

BLANCO ROAD

LOT 66
 BLOCK 7
 BLANCO MARKET
 (VOL. 9545, PG. 132-133, DPR)

PETFOLK
 PET CARE
 2,922 SF

LOT 62
 BLOCK 7
 BLANCO MARKET
 (VOL. 9545, PG. 132-133, DPR)

KEYED NOTES

PROPOSED:

- 1 6" CONCRETE CURB (TYP.) (REF. C3.00 FOR DTL.)
- 2 5' SIDEWALK (RF: C3.00 FOR DTL.)
- 3 PATIO: 935 SQ. FT.
- 4 CURB RAMP TYPE "B" (TYP.) (REF. C3.00 FOR DTL.)
- 5 CURB RAMP TYPE "C" (TYP.) (REF. C3.00 FOR DTL.)
- 6 HANDICAP PARKING SIGN (TYP.) (REF. C3.00 FOR DTL.)
- 7 HANDICAP PAVEMENT MARKING (TYP.) (REF. C3.00 FOR DTL.)
- 8 ACCESSIBLE PARKING (REF. C3.00 FOR DTL.)
- 9 WHEEL STOP (TYP.) (REF. C3.00 FOR DTL.)
- 10 DUMPSTER AREA (REF. ARCHITECTURAL PLANS)
- 11 PAVEMENT MARKINGS (REF. C3.00 FOR DTL.)
- 12 SITE STAIRS (RE: ARCH PLANS)
- 13 CROSSWALK (RE: C3.00 FOR DTL.)
- 14 PARALLEL PARKING (RE: C3.00 FOR DTL.)
- 15 9' x 18' PARKING STALL (TYP.) (RE: C3.00 FOR DTL.)
- 16 PAVEMENT STRIPING (RE: C3.00 FOR DTL.)
- 17 8' x 18' COMPACT PARKING STALLS (TYP.)
- 18 REF. ARCHITECTURAL PLANS FOR WALL, RAMP, AND RAILING
- 19 BIKE RACK (RE: C3.00 FOR DTL.)

TRAFFIC SUMMARY TABLE

BUILDING USE	RESTAURANT
PARKING STORAGE STANDARDS	
MINIMUM PARKING RATIO	1/100 SF
MAXIMUM PARKING RATIO	1/40 SF
REGULAR	
MINIMUM REQUIRED PARKING	108
MAXIMUM REQUIRED PARKING	270
ACTUAL/PROPOSED PARKING	154
# OF COMPACT PARKING	8
HANDICAPPED (ADA)	
REQUIRED REGULAR H.C. PARKING	5
REQUIRED V.A. PARKING	1
PROPOSED H.C. PARKING	6
SIDEWALKS	
SIDEWALK LENGTH (LINEAR FT.)	-
SIDEWALK AREA (SQ. FT.)	-

SPECIAL NOTES

BIKE RACKS - 10% MIN. REQUIRED PARKING = 11 (NO MORE THAN 24) ACTUAL BIKE RACKS PROVIDED = 12

SIDEWALK AND APPROACH TO BE CONSTRUCTED ACCORDING TO COSA & TAS SPECS.

* NOTE: ALL PERMITS TO BE OBTAINED THROUGH COSA.

NOTE:

ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION. ALL PERMITS TO BE OBTAINED THROUGH COSA.

ZONING CASE: Z-2024-10700035 S ERZD

LEGAL DESCRIPTION: 2,922 SQ. FT. OUT OF NCB 16331

CURRENT ZONING: "C-3 MLOD-1 MLR-1 AHOD ERZD" General Commercial Camp Bullis Military Lighting Overlay Military Lighting Region 1 Airport Hazard Overlay Edwards Recharge Zone District

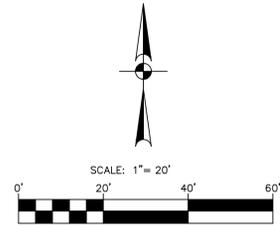
PROPOSED ZONING: "C-3 S MLOD-1 MLR-1 AHOD ERZD" General Commercial Camp Bullis Military Lighting Overlay Military Lighting Region 1 Airport Hazard Overlay Edwards Recharge Zone District with a Specific Use Authorization for Animal Clinic within the Edwards Recharge Zone

Table B101-1 may be found through various Development Service Department records including those associated with platting, addressing, building and permits. Reference to those records as required for zoning review is incorporated herein for Site Plan purposes under Chapter 35 (Unified Development Code).

I, Andrew Samples, the property owner representative, acknowledge that this site plan submitted for the purpose of rezoning this property is in accordance with all applicable provisions of the Unified Development Code. Additionally, I understand that City Council approval of a site plan in conjunction with a rezoning case does not relieve me from adherence to any/all City-adopted Codes at the time of plan submittal for building permits



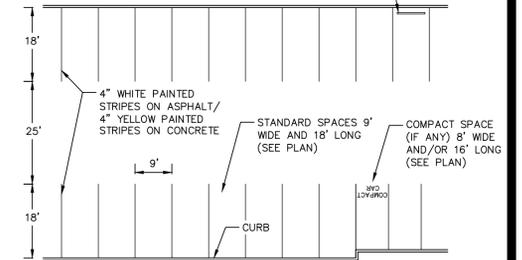
LOCATION MAP
 NOT-TO-SCALE



LEGEND

- PROPERTY LINE
- - - LOT LINE
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ EXISTING FIRE HYDRANT
- ⚡ PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- ▨ PROPOSED ASPHALT REPLACEMENT (CONTRACTOR TO MATCH EXISTING PAVEMENT SECTION)
- ▨ DUMPSTER PAD
- ▨ EXISTING SIDEWALK
- ▨ PROPOSED DUMPSTER
- ⊕ PROPOSED LIGHTS
- ④ PARKING SPACE COUNT
- ⊕ GAS METER
- ⊕ TREE TO REMAIN

CONTRACTOR TO PLACE WHEEL STOPS 2' FROM CURB AND CENTERED WITHIN PARKING STALL. SEE THIS SHEET FOR WHEEL STOP LOCATIONS.



NOTE: ALL SPACES SHOWN ON PLAN STD. (9x18) UNLESS OTHERWISE NOTED

STRIPING FOR 90-DEGREE PARKING

NOT-TO-SCALE

NOTE

SEE SHEET CO.10 FOR CONSTRUCTION NOTES.

NO.	REVISION	DATE



PAPE-DAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TPE FIRM REGISTRATION #070 | TPE FIRM REGISTRATION #1008880

N.E.C. BLANCO/1604 - REMODEL
 18206 BLANCO RD., SAN ANTONIO, TEXAS
 OVERALL SITE, PAVING, AND DIMENSIONAL CONTROL PLAN

PLAT NO.	950327
JOB NO.	12322-01
DATE	JUNE 2021
DESIGNER	KH
CHECKED	TD DRAWN KH
SHEET	C1.00