

LOCATION MAP
NOT-TO-SCALE

LEGEND	
AC	ACRE(S)
BLK	BLOCK
CB	COUNTY BLOCK
DOC	DOCUMENT NUMBER
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION
NCB	NEW CITY BLOCK
OPR	OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS
VOL	VOLUME
PG	PAGE(S)
PR	PLAT RECORDS OF BEXAR COUNTY, TEXAS
ROW	RIGHT-OF-WAY
LF	LINEAR FEET
VAR WID	VARIABLE WIDTH
(SURVEYOR)	FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
○	SET 1/2" IRON ROD (PD)
○	SET 1/2" IRON ROD (PD)-ROW
⊙	EASEMENT POINT OF INTERSECTION
—	CENTERLINE
1140	EXISTING CONTOURS
1140	PROPOSED CONTOURS
---	CITY OF SAN ANTONIO LIMITS
①	14' GETCTV ESMT
②	12' GETCTV ESMT
④	5' GETCTV ESMT
⑩	10' WATER ESMT
⑪	36' IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
⑫	15' BUILDING SETBACK LINE, SIGN, PRIVATE SEWER, AND PRIVATE WATER ESMT
⑬	30' INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
⑭	15' BUILDING SETBACK LINE, SIGN, PUBLIC SEWER, & GETCTV ESMT
⑮	VAR WID IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, & GETCTV ESMT
⑯	VAR WID PRIVATE SEWER AND PRIVATE DRAINAGE ESMT (TOTAL OFF-LOT 2.326 AC. PERMEABLE)
⑰	VAR WID PRIVATE WATER & PRIVATE DRAINAGE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS EASEMENT
⑱	20' PRIVATE WATER & PRIVATE DRAINAGE ESMT
⑲	VAR WID PUBLIC WATER & PRIVATE DRAINAGE ESMT (OFF-LOT 0.811 AC. PERMEABLE)
⑳	24' PRIVATE SANITARY SEWER ESMT
⑳	CHANNEL ESMT (VOL. 8107, PG. 887 OPR)
㉑	TRACT 3 - LAMM ROAD (30' PRIVATE ROAD) (VOL. 2861, PG. 212, DPR)
㉒	30' ACCESS EASEMENT (VOL. 2153, PG. 472, OPR)
㉓	30' RIGHT-OF-WAY AND INGRESS/EGRESS ESMT (VOL. 2737, PG. 1114, OPR)
㉔	10' WATER AND ACCESS ESMT (VOL. 9519, PG. 17 DPR)
㉕	6' ELECTRIC UTILITY AND TELEPHONE ESMT (VOL. 9519, PG. 17 DPR)
㉖	50' ELECTRIC ESMT (VOL. 9519, PG. 17 DPR)
㉗	30' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT (ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE))
㉘	20' PRIVATE WATER ESMT
㉙	VAR WID PRIVATE DRAINAGE ESMT
㉚	28' GETCTV ESMT
㉛	38' PRIVATE DRAINAGE ESMT
㉜	28' PRIVATE DRAINAGE ESMT
㉝	VAR WID PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE)
㉞	15' DRAINAGE ACCESS ESMT (TOTAL OFF-LOT 0.25 AC. PERMEABLE)
㉟	36' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT (ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE))
㊱	10'x10' GETCTV ESMT (SEE DETAIL "G" SHEET 3 OF 6)
㊲	11.5' DRAINAGE ESMT
㊳	12' GETCTV ESMT (TOTAL OFF-LOT 0.12 AC. PERMEABLE)
㊴	20' PUBLIC WATER ESMT (ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.352 AC. PERMEABLE))
1	LOT 1, BLOCK 30 NCB 16628 (43.134 ACRES)
2	UNPLATTED REMAINING PORTION OF 377.48 ACRES AK H LAMM, ERNEST H. LAMM AND ANGELA LAMM (VOL. 2407, PG. 452 OPR)

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
- DIMENSIONS SHOWN ARE SURFACE. SURFACE ADJUSTMENT FACTOR: 1.00017.
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

Matthew Geistweidt 5-6-2024
LICENSED PROFESSIONAL ENGINEER

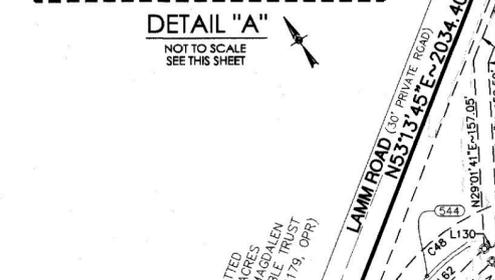
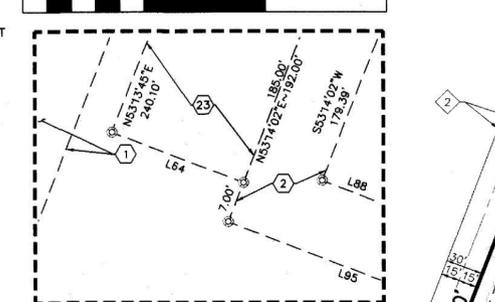
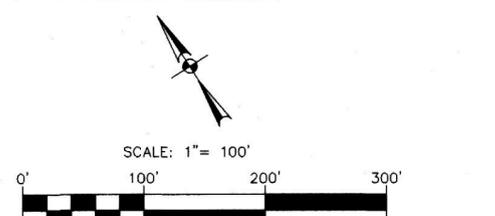
J. Buchanan 05/06/2024
REGISTERED PROFESSIONAL LAND SURVEYOR

CPS/SAWS/COSA UTILITY:

- THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
- ANY CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
- CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.
- ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

FOR CURVE TABLE AND LINE TABLE
SEE SHEET 6 OF 6

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

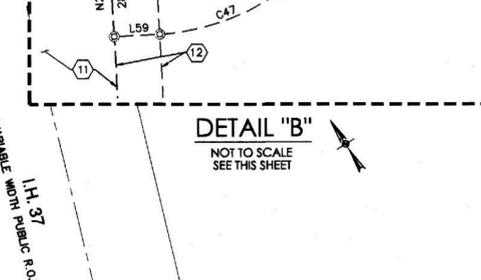
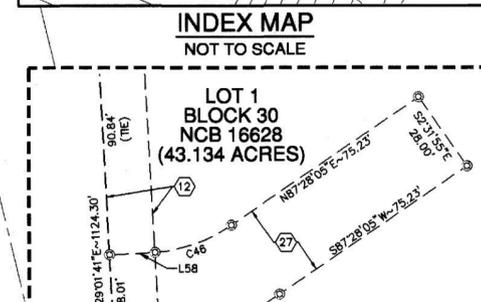
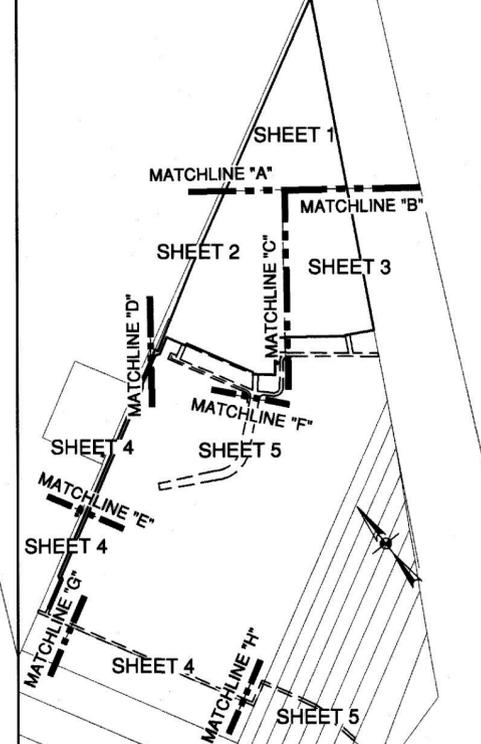
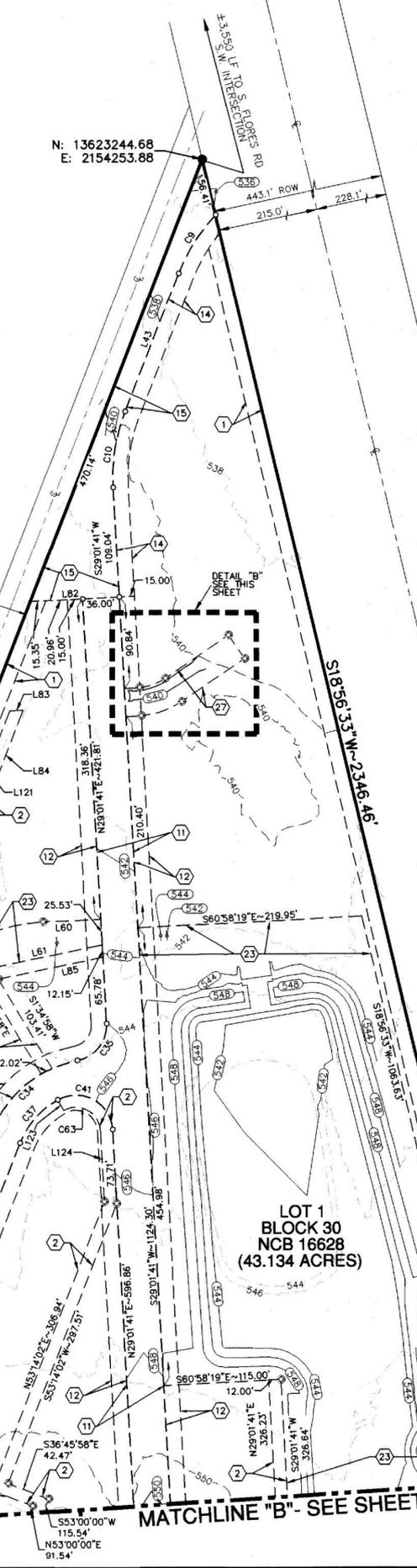


SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUS) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.



PLAT NO. 22-11800763
SUBDIVISION PLAT
OF
HALLER TRACT PHASE 1

BEING A 47.323 ACRE TRACT OF LAND COMPRISED OF 46.960 ACRES OUT OF A 128.278 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.042 ACRES OUT OF A 8.839 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, AND 0.044 ACRES OUT OF A 8.834 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.046 ACRES OUT OF A 8.872 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001825, AND 0.048 ACRES OUT OF A 8.832 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.051 ACRES OUT OF A 8.827 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001823, AND 0.055 ACRES OUT OF A 8.841 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.058 ACRES OUT OF A 8.837 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, ALL IN THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, AND OUT OF THE FRANCISCO FARIAS SURVEY NO. 15, ABSTRACT 2, IN COUNTY BLOCK 4010 OF BEXAR COUNTY, TEXAS, ESTABLISHING LOT 1, BLOCK 30, NEW CITY BLOCK 16628 IN BEXAR COUNTY, TEXAS.

PAPE-DAWSON ENGINEERS

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #1028900
DATE OF PREPARATION: May 06, 2024

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PHILLIP P. BAKKE
HALLEBBAK LTD
207 ROOSEVELT AVE
SAN ANTONIO, TEXAS 78210
(210) 821-8322

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PHILLIP P. BAKKE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 06th DAY OF May, A.D. 2024.

Elizabeth Stone
NOTARY PUBLIC, BEXAR COUNTY, TEXAS

ELIZABETH STONE
Notary Public, State of Texas
Comm. Expires 07-29-2026
Notary ID 133683562

THIS PLAT OF HALLER TRACT PHASE 1 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

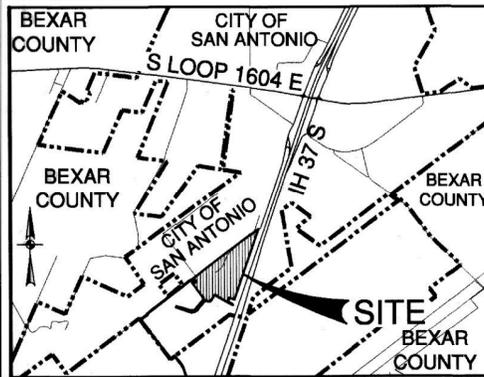
DATED THIS _____ DAY OF _____, A.D. 20____

BY: _____ CHAIRMAN

BY: _____ SECRETARY



HALLER TRACT PHASE 1
Civil Job No. 12877-00; Survey Job No. 9139-22



LOCATION MAP

LEGEND

- NOT-TO-SCALE
- AC ACRE(S)
 - BLK BLOCK
 - CB COUNTY BLOCK
 - DOC DOCUMENT NUMBER
 - GETCTV GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION
 - NCB NEW CITY BLOCK
 - OPR OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS
 - VOL VOLUME
 - PG PAGE(S)
 - PR PLAT RECORDS OF BEXAR COUNTY, TEXAS
 - ROW RIGHT-OF-WAY
 - LF LINEAR FEET
 - VAR WID VARIABLE WIDTH
 - (SURVEYOR) FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
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 - ⑮ CHANNEL ESMT (VOL 6107, PG 867 OPR)
 - ⑯ TRACT 3 - LAMM ROAD (30' PRIVATE ROAD) (VOL 2861, PG 212, DPR)
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 - ② UNPLATTED REMAINING PORTION OF 377.46 ACRES AK H LAMM, ERNEST H. LAMM AND ANGELA LAMM (VOL 2407, PG 452 OPR)

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STATE OF TEXAS
COUNTY OF BEXAR

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Matthew Geistweidt 5-6-2024
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

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G.E. Buchanan 05/06/2024
REGISTERED PROFESSIONAL LAND SURVEYOR

CPS/SAWS/COSA UTILITY:

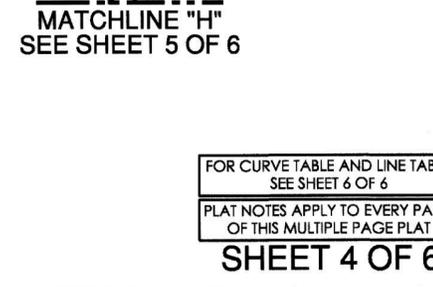
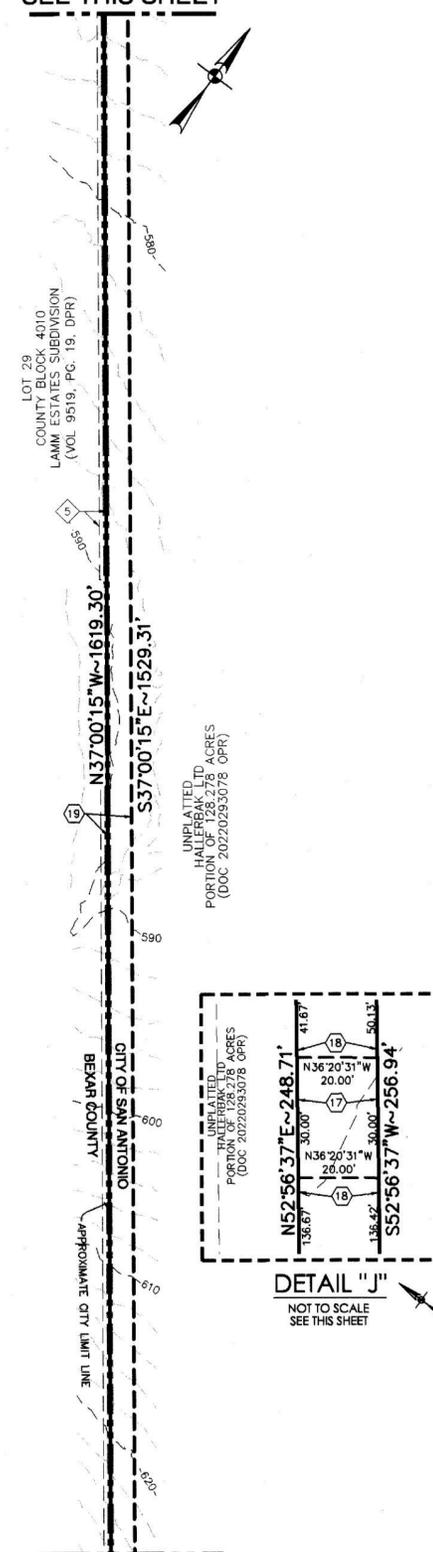
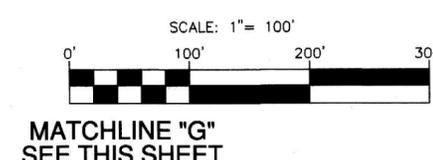
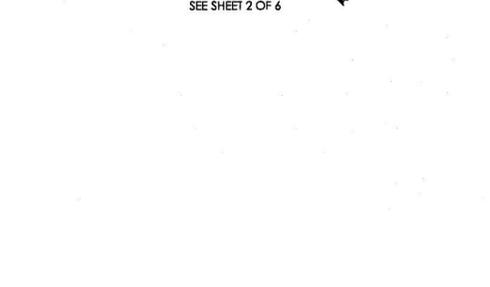
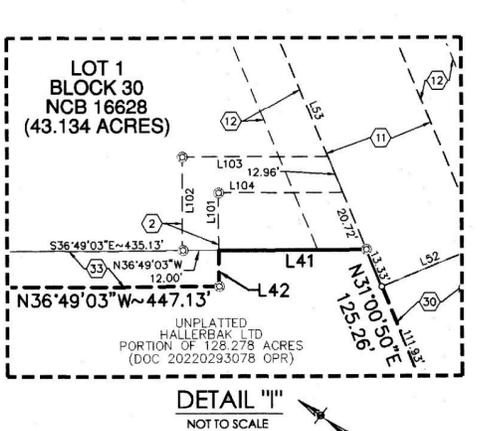
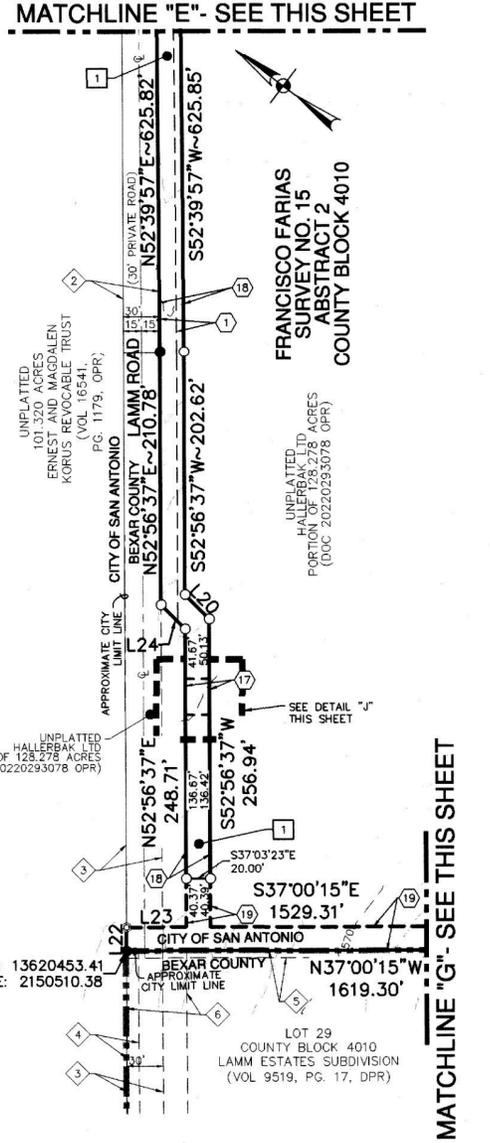
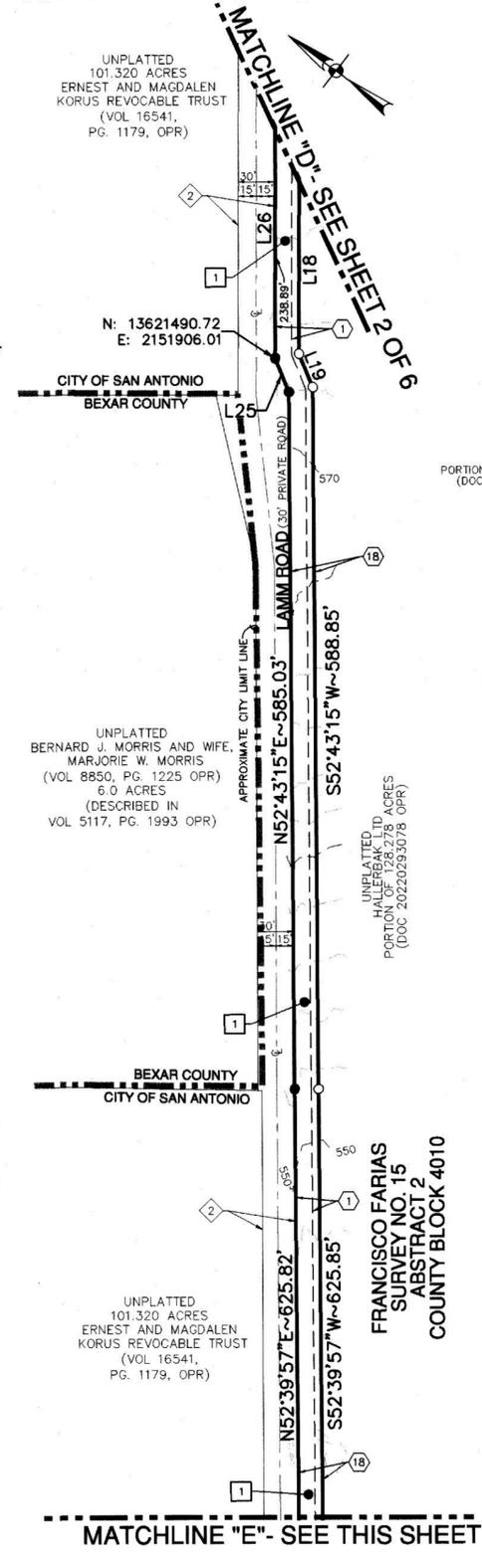
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- ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUS) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.



PLAT NO. 22-11800763
SUBDIVISION PLAT
OF
HALLER TRACT PHASE 1

BEING A 47.323 ACRE TRACT OF LAND COMPRISED OF 46.980 ACRES OUT OF A 128.278 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.042 ACRES OUT OF A 6.839 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, AND 0.044 ACRES OUT OF A 8.834 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.046 ACRES OUT OF A 8.872 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001825, AND 0.048 ACRES OUT OF A 8.832 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.051 ACRES OUT OF A 8.827 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001828, AND 0.055 ACRES OUT OF A 8.841 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.058 ACRES OUT OF A 8.837 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, ALL IN THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, AND OUT OF THE FRANCISCO FARIAS SURVEY NO. 15, ABSTRACT 2, IN COUNTY BLOCK 4010 OF BEXAR COUNTY, TEXAS. ESTABLISHING LOT 1, BLOCK 30, NEW CITY BLOCK 16628 IN BEXAR COUNTY, TEXAS.

PAPE-DAWSON ENGINEERS
2000 NW LOOP 410 | SAN ANTONIO, TX 78211 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10280800
DATE OF PREPARATION: May 06, 2024

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PHILLIP P. BAKKE
HALLERBAK LTD
207 ROOSEVELT AVE
SAN ANTONIO, TEXAS 78210
(210) 821-8322

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PHILLIP P. BAKKE KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 2024.

Elizabeth Stone
NOTARY PUBLIC, BEXAR COUNTY, TEXAS

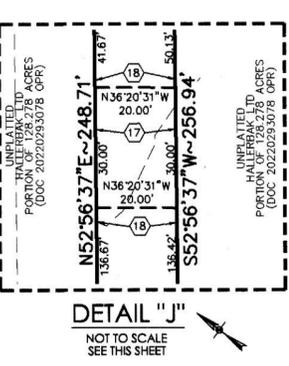
ELIZABETH STONE
Notary Public, State of Texas
Comm. Expires 07-29-2026
Notary ID 133863582

THIS PLAT OF HALLER TRACT PHASE 1 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

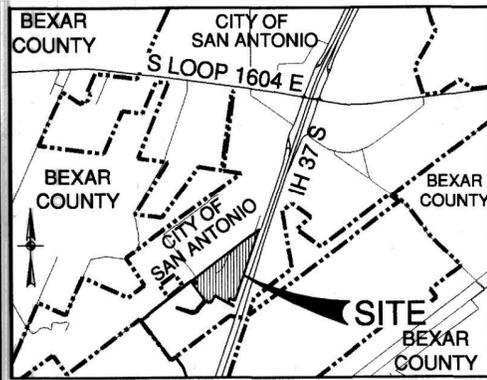
DATED THIS _____ DAY OF _____, A.D. 20____

BY: _____ CHAIRMAN

BY: _____ SECRETARY



HALLER TRACT PHASE 1
Civil Job No. 12877-00; Survey Job No. 9139-22



LOCATION MAP

NOT-TO-SCALE

LEGEND	NOT-TO-SCALE
AC ACRE(S)	CHANNEL ESMT (VOL. 6107, PG 867 OPR)
BLK BLOCK	TRACT 3 - LAMM ROAD (30' PRIVATE ROAD) (VOL. 2881, PG. 212, DPR)
CBG COUNTY BLOCK	30' ACCESS EASEMENT (VOL. 2153, PG. 472, OPR)
DOC DOCUMENT NUMBER	(VOL. 2737, PG. 1114, OPR) (ELECTRIC LINE R.O.W.) (VOL. 6487, PG. 101, OPR)
GETCTV GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION	30' RIGHT-OF-WAY AND INGRESS/EGRESS ESMT (VOL. 2737, PG. 1114, OPR)
NOB NEW CITY BLOCK	10' WATER AND ACCESS ESMT (VOL. 9519, PG. 17 DPR)
OPR OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS	6' ELECTRIC UTILITY AND PLAT TELEPHONE ESMT (VOL. 9519, PG. 17 DPR)
VOL VOLUME	50' ELECTRIC ESMT (VOL. 9519, PG. 17 DPR)
PG PAGE(S)	30' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC PERMEABLE)
PR PLAT RECORDS OF BEXAR COUNTY, TEXAS	20' PRIVATE WATER ESMT
ROW RIGHT-OF-WAY	VAR WID PRIVATE DRAINAGE ESMT
LF LINEAR FEET	28' GETCTV ESMT
VAR WID VARIABLE WIDTH	38' PRIVATE DRAINAGE ESMT
(SURVEYOR) FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)	28' PRIVATE DRAINAGE ESMT
SET 1/2" IRON ROD (PD)	VAR WID PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT (TOTAL OFF-LOT 0.32 AC PERMEABLE)
SET 1/2" IRON ROD (FD)-ROW	15' DRAINAGE ACCESS ESMT (TOTAL OFF-LOT 0.25 AC PERMEABLE)
EASEMENT POINT OF INTERSECTION	38' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC PERMEABLE)
C CENTERLINE	30' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC PERMEABLE)
1140 EXISTING CONTOURS	10'x10' GETCTV ESMT (SEE DETAIL "G" SHEET 3 OF 6)
1140 PROPOSED CONTOURS	11.5' DRAINAGE ESMT
CITY OF SAN ANTONIO LIMITS	12' GETCTV ESMT (TOTAL OFF-LOT 0.12 AC PERMEABLE)
1 14' GETCTV ESMT	20' PUBLIC WATER ESMT ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC PERMEABLE)
2 12' GETCTV ESMT	1' LOT 1, BLOCK 30 NCB 16628 (43.134 ACRES)
4 5' GETCTV ESMT	2 UNPLATTED REMAINING PORTION OF 377.46 ACRES (VOL. 2407, PG. 482 OPR)
10 10' WATER ESMT	
11 38' IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT	
12 15' BUILDING SETBACK LINE, SIGN, PRIVATE SEWER, AND PRIVATE WATER ESMT	
13 30' INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT	
14 15' BUILDING SETBACK LINE, SIGN, PRIVATE SEWER, & GETCTV ESMT	
15 VAR WID IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PUBLIC SEWER, & GETCTV ESMT	
16 VAR WID PRIVATE SEWER AND PRIVATE DRAINAGE ESMT (TOTAL OFF-LOT 2.326 AC. PERMEABLE)	
17 VAR WID PRIVATE WATER & PRIVATE DRAINAGE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS EASEMENT	
18 20' PRIVATE WATER & PRIVATE DRAINAGE ESMT	
19 VAR WID PUBLIC WATER & PRIVATE DRAINAGE ESMT (OFF-LOT 0.811 AC. PERMEABLE)	
20 24' PRIVATE SANITARY SEWER ESMT	

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORE NETWORK.
- DIMENSIONS SHOWN ARE SURFACE. SURFACE ADJUSTMENT FACTOR: 1.00017.
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

Matthew Geistweidt 5-6-2024
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

G. E. Buchanan 4999
REGISTERED PROFESSIONAL LAND SURVEYOR

CPSS/SAWS/COSA UTILITY:

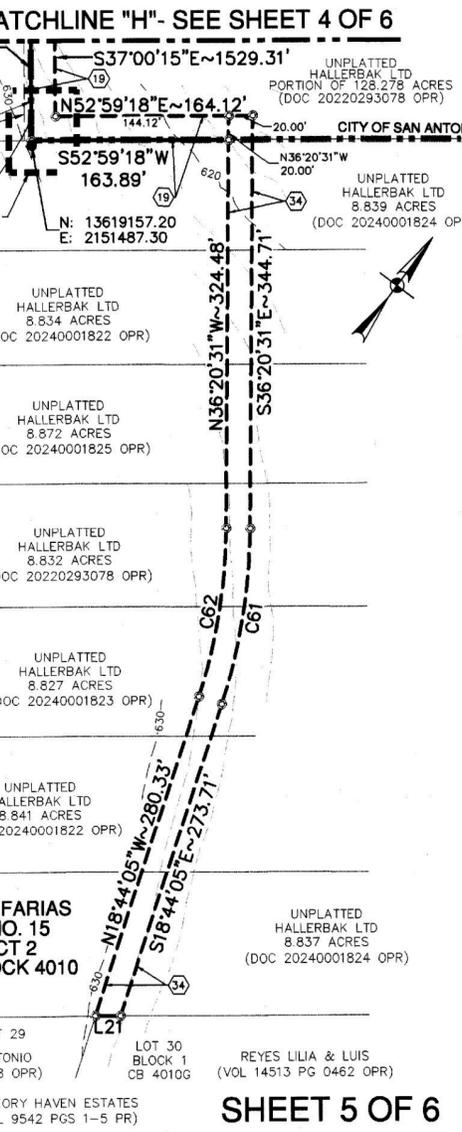
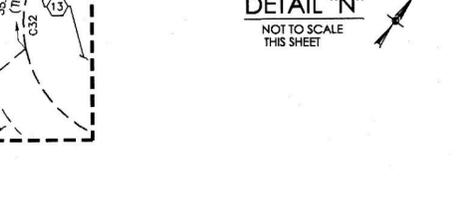
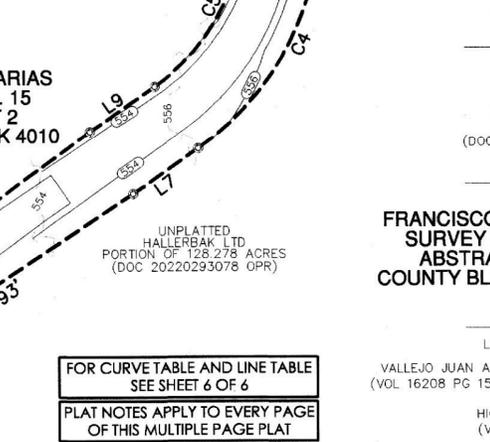
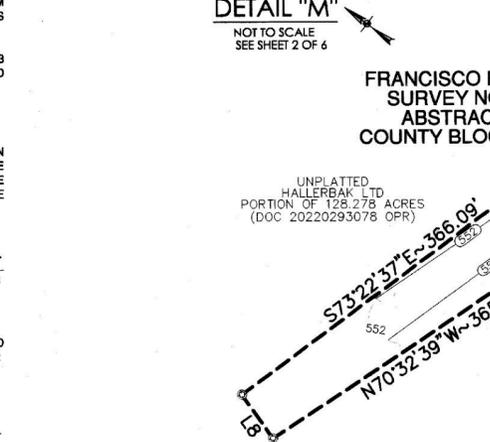
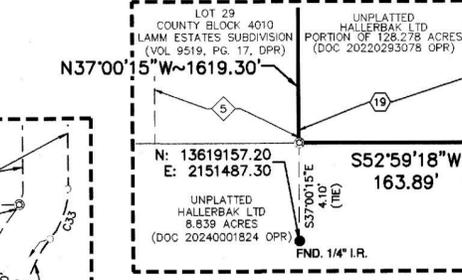
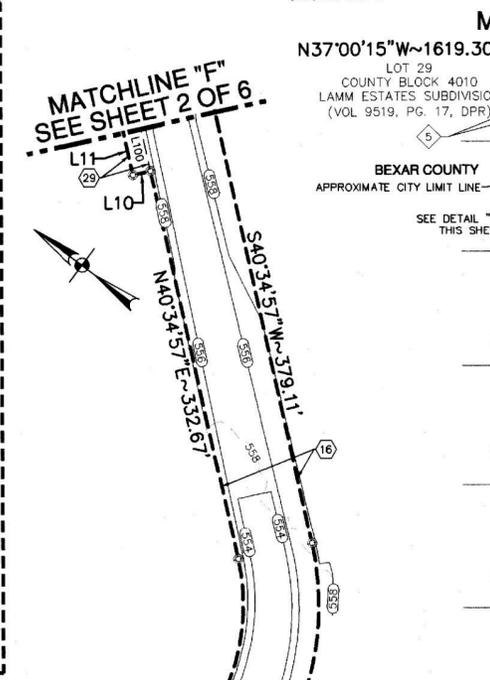
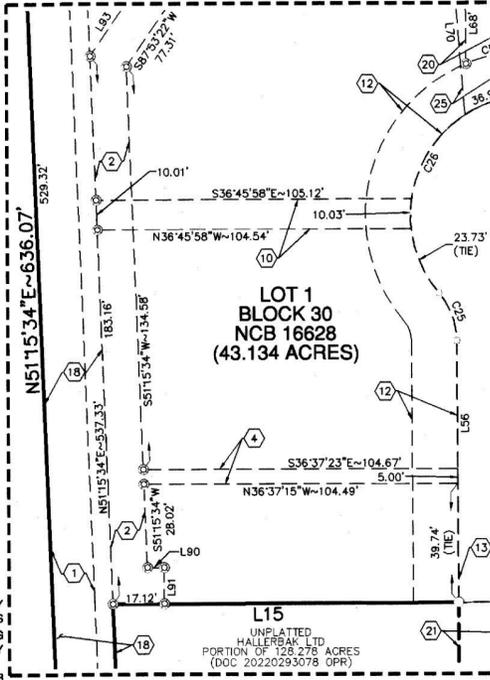
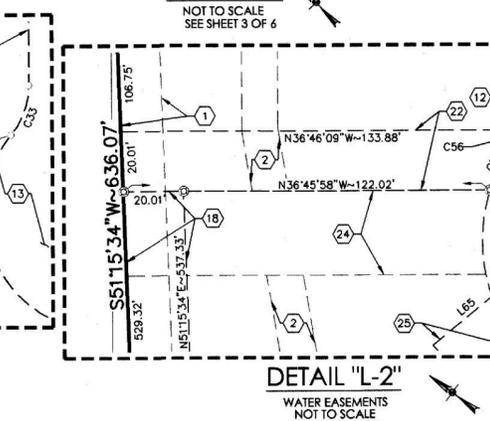
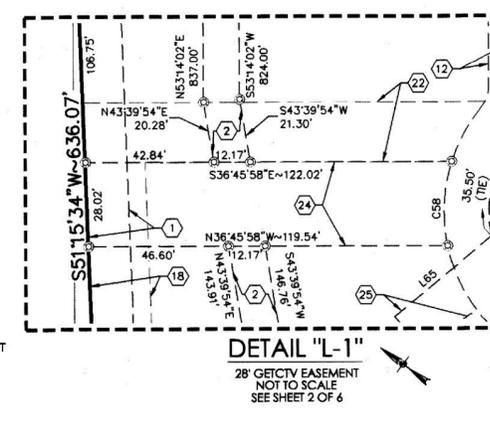
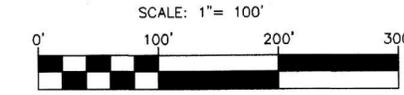
- THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
- ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
- CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.
- ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SEWER WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUS) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.



PLAT NO. 22-11800763
SUBDIVISION PLAT
OF
HALLER TRACT PHASE 1

BEING A 47.323 ACRE TRACT OF LAND COMPRISED OF 46.980 ACRES OUT OF A 128.278 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.042 ACRES OUT OF A 8.839 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, AND 0.044 ACRES OUT OF A 8.834 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.048 ACRES OUT OF A 8.872 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001825, AND 0.048 ACRES OUT OF A 8.852 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.051 ACRES OUT OF A 8.827 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001823, AND 0.055 ACRES OUT OF A 8.841 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.058 ACRES OUT OF A 8.837 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, ALL IN THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, AND OUT OF THE FRANCISCO FARIAS SURVEY NO. 15, ABSTRACT 2, IN COUNTY BLOCK 4010 OF BEXAR COUNTY, TEXAS, ESTABLISHING LOT 1, BLOCK 30, NEW CITY BLOCK 16628 IN BEXAR COUNTY, TEXAS.

PAPE-DAWSON ENGINEERS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.378.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10228900
DATE OF PREPARATION: May 06, 2024

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

Phillip P. Bakke
OWNER/DEVELOPER: PHILLIP P. BAKKE
HALLERBAK LTD
207 ROOSEVELT AVE
SAN ANTONIO, TEXAS 78210
(210) 821-6322

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PHILLIP P. BAKKE KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 06th DAY OF May, A.D. 2024.

Elizabeth Stone
NOTARY PUBLIC, BEXAR COUNTY, TEXAS

ELIZABETH STONE
Notary Public, State of Texas
Comm. Expires 07-29-2028
Notary ID 133983582

THIS PLAT OF HALLER TRACT PHASE 1 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

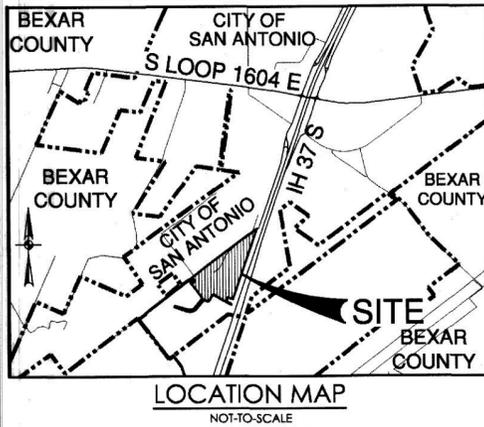
DATED THIS _____ DAY OF _____, A.D. 20____

BY: _____ CHAIRMAN

BY: _____ SECRETARY



Civil Job No. 12877-00; Survey Job No. 9139-22



LOCATION MAP
NOT-TO-SCALE

STORM WATER DETENTION:
STORM WATER DETENTION IS REQUIRED FOR PROPERTY WITHIN THE BOUNDARY OF THIS PLAT. BUILDING PERMITS SHALL BE ISSUED ONLY IN CONJUNCTION WITH NECESSARY STORM WATER DETENTION APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. THE PROPERTY MAY BE ELIGIBLE TO POST A FEE IN LIEU OF DETENTION (FLO) IF OFFSITE DRAINAGE CONDITIONS ALLOW BUT ONLY WHEN APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. MAINTENANCE OF ON-SITE STORM WATER DETENTION SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AND/OR THE PROPERTY OWNERS ASSOCIATION AND ITS SUCCESSORS OR ASSIGNS AND IS NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

CROSS ACCESS:
LOT OWNERS SHALL PROVIDE SHARED COMMON CROSS ACCESS FOR LOTS 21, 29-28, CB 4010 IN ACCORDANCE WITH UDC 35-506(f)(3).

COMMON AREA MAINTENANCE:
THE MAINTENANCE OF ALL PRIVATE STREETS, OPEN SPACE, GREENBELTS, PARKS, TREE SAVE AREAS, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

FINISHED FLOOR NOTE:
RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF EIGHT (8) INCHES ABOVE FINAL ADJACENT GRADE.

TxDOT NOTES:
1. FOR RESIDENTIAL DEVELOPMENT DIRECTLY ADJACENT TO STATE RIGHT-OF-WAY, THE DEVELOPER SHALL BE RESPONSIBLE FOR ADEQUATE SETBACK AND/OR SOUND ABATEMENT MEASURES FOR FUTURE NOISE MITIGATION.
2. MAXIMUM ACCESS POINTS TO STATE HIGHWAY FROM THIS PROPERTY WILL BE REGULATED AS DIRECTED BY "ACCESS MANAGEMENT MANUAL". THIS PROPERTY IS ELIGIBLE FOR A MAXIMUM COMBINED TOTAL OF ONE (1) ACCESS POINT ALONG IH 37, BASED ON OVERALL PLATTED HIGHWAY FRONTAGE OF 2,346.46'.
3. IF SIDEWALKS ARE REQUIRED BY APPROPRIATE CITY ORDINANCE, A SIDEWALK PERMIT MUST BE APPROVED BY TxDOT PRIOR TO CONSTRUCTION WITHIN STATE RIGHT-OF-WAY. LOCATIONS OF SIDEWALKS WITHIN STATE RIGHT-OF-WAY SHALL BE DIRECTED BY TxDOT.

INGRESS/EGRESS:
NO STRUCTURE, FENCES, WALLS, OR OTHER OBSTRUCTIONS SHALL BE PLACED WITHIN THE LIMITS OF THE INGRESS/EGRESS EASEMENT SHOWN ON THIS PLAT.

TCI DETENTION & MAINTENANCE:
STORM WATER DETENTION IS REQUIRED FOR PROPERTY WITHIN THE BOUNDARY OF THIS PLAT. BUILDING PERMITS SHALL BE ISSUED ONLY IN CONJUNCTION WITH NECESSARY STORM WATER DETENTION APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. THE PROPERTY MAY BE ELIGIBLE TO POST A FEE IN LIEU OF DETENTION (FLO) IF OFFSITE DRAINAGE CONDITIONS ALLOW BUT ONLY WHEN APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. MAINTENANCE OF ON-SITE STORM WATER DETENTION SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AND/OR THE PROPERTY OWNERS ASSOCIATION AND ITS SUCCESSORS OR ASSIGNS AND IS NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

TREE NOTE:
THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (TRE-APP-APP23-38800927) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-477(H).

SURVEYOR'S NOTES:
1. MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
2. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NAD2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
3. DIMENSIONS SHOWN ARE SURFACE. SURFACE ADJUSTMENT FACTOR: 1.00017.
4. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NAD2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS
COUNTY OF BEXAR
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

Matthew H. Hest 5-6-2024
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR
I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

G. E. Buchanan 05/06/2024
REGISTERED PROFESSIONAL LAND SURVEYOR

CPS/SAWS/COSA UTILITY:
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID THIS PLAT AS ELECTRIC EASEMENT, "ANCHOR EASEMENT", "SERVICE EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT", "GAS EASEMENT", "TRANSFORMER EASEMENT", "WATER EASEMENT", "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER THE EFFICIENCY OF WATER, SEWER, AND/OR GAS FACILITIES IN THE AREAS DESCRIBED ABOVE. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

LINE TABLE			LINE TABLE		
LINE #	BEARING	LENGTH	LINE #	BEARING	LENGTH
L1	N71°03'27"W	170.00'	L66	N13°34'07"E	38.00'
L2	S18°56'33"W	129.90'	L67	N76°25'53"W	42.04'
L3	S60°16'28"E	173.06'	L68	N53°13'39"E	168.29'
L4	S18°56'33"W	23.92'	L69	S53°13'39"W	160.01'
L5	S29°43'32"W	182.62'	L70	N48°55'37"E	36.51'
L6	N54°09'07"W	67.79'	L71	S41°04'23"E	38.00'
L7	N71°57'38"W	68.05'	L72	S48°55'37"W	36.51'
L8	N18°02'22"E	44.91'	L73	N53°10'57"E	17.23'
L9	S71°57'38"E	65.89'	L74	N2°24'00"W	79.85'
L10	N49°25'03"W	15.00'	L75	N87°36'00"E	30.00'
L11	N40°34'57"E	41.60'	L76	S2°24'00"E	79.85'
L12	N53°10'56"E	48.00'	L77	S2°03'24"W	22.80'
L13	S36°49'02"E	46.49'	L78	S73°09'48"E	36.30'
L14	N53°14'02"E	87.04'	L79	S71°03'27"E	20.00'
L15	N36°45'58"W	115.12'	L80	S71°03'27"E	52.47'
L16	S51°15'34"W	126.27'	L81	S18°56'33"W	23.88'
L17	N81°31'21"W	31.94'	L82	N60°58'19"W	87.30'
L18	S53°15'36"W	221.68'	L83	S60°58'19"E	13.16'
L19	S31°03'45"W	30.75'	L84	S53°13'45"W	111.34'
L20	S81°47'49"W	28.46'	L85	N69°56'16"W	104.95'
L21	S52°56'04"W	21.07'	L86	S77°58'36"W	74.28'
L22	N52°54'40"W	20.00'	L87	S59°01'30"W	76.62'
L23	S37°00'15"E	50.01'	L88	S36°45'58"E	41.98'
L24	N81°47'49"E	28.46'	L89	N36°45'58"W	41.98'
L25	N31°03'45"E	30.84'	L90	S36°45'58"E	5.53'
L26	N53°15'36"E	261.19'	L91	S53°14'02"W	12.00'
L27	S36°29'16"E	22.20'	L92	S81°44'24"E	31.40'
L28	N61°20'24"W	460.82'	L93	N87°53'22"E	76.41'
L29	N29°43'32"E	103.36'	L94	S36°45'58"E	41.98'
L30	S60°16'28"E	21.21'	L95	N36°45'58"W	41.98'
L31	S56°37'09"E	50.98'	L96	S36°48'28"E	42.01'
L32	S60°16'28"E	410.59'	L97	N53°11'32"E	12.00'
L33	N18°56'33"E	117.25'	L98	S36°49'02"E	31.47'
L34	S29°43'32"W	131.61'	L99	N53°10'56"E	18.00'
L35	N57°14'21"W	115.59'	L100	N40°34'57"E	41.60'
L36	S31°00'50"W	118.34'	L101	S53°10'57"W	19.18'
L37	S54°09'07"E	109.80'	L102	N53°10'57"E	31.18'
L38	N29°43'32"E	182.62'	L103	S36°49'03"E	48.47'
L39	N60°16'28"W	44.13'	L104	N36°49'03"W	41.36'
L40	S53°13'59"W	104.00'	L105	N36°49'02"W	11.27'
L41	N36°49'03"W	49.17'	L106	N54°09'07"W	25.66'
L42	S53°10'57"W	12.00'	L107	S18°56'33"W	6.93'
L43	S53°14'02"W	146.55'	L108	S71°03'27"E	12.00'
L44	S48°52'28"W	79.25'	L109	N46°54'56"E	73.09'
L45	N71°03'27"W	30.00'	L110	N47°07'14"W	47.74'
L46	N18°56'33"E	81.93'	L111	N33°59'39"E	40.09'
L47	S48°52'28"W	96.13'	L112	S56°00'21"E	58.26'
L48	S60°16'28"E	78.82'	L113	N56°00'21"W	58.49'
L49	S29°43'32"W	30.00'	L114	S33°59'39"W	17.82'
L50	S60°16'28"E	88.09'	L115	S47°07'14"E	50.34'
L51	N31°00'50"E	92.39'	L116	S46°54'56"W	74.82'
L52	N58°59'10"W	36.00'	L117	S43°05'05"E	30.00'
L53	N31°00'50"E	92.39'	L118	N48°52'28"E	66.67'
L54	S53°14'02"W	89.02'	L119	N41°07'32"W	110.00'
L55	N36°45'58"W	30.00'	L120	S41°07'32"E	110.00'
L56	N53°14'02"E	87.43'	L121	N53°13'45"E	108.52'
L57	N48°52'28"E	76.01'	L122	N81°44'24"W	31.81'
L58	S60°58'19"E	15.00'	L123	N2°16'40"E	11.99'
L59	N60°58'19"W	15.00'	L124	N29°01'41"E	71.14'
L60	S60°58'19"E	56.67'	L125	N53°14'02"E	84.98'
L61	S69°56'16"E	111.36'	L126	S53°11'32"W	12.00'
L62	N77°58'36"E	79.19'	L127	S46°35'03"E	60.11'
L63	N59°01'30"E	79.23'	L128	N46°35'03"W	59.75'
L64	N36°45'58"W	23.22'	L129	N60°16'28"W	22.91'
L65	S76°25'53"E	42.04'	L130	N69°56'16"W	12.15'

SAWS IMPACT FEE:
WATER AND/OR WASTEWATER IMPACT FEES MUST NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUs) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

SAWS DEDICATION:
THE OWNER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.

SAWS HIGH PRESSURE:
A PORTION OF THE TRACT IS BELOW THE GROUND ELEVATION OF 645 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE OWNER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	38.25'	90°00'00"	S74°43'32"W	54.09'	60.08'
C2	61.60'	96°07'21"	S77°47'12"W	91.65'	103.35'
C3	25.00'	85°15'56"	S83°12'55"W	33.86'	37.20'
C4	238.00'	67°27'25"	S74°18'39"W	264.30'	280.21'
C5	175.00'	67°27'25"	N74°18'39"E	194.34'	206.04'
C6	26.00'	77°23'59"	N1°52'58"E	32.51'	35.12'
C7	38.10'	96°07'21"	N77°47'12"E	56.69'	63.93'
C8	61.75'	34°31'37"	N46°59'20"E	36.65'	37.21'
C9	182.00'	21°38'21"	S64°03'12"W	68.33'	68.74'
C10	182.00'	24°12'21"	S41°07'51"W	76.32'	76.89'
C11	668.00'	19°50'48"	S38°57'04"W	230.23'	231.39'
C12	25.00'	96°44'29"	S0°41'18"W	37.37'	42.21'
C13	25.00'	36°52'27"	S61°31'18"E	15.81'	16.09'
C14	40.00'	135°46'14"	S12°04'24"E	74.11'	94.79'
C15	25.00'	36°52'10"	S37°22'38"W	15.81'	16.09'
C16	25.00'	79°59'49"	N21°03'22"W	32.14'	34.91'
C17	25.00'	70°04'16"	S83°54'36"W	28.70'	30.57'
C18	552.00'	8°09'06"	S44°47'55"W	78.47'	78.53'
C19	25.00'	100°59'51"	S9°46'33"E	38.58'	44.07'
C20	25.00'	87°46'01"	S75°50'31"W	34.66'	38.30'
C21	552.00'	0°56'40"	S31°29'10"W	9.10'	9.10'
C22	588.00'	2°07'35"	N32°04'38"E	21.82'	21.82'
C23	25.00'	69°57'28"	N1°50'18"W	28.66'	30.52'
C24	35.00'	89°56'55"	N81°47'30"W	49.48'	54.95'
C25	25.00'	39°50'51"	N33°18'37"E	17.04'	17.39'
C26	40.00'	169°38'37"	S81°47'30"E	79.67'	118.43'
C27	25.00'	39°50'51"	S16°53'37"E	17.04'	17.39'
C28	25.00'	102°15'06"	S87°56'36"E	38.93'	44.62'
C29	588.00'	7°56'37"	N44°54'10"E	81.46'	81.52'
C30	36.00'	85°40'56"	N6°02'00"E	48.96'	53.84'
C31	26.00'	39°32'52"	N56°34'54"W	17.59'	17.95'
C32	40.00'	169°07'38"	N81°29'29"E	79.64'	118.07'
C33	26.00'	39°32'16"	N73°00'10"E	17.59'	17.94'
C34	115.00'	57°23'43"	N81°55'54"E	110.44'	115.20'
C35	36.00'	81°36'05"	N69°49'43"E	47.05'	51.27'
C36	OMITTED	OMITTED	OMITTED	OMITTED	OMITTED
C37	85.00'	39°02'38"	S72°45'21"W	56.81'	57.92'
C38	35.00'	90°02'30"	S81°24'7"W	49.52'	55.00'
C39	36.00'	94°19'04"	S83°58'00"E	52.79'	59.26'
C40	632.00'	19°50'48"	N38°57'04"E	217.82'	218.92'
C41	36.00'	116°45'01"	N29°20'50"W	61.31'	73.36'
C42	25.00'	88°02'28"	N87°06'18"W	34.75'	38.42'
C43	25.00'	109°55'44"	S6°05'24"E	40.94'	47.97'
C44	25.00'	100°00'11"	N68°56'38"E	38.30'	43.63'
C45	35.00'	62°01'37"	N12°04'16"W	36.07'	37.89'
C46	52.50'	29°34'53"	S77°44'28"E	26.81'	27.11'
C47	80.50'	30°16'11"	N77°23'49"W	42.04'	42.53'
C48	179.00'	65°47'55"	N86°07'43"E	194.45'	205.56'
C49	55.00'	25°35'04"	S26°58'03"E	24.36'	24.56'
C50	55.00'	25°34'56"	N46°32'57"W	24.35'	24.56'
C51	32.00'	41°42'23"	N22°19'46"E	32.82'	34.46'
C52	81.50'	33°10'19"	N18°59'10"W	46.53'	47.19'
C53	51.50'	33°10'19"	S18°59'10"E	29.40'	29.82'
C54	68.50'	37°37'44"	S16°45'27"E	44.18'	44.99'
C55	138.50'	35°59'44"	N0°56'41"E	85.59'	87.01'
C56	11.00'	11°41'40"	S86°55'28"W	554.00'	2.25'
C57	55.00'	21°40'31"	S81°56'03"W	554.39'	20.81'
C58	55.00'	29°32'14"	S56°19'40"W	28.04'	28.35'
C59	41.00'	77°23'59"	N1°52'58"E	51.27'	55.39'
C60	61.75'	55°28'23"	S88°00'40"E	57.48'	59.78'
C61	485.00'	17°36'25"	S27°32'18"E	148.45'	149.04'
C62	465.00'	17°36'25"	N27°32'18"W	142.33'	142.89'
C63	24.00'	116°47'40"	N29°20'19"W	40.88'	48.92'
C64	23.00'	90°02'30"	S81°24'7"W	32.54'	36.15'

DRAINAGE EASEMENT ENCROACHMENTS:
NO STRUCTURE, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASE