

COMPLIANCE AND TECHNICAL ADVISORY BOARD

March 21, 2025

HDRC CASE NO: 2025-032
ADDRESS: 206 E SUMMIT AVE
LEGAL DESCRIPTION: NCB 6883 BLK LOT 6
ZONING: R-5, H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
APPLICANT: Michelle Hipps-Cruz/Liminal Design Studio
OWNER: Dawn Rask/RASK ROBERT L & DAWN MG
TYPE OF WORK: Front yard fence installation
APPLICATION RECEIVED: February 21, 2025
60-DAY REVIEW: April 11, 2025
CASE MANAGER: Bryan Morales

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a 4' tall front yard fence and pedestrian gates with masonry pillars, wrought iron fencing, and a masonry knee-high wall.

APPLICABLE CITATIONS:

2. Fences and Walls

A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

C. PRIVACY FENCES AND WALLS

- i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.
- ii. *Location*—Do not use privacy fences in front yards.

Policy Document: Fences in Historic Districts

When new fences are appropriate to the site-specific conditions of the property, applicants must also ensure that the style, height, and configuration of the fence is also appropriate per the Historic Design Guidelines for Site Elements and the Unified Development Code 35-514.

- **REAR/PRIVACY FENCE** – Rear yard privacy fences should be no taller than 6 feet in height and feature wood construction. Historic evidence may support installing stone, masonry, or stucco walls. They should be set back from the front façade of the building, rather than aligning them with the front façade of the structure, to reduce their visual prominence.
- **FRONT FENCE** – Front yard fences should match in height of neighboring fences or be limited to 4 feet in height and be compatible with the heights of adjacent historic fences. Historic evidence may support installing stone, masonry, or stucco walls and fence bases.
- **FENCE STYLES** – While maintaining respect to individual architecture styles and historic districts, the most common appropriate fence type includes (a) black wrought iron, (b) painted wood picket, and (c) garden-loop.
- **NONCONFORMING FENCES** – Chain-link, barbed wire, corrugated metal, and make-shift fences should be avoided. Grandfathered items may be replaced with appropriate fencing, but should not be reconstructed or expanded upon.
- **PEDESTRIAN GATES** – Pedestrian gates should be located at the intersection of the property’s walkway and the public sidewalk. Pedestrian gates should relate to the design of the fence while maintaining a 4-foot height limit.
- **VEHICLE GATES** – Vehicle gates should be set behind the front façade plane of the house and not span across the front of the driveway. A Front vehicle gate may be considered if the site features an atypical condition including: (a) a wraparound porch, (b) a narrow driveway less than 10 feet wide, and/or (c) front driveways abutting rear yards or commercial properties. Electrical, mechanical, or solar collector equipment should be concealed and minimally visible if used.

FINDINGS:

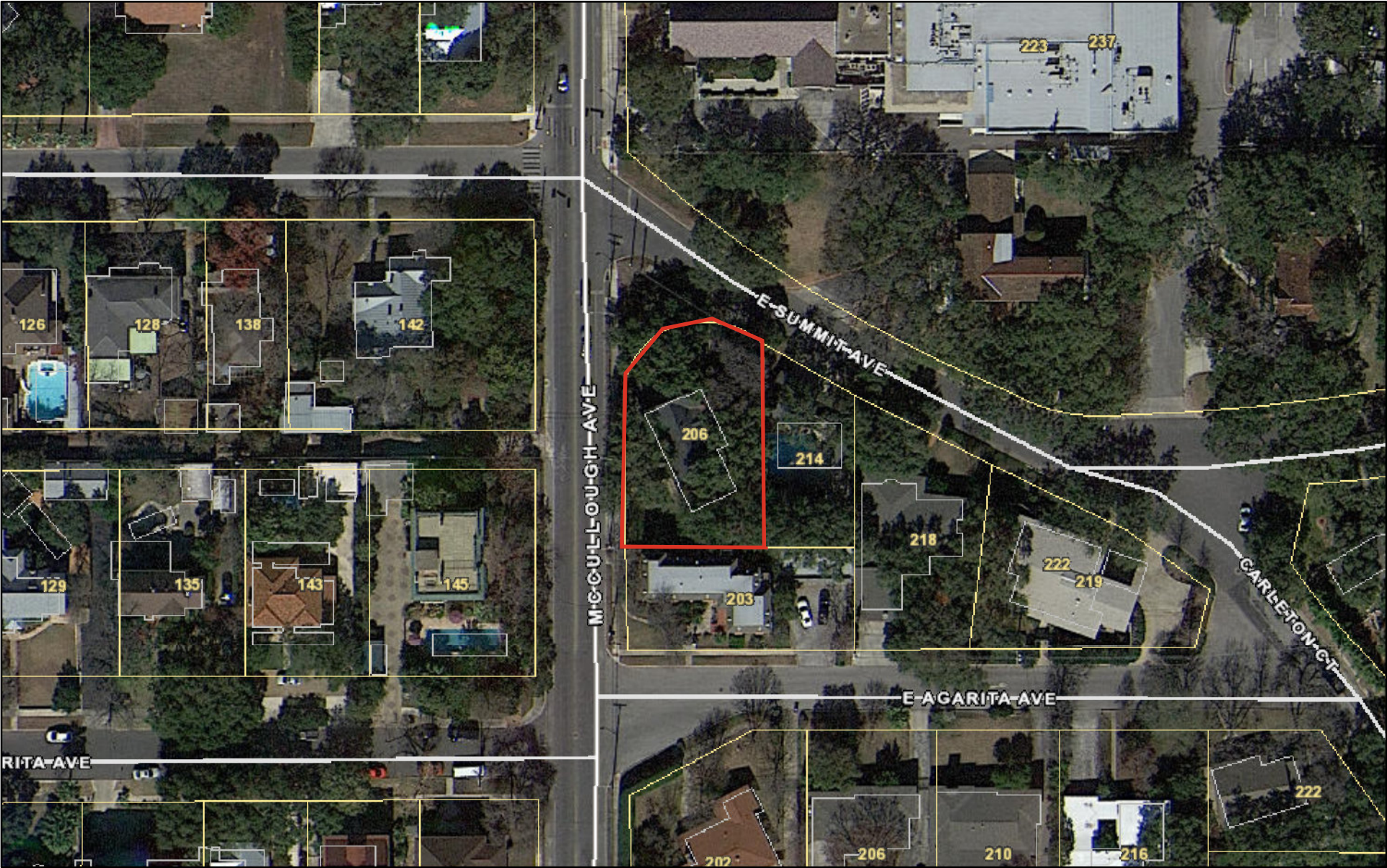
- a. The property at 206 E Summit is a single-family home built circa 1930 in the minimal traditional style. The home features an asymmetrical front gabled façade, a gable-and-wing roof, an arcade porch, and a detached carport at the rear of the property. The property is contributing to the Monte Vista Historic District.
- b. **CASE HISTORY** – On February 21, 2025, the applicant made a request to the CTAB for a front yard fence of a similar design. The CTAB continued the request to the next CTAB meeting to allow the property owner to meet with the Monte Vista Architectural Review Committee concerning the fence design. Since then, the applicant has met with the MVHA ARC and has indicated they have received support for their current request.
- c. **FENCE** – The applicant is requesting approval to construct a metal front yard fence with masonry pillars and a masonry knee-high wall. The masonry pillars height will be 4’, the masonry knee-wall will be 1’6”, and the wrought iron fence portion will be 2’6” tall. The applicant has included drawings noting that the masonry portions of the fence will match an existing stone chimney onsite. Site Elements 2.B.i. states new fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character; design of the fence should respond to the design and materials of the house or main structure. Site Elements 2.B.iii. states to limit the height of new fences and walls within the front yard to a maximum of four feet. Staff finds the installation of a metal front yard fence with masonry pillars and a masonry knee-high wall generally appropriate.

RECOMMENDATION:

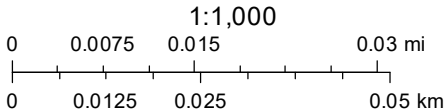
Staff recommends approval of the request, based on findings a through c, with the following stipulation:

- i. That the fence not exceed 4’ in height.

City of San Antonio One Stop

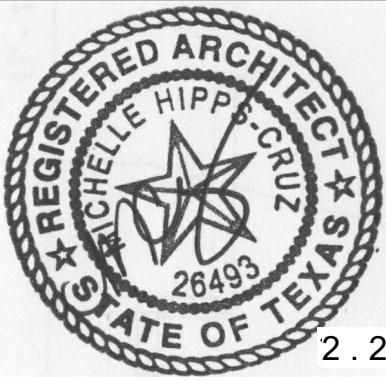
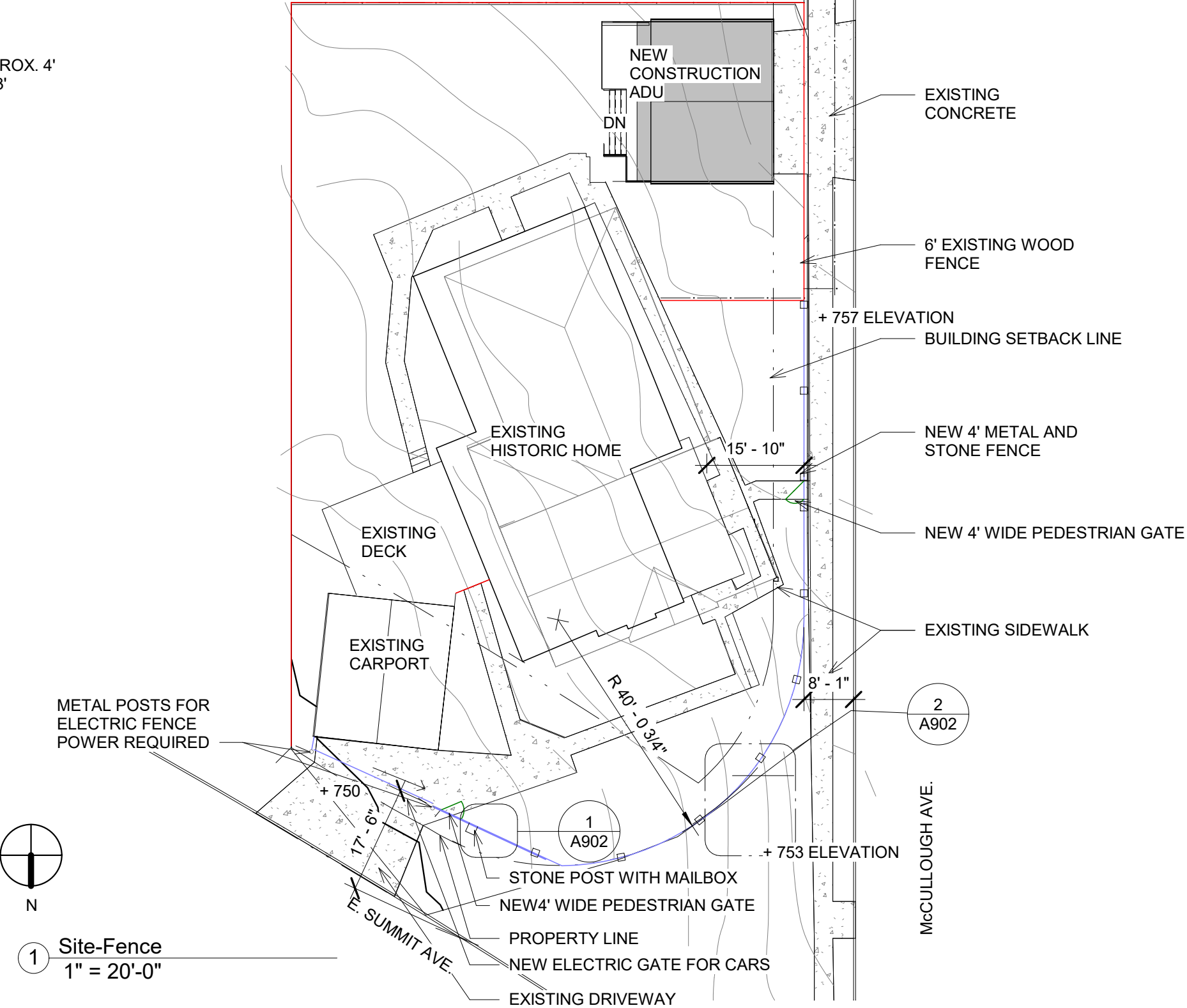


February 13, 2025



- NOTES:
- 1. FENCE IS APPROXIMATELY 168' IN LENGTH
 - 2. FENCE TO BE 4' MAX
 - 3. SLOPE DIFFERENCE AT McCULLOUGH IS APPROX. 4'
 - 4. SLOPE DIFFERENCE AT SUMMIT IS APPROX. 3'
 - 5. GRADE LINES SHOWN ARE 1' INCREMENTS

- NEW 4' FENCE LINE
- NEW PEDESTRIAN GATE
- EXISTING 6' WOOD FENCE



2 . 28 . 25

L I M I N A L

Rask Family ADDU

206 E Summit Ave

Revisions

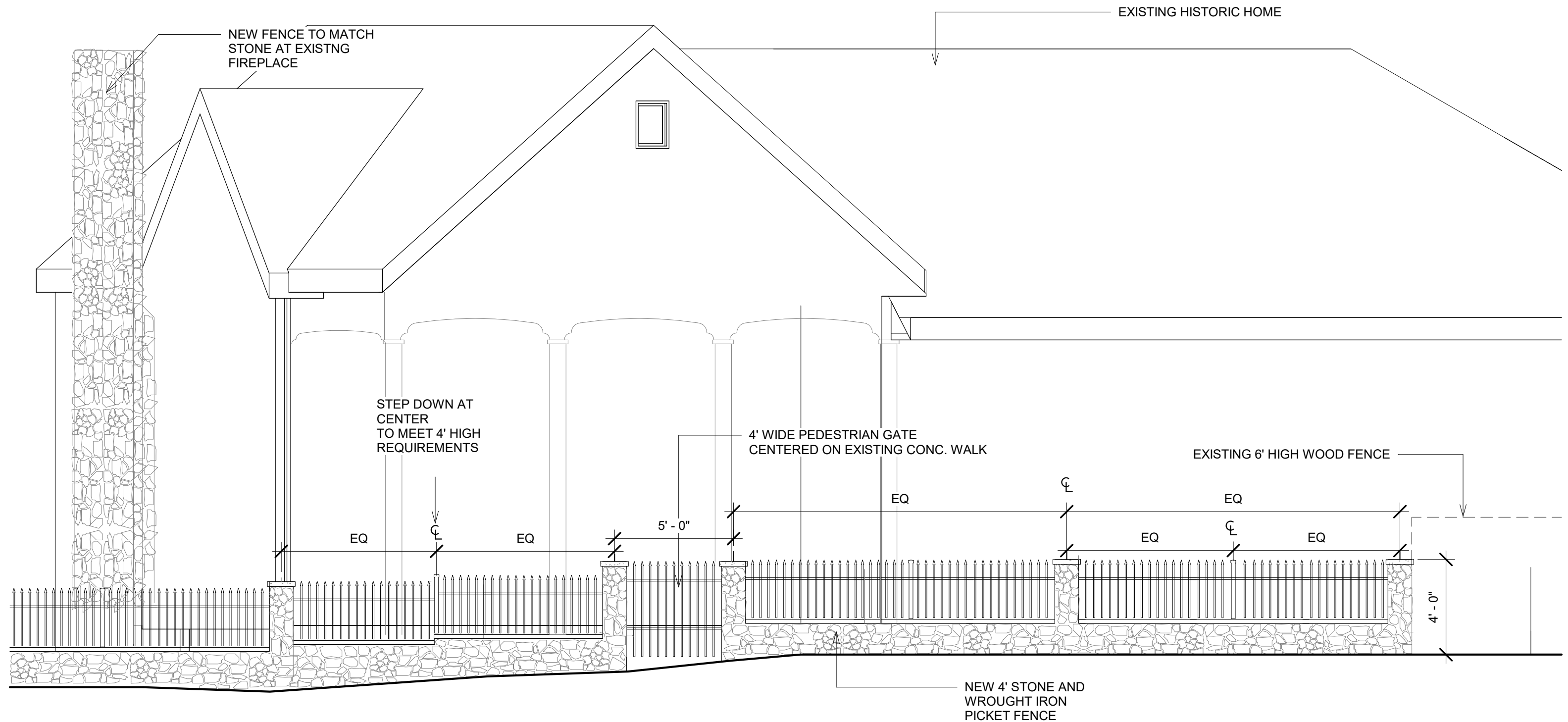
No.	Description	Date

FENCE PLAN

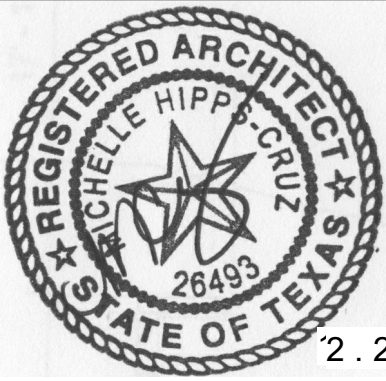
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A900

Scale 1" = 20'-0"



1 FENCE ELEVATION WEST
1/4" = 1'-0"



L I M I N A L

Rask Family ADDU
206 E Summit Ave

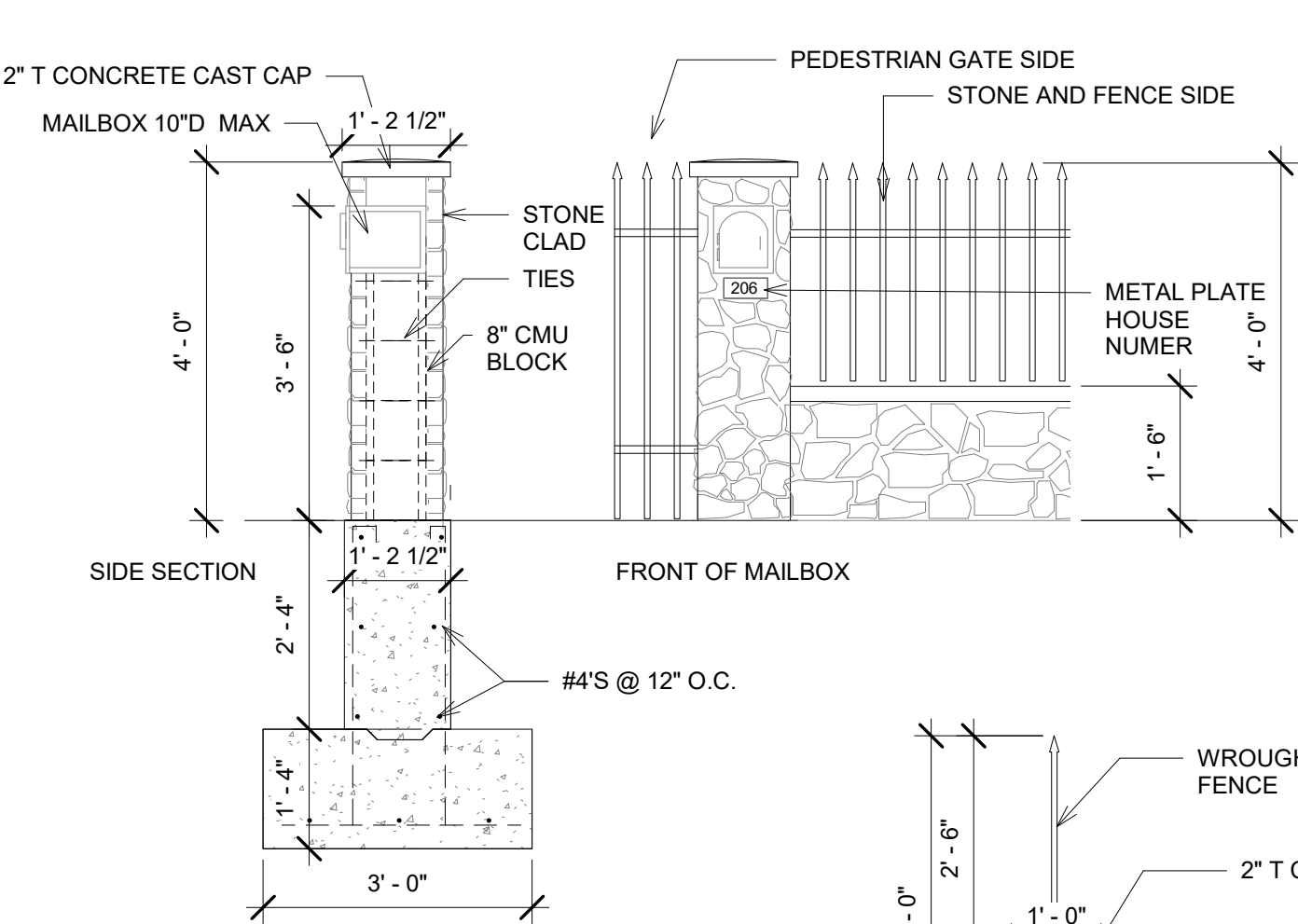
Revisions

No.	Description	Date

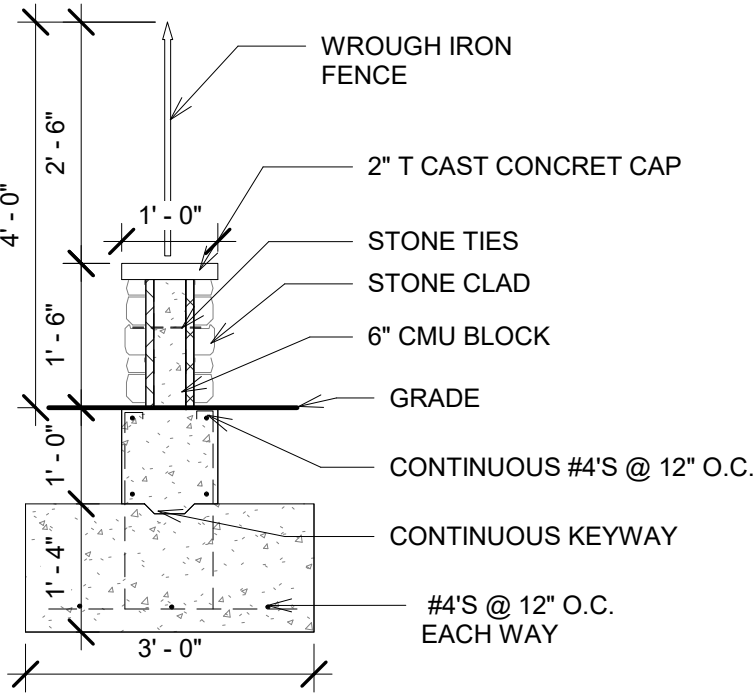
FENCE ELEVATION

Project number	Project Number	A901
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	Scale 1/4" = 1'-0"

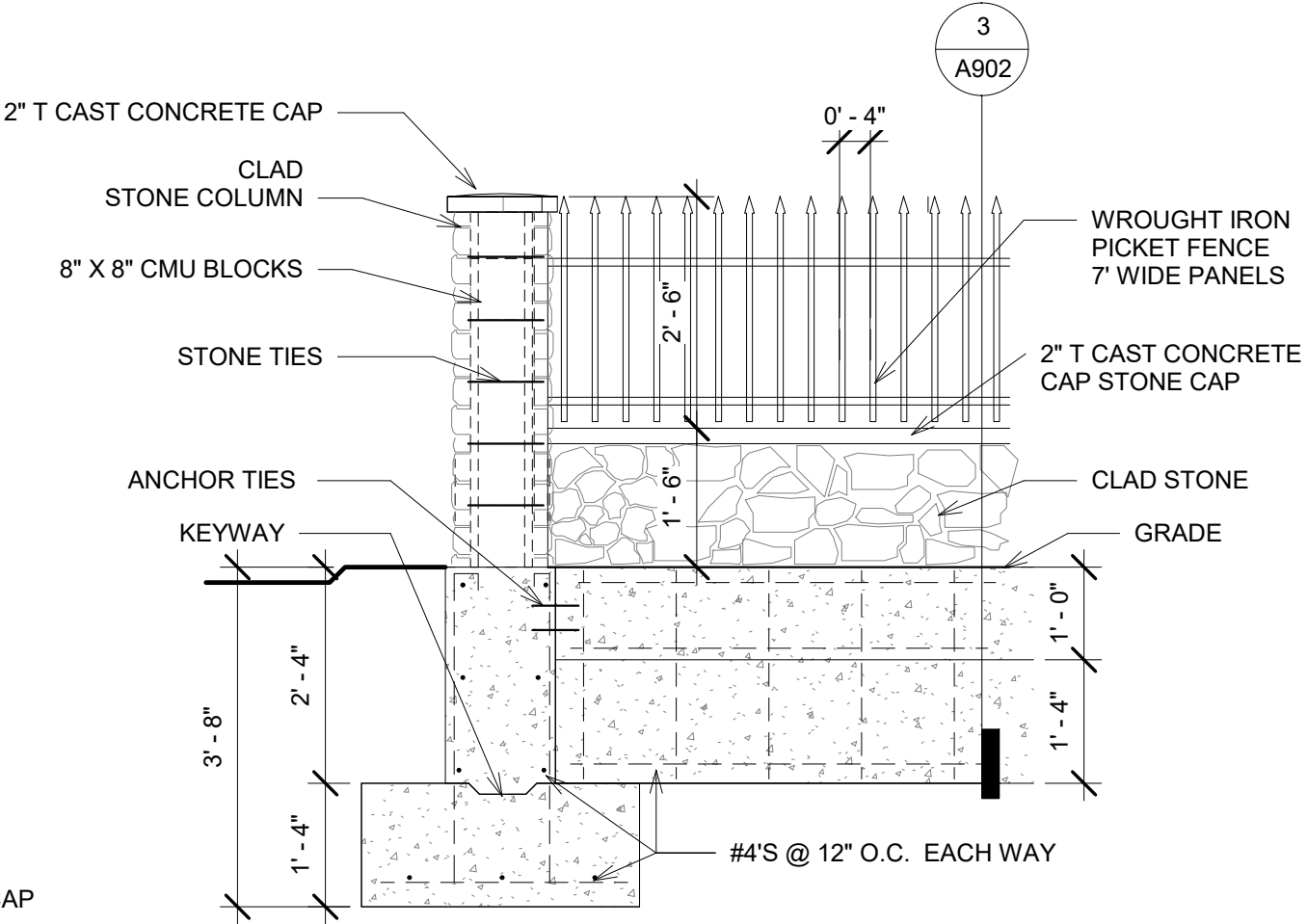
2 . 28 . 25



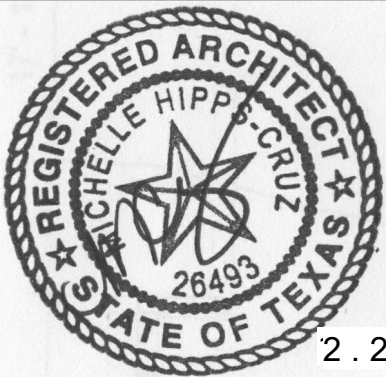
1 MAILBOX DETAIL 1
1/2" = 1'-0"



3 FENCE SECTION
1/2" = 1'-0"



2 FENCE DETAIL 2
1/2" = 1'-0"



2 . 28 . 25

L I M I N A L

Rask Family ADDU

206 E Summit Ave

Revisions

No.	Description	Date

FENCE DETAILS

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A902

Scale 1/2" = 1'-0"





