 square feet. This sign is identified as sign 3 in the signage documents.
4. Install one, internally illuminated corner blade sign at the corner of E Commerce and Chestnut Street. The proposed sign will feature an overall height of 54.01 inches in height and an overall width of 46.97 inches for a total size of 35.24 square feet, including both sides. This sign is identified as sign 4 in the signage documents.
5. Install one, internally illuminated set of channel letters to be installed on the existing street canopy on the E Houston façade. The proposed sign will feature an overall height of 42.98 inches and an overall width of 86.21 inches for a total size of 25.73 square feet. This sign is identified as sign 5 in the signage documents.
6. Install one, internally illuminated wall sign to feature an overall height of 111.59 inches and an overall width of 153.16 inches for a total size of 118.69 square feet. This sign will be located on the west façade of the four-story structure. This sign is identified as sign 6 in the signage documents.
7. Install one, internally illuminated wall sign to feature an overall height of 68.43 inches and an overall width of 93.91 inches for a total size of 44.63 square feet. This sign will be located on the south façade of the four-story structure. This sign is identified as sign 7 in the signage documents.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to install signage at 1103 E Commerce, located within the St Paul Square Historic District.
- b. ALLOWABLE SIGNAGE – The Historic Design Guidelines recommend one major and two minor signs per application, not to exceed fifty (50) square feet total. The Commission may approve additional signage and square footage.
- c. EXISTING SIGNAGE – The property at 1103 E Commerce currently features a number of signs, including three walls signs and two walls signs, one canopy sign and two freestanding signs. The applicant has noted that the existing, channel letter and cabinet signs on the north façade will be removed.
- d. FREESTANDING SIGN (Center Street) – The applicant has proposed to install one, internally illuminated monument sign to replace an existing, monument sign on Center Street. The proposed sign will feature an overall height of 46.89 inches and an overall width of 54.26 inches for a total size of approximately 35.2 square feet in size, including both sides. This sign is identified as sign 1 in the signage documents. The Guidelines for

Signage note that signage within historic districts should not feature plastic signage elements and should be indirectly illuminated. The proposed signage is not consistent with the Guidelines. A reface of the existing sign would be allowed per code.

e. FREESTANDING SIGN (Chestnut Street) – The applicant has proposed to install one, internally illuminated monument sign to replace an existing, monument sign on Chestnut Street. The proposed sign will feature an overall height of 46.89 inches and an overall width of 54.26 inches for a total size of approximately 35.2 square feet in size, including both sides. This sign is identified as sign 2 in the signage documents. The Guidelines for

Signage note that signage within historic districts should not feature plastic signage elements and should be indirectly illuminated. The proposed signage is not consistent with the Guidelines. A reface of the existing sign would be allowed per code.

f. CHANNEL LETTER SIGN (Vehicular Drop Off) – The applicant has proposed to install one, internally illuminated channel letter sign on the west façade of the vehicular drop off canopy, fronting Chestnut Street. The sign will feature an overall height of 32.2 inches and an overall width of 216.74 inches for a total size of 48.47 square feet. This sign is identified as sign 3 in the signage documents. The Guidelines for Signage note that signage within historic districts should not feature plastic signage elements and should be indirectly illuminated. The proposed signage is not consistent with the Guidelines. Staff finds that signage featuring metal construction and indirect illumination would be most appropriate.

g. BLADE SIGN – The applicant has proposed to install one, internally illuminated corner blade sign at the corner of E Commerce and Chestnut Street. The proposed sign will feature an overall height of 54.01 inches in height and an overall width of 46.97 inches for a total size of 35.24 square feet, including both sides. This sign is identified as sign 4 in the signage documents. The Guidelines for Signage note that signage within historic districts should not feature plastic signage elements and should be indirectly illuminated. The proposed signage is not consistent with the Guidelines. Staff finds that signage featuring metal construction and indirect illumination would be most appropriate.

h. CHANNEL LETTER SIGN (Canopy) – The applicant has proposed to install one, internally illuminated set of channel letters to be installed on the existing street canopy on the E Houston façade. The proposed sign will feature an overall height of 42.98 inches and an overall width of 86.21 inches for a total size of 25.73 square feet. This sign is identified as sign 5 in the signage documents. The Guidelines for Signage note that signage within historic districts should not feature plastic signage elements and should be indirectly illuminated. The proposed signage is not consistent with the Guidelines. Staff finds that signage featuring metal construction and indirect illumination would be most appropriate.

i. WALL SIGN (West Façade) – The applicant has proposed to install one, internally illuminated wall sign to feature an overall height of 111.59 inches and an overall width of 153.16 inches for a total size of 118.69 square feet. This sign will be located on the west façade of the four-story structure. This sign is identified as sign 6 in the signage documents. The Guidelines for Signage note that signage within historic districts should not feature plastic signage elements and should be indirectly illuminated. The proposed signage is not consistent with the Guidelines. Staff finds that signage featuring metal construction and indirect illumination would be most appropriate.

j. WALL SIGN (South Façade) – The applicant has proposed to install one, internally illuminated wall sign to feature an overall height of 68.43 inches and an overall width of 93.91 inches for a total size of 44.63 square feet. This sign will be located on the south façade of the four-story structure. This sign is identified as sign 7 in the signage documents. The Guidelines for Signage note that signage within historic districts should not feature plastic signage elements and should be indirectly illuminated. The proposed signage is not consistent with the Guidelines. Staff finds that signage featuring metal construction and indirect illumination would be most appropriate.

RECOMMENDATION:

1. Staff does not recommend approval of item #1, the installation of a new monument sign on Center Street, based on finding d. Staff recommends that signage that is consistent with the Guidelines be installed. Refacing the existing signage would be permitted by code.

2. Staff does not recommend approval of item #2, the installation of a new monument sign on Chestnut Street, based on finding e. Staff recommends that signage that is consistent with the Guidelines be installed. Refacing the existing signage would be permitted by code.

3. Staff does not recommend approval of item #3, the installation of a channel letter sign on the drop off canopy as noted in finding f.

4. Staff does not recommend approval of item #4, the installation of a corner blade sign based on finding g.

5. Staff does not recommend approval of item #5, the installation of a channel letter sign above the existing canopy based on finding h.

6. Staff does not recommend approval of item #6, the installation of a wall sign on the west façade, based on finding i.

7. Staff does not recommend approval of item #7, the installation of a wall sign on the south façade, based on finding j.

Staff recommends the applicant revise signage to be consistent with the Guidelines for Signage. The Guidelines for Signage recommend three total signs per application, not to exceed fifty (50) square feet. While additional signage may be approved by the Commission, signage should be consistent with the Guidelines regarding materials and illumination.

COMMISSION ACTION:

Approval of items #1 and #2, the existing monument signs as a reface only. Approval of all other signs with the stipulation that they feature metal faces and indirect illumination or no glowing cabinets. The Commission found the size and locations of signage to be appropriate.

A handwritten signature in black ink, reading "Shanon Shea Miller". The signature is fluid and cursive, with the first name "Shanon" and last name "Miller" clearly legible.

Shanon Shea Miller
Historic Preservation Officer

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GEORGE ICKE & BROS. BUILDING
1103 COMMERCE
MARC WEINSTEIN, WEINRITTER ST. PAUL SQUARE, LLC
SAN ANTONIO, BEXAR COUNTY, TEXAS
PROJECT NUMBER: THPTC-0614-20-084

SCHEDULE OF QUALIFIED REHABILITATION EXPENDITURES AND COMPUTATION
OF TEXAS HISTORICAL PRESERVATION TAX CREDITS

As of April 3, 2024

Category	Total Costs	Qualified Rehabilitation Expenditures
Specialties	\$	
Permits and inspections		
Schedule consultant		
Construction costs		
Conveying systems		
Interior design		
Soft costs		
Temporary fence, trash chute, dumpsters, etc.		
Samples		
Storage and equipment rentals		
Scaffolding		
Fire sprinklers		
Demolition		
Plumbing and electricity		
HVAC		
Data and collections		
Firm alarms and security		
Sitework and foundation		
Masonry, metals, etc.		
Framing materials and protection		
Openings and finishings		
Drywall		
Flooring		
Molding, surrounds and painting		
Architectural fees		
Construction management costs		
Project management		
Interest expense		
Professional fees - Accounting		
Total Costs	\$	
Total Qualified Rehabilitation Expenditures		

See independent auditor's report and accompanying notes to the Schedule of Qualified Rehabilitation Expenditures and Computation of Texas Historical Preservation Tax Credits.

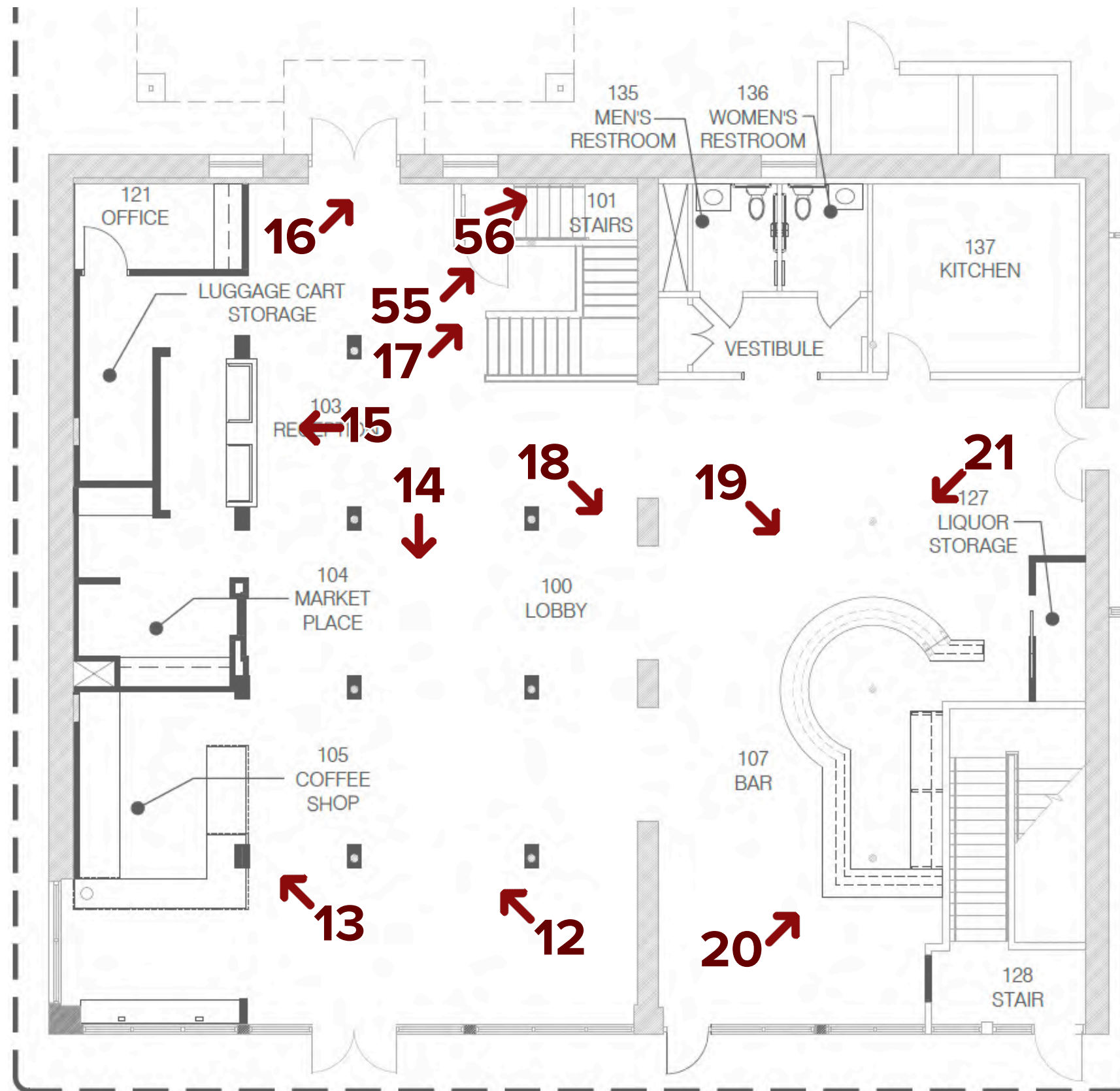


EXTERIOR

George Icke & Bros. Building

1103 E Commerce St
San Antonio, TX
Post -Rehabilitation Photos
July 2023



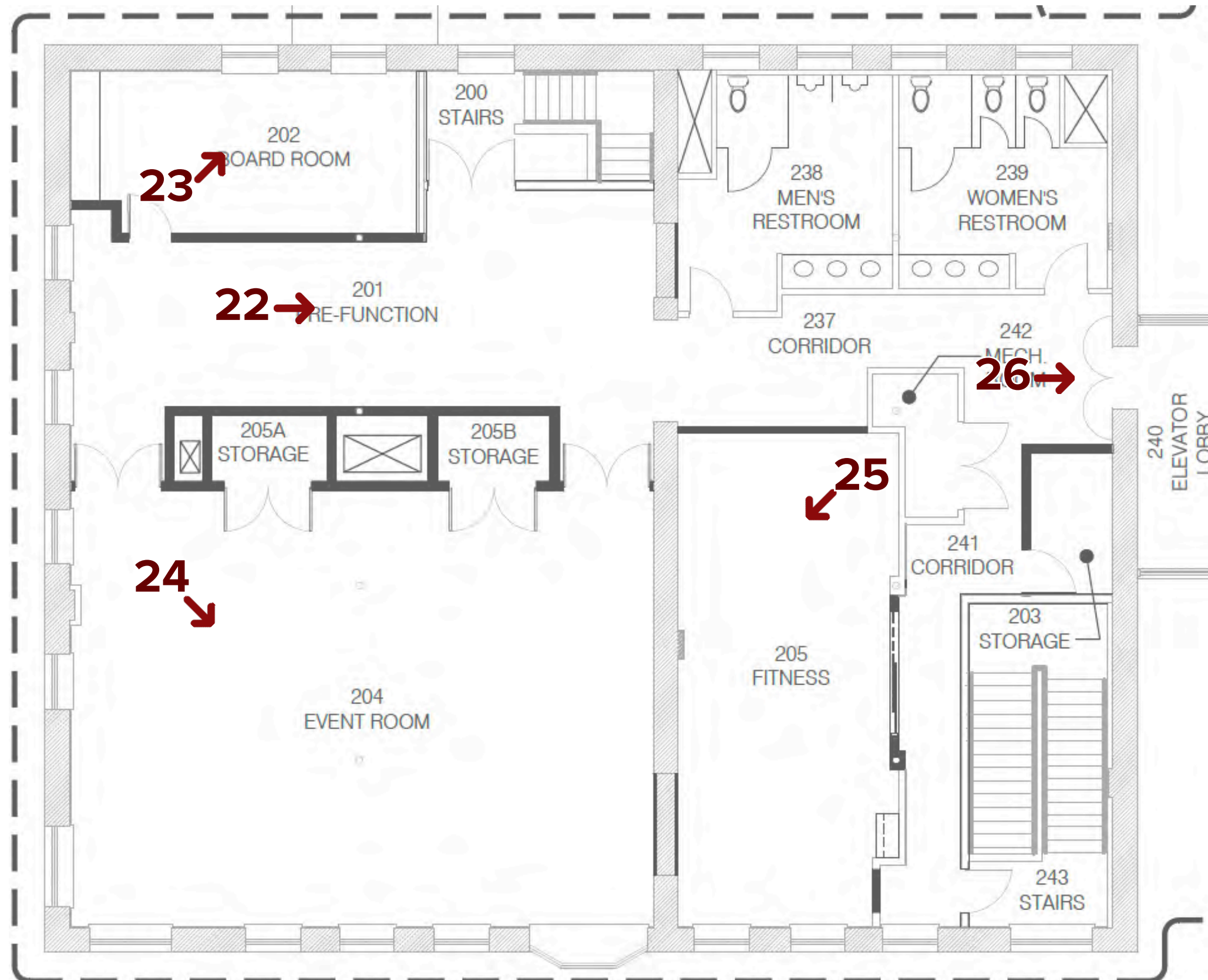


FIRST STORY HISTORIC

George Icke & Bros. Building

1103 E Commerce St
San Antonio, TX
Post -Rehabilitation Photos
July 2023



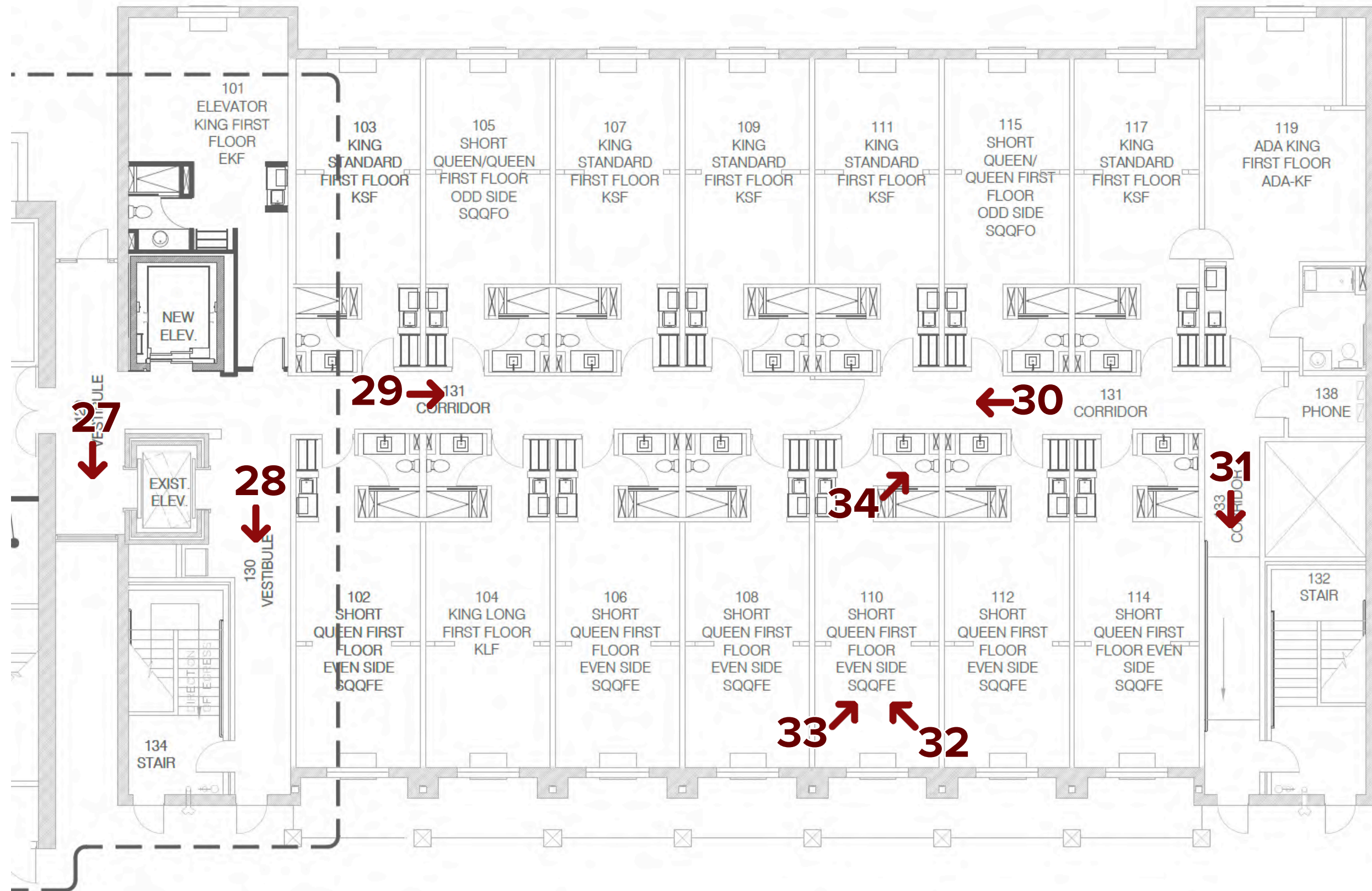


MEZZANINE
HISTORIC

George Icke & Bros. Building

1103 E Commerce St
San Antonio, TX
Post -Rehabilitation Photos
July 2023



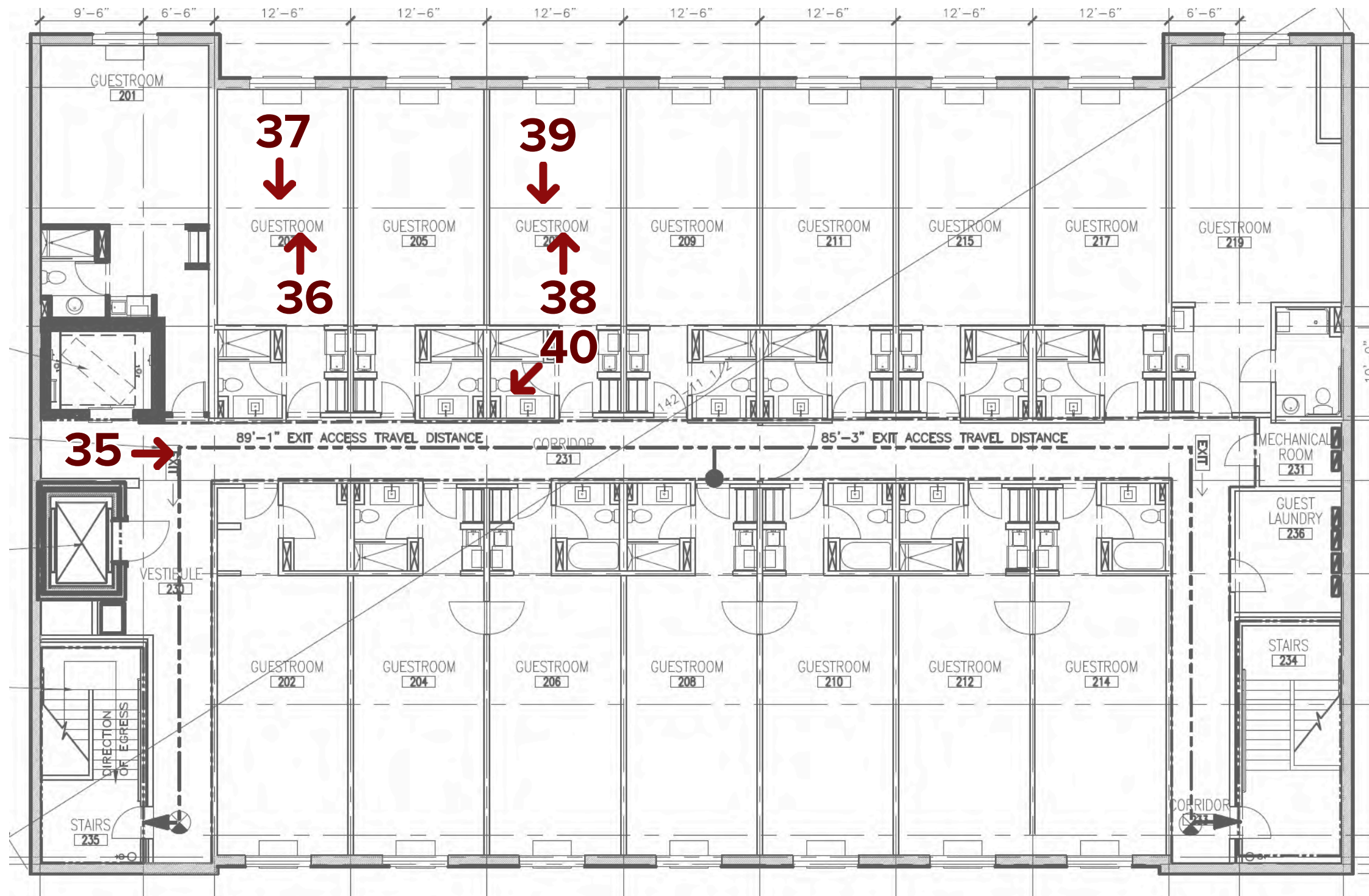


FIRST STORY NON-HISTORIC

George Icke & Bros. Building

1103 E Commerce St
San Antonio, TX
Post -Rehabilitation Photos
July 2023





SECOND STORY NON-HISTORIC

George Icke & Bros. Building

1103 E Commerce St
San Antonio, TX
Post -Rehabilitation Photos
July 2023



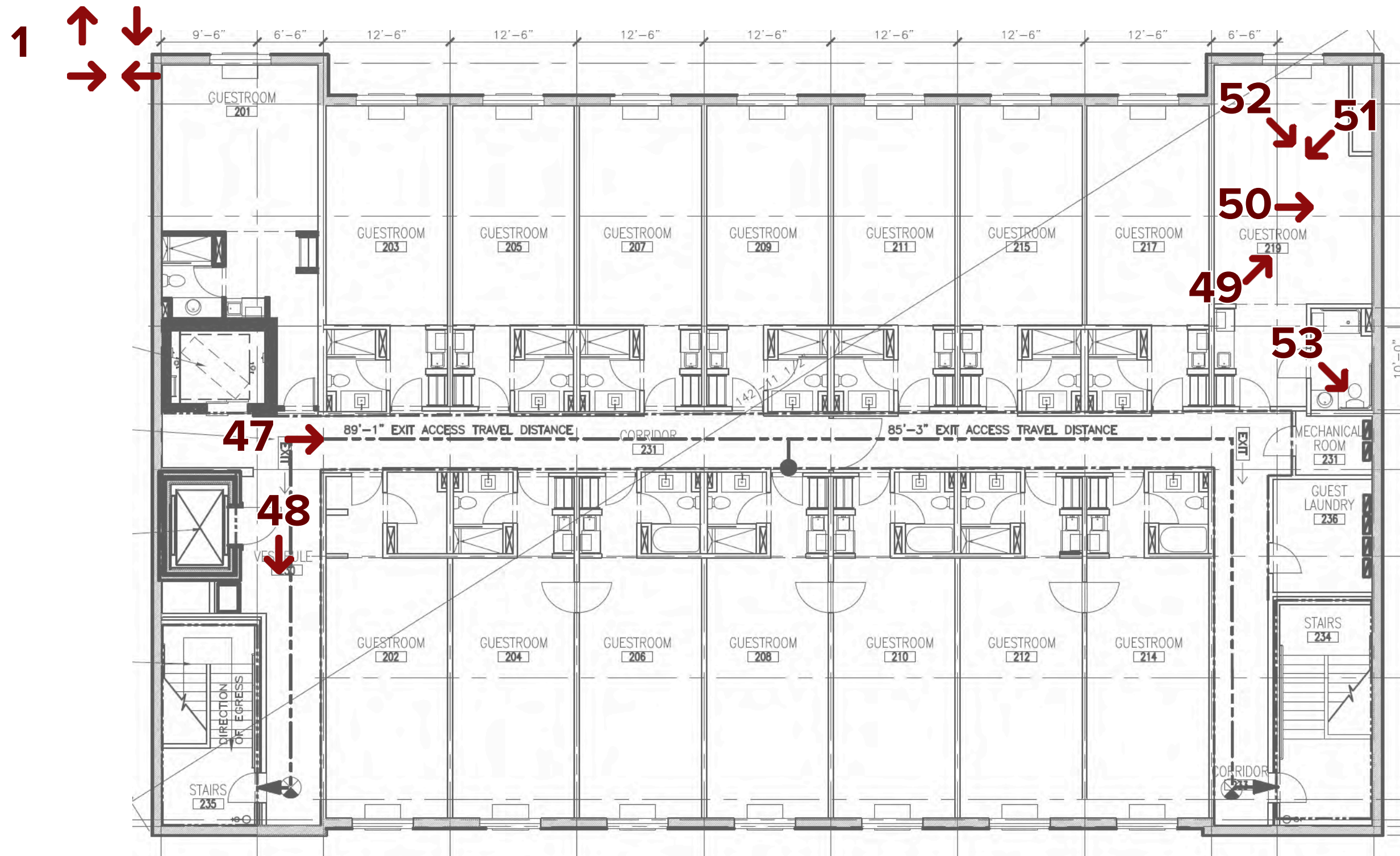


THIRD STORY NON-HISTORIC

George Icke & Bros. Building

1103 E Commerce St
San Antonio, TX
Post -Rehabilitation Photos
July 2023





FOURTH STORY NON-HISTORIC

George Icke & Bros. Building

1103 E Commerce St
San Antonio, TX
Post -Rehabilitation Photos
July 2023



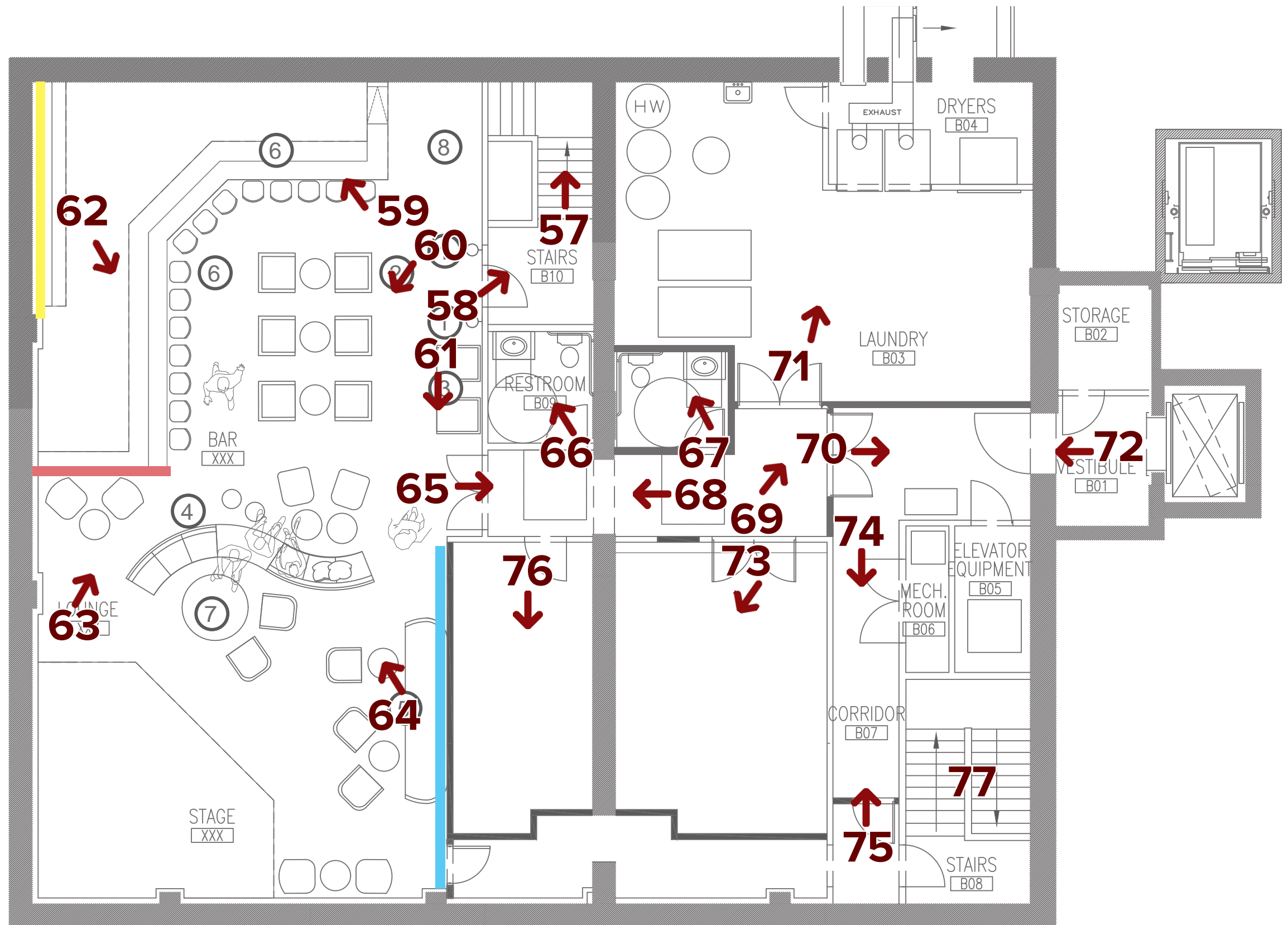


FIFTH STORY NEW ADDITION

George Icke & Bros. Building

1103 E Commerce St
San Antonio, TX
Post -Rehabilitation Photos
July 2023





BASEMENT AND SPEAKEASY

George Icke & Bros. Building

1103 E Commerce St
San Antonio, TX
Post -Rehabilitation Photos
April 2024





1. South (primary) elevation, View N



2. South (primary) elevation storefronts, View NE



3. South (primary) elevation storefronts, View NE



4. South (primary) and west elevations, View NE



5. West elevation, View E



6. West and north (rear) elevations, View SE



7. North (rear) elevation, View S



8. South (primary) elevation showing connection with non-historic hyphen and addition, View N



9. South (primary) and east elevations of non-historic addition, View NW



10. South (primary) and east elevations of non-historic addition, View NW



11. North (rear) and west elevations of non-historic addition, View SE



12. First story west lobby, View NW



13. First story west lobby, View NW



14. First story west lobby, View S



15. First story west lobby, View W



16. First story west lobby rear entry doors, View NE



17. First story west lobby, View NE



18. First story west lobby, View SE



19. East lobby, View SE



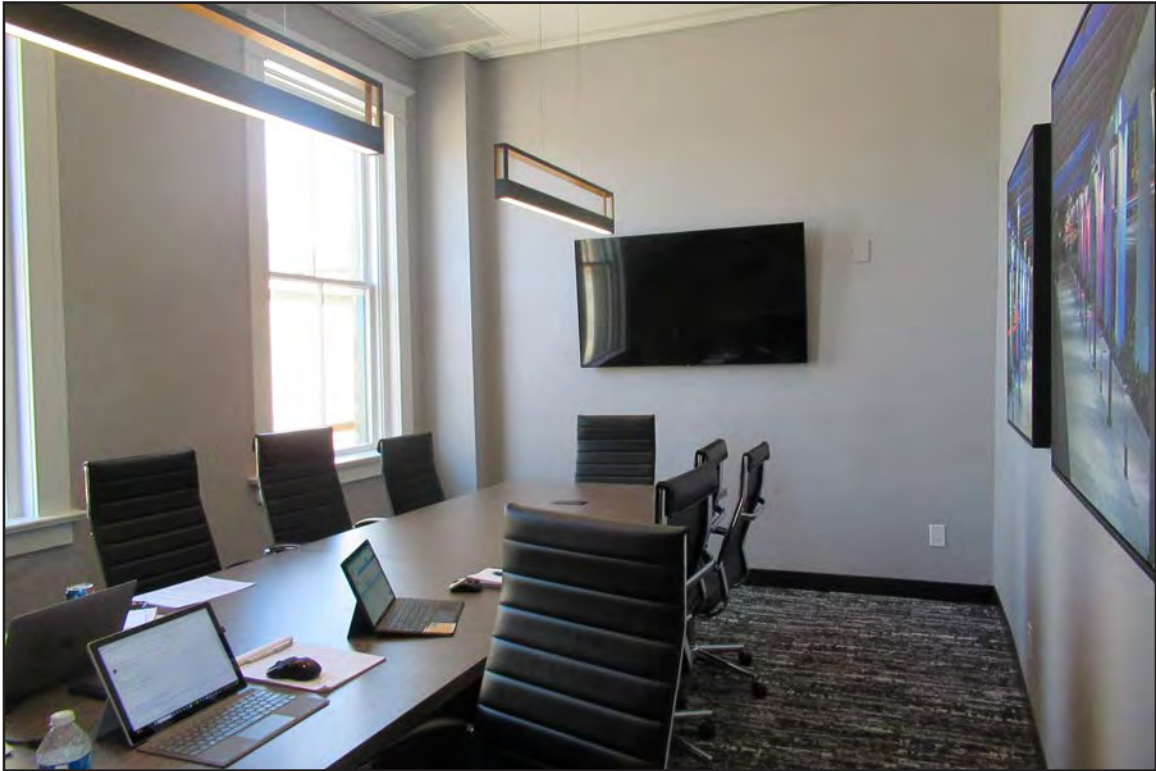
20. East lobby, View NE



21. East lobby, View SW



22. Mezzanine corridor, View E



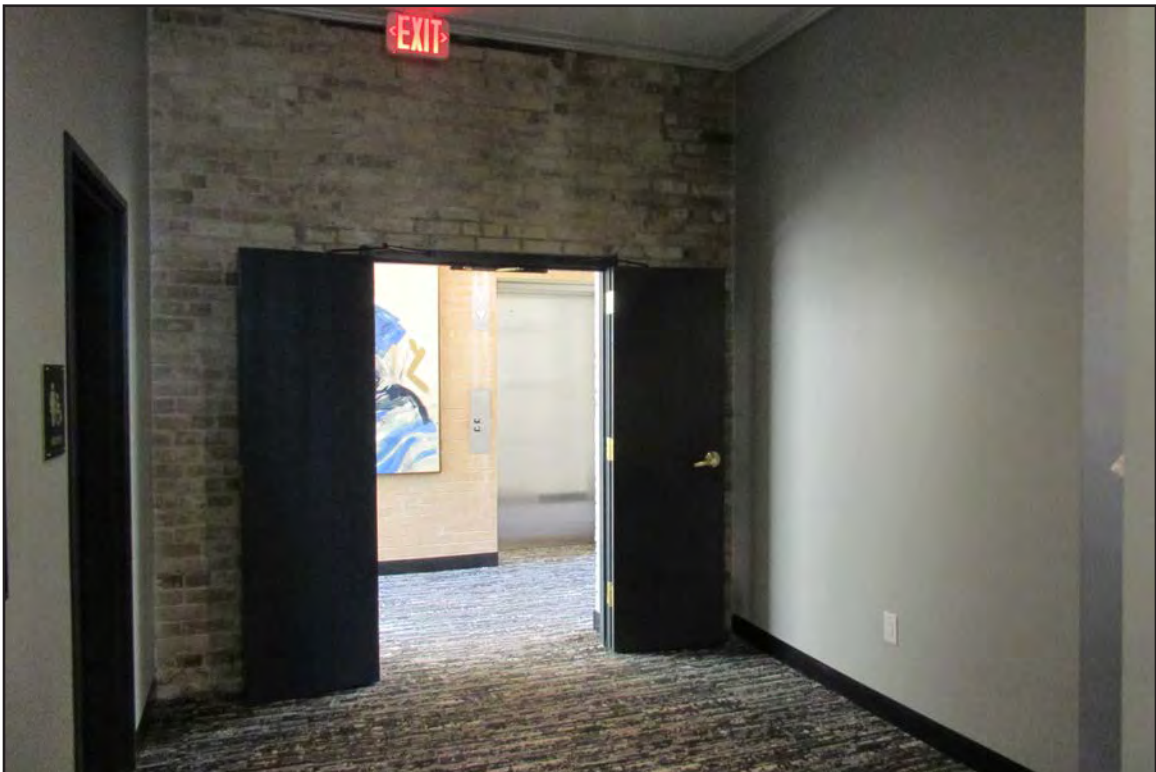
23. Mezzanine board room, View NE



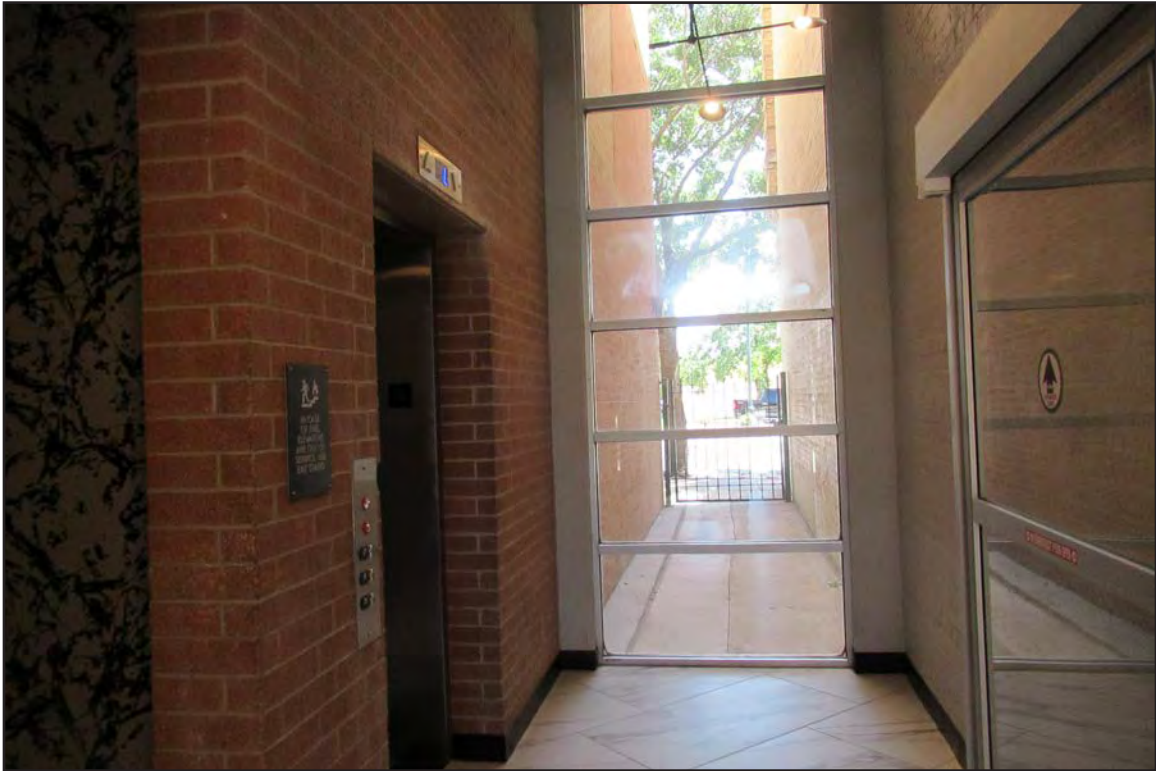
24. Mezzanine event room, View SE



25. Mezzanine fitness room, View SW



26. Mezzanine entrance to non-historic addition, View E



27. First story non-historic hyphen, View S



28. First story non-historic corridor, View S



29. First story non-historic corridor, View E



30. First story non-historic corridor, View W



31. First story non-historic corridor, View S



32. First story non-historic hotel room, View NE



33. First story non-historic hotel room, View NW



34. First story non-historic hotel room, View NE



35. Second story non-historic corridor, View E



36. Second story non-historic hotel room, View N



37. Second story non-historic hotel room, View S



38. Second story non-historic hotel room, View N



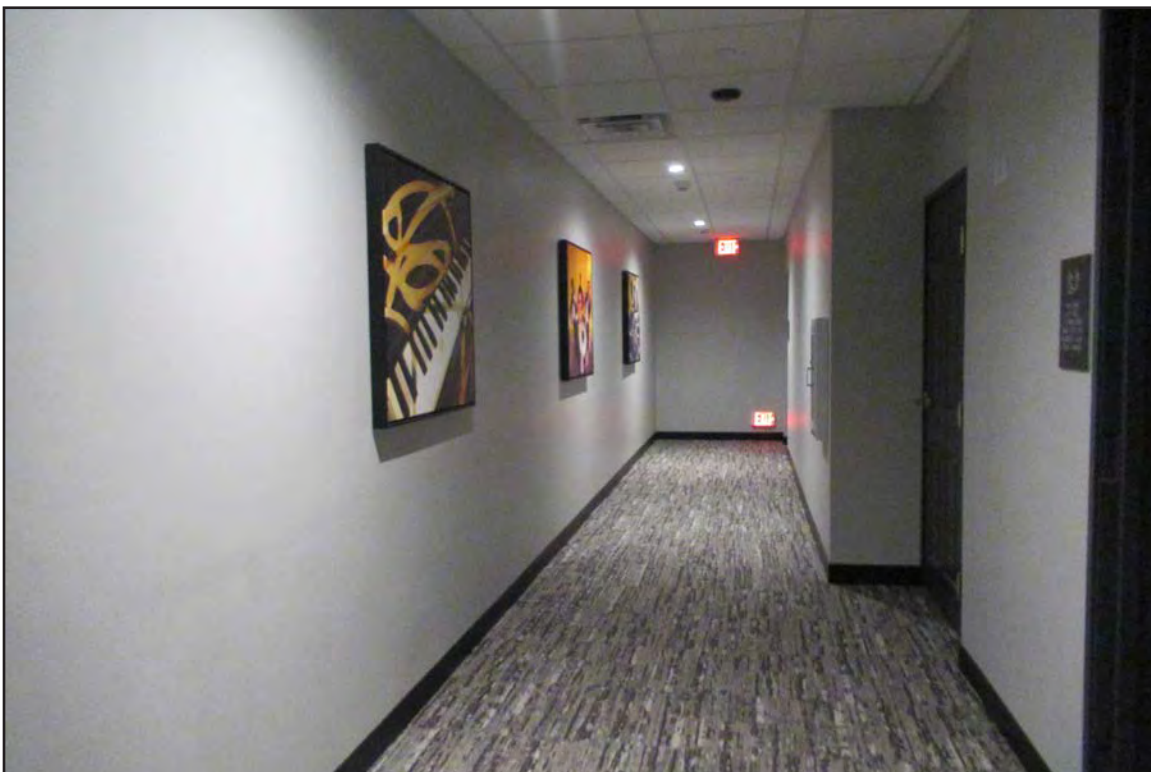
39. Second story non-historic hotel room, View S



40. Second story non-historic hotel room, View SW



41. Third story non-historic corridor, View E



42. Third story non-historic corridor, View S



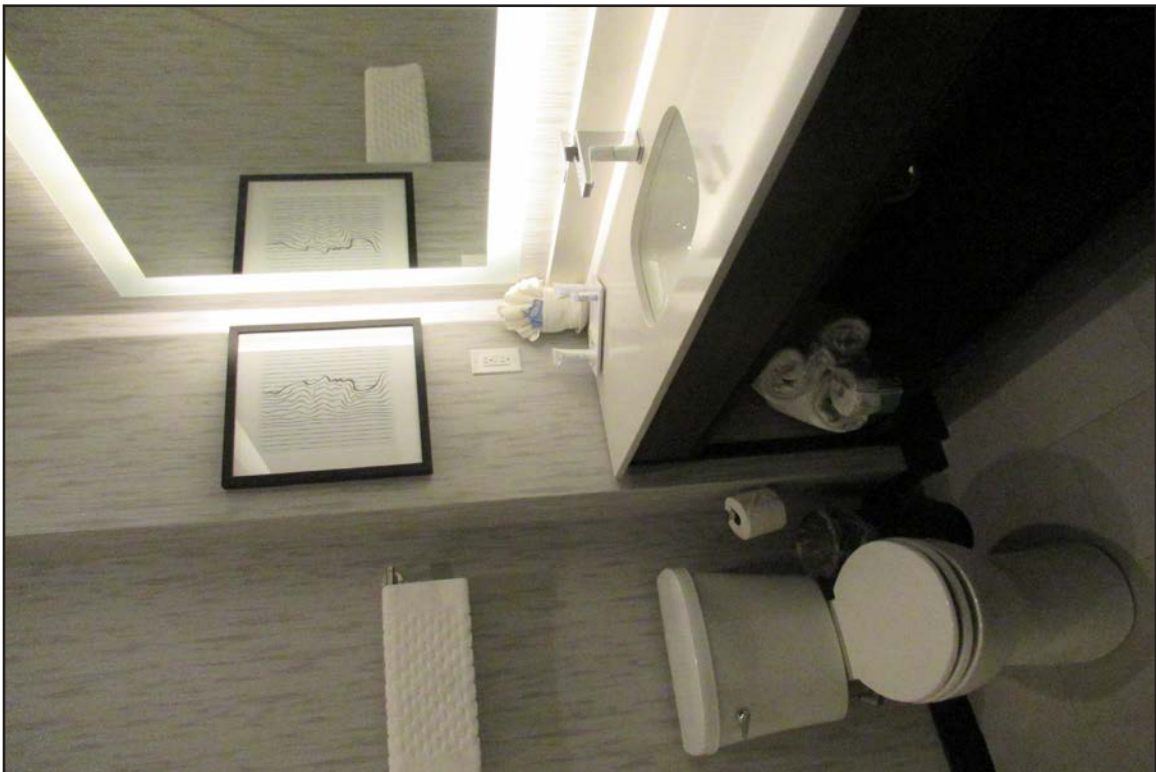
43. Third story non-historic hotel room, View N



44. Third story non-historic hotel room, View SE



45. Third story non-historic hotel room, View SW



46. Third story non-historic hotel room, View NE



47. Fourth story non-historic corridor, View E



48. Fourth story non-historic corridor, View S



49. Fourth story non-historic hotel room, View N



50. Fourth story non-historic hotel room, View E



51. Fourth story non-historic hotel room, View SW



52. Fourth story non-historic hotel room, View SE



53. Fourth story non-historic hotel room, View SE



54. Fifth story addition corridor, View E



55. First floor, speakeasy entrance, View E. April 2024



56. First floor, speakeasy entrance, View E. April 2024



57. North stairs up to first floor speakeasy entrance, View NE. April 2024



58. Basement-level entry door, View E. April 2024



59. Speakeasy bar, View N. April 2024



60. Speakeasy lounge, View W. April 2024



61. Speakeasy lounge, View SW. April 2024



62. Speakeasy lounge, View S. April 2024



63. Speakeasy lounge, View E. April 2024



64. Speakeasy lounge, View N. April 2024



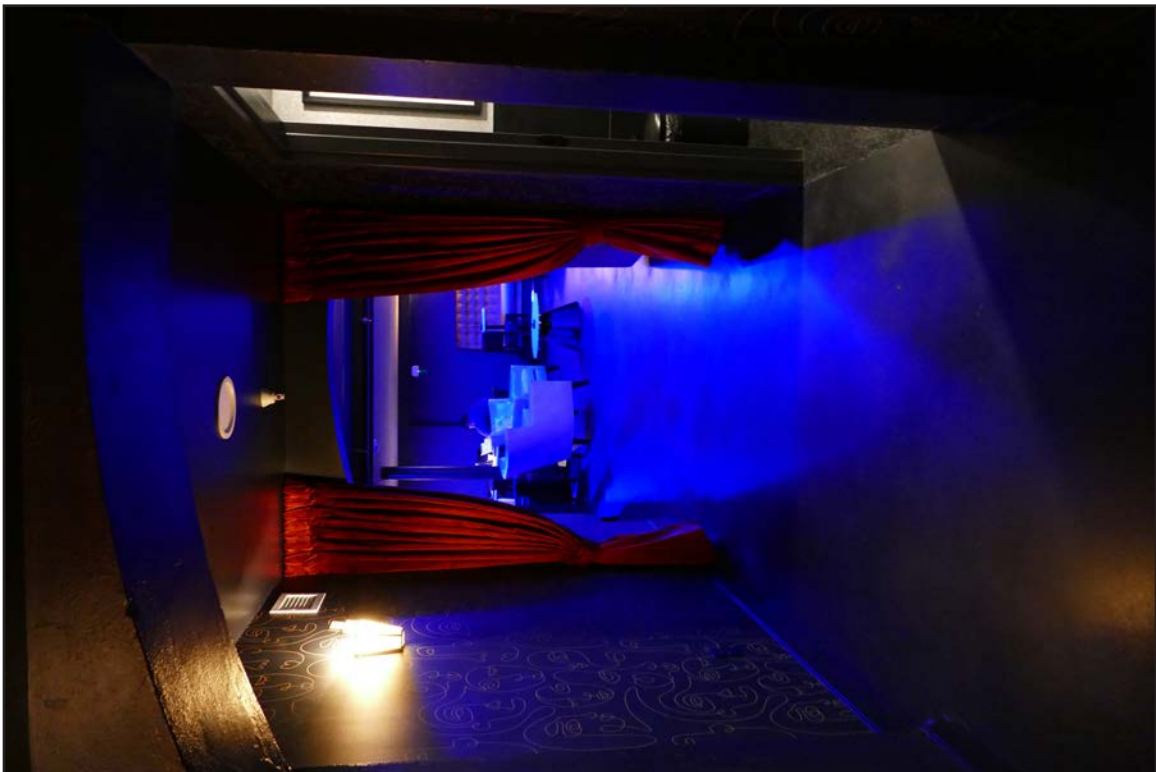
65. Speakeasy, corridor to restrooms and service areas View SE. April 2024



66. Restroom, View N. April 2024



67. Restroom, View N. April 2024



68. Speakeasy, corridor to restrooms and service areas View NW. April 2024



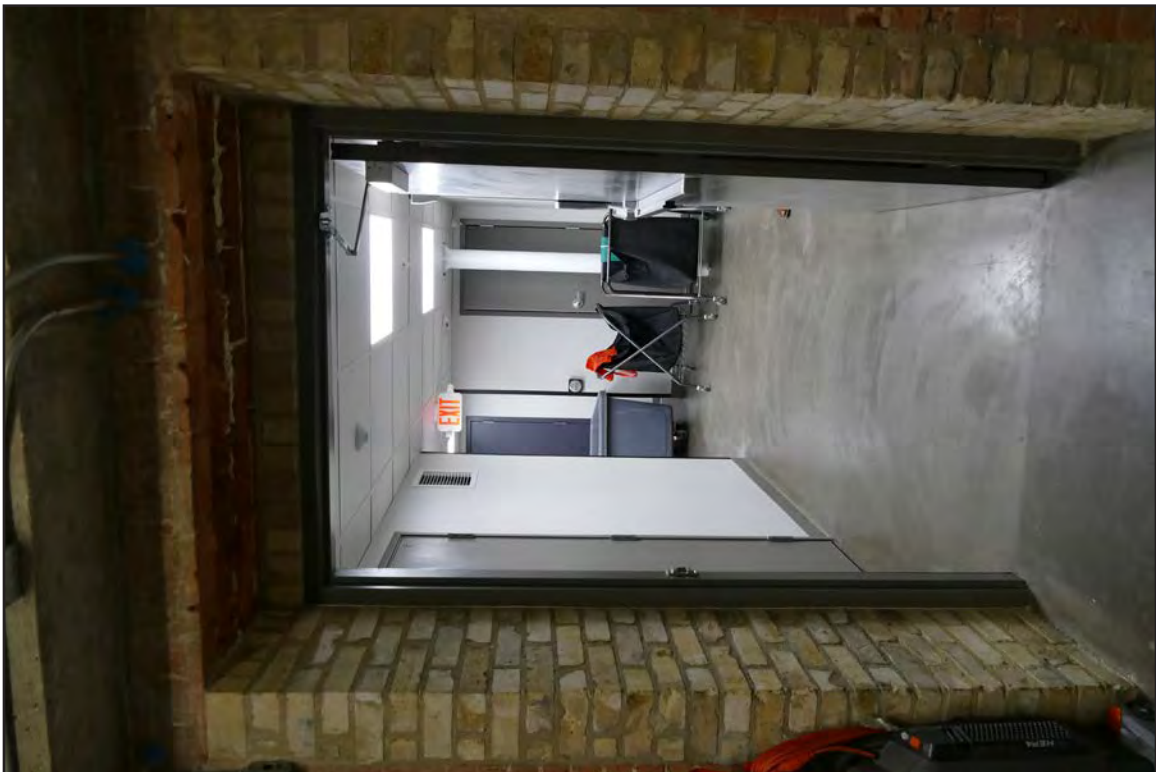
69. Basement service corridor, View E. April 2024



70. Basement service corridor, View SE. April 2024



71. laundry room, View E. April 2024



72. Basement service corridor, View NW. April 2024



73. Office, View W. April 2024



74. Corridor to south stairs, View SW. April 2024



75. Corridor to south stairs, View NE. April 2024



76. Break room, View SW. April 2024



77. South stairs to first floor, View SE. April 2024



HISTORIC REHABILITATION APPLICATION: Part 1 of 2

OFFICE OF HISTORIC PRESERVATION

1901 S ALAMO, SAN ANTONIO, TEXAS 78204

210-207-0035 | INFO@SAPRESERVATION.COM

DATE RECEIVED

Staff Initials: _____

Date of HDRC hearing: _____

Use this form :

BEFORE WORK BEGINS

1. **SUBSTANTIAL REHABILITATION TAX INCENTIVE: TAX CERTIFICATION**
2. **CITY OF SAN ANTONIO FEE WAIVER PROGRAM**

This form is to be completed, signed, and filed with the City of San Antonio's Office of Historic Preservation prior to being heard by the Historic & Design Review Commission (HDRC). It will be scheduled according to the HDRC deadline schedule.

REQUIRED DOCUMENTS

- ☐ One set of complete plans for restora. on and rehabilitation both exterior and interior. This could include drawings or photos and narrative.
- ☐ Detailed written narrative explaining the proposed work
- ☐ Itemized list of expected work both interior and exterior
- ☐ Projected time schedule
- ☐ Estimated associated costs
- ☐ Color photos of the exterior and interior
- ☐ Color photo of the structure from the street

Which program are you applying for? Check all that apply.

City of San Antonio Fee Waiver Program

Substantial Rehabilitation Tax Incentive (must be designated historic)

Property Address: _____ **Zip code:** _____

Legal Description: NCB ____ Block ____ Lot ____ **Property ID:** _____ Search BCAD if unknown.

Zoning Code: _____ Search COSA's One-Stop Map if unknown.

Mark all that apply, if any:

____ Historic District ____ Historic Landmark ____ River Improvement Overlay ____ Public Property ____ Vacant Structure

Property Owner Name: _____

Mailing address: _____ **Zip code:** _____

Phone number: _____ **Email:** _____

Applicant/Authorized Representative (Primary point of contact if different than owner): _____

Mailing address: _____ **Zip code:** _____

Phone number: _____ **Email:** _____

Spanish translation: Preferiría tener un traductor de español en la audiencia. (I would prefer to have a Spanish translator at the hearing.)

I, THE APPLICANT, DECLARE THAT I AM THE OWNER OR AUTHORIZED AGENT OF THE OWNER(S) TO MAKE THIS REQUEST OF THIS PROPERTY AND THAT THE INFORMATION PRESENTED IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

I, the applicant, acknowledge (PLEASE INITIAL ALL):

____ This form, nor the approval of Tax Certification, does NOT take place of a Certificate of Appropriateness NOR a building permit. A building permit, if applicable, must be obtained from the City of San Antonio, Development Services Department. If work that required a Certificate of Appropriateness is part of the proposed substantial rehabilitation, that the property owner is responsible for obtain those proper approvals.

____ After work is completed, the applicant MUST submit the tax verification application to be scheduled for HDRC Review.

Alison Dunleavy

SIGNATURE OF APPLICANT

DATE

Submit by email at info@sapreservation.com



HISTORIC REHABILITATION APPLICATION: Part 2 of 2

OFFICE OF HISTORIC PRESERVATION

1901 S ALAMO, SAN ANTONIO, TEXAS 78204

210-207-0035 | INFO@SAPRESERVATION.COM

DATE RECEIVED

Staff Initials: _____

Date of HDRC hearing: _____

Use this form :

AFTER WORK IS COMPLETED

1. **SUBSTANTIAL REHABILITATION TAX INCENTIVE: TAX VERIFICATION**
2. **CITY OF SAN ANTONIO FEE WAIVER PROGRAM**

This form is to be completed, signed, and filed with the City of San Antonio's Office of Historic Preservation prior to being heard by the Historic & Design Review Commission (HDRC). It will be scheduled according to the HDRC deadline schedule.

Please note that the tax incentive will begin the next available year following the HDRC hearing. OHP staff will notify Bexar County Appraisal District of the approved exemption at the end of the calendar year following verification. BCAD will and require property owners to submit a copy of the approval letter each year in order to claim the incentive.

REQUIRED DOCUMENTS

- ☐ Detailed written narrative explaining the completed work
- ☐ Itemized list of work completed both interior and exterior
- ☐ Completed time schedule
- ☐ Itemized list of final associated costs
- ☐ Color photos of the exterior and interior
- ☐ Color photo of the home from the street
- ☐ Final Building Inspection clearance: Closed permits or Certificate of Occupancy and Certificates of Appropriateness (copies or case number)

Which program are you applying for? Check all that apply.

☐ City of San Antonio Fee Waiver Program ☐ Substantial Rehabilitation Tax Program (must be designated historic)

Property Address: _____ Zip code: _____

Legal Description: NCB _____ Block _____ Lot _____ Property ID: _____ Search BCAD if unknown.

Zoning Code: _____ Search COSA's One-Stop Map if unknown. Mark all that apply, if any:

☐ Historic District ☐ Historic Landmark ☐ River Improvement Overlay ☐ Public Property ☐ Vacant Structure

Property Owner Name: _____

Mailing address: _____ Zip code: _____

Phone number: _____ Email: _____

Applicant/Authorized Representative (Primary point of contact if different than owner): _____

Mailing address: _____ Zip code: _____

Phone number: _____ Email: _____

☐ Spanish translation: Preferiría tener un traductor de español en la audiencia. (I would prefer to have a Spanish translator at the hearing.)

Options for the Historic Tax Incentive (must be designated historic)

Residential properties, may select from one of the two options below.

Commercial properties are only eligible for option 2, the Five Zero/Five Fifty incentive.

☐ **OPTION 1: 10 YEAR TAX FREEZE**

This exemption option freezes your COSA City taxes at the pre-improvement value (value at time of Certification) for ten (10) years. Therefore, your COSA City property taxes would be assessed based upon the value of the property before the substantial rehabilitation occurred.

☐ **OPTION 2: FIVE ZERO/FIVE FIFTY**

This option calls for the payment of zero COSA City taxes for five (5) years. For the subsequent five (5) years, the COSA City property taxes will be assessed at only 50% of the post-rehabilitation value of the property.

I, THE APPLICANT, DECLARE THAT I AM THE OWNER OR AUTHORIZED AGENT OF THE OWNER(S) TO MAKE THIS REQUEST OF THIS PROPERTY AND THAT THE INFORMATION PRESENTED IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

I, the applicant, acknowledge (PLEASE INITIAL ALL):

____ This form, nor the approval of Tax Verification on does NOT take place of a Certificate of Appropriateness NOR a building permit. A building permit, if applicable, must be obtained from the City of San Antonio, Development Services Department. If work that required a Certificate of Appropriateness is part of the proposed substantial rehabilitation that the property owner is responsible for obtain those proper approvals

____ Projects with unapproved work or that have exceeded the scope of approval at the time of Certification are ineligible for the tax incentive.

In accordance with the City of San Antonio Ordinances No. 52281 and/or 52282, I hereby swear that substantial rehabilitation of the property listed has been completed according to the criteria and standards of the City of San Antonio Historic and Design Review Commission.

I hereby authorize duly constituted representatives of the City of San Antonio to make an investigation of the property in compliance with the code requirements.

Alison Dunleavy

SIGNATURE OF APPLICANT

DATE

Submit by email at info@sapreservation.com