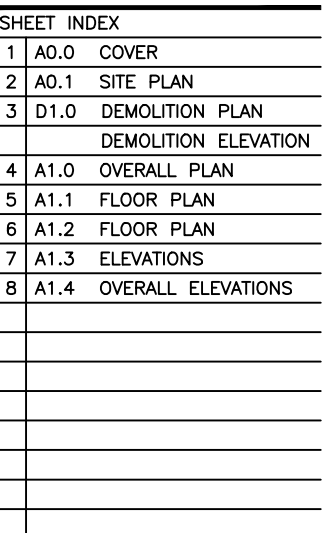


DESIGN

T. 210-632-2154
E. aodesign.ochoa@gmail.com

1002 KAMPMANN BLVD.



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PROJECT NO. XXX-XX
DATE: OCTOBER 18, 2024
DRAWN BY: ADAN OCHOA
DESIGNER: ADAN OCHOA

sheet

A0.0

1 of 8

STEPHEN BLAKE
PROJECT DESIGNER
SAN ANTONIO, TEXAS 78221
T: 210.632.2154
aodesign.ochoa@gmail.com

COVER SHEET

[illegible]

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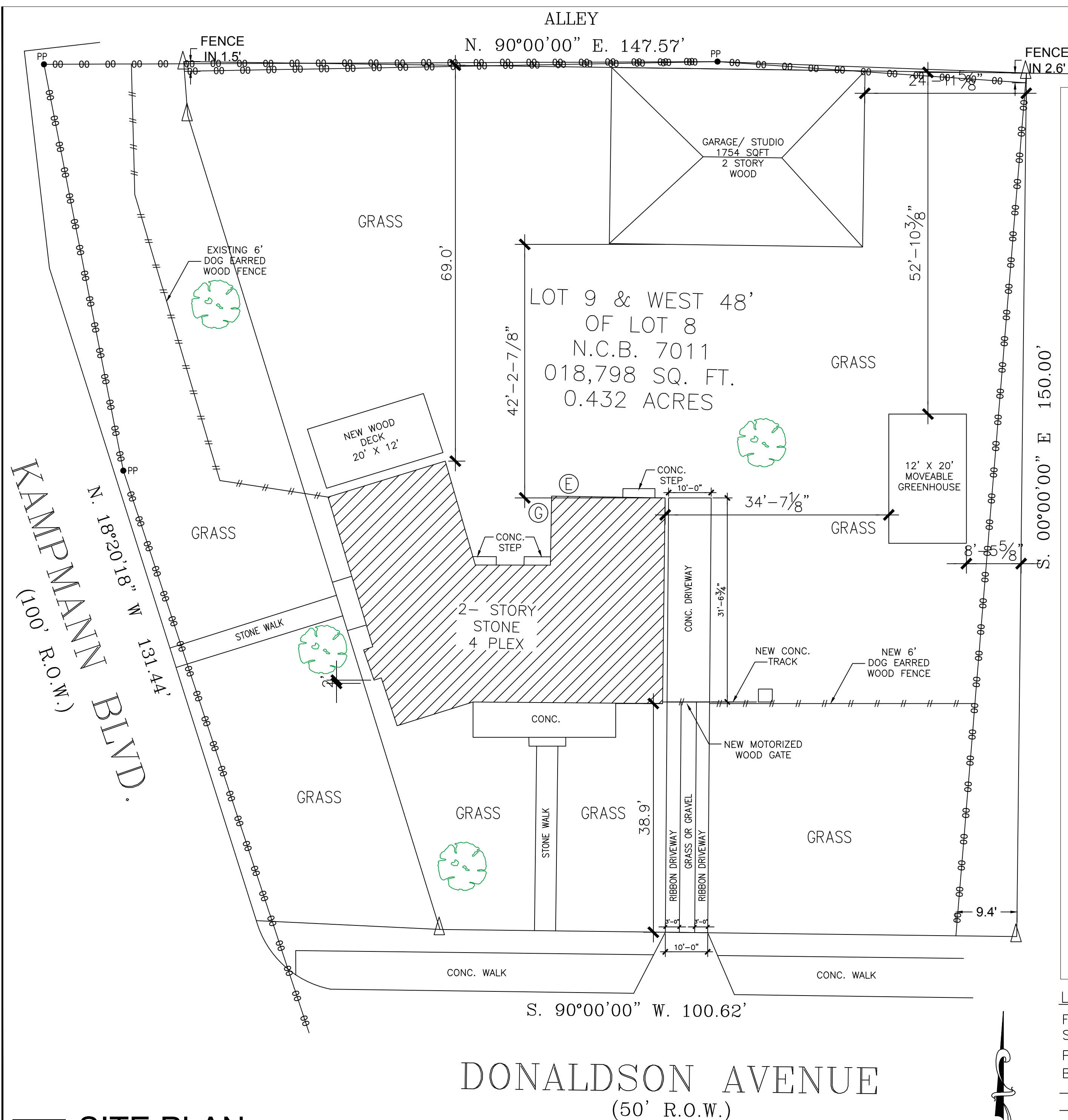
PROJECT NO. XXX-XX
DATE: OCTOBER 18, 2024
DRAWN BY: ADAN OCHOA
DESIGNER: ADAN OCHOA

sheet

A0.2

2 of 8

SITE PLAN



LEGEND

- F.C. : FENCE CORNER
S.I.P. : SET 1/2" IRON PIN
P.P. : POWER POLE
B.S. : BUILDING SETBACK
—E— : OVERHEAD POWER LINE
—— : CHAIN LINK FENCE
Ⓒ : GAS METER
Ⓔ : ELECTRICAL METER
▲ : CALCULATED POINT

1 SITE PLAN
Scale: NOT TO SCALE



Scale: 1/4" = 1'-0"



Scale: 1/4" = 1'-0"

SQUARE FOOTAGE: 1,754

DESIGN

AO DESIGN, LLC
ADAN OCHOA
234 GROSVENOR
SAN ANTONIO, TEXAS
T. 210-632-2154
E. aodesign.ochoa@gmail.com

1002 KAMPMANN BLVD.

SHEET INDEX

1	A0.0	COVER
2	A0.1	SITE PLAN
3	D1.0	DEMOLITION PLAN
		DEMOLITION ELEVATIONS
4	A1.0	OVERALL PLAN
5	A1.1	FLOOR PLAN
6	A1.2	FLOOR PLAN
7	A1.3	ELEVATIONS
8	A1.4	OVERALL ELEVATIONS

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DRAWN BY: ADAN OCHOA
DESIGNER: ADAN OCHOA

sheet

A1.0

4 of 8

OVERALL FLOOR PLAN



1002 KAMPMANN BLVD.

[illegible]

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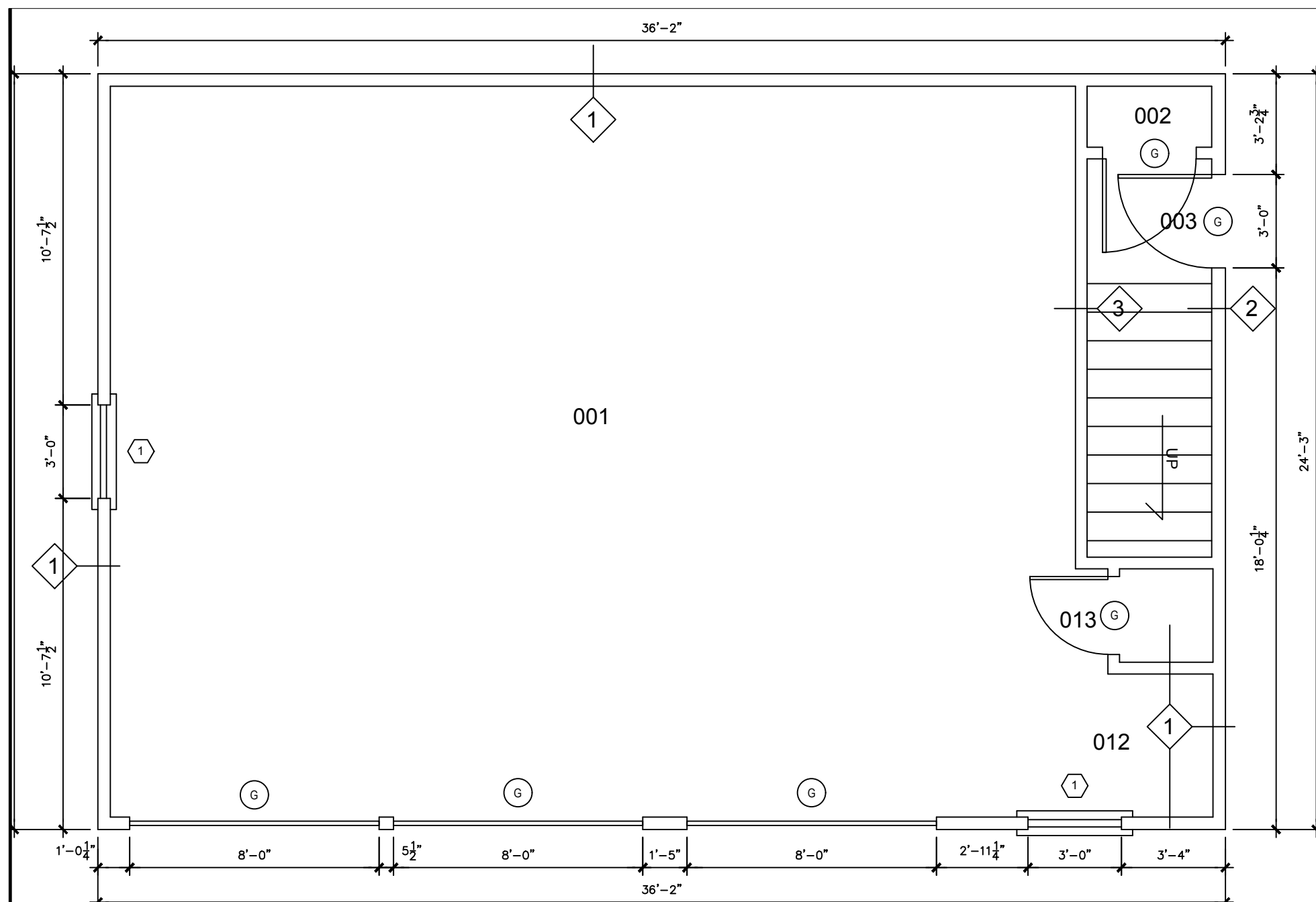
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DRAWN BY: ADAN OCHOA
DESIGNER: ADAN OCHOA

sheet

A1.1

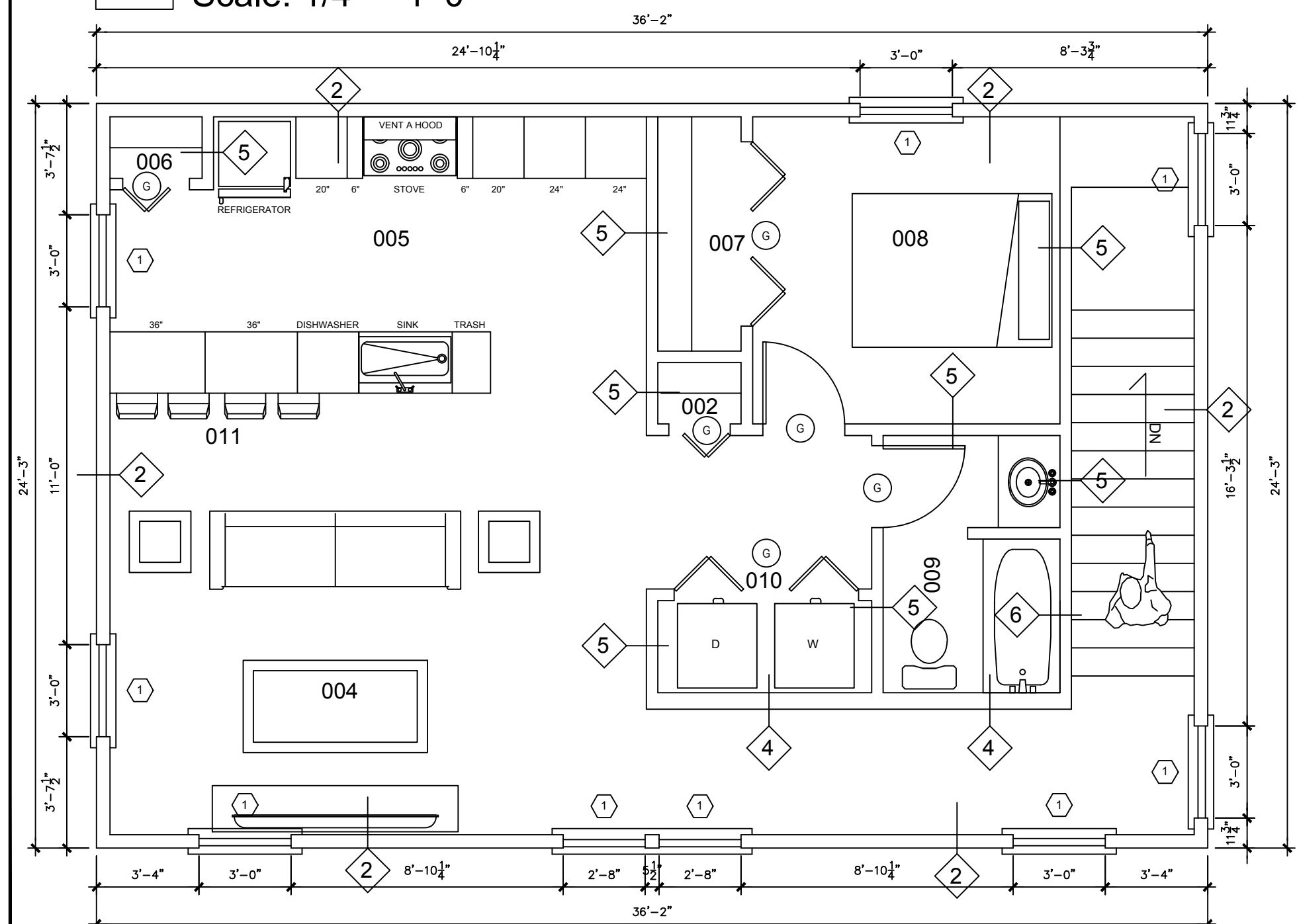
5 of: 8

FLOOR PLAN



1 OVERALL FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"



2 OVERALL SECOND FLOOR PLAN




Scale: 1/4" = 1'-0"

LEGEND

001	GARAGE/ STORAGE	008	MASTER BEDROOM
002	CLOSET	009	BATHROOM
003	ENTRY	010	WASHER/ DRYER
004	LIVING ROOM	011	SERVING STATION
005	KITCHEN	012	WASH STATION
006	PANTRY	013	WATER HEATER
007	MASTER CLOSET		

SQUARE FOOTAGE: 1,754

General Notes

1. ALL FRAMING TO BE 2X4 WOOD STUDS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE FROM FINISH TO FINISH.
3. CEILING TO CONSIST OF 5/8" TYPE "X" GYPSUM BOARD, UNLESS OTHERWISE NOTED.
4. ALL CORNER GUARDS ARE TO BE AT FULL HEIGHT AND SECURED WITH MASTIC.
5. NO SUBSTITUTIONS FOR MATERIALS FOR THOSE INDICATED SHALL BE MADE WITHOUT THE PROJECT DESIGNER'S WRITTEN APPROVAL.
6. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND SERVICES EXISTING OR NEW.
7. ALL INTERIOR WALLS TO BE CONSTRUCTED OUT OF 2X4 WOOD STUDS, TO BE PLACED 16 INCH ON CENTER AND COVERED WITH 1/2" TYPE "X" GYPSUM BOARD, UNLESS OTHERWISE NOTED AND PREP FOR PAINT.
8. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AT JOB SITE AND NOTIFY ANY DISCREPANCIES TO PROJECT MANAGER.
9. SYMBOL  INDICATES DOOR TYPE, SEE SHEET A2.0 FOR DOOR SCHEDULE INFORMATION.
10. SEE SHEET A2.0 FOR WINDOW TYPES SHOWN AS 
11. SEE SHEET A1.2 FOR PARTITION TYPES. 

VERIFY ALL ROUGH OPENING DIMENSIONS
AS REQ. TO MATCH DOOR & WINDOW SIZES
SHOWN.

Partition Types

- 1 NEW 2X4 WOOD STUDS @ 16 O.C., $\frac{1}{2}$ " OSB, TYVEK AND D-105 WOOD SIDING ON THE EXTERIOR.
- 2 NEW 2X4 WOOD STUDS @ 16 O.C., FILLED WITH R-19 BATT INSULATION, $\frac{3}{4}$ " GYPSUM BOARD ON THE INTERIOR, $\frac{1}{2}$ " OSB, TYVEK AND D-105 WOOD SIDING ON THE EXTERIOR.
- 3 NEW 2X4 WOOD STUDS @ 16 O.C. AND $\frac{1}{2}$ " TYPE "X" GYPSUM BOARD ON INTERIOR SIDE.
- 4 NEW 2X6 WOOD STUDS @ 16 O.C. AND $\frac{1}{2}$ " TYPE "X" GYPSUM BOARD ON BOTH SIDES.
- 5 NEW 2X4 WOOD STUDS @ 16 O.C. AND $\frac{1}{2}$ " TYPE "X" GYPSUM BOARD ON BOTH SIDES.
- 6 NEW 2X4 WOOD STUDS @ 16 O.C. WITH INSIDE SHOWER TO RECEIVE TYVEK, $\frac{1}{2}$ " HARDI BACKER, RED GUARD AND CERAMIC TILE, OPPOSITE SIDE TO RECEIVE $\frac{1}{2}$ " GYPSUM BOARD.

FINISH NOTES

1. MOISTURE RESISTANT GYPSUM BOARD ON WALLS AND CEILINGS IN BATHROOMS.
2. ALL ELECTRICAL OUTLET BOXES ARE TO BE ATTACHED TO STUDS, PROVIDE WHITE COLOR .
3. PLASTIC, MOISTURE RESISTANT HARDI BACKER AND RED GUARD ON ALL TUB/SHOWER WALLS.

SHEET INDEX	
1	A0.0 COVER
2	A0.1 SITE PLAN
3	D1.0 DEMOLITION PLAN
	DEMOLITION ELEVATION
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LEGEND			
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005	KITCHEN	012	WASH STATION
006	PANTRY	013	WATER HEATER
007	MASTER CLOSET		

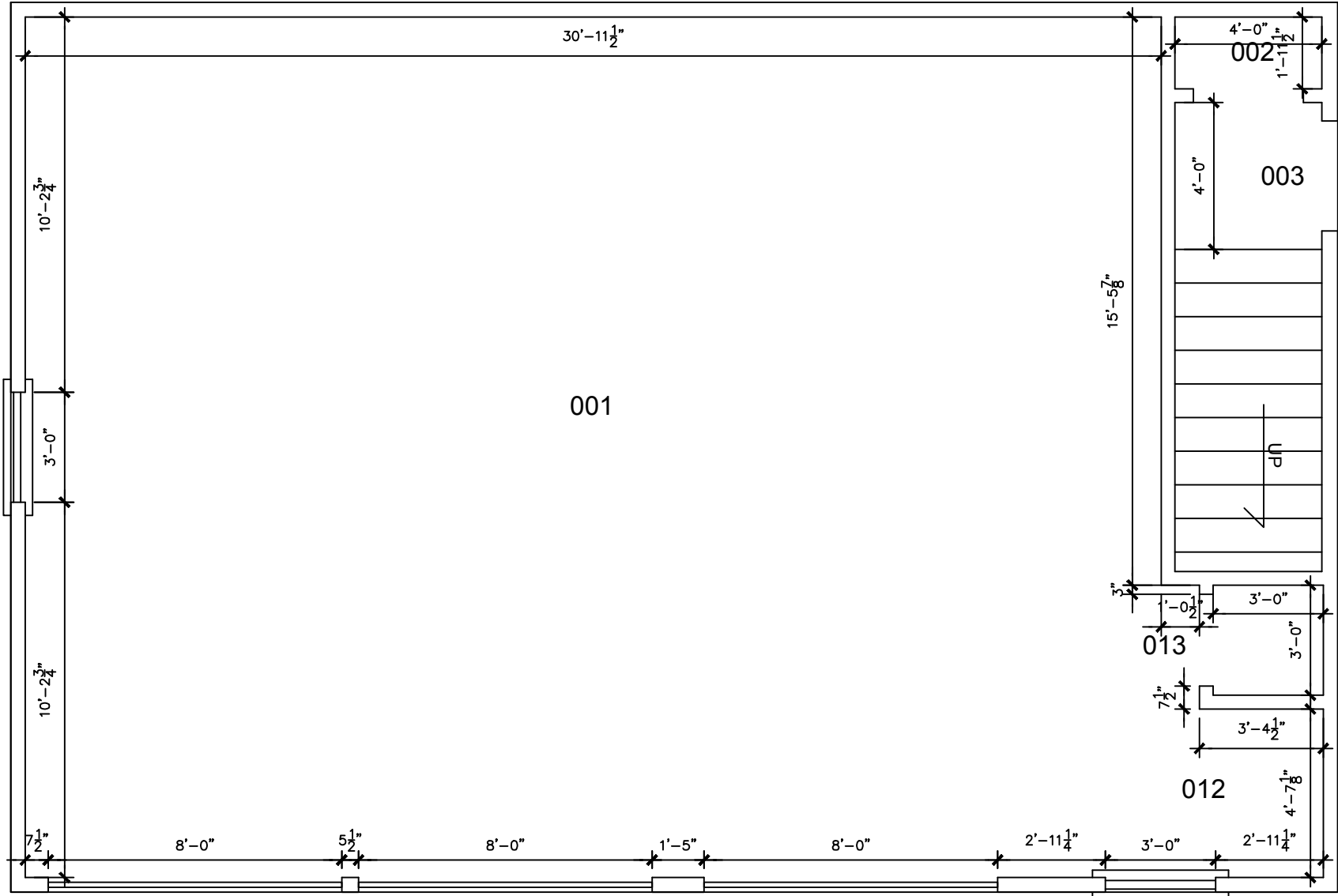
SQUARE FOOTAGE: 1,754

General Notes

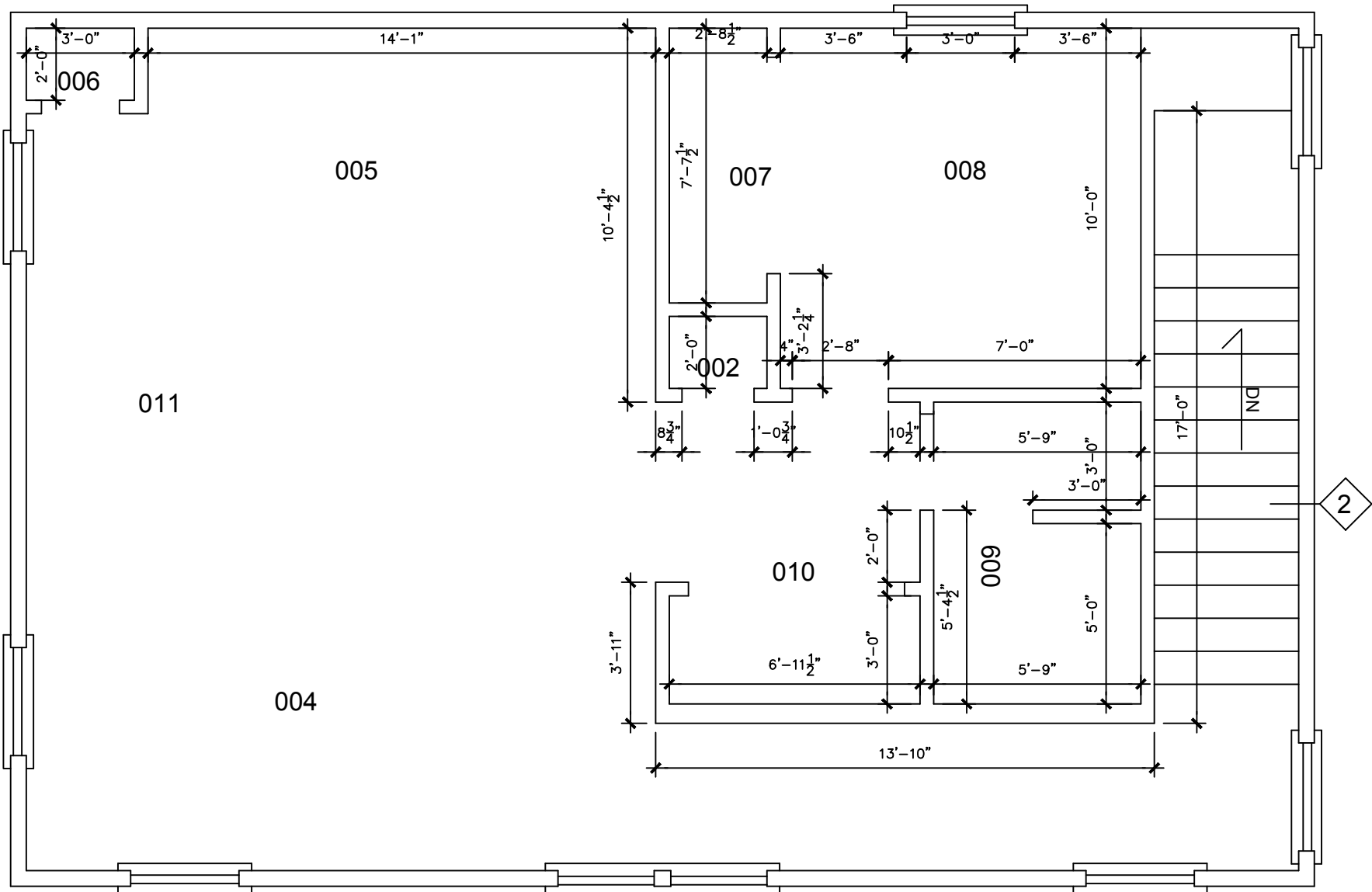
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- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AT JOB SITE AND NOTIFY ANY DISCREPANCIES TO PROJECT MANAGER.
- VERIFY ALL ROUGH OPENING DIMENSIONS AS REQ. TO MATCH DOOR & WINDOW SIZES SHOWN.

FINISH NOTES

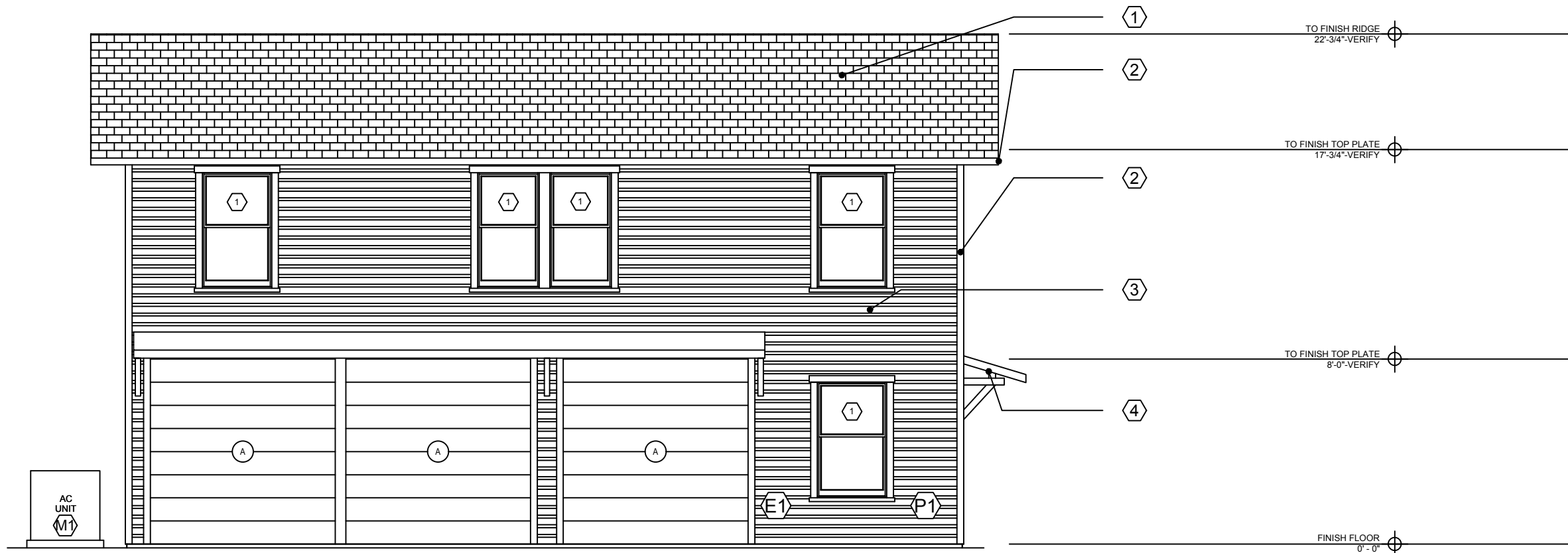
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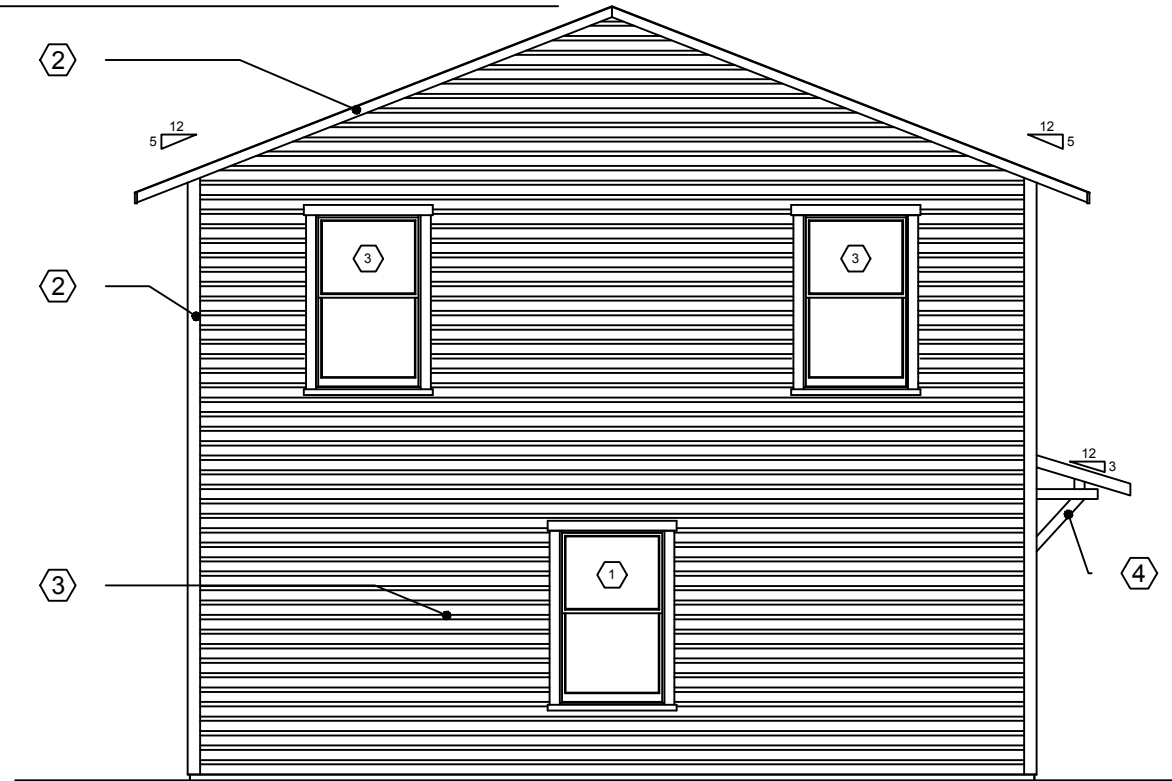
1 OVERALL FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



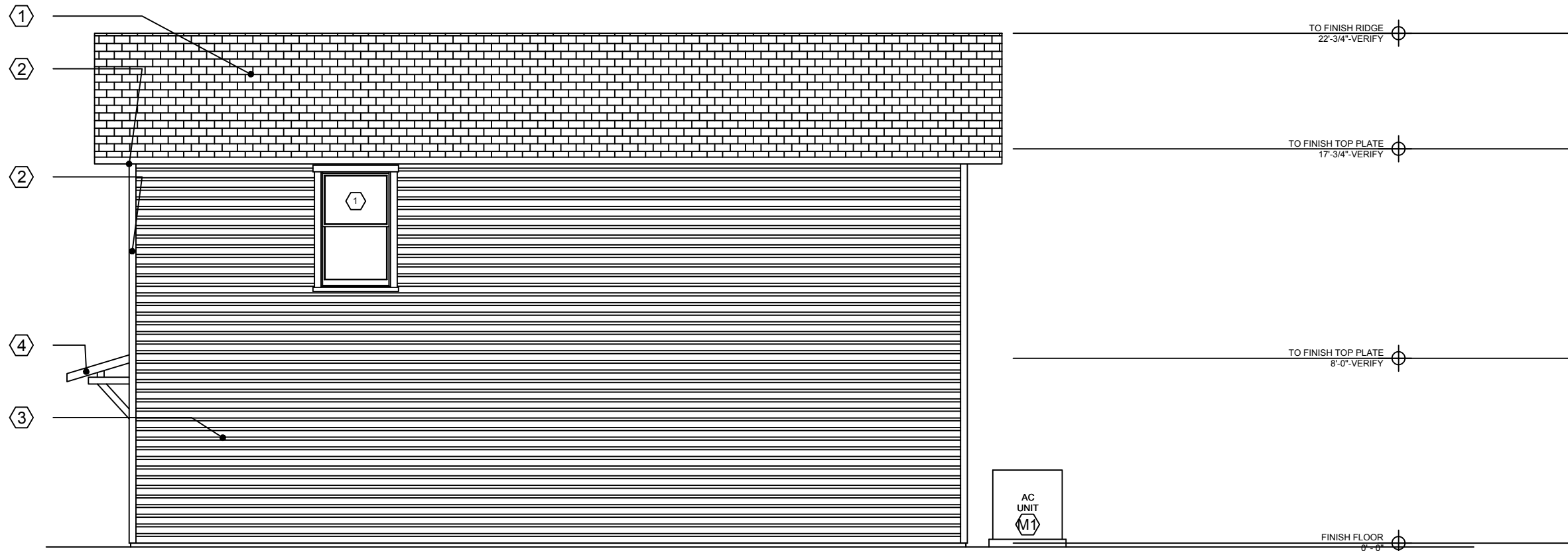
2 OVERALL SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



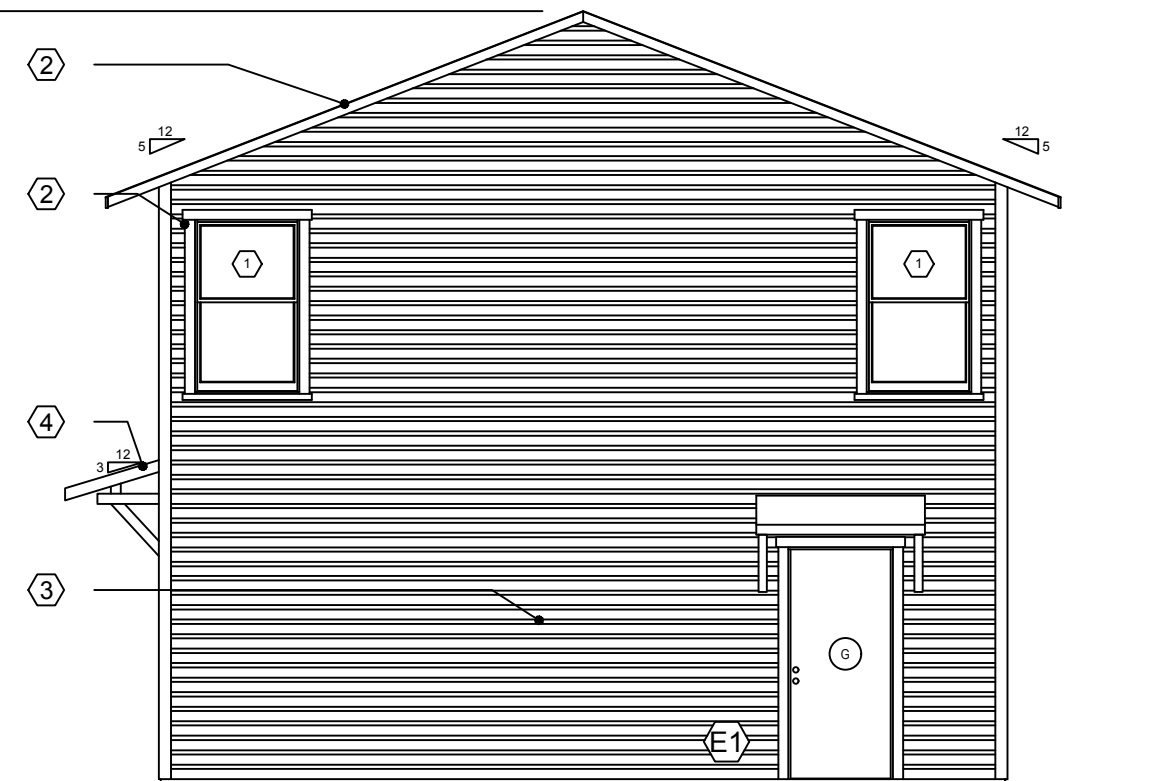
1 NORTH ELEVATION
Scale: 3/16" = 1'-0"



2 EAST ELEVATION
Scale: 3/16" = 1'-0"



3 SOUTH ELEVATION
Scale: 3/16" = 1'-0"



4 WEST ELEVATION
Scale: 3/16" = 1'-0"

GENERAL NOTES

- ALL MATERIAL TO BE DISPOSED OF OR RECYCLED BY CONTRACTOR.
- ALL M.E.P. DEMOLITION WILL BE COORDINATED BY THE CONTRACTOR.

MECHANICAL

- (M1) INSTALL NEW OUTSIDE UNIT ON SOLID CONCRETE SLAB

ELECTRICAL

- (E1) INSTALL OUTSIDE ELECTRICAL BOX

PLUMBER

- (P1) INSTALL NEW WATER HOSE BIBB
(P2) ALL EXHAUST PIPES TO BE PAINTED (COLOR MATCH SHINGLES)

CONTRACTOR

- (1) NEW ASPHALT SHINGLES (DIMENSIONAL)
(2) INSTALL WOOD FASCIA, TRIM, MOLDING.
(3) INSTALL D-105 WOOD SIDING
(4) MATCH EXISTING PRIMARY STRUCTURE.

EXTERIOR FINISHED SCHEDULE

ITEM	MATERIAL	COLOR
ROOFING	DIMENSIONAL SHINGLES	BLACK
EXISTING FASCIA/ SOFFIT/ SIDING	WOOD	TBD
NEW FASCIA/ SOFFIT/ SIDING	WOOD	TBD
WINDOWS/ DOORS	JELD-WEN (ALUMINUM CLAD)	TBD

NOTES:

- BEFORE CONSTRUCTION, CONTRACTOR IS TO LAY OUT FLOOR PLAN TO DETERMINE EXACT EXTENT OF REMODEL AND ADDITION.

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1	A0.0 COVER
2	A0.1 SITE PLAN
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DRAWN BY: ADAN OCHOA
DESIGNER: ADAN OCHOA

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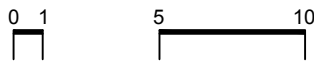
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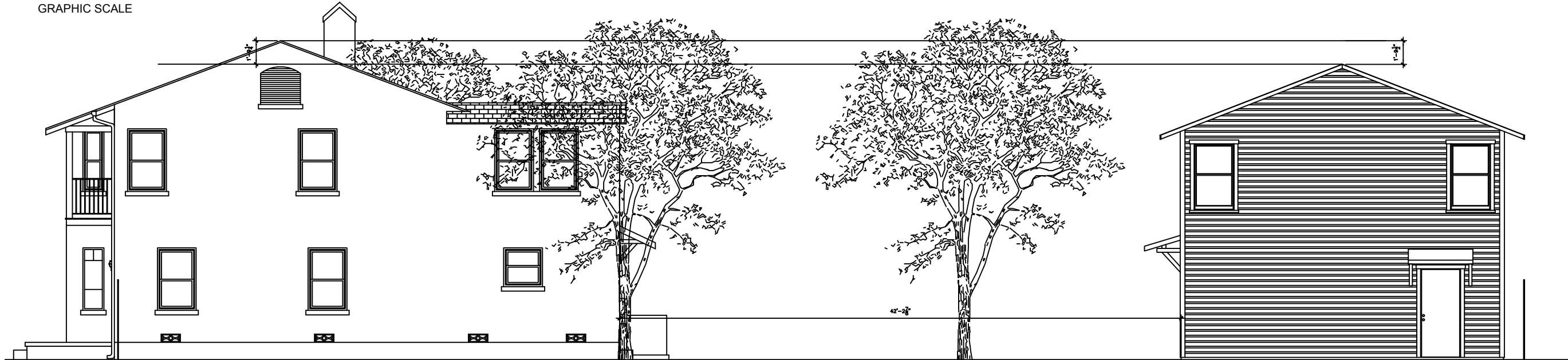
OVERALL EXTERIOR ELEVATION



1 NORTH ELEVATION
Scale: 1/8" = 1'-0"



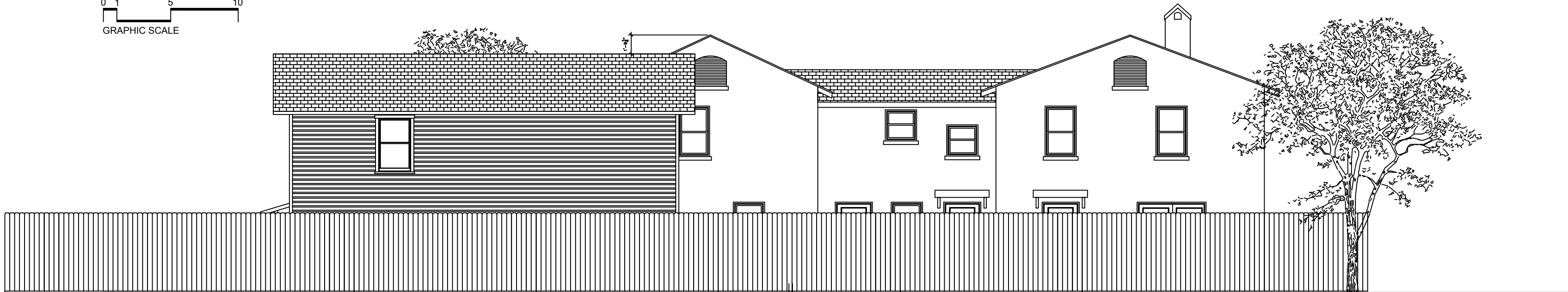
GRAPHIC SCALE



2 WEST ELEVATION
Scale: 1/8" = 1'-0"



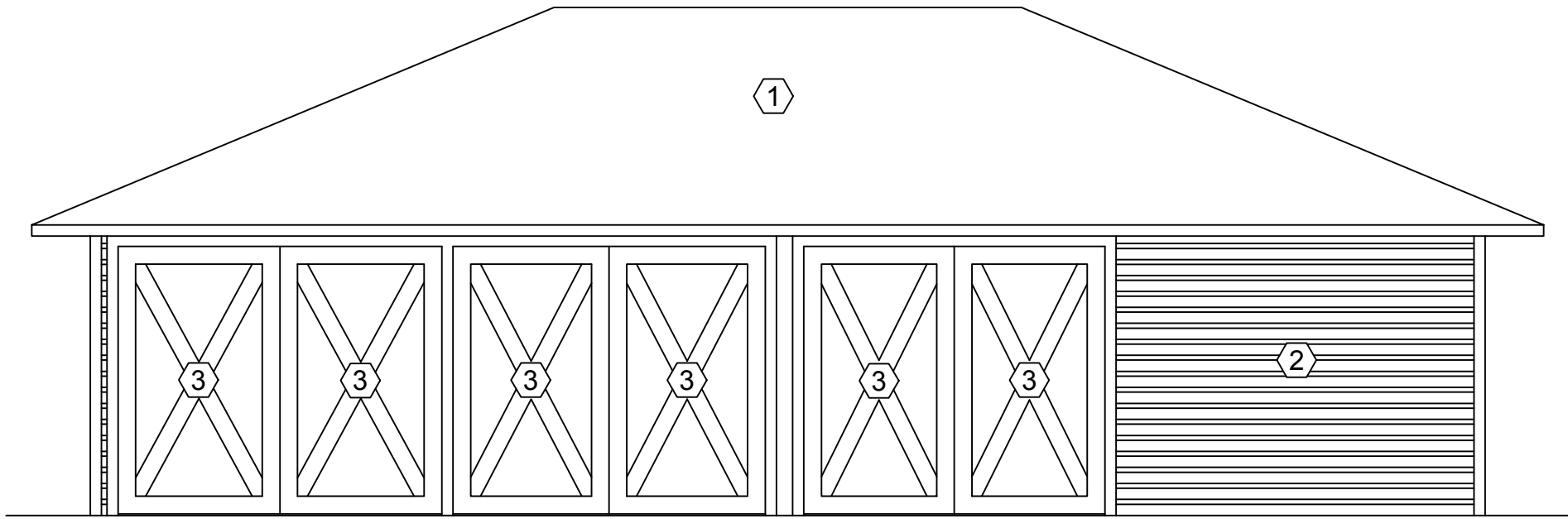
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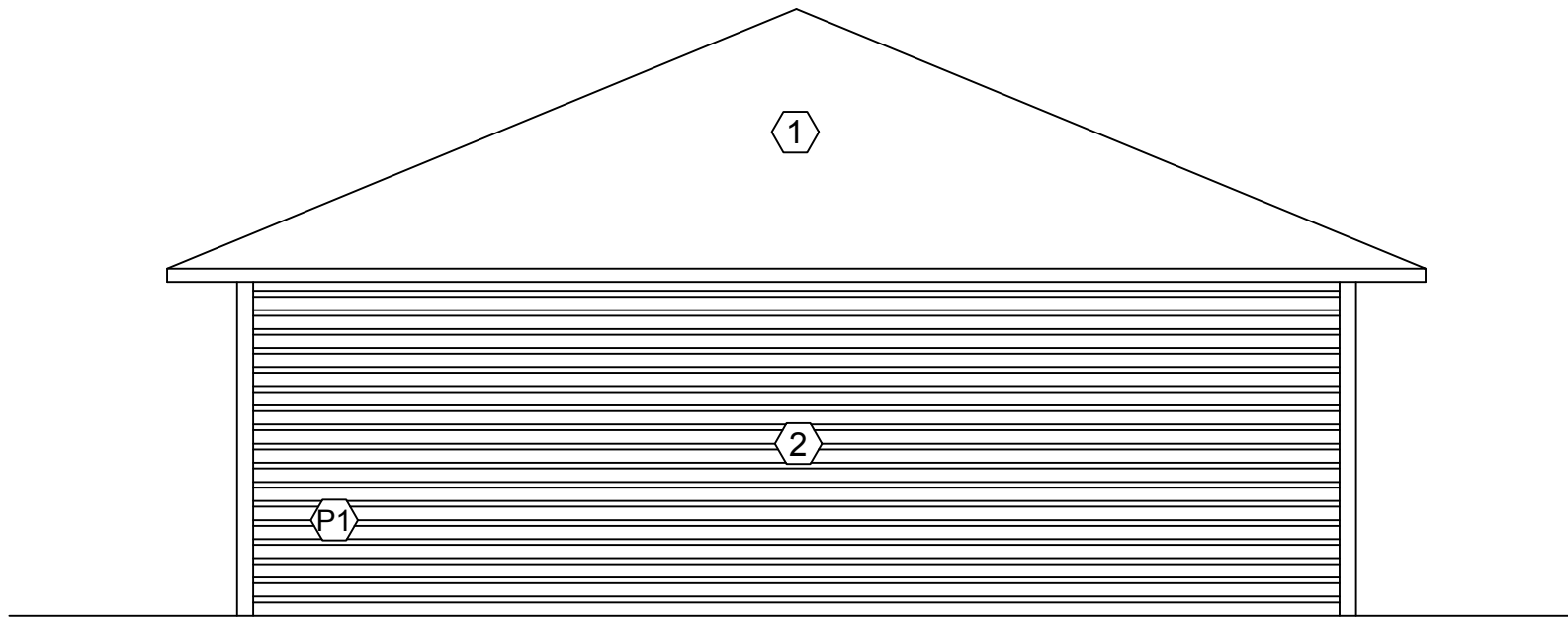
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Scale: 1/8" = 1'-0"



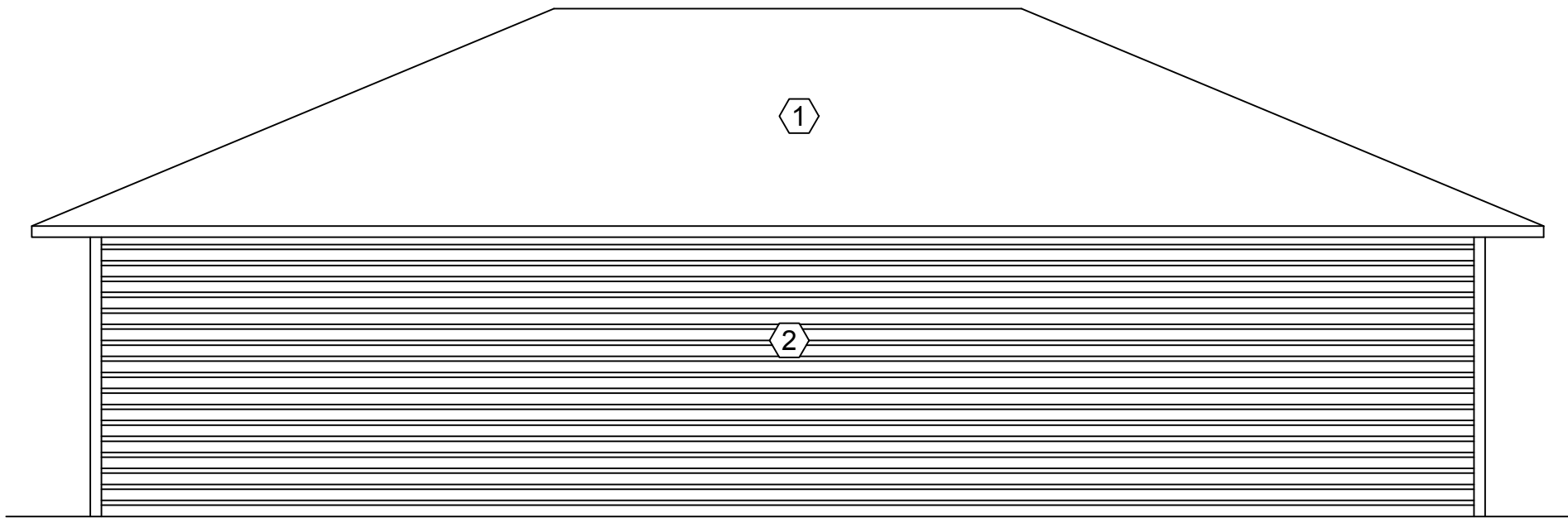
GRAPHIC SCALE



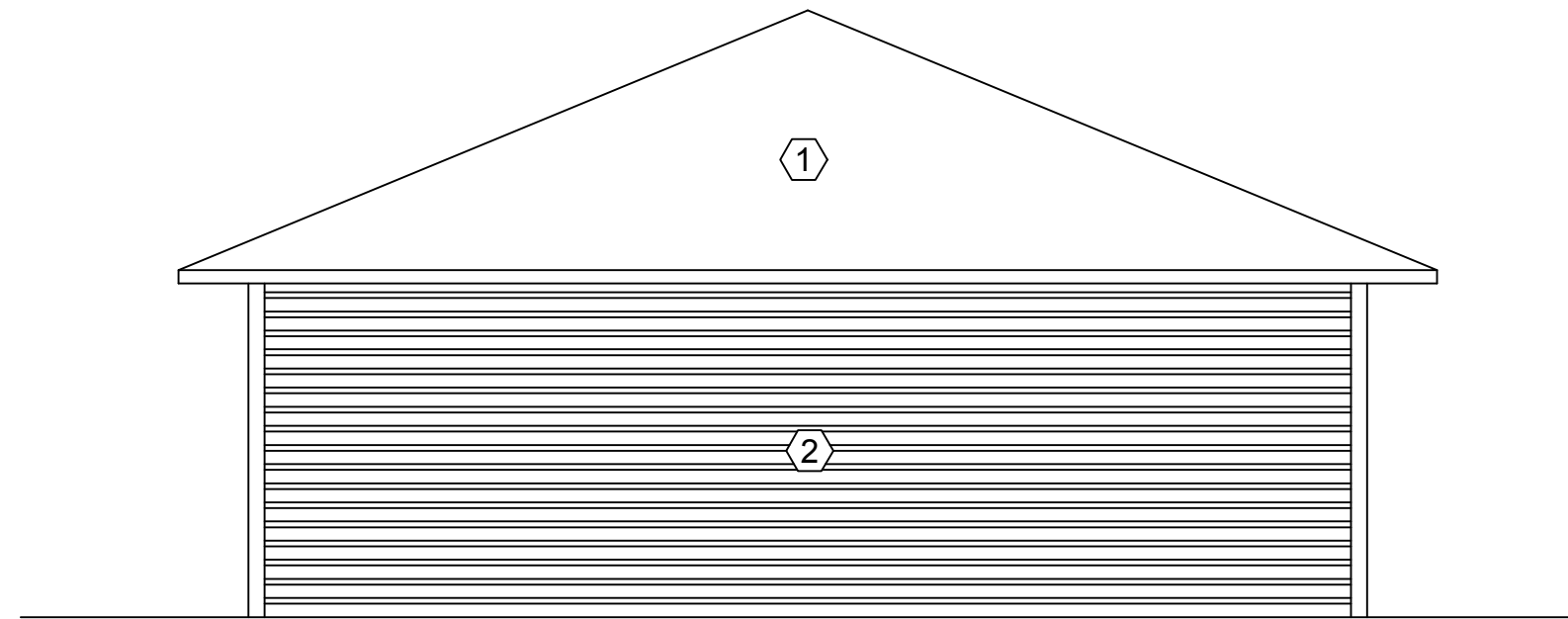
1 NORTH ELEVATION
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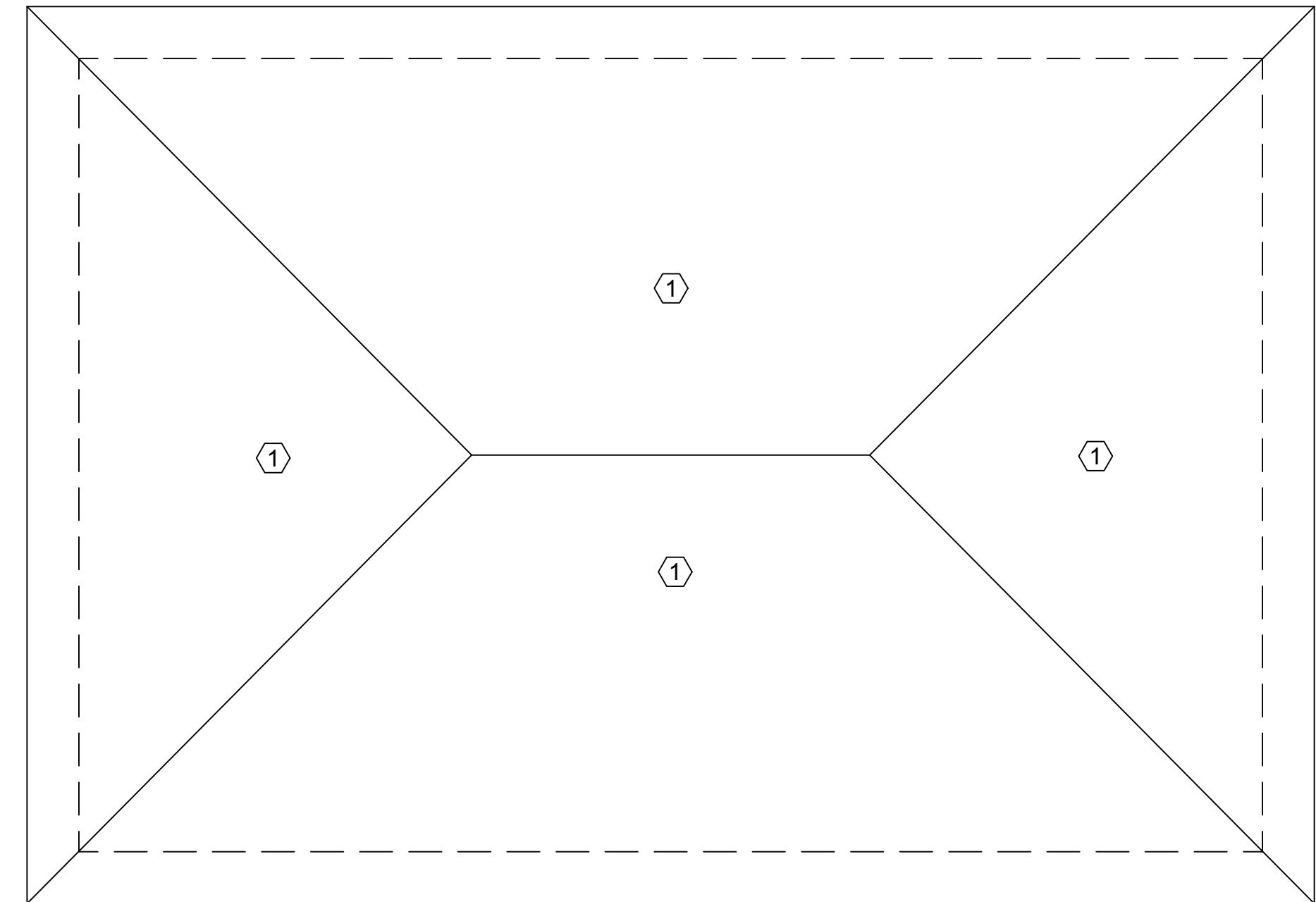
2 WEST ELEVATION
Scale: 1/4" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



4 EAST ELEVATION
Scale: 1/4" = 1'-0"



5 ROOF PLAN
Scale: 1/4" = 1'-0"

SQUARE FOOTAGE: 877

GENERAL NOTES

- ALL MATERIAL TO BE DISPOSED OF OR RECYCLED BY CONTRACTOR.
- ALL M.E.P. DEMOLITION WILL BE COORDINATED BY THE CONTRACTOR.

CONTRACTOR

- 1 REMOVE ALL ASPHALT SHINGLES.
- 2 REMOVE ALL SIDING AND STUDS AND STORE FOR LATER USE.
- 3 REMOVE EXISTING DOOR.

PLUMBER

- P1 CAP ANY EXISTING WATER LINES BELOW GRADE.

MECHANICAL

- M1 NONE AVAILABLE.

ELECTRICAL

- E1 NONE AVAILABLE.

FOUNDATION

- F1 DIRT FOUNDATION.

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