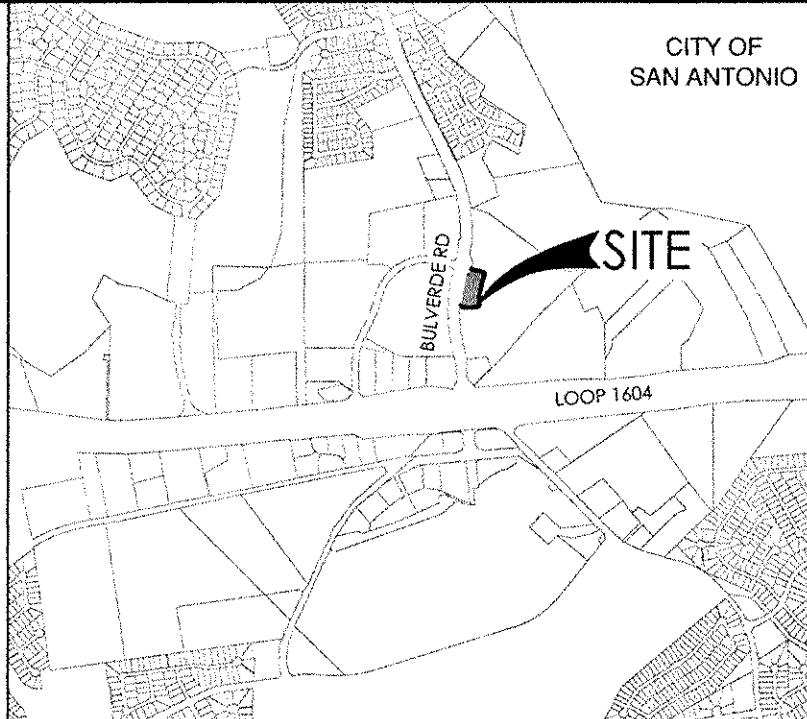
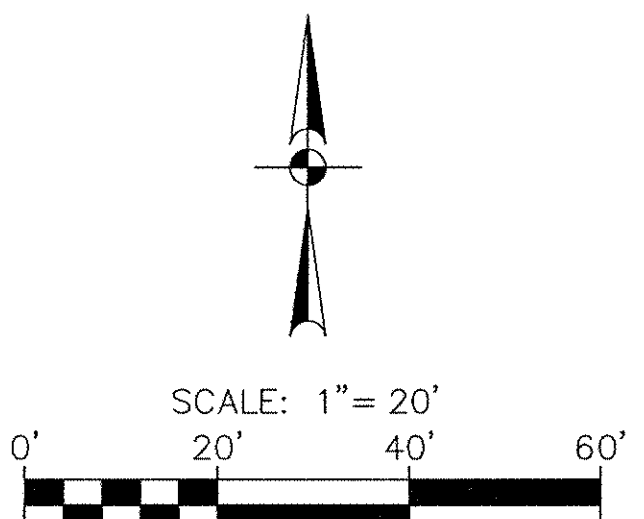


Z-2025-10700029 CD ERZD

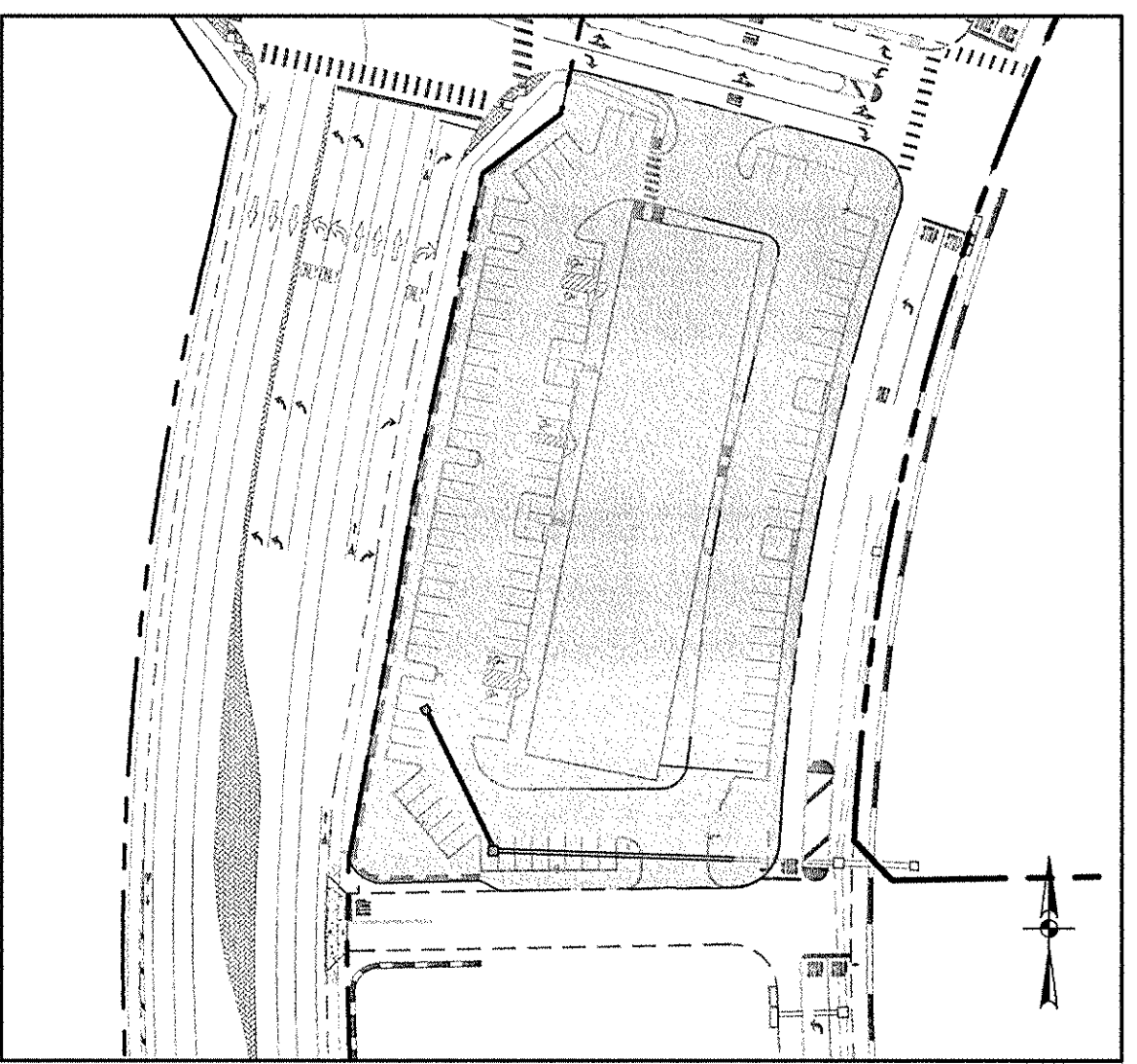


LOCATION MAP
MAPSCO MAP (REV. 5/88)
NOT TO SCALE



ADDRESS:
17910 BULVERDE ROAD
SAN ANTONIO, TX 78259

LEGAL DESCRIPTION:
LOT 5, BLOCK 10, NCB 17728



LIMITS OF DISTURBED AREA
SCALE: 1" = 100'

LEGEND	
	PROJECT LIMITS
	EXISTING GRADE
	PROPOSED GRADE
	SILT FENCE
	FLOW ARROW (EXISTING)
	FLOW ARROW (PROPOSED)
	ROCK BERM
	GRATE INLET PROTECTION
	GRAVEL FILTER BAGS
	STABILIZED CONSTRUCTION ENTRANCE/EXIT (FIELD LOCATE)
	CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE AREA (FIELD LOCATE)
	CONCRETE TRUCK WASH-OUT PIT (FIELD LOCATE)
	50' NATURAL VEGETATIVE BUFFER

Property Total Acreage: 2.086 AC
Legal Description: NCB 17728 BLK 10 LOT 12 (NEC Bulverde Crossing)
Current Zoning: C-2 ERZD PC-1 AHOD
Requested Zoning: C-2 CD ERZD PC-1 AHOD with a Conditional Use for a Bar/Tavern without cover charge 3 or more days per week
Permitted Land Use(s) Commercial
Land Use Plan: North Sector Plan, Suburban Tier

I, Boyd Willat, President, on behalf of Seven Fountains SPE, LLC, and Isola Bella, Inc., acknowledge that this site plan submitted for the purpose of rezoning the property is in accordance with all applicable provisions of the Unified Development Code. Additionally, I understand that City Council approval of a site plan in conjunction with a rezoning case does not relieve me from adherence to any/all City adopted codes at the time of plan submittal for building permits.

Building Dimension: 72' x 294'
Total Parking Spaces: 100
Required Setbacks: 0 (no minimum setbacks required)

DATE	
NO. REVISION	
DATE	
NO. REVISION	

PAPE-DAWSON
ENGINEERS

2000 NW LOOP 410 | SAN ANTONIO, TEXAS 78213 | PHONE: 210.375.5000
FAX: 210.375.5010
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

BULVERDE CROSSING RETAIL
17910 BULVERDE ROAD, SAN ANTONIO, TEXAS 78259

STORM WATER POLLUTION PREVENTION PLAN

PLAT NO.	
JOB NO.	6229-38
DATE	DECEMBER 2014
DESIGNER	CEL
CHECKED	DRAWN PLM
SHEET	C1.00

FOR PERMIT