

LOCATION MAP

NOT TO SCALE

LEGEND	
AC	ACRE(S)
BLK	BLOCK
CB	COUNTY BLOCK
DOC	DOCUMENT NUMBER
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION
NCB	NEW CITY BLOCK
OPR	OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS
VOL	VOLUME
PG	PAGE(S)
PR	PLAT RECORDS OF BEXAR COUNTY, TEXAS
ROW	RIGHT-OF-WAY
LF	LINEAR FEET
VAR WID	VARIABLE WIDTH
(SURVEYOR)	FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
○	SET 1/2" IRON ROD (PD)
○	SET 1/2" IRON ROD (PD)-ROW
●	EASEMENT POINT OF INTERSECTION
—	CENTERLINE
1140	EXISTING CONTOURS
1140	PROPOSED CONTOURS
---	CITY OF SAN ANTONIO LIMITS
1	14' GETCTV ESMT
2	12' GETCTV ESMT
4	5' GETCTV ESMT
10	10' WATER ESMT
11	36" IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
12	15' BUILDING SETBACK LINE, SIGN, PRIVATE SEWER, AND PRIVATE WATER ESMT
13	30' INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
14	15' BUILDING SETBACK LINE, SIGN, PUBLIC SEWER, & GETCTV ESMT
15	VAR WID IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, & GETCTV ESMT
16	VAR WID PRIVATE SEWER AND PRIVATE DRAINAGE ESMT (TOTAL OFF-LOT 2.326 AC. PERMEABLE)
17	VAR WID PRIVATE WATER & PRIVATE DRAINAGE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS EASEMENT
18	20' PRIVATE WATER & PRIVATE DRAINAGE ESMT
19	VAR WID PUBLIC WATER & PRIVATE DRAINAGE ESMT (OFF-LOT 0.811 AC. PERMEABLE)
20	24' PRIVATE SANITARY SEWER ESMT
21	CHANNEL ESMT (VOL 8107, PG 887 OPR)
22	TRACT 3 - LAMM ROAD (30' PRIVATE ROAD) (VOL 2861, PG 212, DPR)
23	30' ACCESS EASEMENT (VOL 2153, PG 472, OPR)
24	10' WATER AND ACCESS ESMT (VOL 9519, PG 17 DPR)
25	6' ELECTRIC UTILITY AND TELEPHONE ESMT (VOL 9519, PG 17 DPR)
26	50' ELECTRIC ESMT (VOL 9519, PG 17 DPR)
27	30' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT (ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE))
28	VAR WID PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE)
29	15' DRAINAGE ACCESS ESMT (TOTAL OFF-LOT 0.25 AC. PERMEABLE)
30	36" PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT (ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE))
31	10'x10' GETCTV ESMT (SEE DETAIL "G" SHEET 3 OF 6)
32	11.5' DRAINAGE ESMT
33	12' GETCTV ESMT (TOTAL OFF-LOT 0.12 AC. PERMEABLE)
34	20' PUBLIC WATER ESMT (ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.352 AC. PERMEABLE))
1	LOT 1, BLOCK 30 NCB 16628 (43.134 ACRES)
2	UNPLATTED REMAINING PORTION OF 37.48 ACRES AK H LAMM, ERNEST H. LAMM AND ANGELA LAMM (VOL 2407, PG 452 OPR)

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
- DIMENSIONS SHOWN ARE SURFACE. SURFACE ADJUSTMENT FACTOR: 1.00017.
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

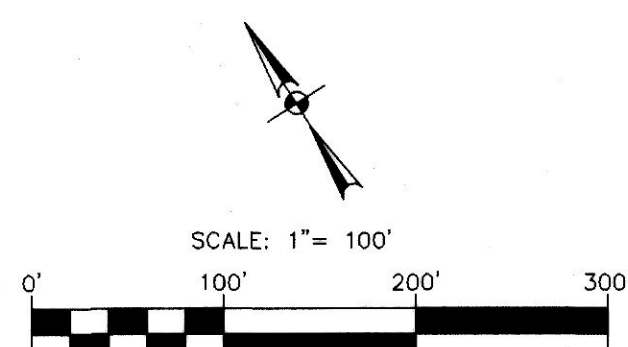
I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

CPS/SAWS/COSA UTILITY:

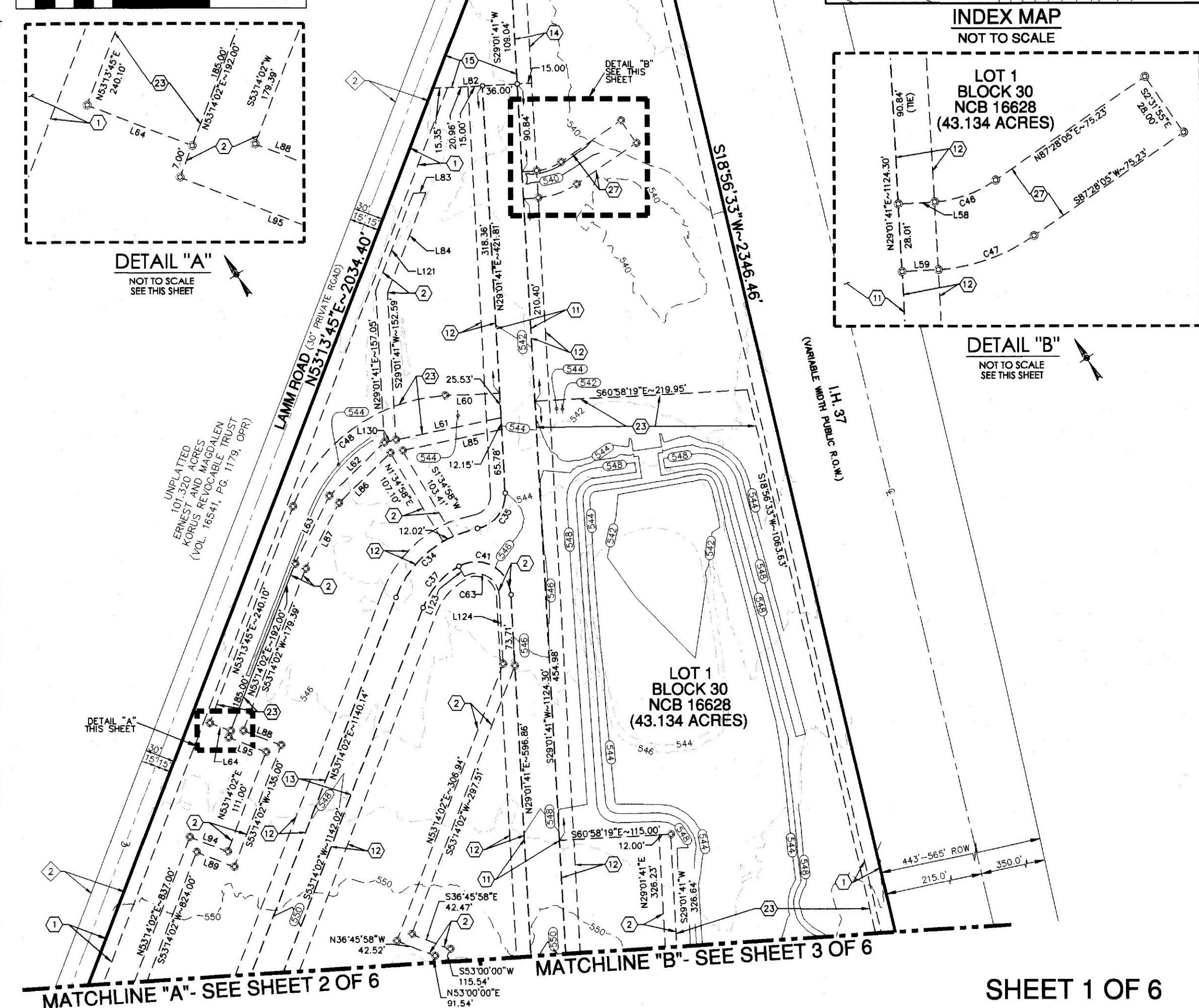
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATING EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY. 2. ANY CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS. 3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON. 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES. 5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

FOR CURVE TABLE AND LINE TABLE
SEE SHEET 6 OF 6

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT



DETAIL "A"
NOT TO SCALE
SEE THIS SHEET



MATCHLINE "A" - SEE SHEET 2 OF 6

MATCHLINE "B" - SEE SHEET 3 OF 6

SHEET 1 OF 6

PLAT NO. 22-11800763

SUBDIVISION PLAT
OF
HALLER TRACT PHASE 1

BEING A 47.323 ACRE TRACT OF LAND COMPRISED OF 46.960 ACRES OUT OF A 128.278 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.042 ACRES OUT OF A 8.839 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, AND 0.044 ACRES OUT OF A 8.834 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.046 ACRES OUT OF A 8.872 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001825, AND 0.048 ACRES OUT OF A 8.892 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.051 ACRES OUT OF A 8.827 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001823, AND 0.055 ACRES OUT OF A 8.841 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.058 ACRES OUT OF A 8.837 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, ALL IN THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, AND OUT OF THE FRANCISCO FARIAS SURVEY NO. 15, ABSTRACT 2, IN COUNTY BLOCK 4010 OF BEXAR COUNTY, TEXAS, ESTABLISHING LOT 1, BLOCK 30, NEW CITY BLOCK 16628 IN BEXAR COUNTY, TEXAS.

**PAPE-DAWSON
ENGINEERS**

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028900

DATE OF PREPARATION: May 06, 2024

STATE OF TEXAS
COUNTY OF BEXAR

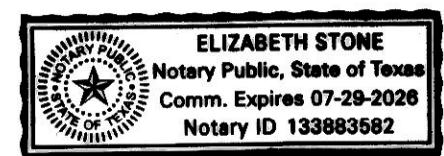
THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PHILLIP P. BAKKE
HALLERBAK LTD
207 ROOSEVELT AVE
SAN ANTONIO, TEXAS 78210
(210) 821-6322

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PHILLIP P. BAKKE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 6th DAY OF May, A.D. 2024.

Elizabeth Stone
NOTARY PUBLIC, BEXAR COUNTY, TEXAS



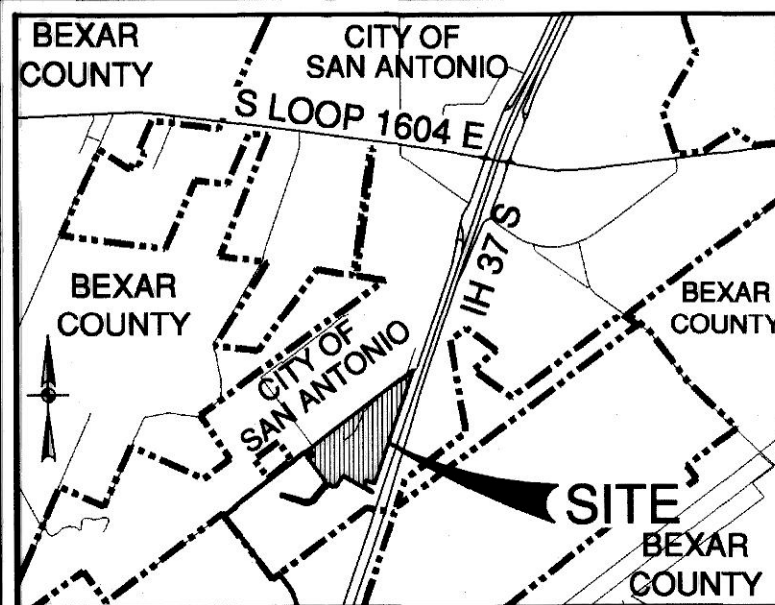
THIS PLAT OF HALLER TRACT PHASE 1 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20 ____

BY: _____ CHAIRMAN

BY: _____ SECRETARY





LOCATION MAP

LEGEND	
AC	ACRE(S)
BLK	BLOCK
CB	COUNTY BLOCK
DOC	DOCUMENT NUMBER
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION
NCB	NEW CITY BLOCK
OPR	OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS
VOL	VOLUME
PG	PAGE(S)
PR	PLAT RECORDS OF BEXAR COUNTY, TEXAS
ROW	RIGHT-OF-WAY
LF	LINEAR FEET
VAR WID	VARIABLE WIDTH
(SURVEYOR)	FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
○	SET 1/2" IRON ROD (PD)
○	SET 1/2" IRON ROD (PD)-ROW
●	EASEMENT POINT OF INTERSECTION
—	CENTERLINE
1140	EXISTING CONTOURS
1140	PROPOSED CONTOURS
---	CITY OF SAN ANTONIO LIMITS
1	14' GETCTV ESMT
2	12' GETCTV ESMT
3	5' GETCTV ESMT
4	10' WATER ESMT
5	36' IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
6	15' BUILDING SETBACK LINE, SIGN, PRIVATE SEWER, AND PRIVATE WATER ESMT
7	30' INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
8	15' BUILDING SETBACK LINE, SIGN, PUBLIC SEWER, & GETCTV ESMT
9	VAR WID IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, & GETCTV ESMT
10	VAR WID PRIVATE SEWER AND PRIVATE DRAINAGE ESMT (TOTAL OFF-LOT 2.328 AC. PERMEABLE)
11	VAR WID PRIVATE WATER & PRIVATE DRAINAGE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS EASEMENT
12	20' PRIVATE WATER & PRIVATE DRAINAGE ESMT
13	VAR WID PUBLIC WATER & PRIVATE DRAINAGE ESMT (OFF-LOT 0.811 AC. PERMEABLE)
14	24' PRIVATE SANITARY SEWER ESMT
15	CHANNEL ESMT (VOL. 6107, PG. 867 OPR)
16	TRACT 3 - LAMM ROAD (30' PRIVATE ROAD) (VOL. 2681, PG. 212, OPR)
17	30' ACCESS EASEMENT (VOL. 2153, PG. 472, OPR)
18	30' RIGHT-OF-WAY AND INGRESS/EGRESS ESMT (VOL. 2737, PG. 1114, OPR)
19	10' WATER AND ACCESS ESMT (VOL. 9519, PG. 17 DPR)
20	6' ELECTRIC UTILITY AND TELEPHONE ESMT (VOL. 9519, PG. 17 DPR)
21	50' ELECTRIC ESMT (VOL. 9519, PG. 17 DPR)
22	30' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
23	ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE)
24	20' PRIVATE WATER ESMT
25	VAR WID PRIVATE DRAINAGE ESMT
26	28' GETCTV ESMT
27	38' PRIVATE DRAINAGE ESMT
28	VAR WID PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE)
29	15' DRAINAGE ACCESS ESMT (TOTAL OFF-LOT 0.25 AC. PERMEABLE)
30	38' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
31	ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE)
32	10'x10' GETCTV ESMT (SEE DETAIL "G" SHEET 3 OF 8)
33	11.5' DRAINAGE ESMT
34	12' GETCTV ESMT (TOTAL OFF-LOT 0.12 AC. PERMEABLE)
35	20' PUBLIC WATER ESMT
36	ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE)
37	LOT 1, BLOCK 30 NCB 16628 (43.134 ACRES)
38	UNPLATTED REMAINING PORTION OF 377.46 ACRES AK H LAMM, ERNEST H. LAMM AND ANGELA LAMM (VOL. 2407, PG. 482 OPR)

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORRS NETWORK.
- DIMENSIONS SHOWN ARE SURFACE. SURFACE ADJUSTMENT FACTOR: 1.00017.
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

Matthew Geistweidt 5-6-2024
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

G.E. Buchanan 05/06/2024
REGISTERED PROFESSIONAL LAND SURVEYOR

CPS/SAWS/COSA UTILITY:

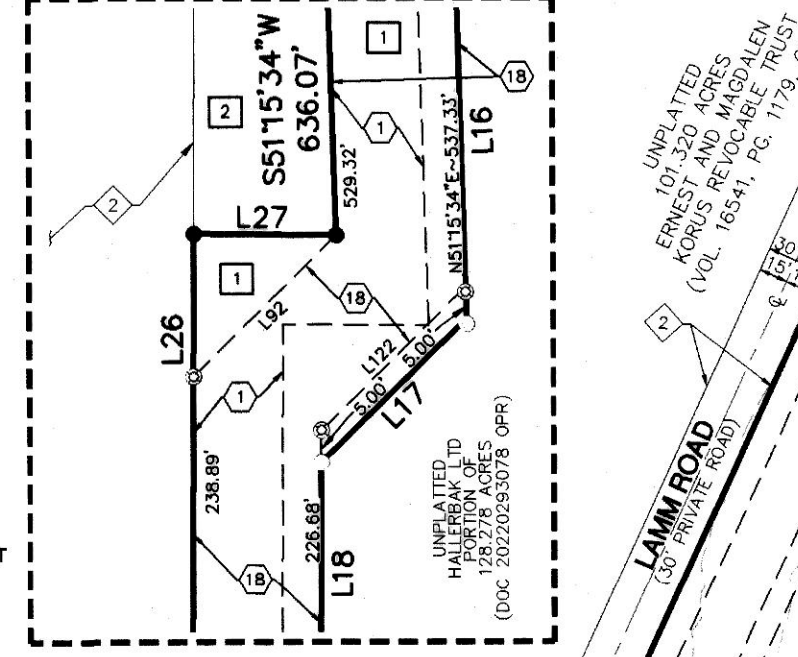
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATING EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTACLES WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.



DETAIL "C"

NOT TO SCALE
SEE THIS SHEET

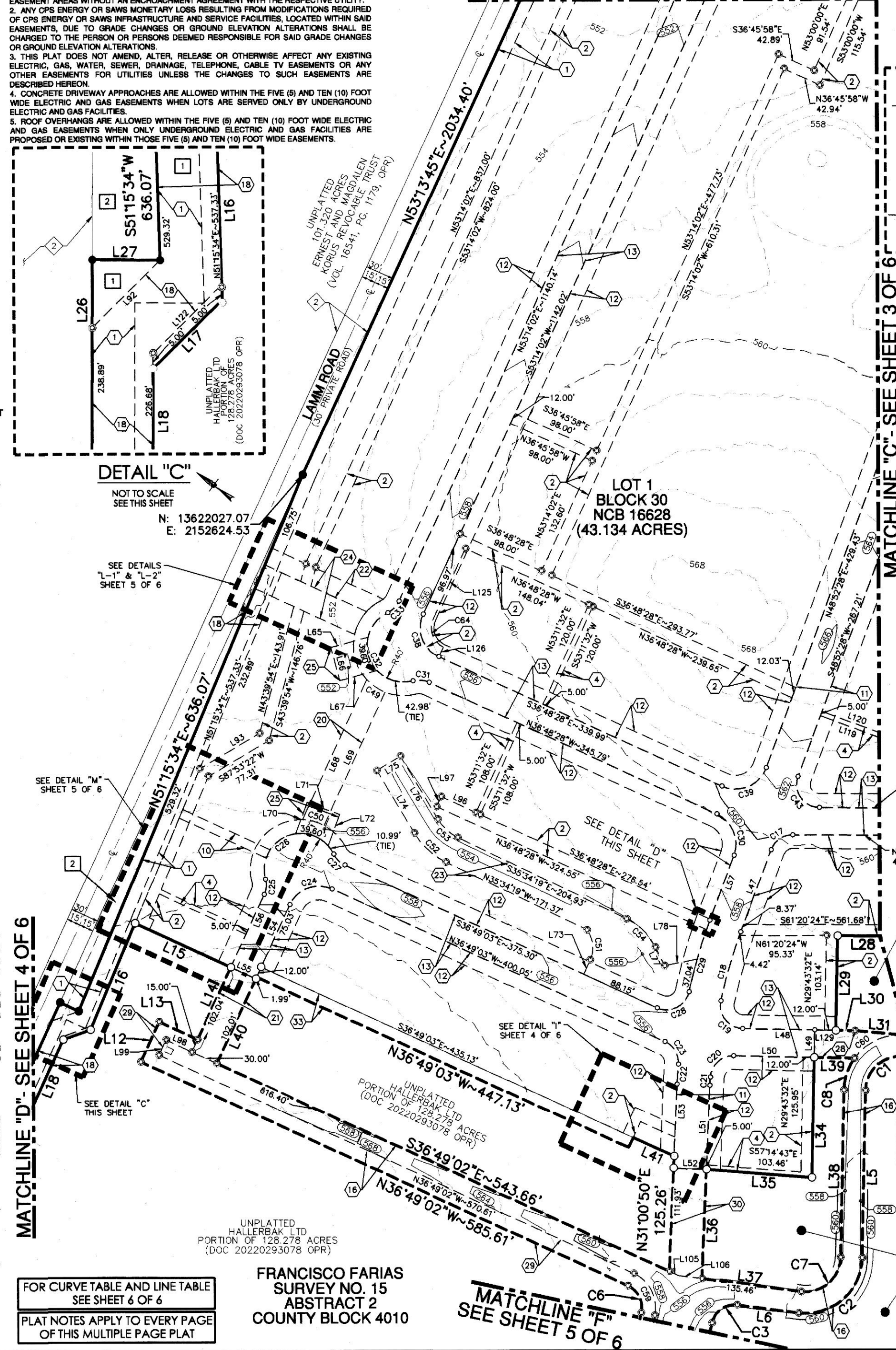
SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

MATCHLINE "A" - SEE SHEET 1 OF 6



MATCHLINE "C" - SEE SHEET 3 OF 6

MATCHLINE "D" - SEE SHEET 3 OF 6

MATCHLINE "F" - SEE SHEET 5 OF 6

MATCHLINE "G" - SEE SHEET 3 OF 8

MATCHLINE "H" - SEE SHEET 3 OF 8

MATCHLINE "I" - SEE SHEET 3 OF 8

MATCHLINE "J" - SEE SHEET 3 OF 8

MATCHLINE "K" - SEE SHEET 3 OF 8

MATCHLINE "L" - SEE SHEET 3 OF 8

MATCHLINE "M" - SEE SHEET 3 OF 8

MATCHLINE "N" - SEE SHEET 3 OF 8

MATCHLINE "O" - SEE SHEET 3 OF 8

MATCHLINE "P" - SEE SHEET 3 OF 8

MATCHLINE "Q" - SEE SHEET 3 OF 8

MATCHLINE "R" - SEE SHEET 3 OF 8

MATCHLINE "S" - SEE SHEET 3 OF 8

MATCHLINE "T" - SEE SHEET 3 OF 8

MATCHLINE "U" - SEE SHEET 3 OF 8

MATCHLINE "V" - SEE SHEET 3 OF 8

MATCHLINE "W" - SEE SHEET 3 OF 8

MATCHLINE "X" - SEE SHEET 3 OF 8

MATCHLINE "Y" - SEE SHEET 3 OF 8

MATCHLINE "Z" - SEE SHEET 3 OF 8

MATCHLINE "AA" - SEE SHEET 3 OF 8

MATCHLINE "AB" - SEE SHEET 3 OF 8

MATCHLINE "AC" - SEE SHEET 3 OF 8

MATCHLINE "AD" - SEE SHEET 3 OF 8

MATCHLINE "AE" - SEE SHEET 3 OF 8

MATCHLINE "AF" - SEE SHEET 3 OF 8

MATCHLINE "AG" - SEE SHEET 3 OF 8

MATCHLINE "AH" - SEE SHEET 3 OF 8

MATCHLINE "AI" - SEE SHEET 3 OF 8

MATCHLINE "AJ" - SEE SHEET 3 OF 8

MATCHLINE "AK" - SEE SHEET 3 OF 8

MATCHLINE "AL" - SEE SHEET 3 OF 8

MATCHLINE "AM" - SEE SHEET 3 OF 8

MATCHLINE "AN" - SEE SHEET 3 OF 8

MATCHLINE "AO" - SEE SHEET 3 OF 8

MATCHLINE "AP" - SEE SHEET 3 OF 8

MATCHLINE "AQ" - SEE SHEET 3 OF 8

MATCHLINE "AR" - SEE SHEET 3 OF 8

MATCHLINE "AS" - SEE SHEET 3 OF 8

MATCHLINE "AT" - SEE SHEET 3 OF 8

MATCHLINE "AU" - SEE SHEET 3 OF 8

MATCHLINE "AV" - SEE SHEET 3 OF 8

MATCHLINE "AW" - SEE SHEET 3 OF 8

MATCHLINE "AX" - SEE SHEET 3 OF 8

MATCHLINE "AY" - SEE SHEET 3 OF 8

MATCHLINE "AZ" - SEE SHEET 3 OF 8

MATCHLINE "BA" - SEE SHEET 3 OF 8

MATCHLINE "BB" - SEE SHEET 3 OF 8

MATCHLINE "BC" - SEE SHEET 3 OF 8

MATCHLINE "BD" - SEE SHEET 3 OF 8

MATCHLINE "BE" - SEE SHEET 3 OF 8

MATCHLINE "BF" - SEE SHEET 3 OF 8

MATCHLINE "BG" - SEE SHEET 3 OF 8

MATCHLINE "BH" - SEE SHEET 3 OF 8

MATCHLINE "BI" - SEE SHEET 3 OF 8

MATCHLINE "BJ" - SEE SHEET 3 OF 8

MATCHLINE "BK" - SEE SHEET 3 OF 8

MATCHLINE "BL" - SEE SHEET 3 OF 8

MATCHLINE "BM" - SEE SHEET 3 OF 8

MATCHLINE "BN" - SEE SHEET 3 OF 8

MATCHLINE "BO" - SEE SHEET 3 OF 8

MATCHLINE "BP" - SEE SHEET 3 OF 8

MATCHLINE "BQ" - SEE SHEET 3 OF 8

MATCHLINE "BR" - SEE SHEET 3 OF 8

MATCHLINE "BS" - SEE SHEET 3 OF 8

MATCHLINE "BT" - SEE SHEET 3 OF 8

MATCHLINE "BU" - SEE SHEET 3 OF 8

MATCHLINE "BV" - SEE SHEET 3 OF 8

MATCHLINE "BW" - SEE SHEET 3 OF 8

MATCHLINE "BX" - SEE SHEET 3 OF 8

MATCHLINE "BY" - SEE SHEET 3 OF 8

MATCHLINE "BZ" - SEE SHEET 3 OF 8

MATCHLINE "CA" - SEE SHEET 3 OF 8

MATCHLINE "CB" - SEE SHEET 3 OF 8

MATCHLINE "CC" - SEE SHEET 3 OF 8

MATCHLINE "CD" - SEE SHEET 3 OF 8

MATCHLINE "CE" - SEE SHEET 3 OF 8

MATCHLINE "CF" - SEE SHEET 3 OF 8

MATCHLINE "CG" - SEE SHEET 3 OF 8

MATCHLINE "CH" - SEE SHEET 3 OF 8

MATCHLINE "CI" - SEE SHEET 3 OF 8

MATCHLINE "CJ" - SEE SHEET 3 OF 8

MATCHLINE "CK" - SEE SHEET 3 OF 8

MATCHLINE "CL" - SEE SHEET 3 OF 8

MATCHLINE "CM" - SEE SHEET 3 OF 8

MATCHLINE "CN" - SEE SHEET 3 OF 8

MATCHLINE "CO" - SEE SHEET 3 OF 8

MATCHLINE "CP" - SEE SHEET 3 OF 8

MATCHLINE "CQ" - SEE SHEET 3 OF 8

MATCHLINE "CR" - SEE SHEET 3 OF 8

MATCHLINE "CS" - SEE SHEET 3 OF 8

MATCHLINE "CT" - SEE SHEET 3 OF 8

MATCHLINE "CU" - SEE SHEET 3 OF 8

MATCHLINE "CV" - SEE SHEET 3 OF 8

MATCHLINE "CW" - SEE SHEET 3 OF 8

MATCHLINE "CX" - SEE SHEET 3 OF 8

MATCHLINE "CY" - SEE SHEET 3 OF 8

MATCHLINE "CZ" - SEE SHEET 3 OF 8

MATCHLINE "DA" - SEE SHEET 3 OF 8

MATCHLINE "DB" - SEE SHEET 3 OF 8

MATCHLINE "DC" - SEE SHEET 3 OF 8

MATCHLINE "DD" - SEE SHEET 3 OF 8

MATCHLINE "DE" - SEE SHEET 3 OF 8

MATCHLINE "DF" - SEE SHEET 3 OF 8

MATCHLINE "DG" - SEE SHEET 3 OF 8

MATCHLINE "DH" - SEE SHEET 3 OF 8

MATCHLINE "DI" - SEE SHEET 3 OF 8

MATCHLINE "DJ" - SEE SHEET 3 OF 8

MATCHLINE "DK" - SEE SHEET 3 OF 8

MATCHLINE "DL" - SEE SHEET 3 OF 8

MATCHLINE "DM" - SEE SHEET 3 OF 8

MATCHLINE "DN" - SEE SHEET 3 OF 8

MATCHLINE "DO" - SEE SHEET 3 OF 8

MATCHLINE "DP" - SEE SHEET 3 OF 8

MATCHLINE "DQ" - SEE SHEET 3 OF 8

MATCHLINE "DR" - SEE SHEET 3 OF 8

MATCHLINE "DS" - SEE SHEET 3 OF 8

MATCHLINE "DT" - SEE SHEET 3 OF 8

MATCHLINE "DU" - SEE SHEET 3 OF 8

MATCHLINE "DV" - SEE SHEET 3 OF 8

MATCHLINE "DW" - SEE SHEET 3 OF 8

MATCHLINE "DX" - SEE SHEET 3 OF 8

MATCHLINE "DY" - SEE SHEET 3 OF 8

MATCHLINE "DZ" - SEE SHEET 3 OF 8

MATCHLINE "EA" - SEE SHEET 3 OF 8

MATCHLINE "EB" - SEE SHEET 3 OF 8

MATCHLINE "EC" - SEE SHEET 3 OF 8

MATCHLINE "ED" - SEE SHEET 3 OF 8

MATCHLINE "EE" - SEE SHEET 3 OF 8

MATCHLINE "EF" - SEE SHEET 3 OF 8

MATCHLINE "EG" - SEE SHEET 3 OF 8

MATCHLINE "EH" - SEE SHEET 3 OF 8

MATCHLINE "EI" - SEE SHEET 3 OF 8

MATCHLINE "EJ" - SEE SHEET 3 OF 8

MATCHLINE "EK" - SEE SHEET 3 OF 8

MATCHLINE "EL" - SEE SHEET 3 OF 8

MATCHLINE "EM" - SEE SHEET 3 OF 8

MATCHLINE "EN" - SEE SHEET 3 OF 8

MATCHLINE "EO" - SEE SHEET 3 OF 8

MATCHLINE "EP" - SEE SHEET 3 OF 8

MATCHLINE "EQ" - SEE SHEET 3 OF 8

MATCHLINE "ER" - SEE SHEET 3 OF 8

MATCHLINE "ES" - SEE SHEET 3 OF 8

MATCHLINE "ET" - SEE SHEET 3 OF 8

MATCHLINE "EU" - SEE SHEET 3 OF 8

MATCHLINE "EV" - SEE SHEET 3 OF 8

MATCHLINE "EW" - SEE SHEET 3 OF 8

MATCHLINE "EX" - SEE SHEET 3 OF 8

MATCHLINE "EY" - SEE SHEET 3 OF 8

MATCHLINE "EZ" - SEE SHEET 3 OF 8

MATCHLINE "FA" - SEE SHEET 3 OF 8

MATCHLINE "FB" - SEE SHEET 3 OF 8

MATCHLINE "FC" - SEE SHEET 3 OF 8

MATCHLINE "FD" - SEE SHEET 3 OF 8

MATCHLINE "FE" - SEE SHEET 3 OF 8

MATCHLINE "FF" - SEE SHEET 3 OF 8

MATCHLINE "FG" - SEE SHEET 3 OF 8

MATCHLINE "FH" - SEE SHEET 3 OF 8

MATCHLINE "FI" - SEE SHEET 3 OF 8

MATCHLINE "FJ" - SEE SHEET 3 OF 8

MATCHLINE "FK" - SEE SHEET 3 OF 8

MATCHLINE "FL" - SEE SHEET 3 OF 8

MATCHLINE "FM" - SEE SHEET 3 OF 8

MATCHLINE "FN" - SEE SHEET 3 OF 8

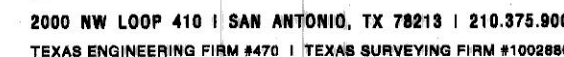
MATCHLINE "FO" - SEE SHEET 3 OF 8

MATCHLINE "FP" - SEE SHEET 3 OF 8

MATCHLINE "FQ" - SEE SHEET 3 OF 8

MATCHLINE "FR" - SEE SHEET 3 OF 8

BEING A 47.323 ACRES TRACT OF LAND COMPRISED OF 46.990 ACRES OUT OF A 126.278 ACRES TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.042 ACRES OUT OF A 8.839 ACRES TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, AND 0.044 ACRES OUT OF A 8.834 ACRES TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.048 ACRES OUT OF A 8.872 ACRES TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001825, AND 0.048 ACRES OUT OF A 8.832 ACRES TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.051 ACRES OUT OF A 8.827 ACRES TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001823, AND 0.055 ACRES OUT OF A 8.841 ACRES TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.058 ACRES OUT OF A 8.837 ACRES TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, ALL IN THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, AND OUT OF THE FRANCISCO FARIAS SURVEY NO. 15, ABSTRACT 2, IN COUNTY BLOCK 4010 OF BEXAR COUNTY, TEXAS. ESTABLISHING LOT 1, BLOCK 30, NEW CITY BLOCK 16826 IN BEXAR COUNTY, TEXAS.



DATE OF PREPARATION: May 06, 2024

[illegible]

STATE OF TEXAS
COUNTY OF BEXAR

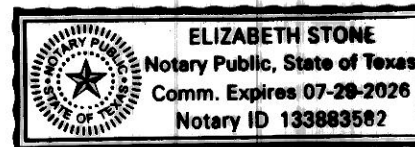
THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PHILLIP P. BAKKE
HALLERBAK LTD
207 ROOSEVELT AVE
SAN ANTONIO, TEXAS 78210
(210) 821-6322

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PHILLIP P. BAKKE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 6th DAY OF May, A.D. 20 21.

Gloria L. Loh
NOTARY PUBLIC, BEXAR COUNTY, TEXAS



THIS PLAT OF HALLER TRACT PHASE 1 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20____

BY: _____ CHAIRMAN

BY: _____ SECRETARY



AC	ACRE(S)	2	TRACT 3 - LAMM ROAD (30' PRIVATE ROAD)
BL	BLOCK		(VOL. 2681, PG. 212, DPR)
CB	COUNTY BLOCK		(30' ACCESS EASEMENT)
DOC	DOCUMENT NUMBER		(VOL. 2153, PG. 472, DPR)
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION		(VOL. 2737, PG. 1114, OPR) (ELECTRIC LINE R.O.W.) (VOL. 6487, PG. 101, OPR)
NCB	NEW CITY BLOCK		
OPR	OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS	3	30' RIGHT-OF-WAY AND INGRESS/EGRESS ESMT (VOL. 2737, PG. 1114, OPR)
VOL	VOLUME	4	10' WATER AND ACCESS ESMT (VOL. 9519, PG. 17 DPR)
PG	PAGE(S)	5	6' ELECTRIC UTILITY AND TELEPHONE ESMT (VOL. 9519, PG. 17 DPR)
PR	PLAT RECORDS OF BEXAR COUNTY, TEXAS	5	
ROW	RIGHT-OF-WAY	6	50' ELECTRIC ESMT (VOL. 9519, PG. 17 DPR)
LF	LINEAR FEET		
VAR WID	VARIABLE WIDTH	21	30' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
(SURVEYOR)	FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)		ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC PERMEABLE)
○	SET 1/2" IRON ROD (PD)		
○	SET 1/2" IRON ROD (PD)-ROW	22	20' PRIVATE WATER ESMT
⊗	EASEMENT POINT OF INTERSECTION	23	VAR WID PRIVATE DRAINAGE ESMT
— C	CENTERLINE	24	28' GETCTV ESMT
1140	EXISTING CONTOURS		
1140	PROPOSED CONTOURS	25	38' PRIVATE DRAINAGE ESMT
-----	CITY OF SAN ANTONIO LIMITS	26	38' PRIVATE DRAINAGE ESMT
1	14' GETCTV ESMT	27	38' PRIVATE DRAINAGE ESMT
2	12' GETCTV ESMT	28	VAR WID PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT (TOTAL OFF-LOT 0.32 AC PERMEABLE)
4	5' GETCTV ESMT	29	15' DRAINAGE ACCESS ESMT (TOTAL OFF-LOT 0.25 AC PERMEABLE)
10	10' WATER ESMT	30	36' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT (TOTAL OFF-LOT 0.32 AC PERMEABLE)
38	IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT	31	10'X10' GETCTV ESMT (SEE DETAIL "G" SHEET 3 OF 6)
15	BUILDING SETBACK LINE, SIGN, PRIVATE SEWER, AND PRIVATE WATER ESMT	32	11.5' DRAINAGE ESMT
30	INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT	33	12' GETCTV ESMT (TOTAL OFF-LOT 0.12 AC PERMEABLE)
15	BUILDING SETBACK LINE, SIGN, PUBLIC SEWER, & GETCTV ESMT	34	20' PUBLIC WATER ESMT ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.352 AC PERMEABLE)
VAR WID IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, & GETCTV ESMT			
VAR WID PRIVATE SEWER AND PRIVATE DRAINAGE ESMT (TOTAL OFF-LOT 2.325 AC. PERMEABLE)			
VAR WID PRIVATE WATER & PRIVATE DRAINAGE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS EASEMENT			
20' PRIVATE WATER & PRIVATE DRAINAGE ESMT		1	LOT 1, BLOCK 30 NCB 16628 (43.134 ACRES)
VAR WID PUBLIC WATER & PRIVATE DRAINAGE ESMT (OFF-LOT 0.811 AC. PERMEABLE)			
20' PRIVATE SANITARY SEWER ESMT			UNPLATTED REMAINING PORTION OF 377.46 ACRES

SURVEYOR'S NOTES:

1. MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 3" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG. NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
2. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83 (N2011)) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
3. DIRECTION SHOWN IS THE SURVEY LINE. SURVEY ADJUSTMENT FACTOR: 1.00017.
4. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (N2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEYAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

05/06/2024
REGISTERED PROFESSIONAL LAND SURVEYOR

CPS/SAWS/COSA UTILITY:

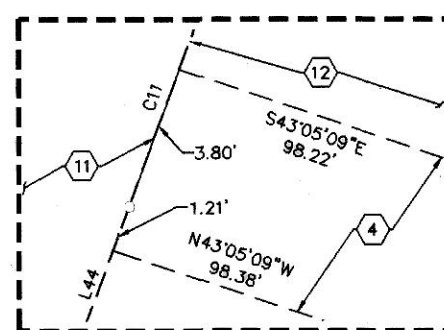
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEMS (SAWS), IS HEREBY DENIED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION, AND DISTRIBUTION, WASTEWATER, AND SERVICE FACILITIES IN THE AREAS DEMONSTRATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "WASTEWATER EASEMENT," "TELEPHONE EASEMENT," "CABLE TV EASEMENT" OR ANY OTHER EASEMENT OR RIGHTS-OF-WAY FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO ACCESS ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES. THE CITY OF SAN ANTONIO SHALL NOT BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, MAINTENANCE, REPAIR, OR REMOVAL OF SUCH INFRASTRUCTURE AND SERVICE FACILITIES, THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES, NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SUCH EASEMENTS OR RIGHTS-OF-WAY.
2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS OR RIGHTS-OF-WAY, SHALL BE THE SOLE RESPONSIBILITY OF CPS ENERGY OR SAWS, AND NOT BE ASSESSED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID DAMAGE WITHIN SUCH EASEMENTS OR RIGHTS-OF-WAY, INCLUDING BUT NOT LIMITED TO, THE COST OF REPAIRS, OR GROUND ELEVATION ALTERATIONS.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR WAIVE ANY EXISTING EASEMENTS OR RIGHTS-OF-WAY, INCLUDING BUT NOT LIMITED TO, EASEMENTS OR RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION, AND DISTRIBUTION, WASTEWATER, AND SERVICE FACILITIES, OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT EASEMENTS OR RIGHTS-OF-WAY, AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS OR RIGHTS-OF-WAY, AND THE FIVE (5) AND TEN (10) FOOT WIDE WASTEWATER EASEMENTS OR RIGHTS-OF-WAY, AND THE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS OR RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION, AND DISTRIBUTION, WASTEWATER, AND SERVICE FACILITIES, UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

SAWS IMPACT FEE:

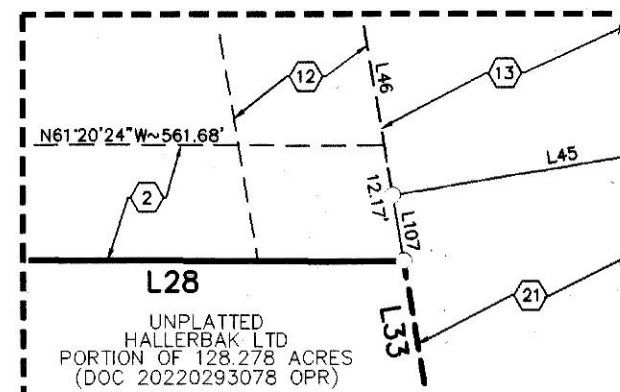
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

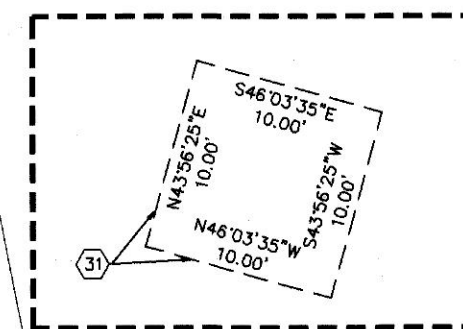
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.



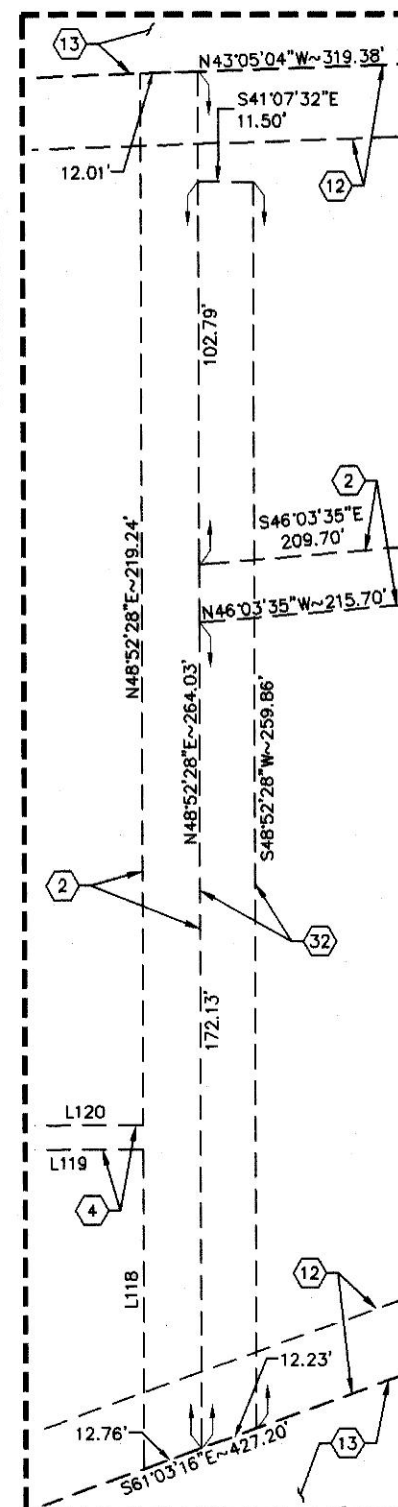
DETAIL "E"



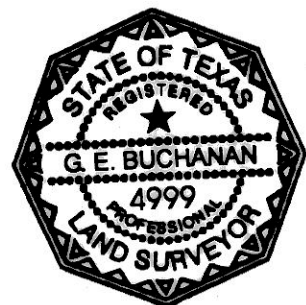
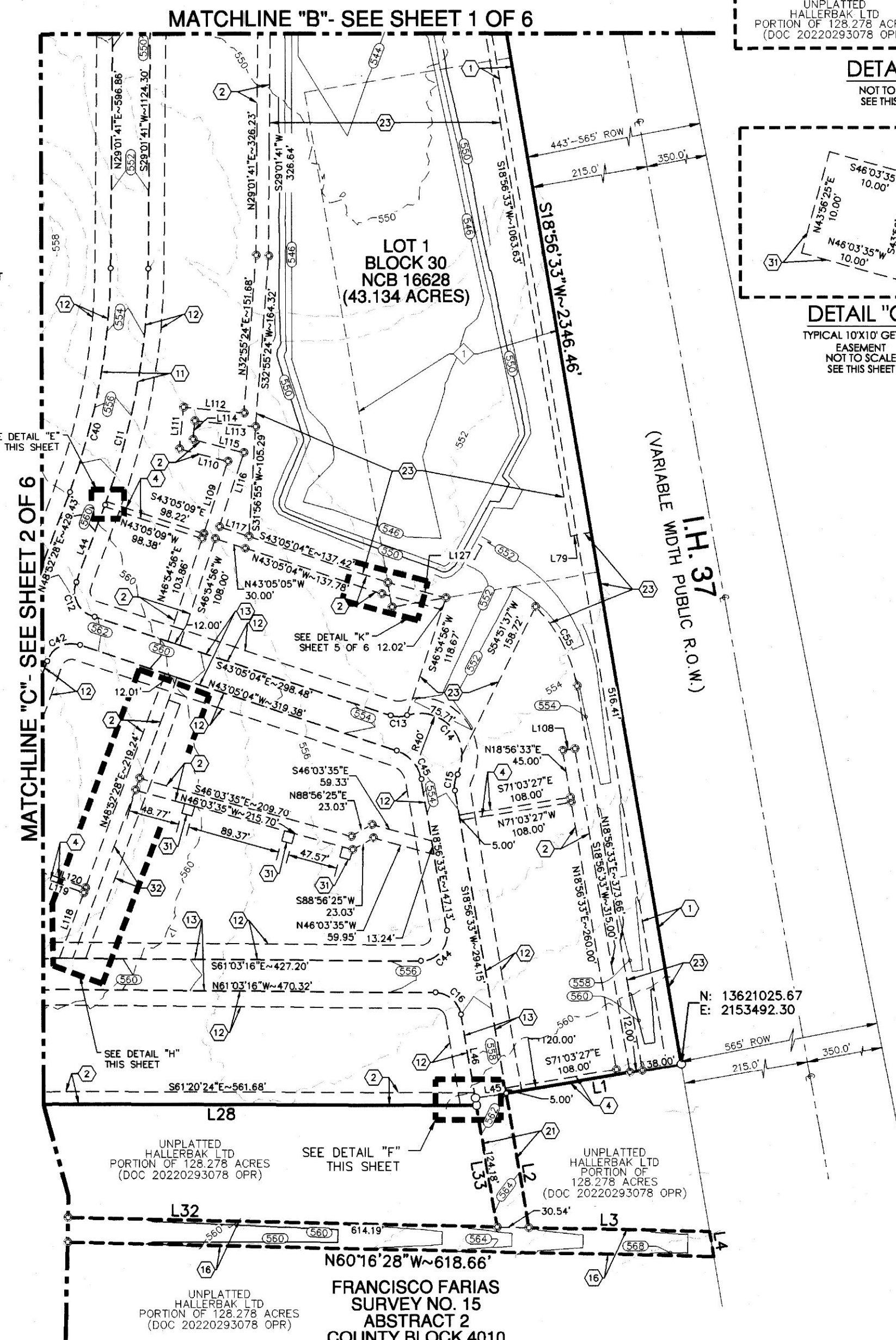
DETAIL "F"



DETAIL "G"



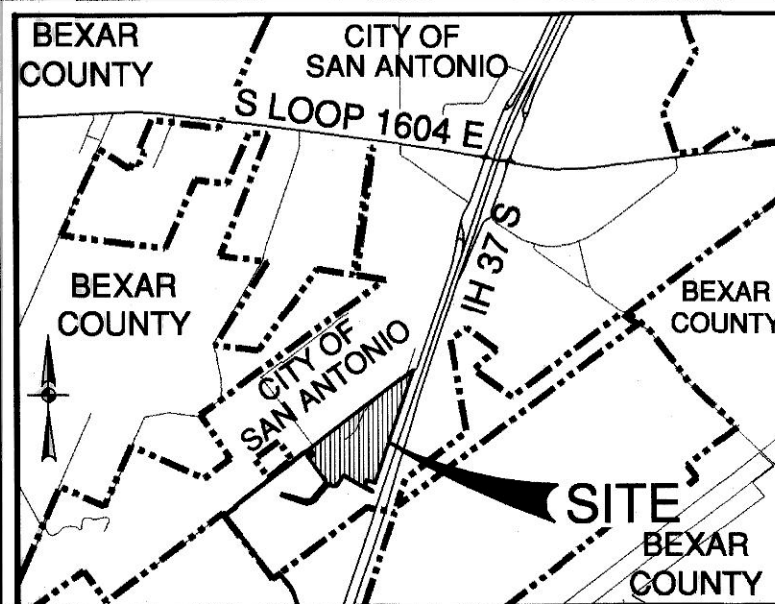
DETAIL "H"



FOR CURVE TABLE AND LINE TABLE
SEE SHEET 6 OF 6

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

SHEET 3 OF 6



LOCATION MAP

LEGEND

- NOT-TO-SCALE
- AC ACRE(S)
BLK BLOCK
CB COUNTY BLOCK
DOC DOCUMENT NUMBER
GETCTV GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION
NCB NEW CITY BLOCK
OPR OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS
VOL VOLUME
PR PLAT RECORDS OF BEXAR COUNTY, TEXAS
ROW RIGHT-OF-WAY
LF LINEAR FEET
VAR WID VARIABLE WIDTH
(SURVEYOR)
- 14' GETCTV ESMT
12' GETCTV ESMT
5' GETCTV ESMT
10' WATER ESMT
36' IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
15' BUILDING SETBACK LINE, SIGN, PRIVATE SEWER, AND PRIVATE WATER ESMT
30' INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
15' BUILDING SETBACK LINE, SIGN, PUBLIC SEWER, & GETCTV ESMT
VAR WID IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, & GETCTV ESMT
VAR WID PRIVATE SEWER AND PRIVATE DRAINAGE ESMT (TOTAL OFF-LOT 2.326 AC. PERMEABLE)
VAR WID PRIVATE WATER & PRIVATE DRAINAGE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS EASEMENT
20' PRIVATE WATER & PRIVATE DRAINAGE ESMT
VAR WID PUBLIC WATER & PRIVATE DRAINAGE ESMT (OFF-LOT 0.811 AC. PERMEABLE)
24' PRIVATE SANITARY SEWER ESMT
- CHANNEL ESMT (VOL 6107, PG 867 OPR)
TRACT 3 - LAMM ROAD (30' PRIVATE ROAD) (VOL 2681, PG 212, DPR)
30' ACCESS EASEMENT (VOL 2153, PG 472, OPR)
VOL 2737, PG 1114, OPR (ELECTRIC LINE R.O.W.)
VOL 6487, PG 101, OPR
30' RIGHT-OF-WAY AND INGRESS/EGRESS ESMT (VOL 2737, PG 1114, OPR)
10' WATER AND ACCESS ESMT (VOL 9519, PG 17 DPR)
6' ELECTRIC UTILITY AND TELEPHONE ESMT (VOL 9519, PG 17 DPR)
50' ELECTRIC ESMT (VOL 9519, PG 17 DPR)
30' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC PERMEABLE)
20' PRIVATE WATER ESMT
VAR WID PRIVATE DRAINAGE ESMT
28' GETCTV ESMT
38' PRIVATE DRAINAGE ESMT
27' PRIVATE DRAINAGE ESMT
VAR WID PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT (TOTAL OFF-LOT 0.25 AC PERMEABLE)
15' DRAINAGE ACCESS ESMT (TOTAL OFF-LOT 0.25 AC PERMEABLE)
36' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC PERMEABLE)
10'X10' GETCTV ESMT (SEE DETAIL "G" SHEET 3 OF 6)
11.5' DRAINAGE ESMT
12' GETCTV ESMT (TOTAL OFF-LOT 0.12 AC PERMEABLE)
20' PUBLIC WATER ESMT ENTIRE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.392 AC)
LOT 1, BLOCK 30 NCB 16628 (43.134 ACRES)
UNPLATTED REMAINING PORTION OF 377.46 ACRES AK H LAMM, ERNEST H. LAMM AND ANGELA LAMM (VOL 2407, PG 452 OPR)

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 3" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORE NETWORK.
- DIMENSIONS SHOWN ARE SURFACE. SURFACE ADJUSTMENT FACTOR: 1.00017.
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

Matthew Geistweidt 5-6-2024
LICENSED PROFESSIONAL ENGINEER

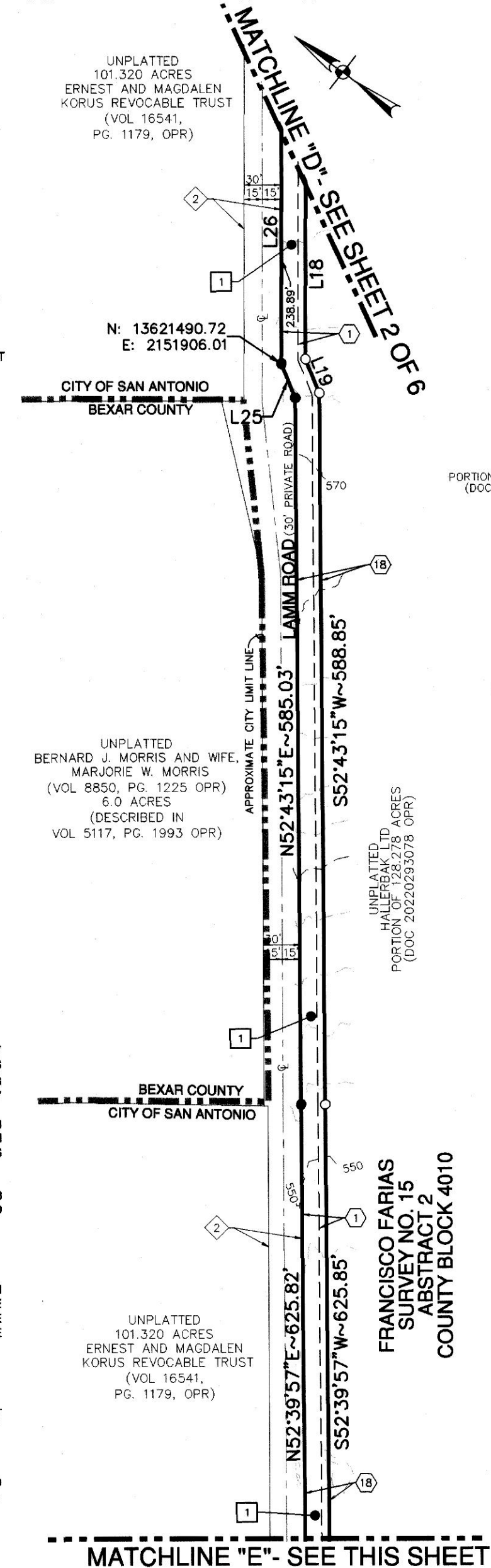
STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

G. Buchanan 05/06/2024
REGISTERED PROFESSIONAL LAND SURVEYOR

CPS/SAWS/COSA UTILITY:

- THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
- ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
- CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.
- ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.



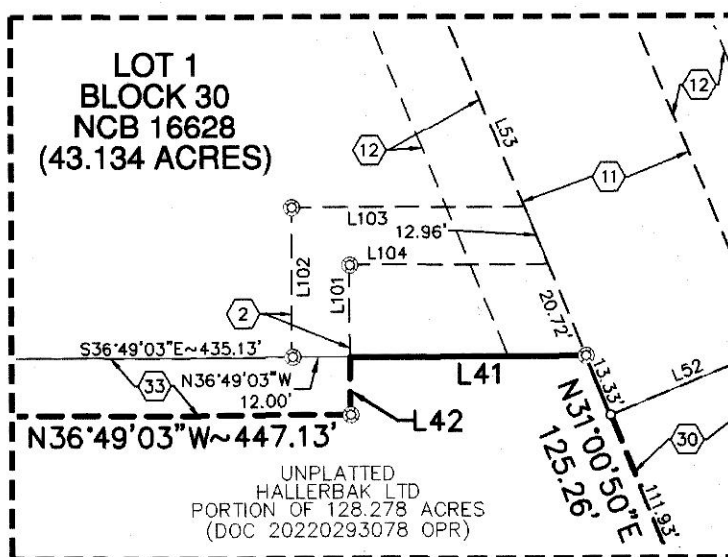
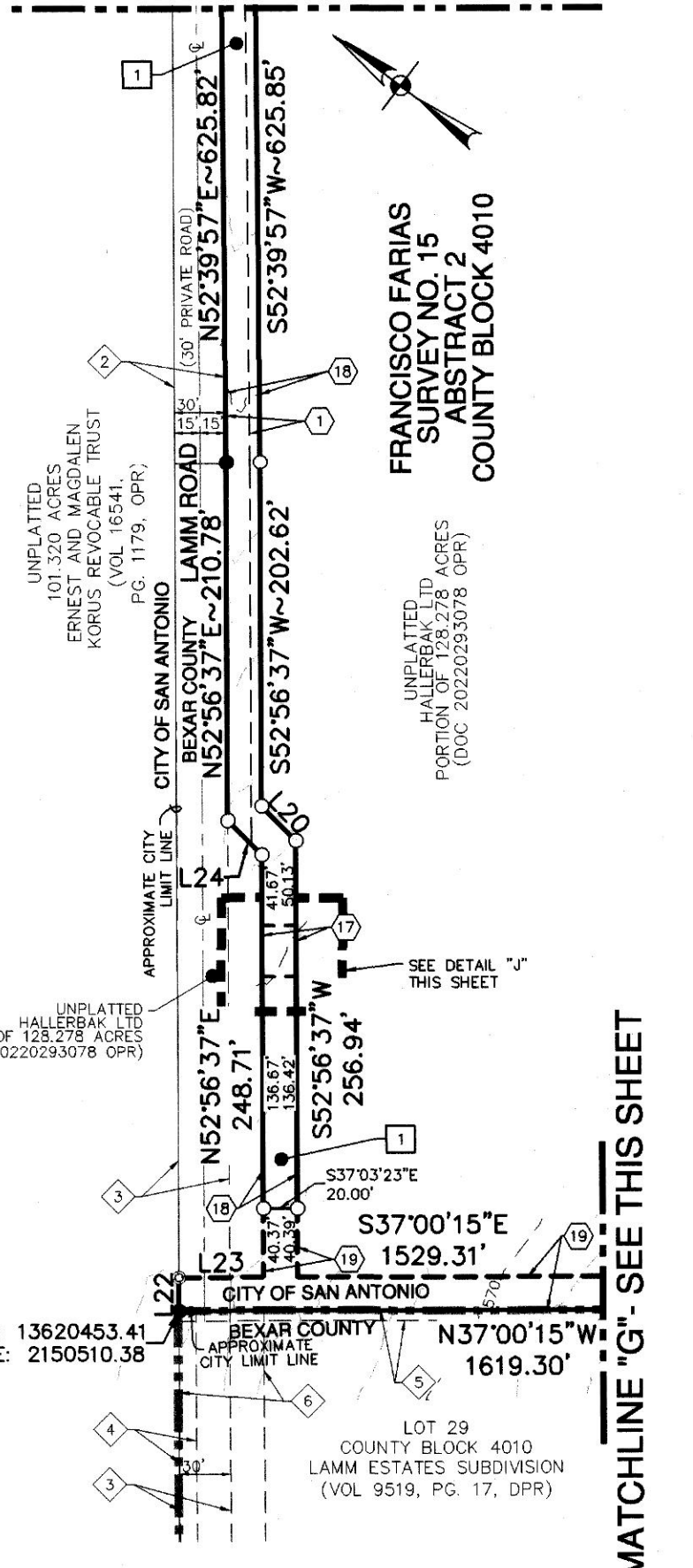
SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

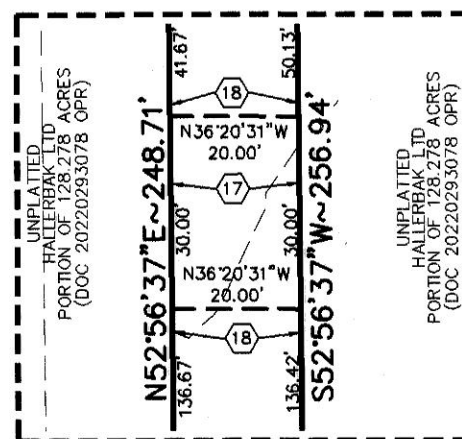
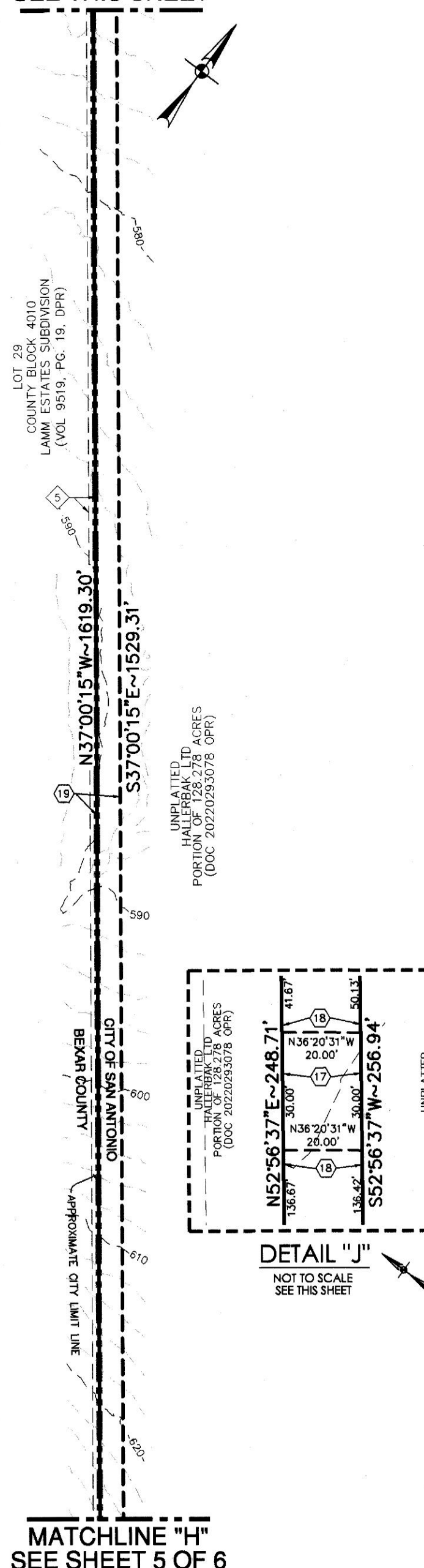
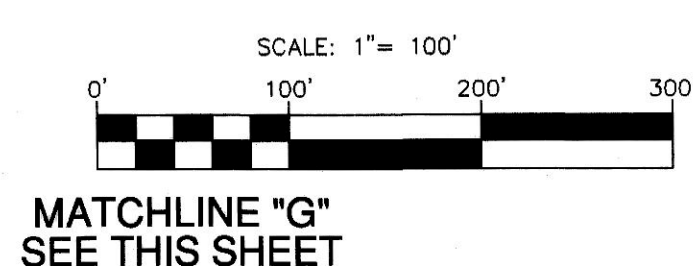
SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

MATCHLINE "E" - SEE THIS SHEET



DETAIL "I"
NOT TO SCALE
SEE SHEET 2 OF 6



DETAIL "J"
NOT TO SCALE
SEE THIS SHEET

PLAT NO. 22-11800763

SUBDIVISION PLAT

OF

HALLER TRACT PHASE 1

BEING A 47.323 ACRE TRACT OF LAND COMPRISED OF 46.980 ACRES OUT OF A 128.278 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.042 ACRES OUT OF A 8.839 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, AND 0.044 ACRES OUT OF A 8.834 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.046 ACRES OUT OF A 8.872 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001825, AND 0.048 ACRES OUT OF A 8.832 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.051 ACRES OUT OF A 8.827 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001828, AND 0.055 ACRES OUT OF A 8.841 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.058 ACRES OUT OF A 8.837 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, ALL IN THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, AND OUT OF THE FRANCISCO FARIAS SURVEY NO. 15, ABSTRACT 2, IN COUNTY BLOCK 4010 OF BEXAR COUNTY, TEXAS, ESTABLISHING LOT 1, BLOCK 30, NEW CITY BLOCK 16628 IN BEXAR COUNTY, TEXAS.

PAPE-DAWSON ENGINEERS

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: May 06, 2024

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PHILLIP P. BAKKE
HALLERBAK LTD
207 ROOSEVELT AVE
SAN ANTONIO, TEXAS 78210
(210) 821-8322

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PHILLIP P. BAKKE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 06 DAY OF May, A.D. 2024.

Elizabeth Stone
NOTARY PUBLIC, BEXAR COUNTY, TEXAS

ELIZABETH STONE
Notary Public, State of Texas
Comm. Expires 07-29-2026
Notary ID 133883582

THIS PLAT OF HALLER TRACT PHASE 1 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20 _____

BY: _____ CHAIRMAN

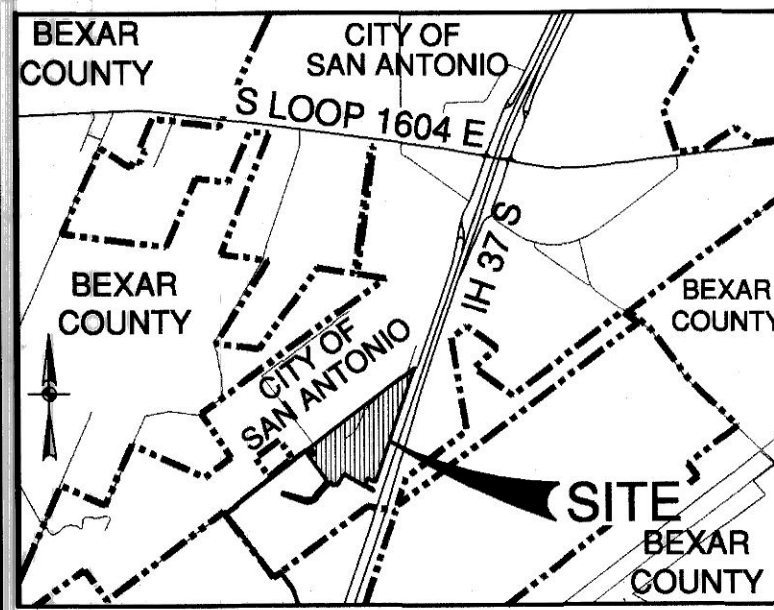
BY: _____ SECRETARY

FOR CURVE TABLE AND LINE TABLE
SEE SHEET 6 OF 6

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

SHEET 4 OF 6





LOCATION MAP

- NOT-TO-SCALE
- LEGEND**
- AC ACRE(S)
 - BLK BLOCK
 - CB COUNTY BLOCK
 - DOC DOCUMENT NUMBER
 - GETCTV GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION
 - NCB NEW CITY BLOCK
 - OPR OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS
 - VOL VOLUME
 - PG PAGE(S)
 - PR PLAT RECORDS OF BEXAR COUNTY, TEXAS
 - ROW RIGHT-OF-WAY
 - LF LINEAR FEET
 - VAR VARIABLE WIDTH
 - FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
 - SET 1/2" IRON ROD (PD)
 - SET 1/2" IRON ROD (PD) ROW
 - EASEMENT POINT OF INTERSECTION
 - 1140 EXISTING CONTOURS
 - 1140 PROPOSED CONTOURS
 - CITY OF SAN ANTONIO LIMITS
- 1 14' GETCTV ESMT
 - 2 12' GETCTV ESMT
 - 4 5' GETCTV ESMT
 - 10 10' WATER ESMT
 - 11 36' IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE WATER, & GETCTV ESMT
 - 12 15' BUILDING SETBACK LINE, SIGN, PRIVATE SEWER, AND PRIVATE WATER ESMT
 - 13 30' INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT
 - 14 15' BUILDING SETBACK LINE, SIGN, PUBLIC SEWER, & GETCTV ESMT
 - 15 VAR WID IRREVOCABLE INGRESS/EGRESS, PRIVATE DRAINAGE, PRIVATE WATER, & GETCTV ESMT
 - 16 VAR WID PRIVATE SEWER AND PRIVATE DRAINAGE ESMT (TOTAL OFF-LOT 2.326 AC. PERMEABLE)
 - 17 VAR WID PRIVATE WATER & PRIVATE DRAINAGE ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS EASEMENT
 - 18 20' PRIVATE WATER & PRIVATE DRAINAGE ESMT
 - 19 VAR WID PUBLIC WATER & PRIVATE DRAINAGE ESMT (OFF-LOT 0.811 AC. PERMEABLE)
 - 20 24' PRIVATE SANITARY SEWER ESMT
 - 21 CHANNEL ESMT (VOL. 6107, PG. 867 OPR)
 - 22 TRACT 3 - LAMM ROAD (30' PRIVATE ROAD) (VOL. 2881, PG. 212, DPR)
 - 23 30' ACCESS EASEMENT (VOL. 2153, PG. 472, OPR)
 - 24 2737, PG. 1114, OPR (ELECTRIC LINE R.O.W.) (VOL. 6487, PG. 101, OPR)
 - 25 30' RIGHT-OF-WAY AND INGRESS/EGRESS ESMT (VOL. 2737, PG. 1114, OPR)
 - 26 10' WATER AND ACCESS ESMT (VOL. 9519, PG. 17 DPR)
 - 27 6' ELECTRIC UTILITY AND TELEPHONE ESMT (VOL. 9519, PG. 17 DPR)
 - 28 50' ELECTRIC ESMT (VOL. 9519, PG. 17 DPR)
 - 29 30' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE)
 - 30 20' PRIVATE WATER ESMT
 - 31 VAR WID PRIVATE DRAINAGE ESMT
 - 32 28' GETCTV ESMT
 - 33 38' PRIVATE DRAINAGE ESMT
 - 34 28' PRIVATE DRAINAGE ESMT
 - 35 15' DRAINAGE ACCESS ESMT (TOTAL OFF-LOT 0.25 AC. PERMEABLE)
 - 36 36' PRIVATE DRAINAGE, PRIVATE SEWER, PRIVATE WATER, & GETCTV ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.32 AC. PERMEABLE)
 - 37 10'X10' GETCTV ESMT (SEE DETAIL "G" SHEET 3 OF 6)
 - 38 11.5' DRAINAGE ESMT
 - 39 12' GETCTV ESMT (TOTAL OFF-LOT 0.12 AC. PERMEABLE)
 - 40 20' PUBLIC WATER ESMT TO EXPIRE UPON INCORPORATION INTO FUTURE PLATTED INGRESS/EGRESS ESMT (TOTAL OFF-LOT 0.352 AC.)
 - 1 LOT 1, BLOCK 30 NCB 16628 (43.134 ACRES)
 - 2 UNPLATTED REMAINING PORTION OF 377.48 ACRES AK H LAMM, ERNEST H. LAMM AND ANGELA LAMM (VOL. 2407, PG. 482 OPR)

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGC COOPERATIVE CORE NETWORK.
- DIMENSIONS SHOWN ARE SURFACE. SURFACE ADJUSTMENT FACTOR: 1.00017.
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

Matthew Geistweidt 5-6-2024
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

G. E. Buchanan 05/06/2024
REGISTERED PROFESSIONAL LAND SURVEYOR

CPS/SAWS/COSA UTILITY:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

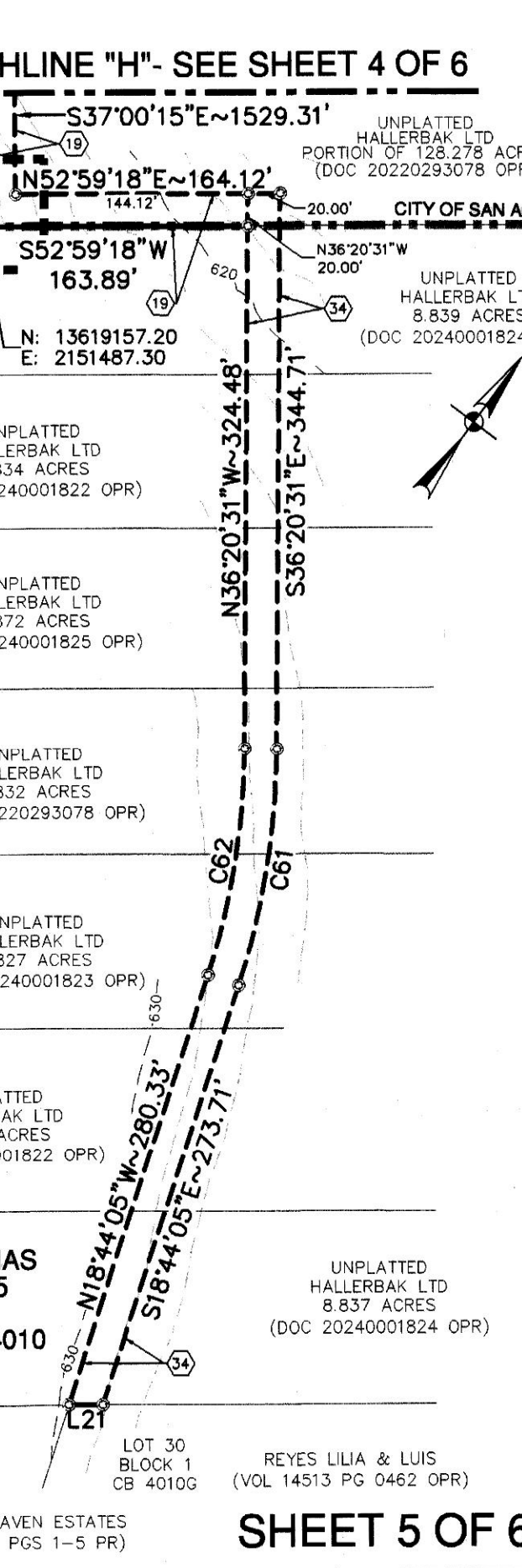
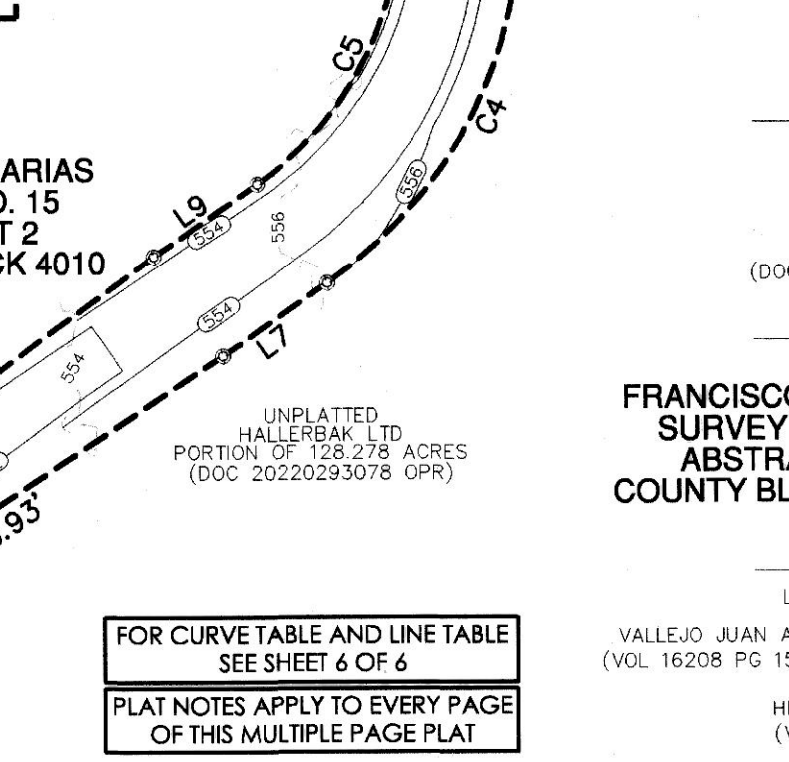
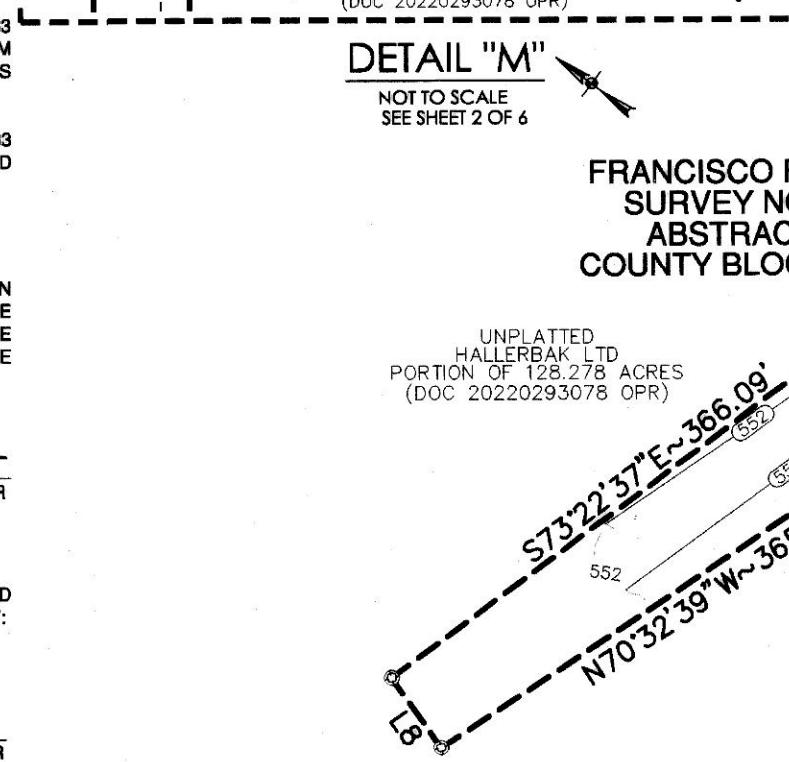
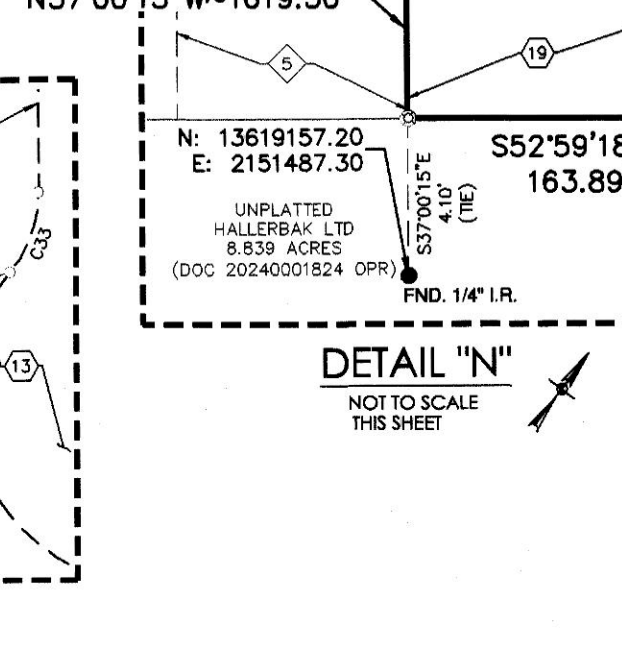
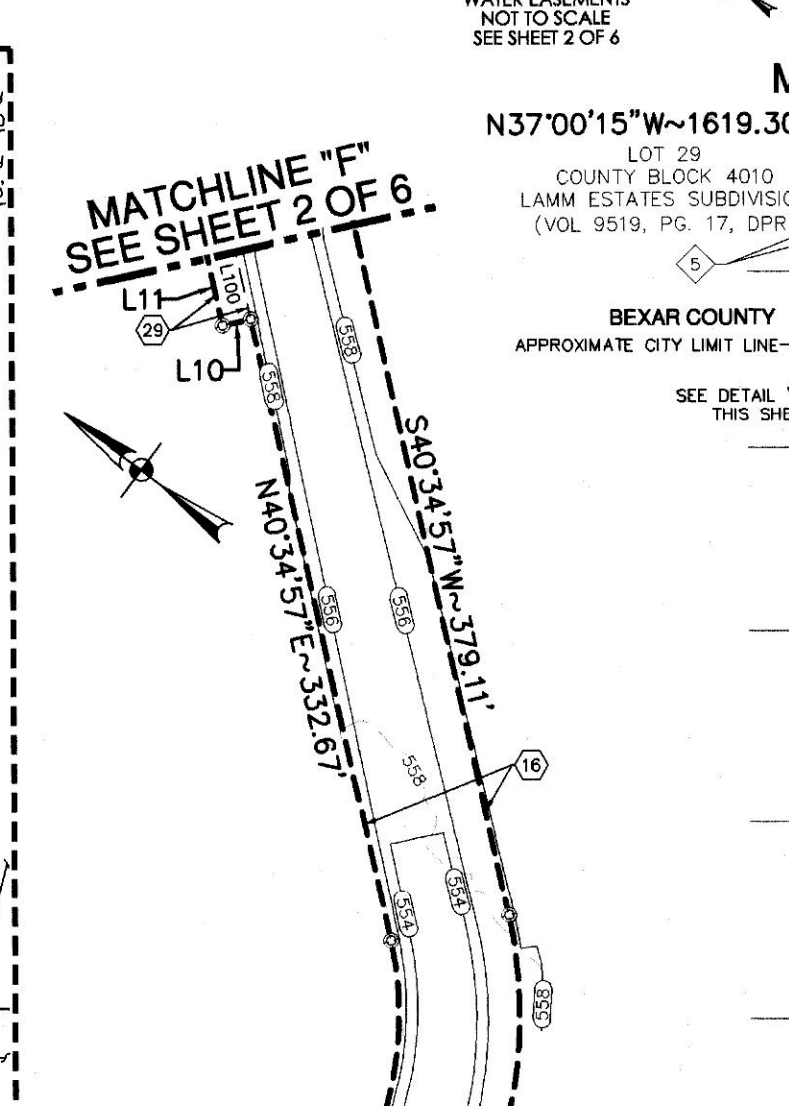
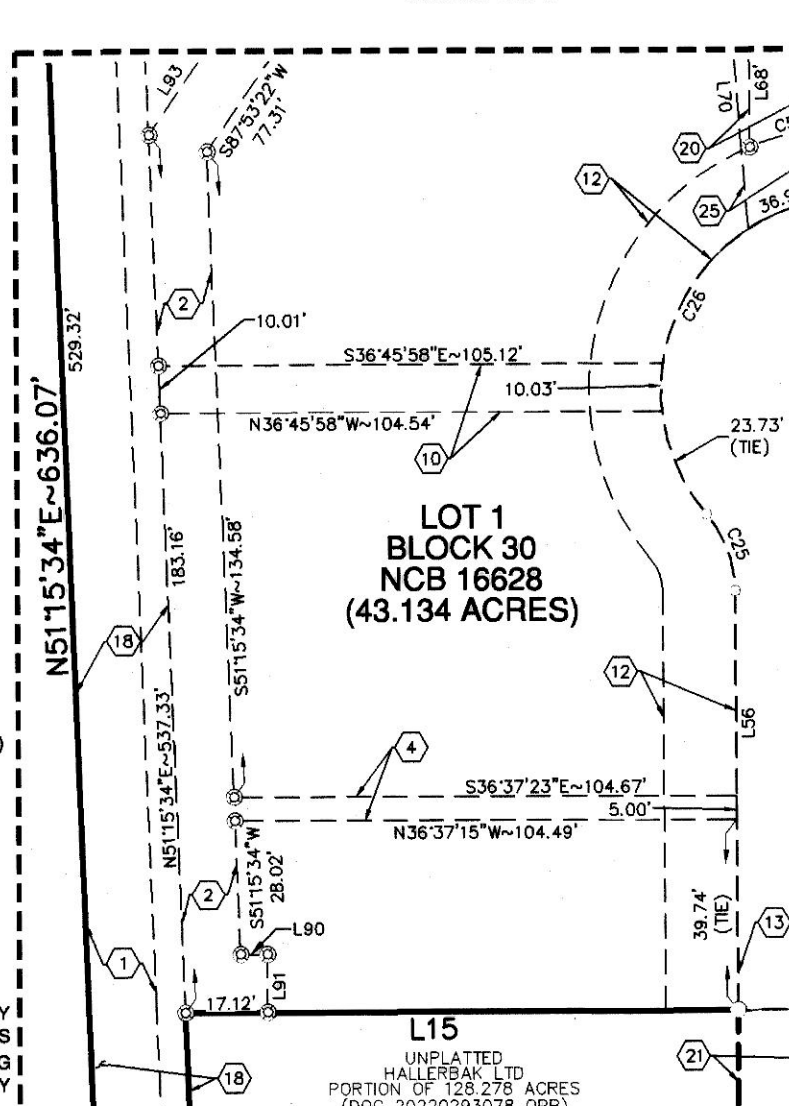
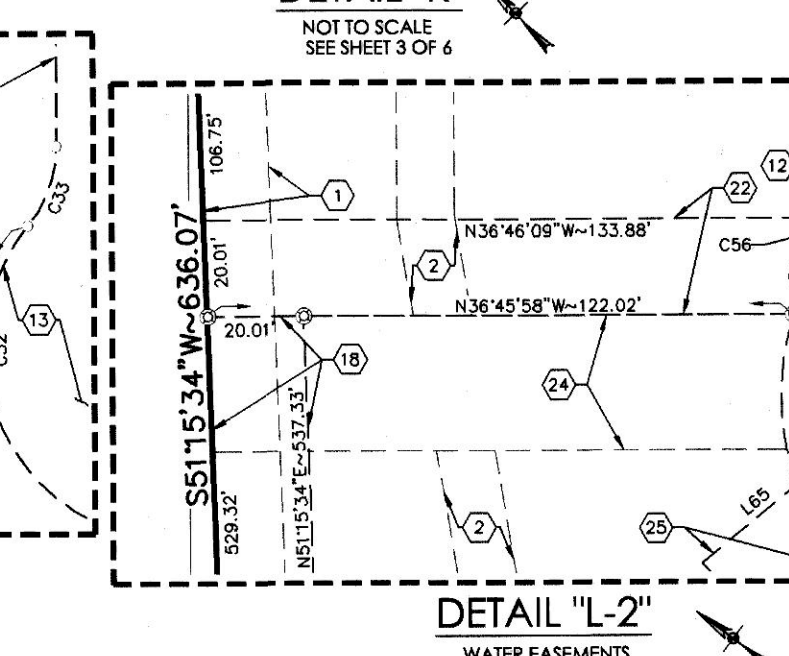
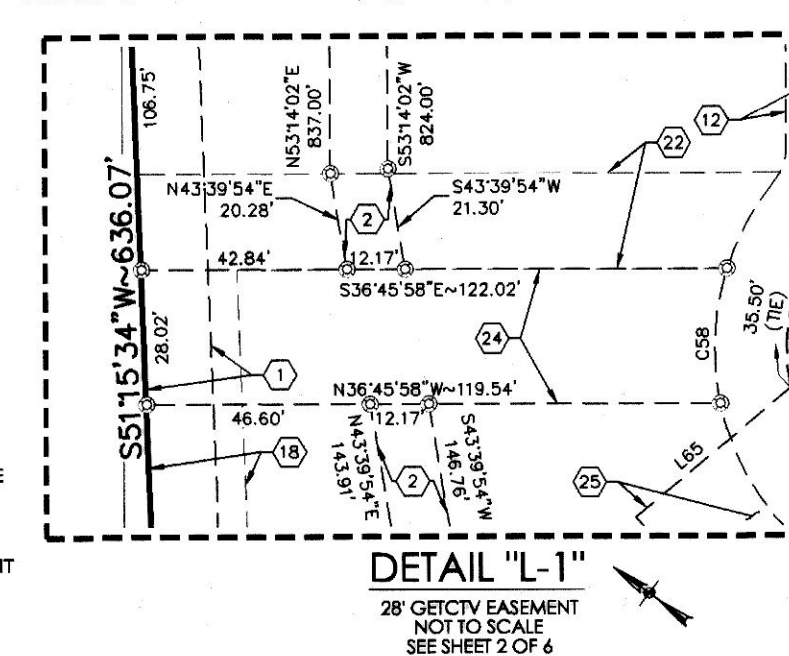
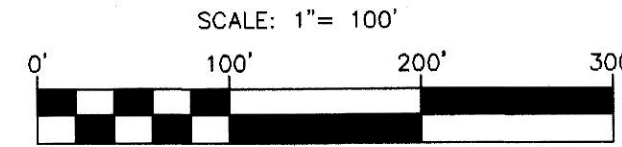
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUS) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.



PLAT NO. 22-11800763

SUBDIVISION PLAT
OF
HALLER TRACT PHASE 1

BEING A 47.323 ACRE TRACT OF LAND COMPRISED OF 46.980 ACRES OUT OF A 128.278 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.044 ACRES OUT OF A 8.839 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, AND 0.044 ACRES OUT OF A 8.834 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.048 ACRES OUT OF A 8.872 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001825, AND 0.048 ACRES OUT OF A 8.852 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293078, AND 0.051 ACRES OUT OF A 8.827 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001823, AND 0.055 ACRES OUT OF A 8.841 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.058 ACRES OUT OF A 8.837 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, ALL IN THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, AND OUT OF THE FRANCISCO FARIAS SURVEY NO. 15, ABSTRACT 2, IN COUNTY BLOCK 4010 OF BEXAR COUNTY, TEXAS, ESTABLISHING LOT 1, BLOCK 30, NEW CITY BLOCK 16628 IN BEXAR COUNTY, TEXAS.

PAPE-DAWSON ENGINEERS

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028900

DATE OF PREPARATION: May 06, 2024

STATE OF TEXAS
COUNTY OF BEXAR

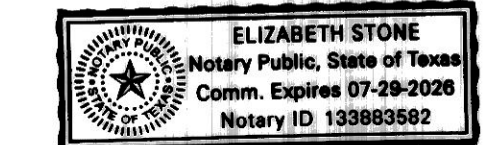
THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

Phillip P. Bakke
OWNER/DEVELOPER: PHILLIP P. BAKKE
HALLERBAK LTD
207 ROOSEVELT AVE
SAN ANTONIO, TEXAS 78210
(210) 821-6322

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PHILLIP P. BAKKE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 06th DAY OF May, A.D. 2024.

Elizabeth Stone
NOTARY PUBLIC, BEXAR COUNTY, TEXAS

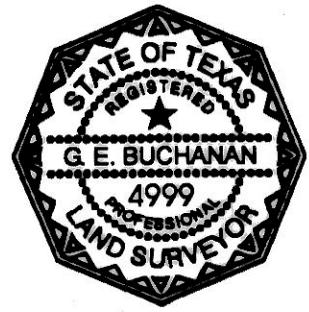


THIS PLAT OF HALLER TRACT PHASE 1 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20____

BY: _____ CHAIRMAN

BY: _____ SECRETARY



FOR CURVE TABLE AND LINE TABLE
SEE SHEET 6 OF 6

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

FRANCISCO FARIAS
SURVEY NO. 15
ABSTRACT 2
COUNTY BLOCK 4010

VALLEJO JUAN ANTONIO
(VOL. 16208 PG. 1538 OPR)

HICKORY HAVEN ESTATES
(VOL. 9542 PGS 1-5 PR)

REYES LILIA & LUIS
(VOL. 14513 PG. 0462 OPR)

SHEET 5 OF 6

PLAT NO. 22-11800763

SUBDIVISION PLAT
OF
HALLER TRACT PHASE 1

BEING A 47.323 ACRE TRACT OF LAND COMPRISED OF 46.980 ACRES OUT OF A 128.278 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293076, AND 0.042 ACRES OUT OF A 8.839 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, AND 0.044 ACRES OUT OF A 8.834 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.046 ACRES OUT OF A 8.872 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001825, AND 0.048 ACRES OUT OF A 8.882 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220293076, AND 0.051 ACRES OUT OF A 8.827 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001823, AND 0.055 ACRES OUT OF A 8.841 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001822, AND 0.058 ACRES OUT OF A 8.837 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20240001824, ALL IN THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, AND OUT OF THE FRANCISCO FARIAS SURVEY NO. 15, ABSTRACT 2, IN COUNTY BLOCK 4010 OF BEXAR COUNTY, TEXAS, ESTABLISHING LOT 1, BLOCK 30, NEW CITY BLOCK 16628 IN BEXAR COUNTY, TEXAS.

**PAPE-DAWSON
ENGINEERS**

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #476 | TEXAS SURVEYING FIRM #10028900

DATE OF PREPARATION: May 06, 2024

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

Phillip P. Bakke
OWNER/DEVELOPER: PHILLIP P. BAKKE
HALLERBAK LTD
207 ROOSEVELT AVE
SAN ANTONIO, TEXAS 78210
(210) 821-6322

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PHILLIP P. BAKKE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 06 DAY OF May, A.D. 2024.

Elizabeth Stone
NOTARY PUBLIC, BEXAR COUNTY, TEXAS

ELIZABETH STONE
Notary Public, State of Texas
Comm. Expires 07-29-2026
Notary ID: 133883582

THIS PLAT OF HALLER TRACT PHASE 1 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20____

BY: _____ CHAIRMAN

BY: _____ SECRETARY

DRAINAGE EASEMENT ENCROACHMENTS:

NO STRUCTURE, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TCI OR DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER THE GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.

FLOODPLAIN VERIFICATION:

NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA MAP PANEL: 48029C0735F, EFFECTIVE DATE SEPTEMBER 29, 2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

SETBACK NOTE:

THE SETBACKS ON THIS PLAT ARE IMPOSED BY THE DEVELOPER OR BEXAR COUNTY AND ARE NOT SUBJECT TO ENFORCEMENT BY THE CITY OF SAN ANTONIO.

FIRE:

INGRESS AND EGRESS SHALL BE PROVIDED BETWEEN ALL ADJACENT LOTS FOR ADEQUATE FIRE DEPARTMENT VEHICLE ACCESS PER THE CITY OF SAN ANTONIO FIRE PREVENTION CODE. ANY CROSS ACCESS SHALL NOT BE BLOCKED NOR MAY THIS NOTE BE REMOVED FROM THE PLAT WITHOUT WRITTEN PERMISSION FROM THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHALL.

SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUS) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

SAWS DEDICATION:

THE OWNER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.

SAWS HIGH PRESSURE:

A PORTION OF THE TRACT IS BELOW THE GRADE ELEVATION OF 645 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE OWNER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.

CPS/SAWS/COSA UTILITY:

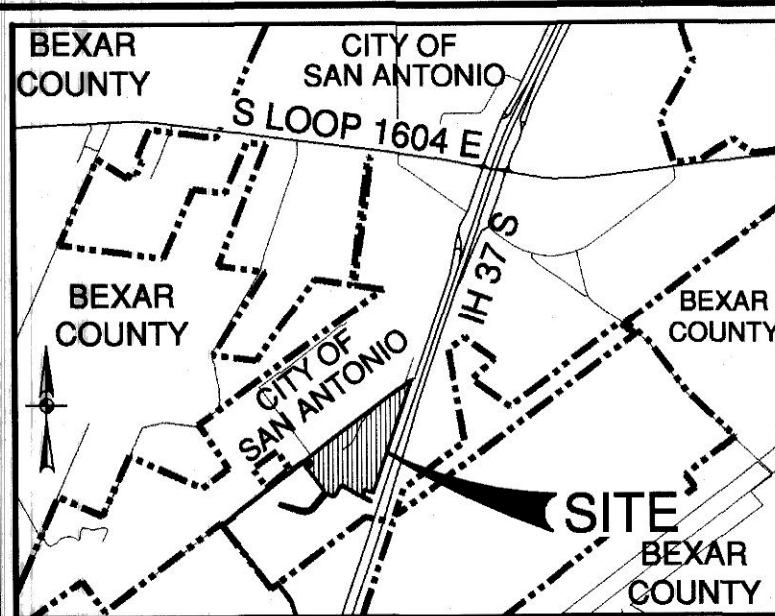
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR RECYCLED WATER EASEMENT FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.



LOCATION MAP

NOT-TO-SCALE

STORM WATER DETENTION:

STORM WATER DETENTION IS REQUIRED FOR PROPERTY WITHIN THE BOUNDARY OF THIS PLAT. BUILDING PERMITS SHALL BE ISSUED ONLY IN CONJUNCTION WITH NECESSARY STORM WATER DETENTION APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. THE PROPERTY MAY BE ELIGIBLE TO POST A FEE IN LIEU OF DETENTION (FILO) IF OFFSITE DRAINAGE CONDITIONS ALLOW BUT ONLY WHEN APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. MAINTENANCE OF ON-SITE STORM WATER DETENTION SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AND/OR THE PROPERTY OWNERS ASSOCIATION AND ITS SUCCESSORS OR ASSIGNS AND IS NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

CROSS ACCESS:

LOT OWNERS SHALL PROVIDE SHARED COMMON CROSS ACCESS FOR LOTS 21, 29-29, CB 4010 IN ACCORDANCE WITH UDC 35-506(i)(3).

COMMON AREA MAINTENANCE:

THE MAINTENANCE OF ALL PRIVATE STREETS, OPEN SPACE, GREENBELTS, PARKS, TREE SAVE AREAS, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS' ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

FINISHED FLOOR NOTE:

RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF EIGHT (8) INCHES ABOVE FINAL ADJACENT GRADE.

TxDOT NOTES:

- FOR RESIDENTIAL DEVELOPMENT DIRECTLY ADJACENT TO STATE RIGHT-OF-WAY, THE DEVELOPER SHALL BE RESPONSIBLE FOR ADEQUATE SETBACK AND/OR SOUND ABATEMENT MEASURES FOR FUTURE NOISE MITIGATION.
- MAXIMUM ACCESS POINTS TO STATE HIGHWAY FROM THIS PROPERTY WILL BE REGULATED AS DIRECTED BY "ACCESS MANAGEMENT MANUAL". THIS PROPERTY IS ELIGIBLE FOR A MAXIMUM COMBINED TOTAL OF ONE (1) ACCESS POINT ALONG IH 37, BASED ON OVERALL PLATTED HIGHWAY FRONTAGE OF 2,346.46'.
- IF SIDEWALKS ARE REQUIRED BY APPROPRIATE CITY ORDINANCE, A SIDEWALK PERMIT MUST BE APPROVED BY TxDOT PRIOR TO CONSTRUCTION WITHIN STATE RIGHT-OF-WAY. LOCATIONS OF SIDEWALKS WITHIN STATE RIGHT-OF-WAY SHALL BE DIRECTED BY TxDOT.

INGRESS/EGRESS:

NO STRUCTURE, FENCES, WALLS, OR OTHER OBSTRUCTIONS SHALL BE PLACED WITHIN THE LIMITS OF THE INGRESS/EGRESS EASEMENT SHOWN ON THIS PLAT.

TCI DETENTION & MAINTENANCE:

STORM WATER DETENTION IS REQUIRED FOR PROPERTY WITHIN THE BOUNDARY OF THIS PLAT. BUILDING PERMITS SHALL BE ISSUED ONLY IN CONJUNCTION WITH NECESSARY STORM WATER DETENTION APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. THE PROPERTY MAY BE ELIGIBLE TO POST A FEE IN LIEU OF DETENTION (FILO) IF OFFSITE DRAINAGE CONDITIONS ALLOW BUT ONLY WHEN APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. MAINTENANCE OF ON-SITE STORM WATER DETENTION SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AND/OR THE PROPERTY OWNERS ASSOCIATION AND ITS SUCCESSORS OR ASSIGNS AND IS NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

TREE NOTE:

THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (TRE-APP-APP23-38800527) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-477(H).

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NAD2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORPS NETWORK.
- DIMENSIONS SHOWN ARE SURFACE. SURFACE ADJUSTMENT FACTOR: 1.00017.
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NAD2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

Matthew Geistweidt
REGISTERED PROFESSIONAL LAND SURVEYOR

LINE TABLE

LINE #	BEARING	LENGTH
L1	N71°03'27"W	170.00'
L2	S18°56'33"W	129.90'
L3	S60°16'28"E	173.06'
L4	S18°56'33"W	23.92'
L5	S29°43'32"W	182.62'
L6	N54°09'07"W	67.79'
L7	N71°57'38"W	68.05'
L8	N18°02'22"E	44.91'
L9	S71°57'38"E	65.89'
L10	N49°25'03"W	15.00'
L11	N40°34'57"E	41.60'
L12	N53°10'56"E	48.00'
L13	S36°49'02"E	46.49'
L14	N53°14'02"E	87.04'
L15	N36°45'58"W	115.12'
L16	S51°15'34"W	126.27'
L17	N81°31'21"W	31.94'
L18	S53°15'36"W	221.68'
L19	S31°03'45"W	30.75'
L20	S81°74'9"W	28.46'
L21	S52°56'04"W	21.07'
L22	N52°54'40"E	20.00'
L23	S37°00'15"E	50.01'
L24	N81°74'9"E	28.46'
L25	N31°03'45"E	30.84'
L26	N53°15'36"E	261.19'
L27	S36°29'16"E	22.20'
L28	N61°20'24"W	460.82'
L29	N29°43'32"E	103.36'
L30	S60°16'28"E	21.21'
L31	S56°37'09"E	50.98'
L32	S60°16'28"E	410.59'
L33	N18°56'33"E	117.25'
L34	S28°43'32"W	131.61'
L35	N57°14'21"W	115.59'
L36	S31°00'50"W	118.34'
L37	S54°09'07"E	109.80'
L38	N29°43'32"E	182.62'
L39	N60°16'28"W	44.13'
L40	S53°13'59"W	104.00'
L41	N36°49'03"W	49.17'
L42	S53°10'57"W	12.00'
L43	S53°14'02"W	146.55'
L44	S48°52'28"W	79.25'
L45	N71°03'27"W	30.00'
L46	N18°56'33"E	81.93'
L47	S48°52'28"W	96.13'
L48	S60°16'28"E	78.82'
L49	S29°43'32"W	30.00'
L50	S60°16'28"E	88.09'
L51	N31°00'50"E	92.39'
L52	N58°59'10"W	36.00'
L53	N31°00'50"E	92.39'
L54	S53°14'02"W	89.02'
L55	N36°45'58"W	30.00'
L56	N53°14'02"E	87.43'
L57	N48°52'28"E	76.01'
L58	S60°58'19"E	15.00'
L59	N60°58'19"W	15.00'
L60	S60°58'19"E	56.67'
L61	S69°56'16"E	111.36'
L62	N77°58'36"E	79.19'
L63	N59°01'30"E	79.23'
L64	N36°45'58"W	23.22'
L65	S76°25'53"E	42.04'

LINE TABLE

LINE #	BEARING	LENGTH
L66	N13°34'07"E	38.00'
L67	N76°25'53"W	42.04'
L68	N53°13'39"E	168.29'
L69	S53°13'39"W	160.01'
L70	N48°55'37"E	36.51'
L71	N51°04'23"E	38.00'
L72	S48°55'37"W	36.51'
L73	N53°10'57"E	17.23'
L74	N2°24'00"W	79.85'
L75	N87°36'00"E	30.00'
L76	S2°24'00"E	79.85'
L77	S2°03'24"W	22.80'
L78	S73°09'48"E	36.30'
L79	S71°03'27"E	20.00'
L80	S71°03'27"E	52.47'
L81	S18°56'33"W	23.88'
L82	N60°58'19"W	87.30'
L83	S60°58'19"E	13.16'
L84	S53°13'45"W	111.34'
L85	N69°56'16"W	104.95'
L86	S77°58'36"W	74.28'
L87	S69°01'30"W	76.62'
L88	S36°45'58"E	41.98'
L89	N36°45'58"W	41.98'
L90	S36°45'58"E	5.53'
L91	S53°14'02"W	12.00'
L92	S81°44'24"E	31.40'
L93	N87°53'22"E	76.41'
L94	S36°45'58"E	41.98'
L95	N36°45'58"W	41.98'
L96	S36°48'28"E	42.01'
L97	N53°11'32"E	12.00'
L98	S36°49'02"E	31.47'
L99	N53°10'56"E	18.00'
L100	N40°34'57"E	41.60'
L101	S53°10'57"W	19.18'
L102	N53°10'57"E	31.18'
L103	S36°49'03"E	48.47'
L104	N36°49'03"W	41.36'
L105	N36°49'02"W	11.27'
L106	N54°09'07"W	25.66'
L107	S18°56'33"W	6.93'
L108	S71°03'27"E	12.00'
L109	N46°54'56"E	73.09'
L110	N47°07'14"W	47.74'
L111	N33°59'39"E	40.09'
L112	S56°00'21"E	58.26'
L113	N56°00'21"W	58.49'
L114	S33°59'39"W	17.82'
L115	S47°07'14"E	50.34'
L116	S46°54'56"W	74.82'
L117	S43°05'05"E	30.00'
L118	N48°52'28"E	66.67'
L119	N41°07'32"W	110.00'
L120	S41°07'32"E	110.00'
L121	N53°13'45"E	108.52'
L122	N81°44'24"W	31.81'
L123	N2°16'40"E	11.99'
L124	N29°01'41"E	71.14'
L125	N53°14'02"E	84.98'
L126	S53°11'32"W	12.00'
L127	S46°35'03"E	60.11'
L128	N46°35'03"W	59.75'
L129	N60°16'28"W	22.91'
L130	N69°56'16"W	12.15'

CURVE TABLE

CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	38.25'	90°00'00"	S74°43'32"W	54.09'	60.08'
C2	61.60'	96°07'21"	S77°47'12"W	91.65'	103.35'
C3	25.00'	85°15'56"	S83°12'55"W	33.86'	37.20'
C4	238.00'	67°27'25"	S74°18'39"E	264.30'	280.21'
C5	175.00'	67°27'25"	N74°18'39"E	194.34'	206.04'
C6	26.00'	77°23'59"	N1°52'58"E	32.51'	35.12'
C7	38.10'	96°07'21"	N77°47'12"E	56.69'	63.93'
C8	61.75'	34°31'37"	N46°59'20"E	36.65'	37.21'
C9	182.00'	21°38'21"	S64°03'12"W	68.33'	68.74'
C10	182.00'	24°12'21"	S41°07'51"W	76.32'	76.89'
C11	668.00'	19°50'48"	S38°57'04"W	230.23'	231.39'
C12	25.00'	96°44'29"	S0°41'18"W	37.37'	42.21'