

HISTORIC AND DESIGN REVIEW COMMISSION

November 06, 2024

HDRC CASE NO: 2024-363
ADDRESS: 1000 BROADWAY
LEGAL DESCRIPTION: NCB 459 BLK ALL OF BLK
ZONING: FBZ T6-1
CITY COUNCIL DIST.: 1
APPLICANT: Caleb Etheredge/Coral Studio
OWNER: Jamaal Moreno/CITY OF SAN ANTONIO
TYPE OF WORK: Park improvements
APPLICATION RECEIVED: October 18, 2024
60-DAY REVIEW: December 17, 2024
CASE MANAGER: Bryan Morales
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Install sidewalks, hardscape, lighting, fencing, landscaping, two pickleball courts, and two shade structures.
2. Repair and modify the existing pavilion.

APPLICABLE CITATIONS:

UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee, or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

UDC Sec 35-642. – New Construction of Buildings and Facilities:

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials.

Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

FINDINGS:

- a. The property located at 1000 Broadway is commonly known as Maverick Park and is bordered by Broadway to the northwest, E Jones Ave to the northeast, 10th St to the southwest, and N Alamo St to the southeast. Maverick Park features a prominent sidewalk bisecting the park diagonally, a dog park, and a pavilion built in 1939. The property is owned by the City of San Antonio and is located within RIO-2.
- b. **HARDSCAPE INSTALLATION** – The applicant is requesting approval to install additional sidewalk and hardscape to connect to the existing pavilion with an ADA route to provide more accessible access throughout Maverick Park. In keeping with UDC Section 35-641, the request for additional sidewalks and hardscape is reasonable and staff finds the request appropriate.
- c. **LIGHTING INSTALLATION** – The applicant is requesting approval to install additional lighting to match current pedestrian light poles onsite in dark areas of Maverick Park and pedestrian-scale lighting for the proposed pickleball court. In keeping with UDC Section 35-641, the request for additional lighting is reasonable and staff finds the request appropriate.
- d. **FENCING INSTALLATION** – The applicant is requesting approval to install custom metal fencing around the requested pickleball court. In keeping with UDC Section 35-641, the request for fencing within Maverick Park is reasonable and staff finds the request appropriate.
- e. **LANDSCAPING** – The applicant is requesting approval to modify the existing landscape of Maverick Park to include the removal of one tree and the planting of additional trees along the sidewalks and within the existing dog park. In keeping with UDC Section 35-641, the request for landscape modifications is reasonable and staff finds the request appropriate.
- f. **PICKLEBALL COURTS INSTALLATION** – The applicant is requesting approval to install two pickleball courts and install observation bar seating. In keeping with UDC Section 35-641, the request for the pickleball courts and observation bar seating is reasonable and staff finds the request appropriate.
- g. **SHADE STRUCTURES INSTALLATION** – The applicant is requesting approval to install two shade structures within the existing dog park to provide better shading of existing picnic table areas. In keeping with UDC Section 35-641, the request for the two shade structures is reasonable and staff finds the request appropriate.
- h. **PAVILLION REPAIR AND MODIFICATIONS** – The applicant is requesting approval to repair and modify the existing 1939 pavilion to include: the removal of non-functioning bathrooms, reopen and repair canal scuppers, clean stonework, repair mortar, replace non-historic metal doors and door systems, reopen circular ventway and install new wood grille and mesh backer, repair cast stone features, remove CMU screening and replace with new terracotta breeze block infill, and replace steel lintels in-kind. In keeping with UDC Section 35-641, the request for in-kind repair and rehabilitation of the 1939 pavilion is reasonable and staff finds the request appropriate.

- i. ARCHAEOLOGY – The project area is partially located within the River Improvement Overlay District. In addition, previously recorded archaeological site 41BX2383 is located within the property. Therefore, an archaeological investigation is required. Work within public property is subject to the Texas Antiquities Code. The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

RECOMMENDATION:

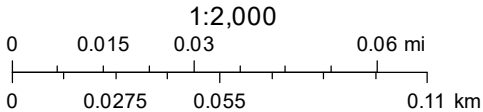
Staff recommends approval of items 1 and 2, based on findings a through i, with the following stipulations:

- i. That the applicant provide an example of the proposed breezeblock replacement to staff for approval prior to the issuance of a Certificate of Appropriateness.
- ii. That the applicant provide an example of the proposed replacement doors to staff for approval prior to the issuance of a Certificate of Appropriateness.
- iii. ARCHAEOLOGY – An archaeological investigation is required. The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

City of San Antonio One Stop



November 1, 2024



MAVERICK PARK 50% CD SET

SITework / PLANTING / ARCHITECTURE / MEP



FOR REVIEW ONLY.
Not for regulatory approval,
permitting or construction.

OCTOBER 18, 2024

Project Number:
23007

MAVERICK PARK
1000 BROADWAY, SAN ANTONIO, TX

Client:
CITY OF SAN ANTONIO PUBLIC
WORKS DEPARTMENT

50% CD SET

Date Issued:
OCTOBER 18, 2024

Revisions:

Sheet Title:

COVER SHEET

Sheet Number:

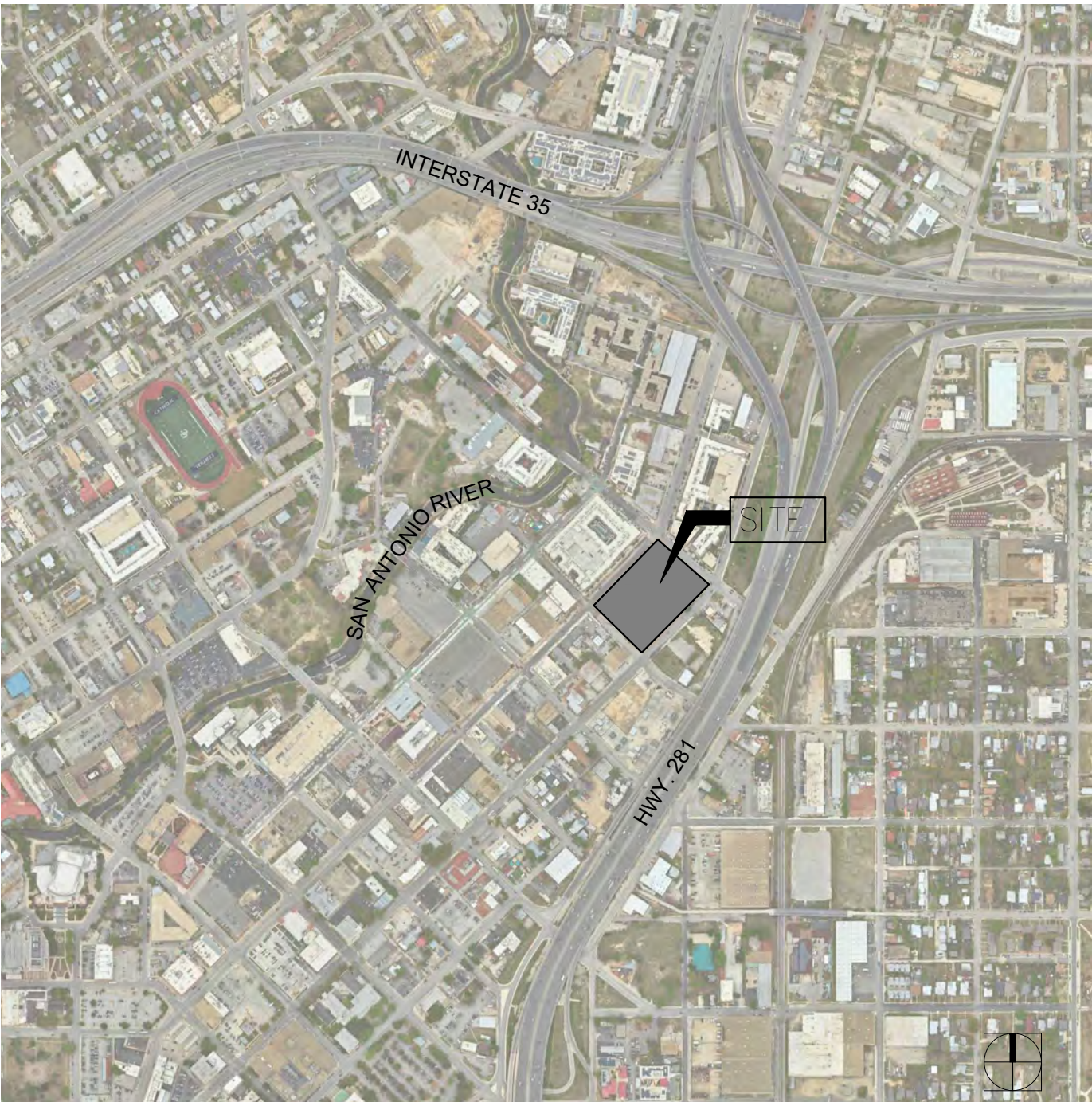
LC 0.0

50% CD SET FOR:

MAVERICK PARK

1000 Broadway, San Antonio, Texas

VICINITY MAP



LOCATION MAP



A PROJECT BY:

OWNER: PUBLIC WORKS
DEPARTMENT
CONTACT: JAMAAL MORENO
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ARCHITECT:
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CIVIL:
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SAN ANTONIO, TX 78213
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INDEX OF SHEETS

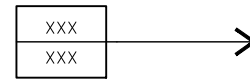

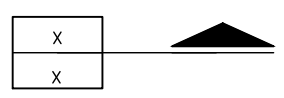
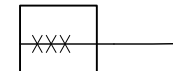
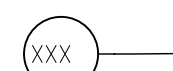
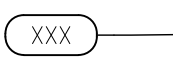
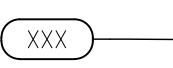

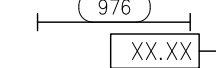




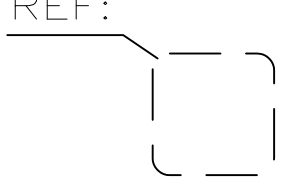
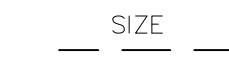

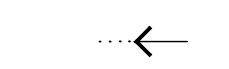
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	OCTOBER 18, 2024	50% CD	Material Imagery	LC 1.1
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	OCTOBER 18, 2024	50% CD	Schedules & Details	A601

MATERIALS SCHEDULE					
FLATWORK					
KEY	DESCRIPTION /MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
F1	STANDARD CONCRETE, SAWCUT JOINTS	STANDARD	BROOM FINISH	LOCAL SOURCE	● CONTRACTOR TO SUBMIT PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. ● CONTRACTOR TO PROVIDE 5' x 5' MOCKUP FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION
F2	DECOMPOSED GRANITE - 1" MINUS	TANS	NATURAL	LOCAL SOURCE	● CONTRACTOR TO SUBMIT PRODUCT SAMPLE AND DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
F3	ENTRY PATIO - PAVERS ON BASE	TO MATCH EXISTING ON-SITE	TO MATCH EXISTING ON-SITE	COMPANY: KEYSTONE HARDSCAPES PHONE: 512.558.7283 OR APPROVED SUBSTITUTE	● CONTRACTOR TO SUBMIT PRODUCT SAMPLES & DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION ● CONTRACTOR TO PROVIDE 5x5 MOCK UP ADJACENT TO EXISTING PAVERS ON-SITE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ● INSTALL PER MANUFACTURER'S RECOMMENDATIONS
MASONRY					
M1	RECTANGULAR BOULDER TO MATCH EXISTING ON-SITE REF. PLANS FOR DIMENSIONS	TO MATCH EXISTING ON-SITE	SAWCUT TOP, BOTTOM, CHOPPED SIDES	COMPANY: BROOKS STONE RANCH PHONE: 830.624.7554 HTTPS://WWW.BROOKSSTONE RANCH.COM/INDEX.HTML OR APPROVED SUBSTITUTE	● CONTRACTOR TO SUBMIT PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
M2	NATURAL BOULDERS TO MATCH EXISTING ON-SITE	TO MATCH EXISTING ON-SITE	NATURAL	COMPANY: BROOKS STONE RANCH PHONE: 830.624.7554 HTTPS://WWW.BROOKSSTONE RANCH.COM/INDEX.HTML OR APPROVED SUBSTITUTE	● CONTRACTOR TO SUBMIT PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
STEEL					
S1	LASER CUT METAL PANELS, REF. DETAILS FOR PATTERNS	GALVANIZED	STANDARD	LOCAL SOURCE	● CONTRACTOR TO SUBMIT PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. ● INSTALL PER MANUFACTURER'S RECOMMENDATIONS
S2	PARK DUAL RECEPACLE ASSEMBLY - CITY STANDARD TO MATCH EXISTING	BLACK & BLUE	PRIMED AND PAINTED	COMPANY: ZAMORANO ENTERPRISES PHONE: (210) 924-2320 OR APPROVED SUBSTITUTE	● CONTRACTOR TO SUBMIT PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. ● INSTALL PER MANUFACTURER'S RECOMMENDATION
S3	VIBE BIKE RACK	TEXTURED TEAL	POWDER COATED	COMPANY: ANOVA PHONE: 1 (800) 325-3047 ANOVAFURNISHINGS.COM	● CONTRACTOR TO SUBMIT PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. ● INSTALL PER MANUFACTURER'S RECOMMENDATIONS

GENERAL NOTES:

- 1.) LOCATE AND VERIFY THE CONDITION OF EXISTING UTILITIES PRIOR TO EXCAVATION. TAKE RESPONSIBILITY OF CONTACTING LINE LOCATION SERVICES AND ANY COST INCURRED FOR BODILY INJURY AND / OR DAMAGE OF OWNER'S PROPERTY OR SAID UTILITIES.
- 2.) THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.
- 3.) THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF MAINTAINING A SAFE WORK SITE INCLUDING BUT, NOT LIMITED TO PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION, AND COMPLIANCE WITH ALL FEDERAL AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.
- 4.) THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS BOTH ON SITE AND ADJACENT TO THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS TO THE SATISFACTION OF THE OWNER.
- 5.) THE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- 6.) ANY ALTERNATES AND OR SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND / OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND / OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 7.) THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF TRASH ON A DAILY BASIS.
- 8.) THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT SHALL BE PAID FOR AND OBTAINED BY THE CONTRACTOR.
- 9.) COORDINATE WORK WITH SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS, COORDINATE CONSTRUCTION WITH OTHER CONTRACTORS WORKING ON THE SITE.
- 10.) THE CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS, PARK VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.
- 11.) UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.
- 12.) THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.
- 13.) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH, REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTLING OR EROSION THAT HAS OCCURED PRIOR TO COMPLETION. ALL AREAS OF THE PROJECT SITE SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION SATISFACTORY TO THE OWNER PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.
- 14.) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVICING TEMPORARY TOILET FACILITIES.
- 15.) CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT FOR AUTO-CAD FILES FOR SITE WORK & HARDSCAPE LAYOUT.

MATERIALS SCHEDULE					
MISCELLANEOUS					
KEY	DESCRIPTION /MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
C1	PICKLE BALL COURT SYSTEM -NETS: DOUGLAS JTN-30 PICKLEBALL/QS TENNIS NET 36" x 21'-9" -POSTS: REF. S1 FENCE MATERIAL -LAYKOLD SPORT SURFACING SYSTEM -WINDSCREEN: NONE	POSTS: BLACK, REF. S1 FENCE MATERIAL WINDSCREEN: N/A	GLAZED	COMPANY: GRAND SLAM COURTS CONTACT: BRENT POSS PHONE (O): 210-496-3399 PHONE (M): 210-355-4672 GRANDSLAMCOURTS.COM OR APPROVED SUBSTITUTE	● CONTRACTOR TO SUBMIT PRODUCT SAMPLES & DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION ● CONTRACTOR TO HAVE ALL STRUCTURAL COMPONENTS OF COURT SLAB STRUCTURALLY DESIGNED, AND SEALED BY STATE OF TEXAS CERTIFIED/LICENSED STRUCTURAL ENGINEER ● CONTRACTOR TO SUBMIT COMPLETE SET OF SHOP DRAWINGS OF COURT SLAB TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
C2	PICKLEBALL BAR TOP: 2" X 6" CARBON SMART THERMAL OAK	NATURAL	N/A	CARBON SMART WOOD (512) 826-8878 ZAC@CARBONSMARTWOOD.CO M CARBONSMARTWOOD.COM OR APPROVED SUBSTITUTE	● CONTRACTOR TO SUBMIT PRODUCT DATA AND SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
C3	PARK CENTRE - 30" ROUND OUTDOOR TABLE FASTEN INTO GROUND	CHILI RED	N/A	COMPANY: LANDSCAPE FORMS PHONE: 1 (800) 521-2546	●CONTRACTOR TO SUBMIT PRODUCT SAMPLES & DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION ● INSTALL PER MANUFACTURER'S RECOMMENDATIONS
C4	PARK CENTRE - CHAIR WITH NO ARMS FASTEN TO TABLE	CHILI RED	N/A	COMPANY: LANDSCAPE FORMS PHONE: 1 (800) 521-2546	●CONTRACTOR TO SUBMIT PRODUCT SAMPLES & DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION ● INSTALL PER MANUFACTURER'S RECOMMENDATIONS
C5	MORRISON BAR HEIGHT STOOL FASTEN TOGETHER W/ CABLE	FRAME: THERMALLY MODIFIED ASH SLATS: MANGO	N/A	COMPANY: LANDSCAPE FORMS PHONE: 1 (800) 521-2546	●CONTRACTOR TO SUBMIT PRODUCT SAMPLES & DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION ● INSTALL PER MANUFACTURER'S RECOMMENDATIONS
C6	MADISON 6' RECYCLED PLASTIC CONTOUR BENCH PRODUCT #RCPMC6	FRAME AND SLATS: TO MATCH EXISTING ON-SITE	N/A	COMPANY: ANOVA PHONE: 1 (800) 325-3047 ANOVAFURNISHINGS.COM	●CONTRACTOR TO SUBMIT PRODUCT SAMPLES & DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION ● INSTALL PER MANUFACTURER'S RECOMMENDATIONS
C7	DOG PARK SHADE STRUCTURE - 14' X 14' MODIFIED CANTI WING	POSTS: CHARCOAL GREY SHADE: TURQUOISE	N/A	CONTACT: MICHELLE BOTHA COMPANY: CAPITAL SHADE PHONE: 512-937-6430 MICHELLE@CAPITALSHADE.COM	●CONTRACTOR TO SUBMIT PRODUCT SAMPLES & DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION ● INSTALL PER MANUFACTURER'S RECOMMENDATIONS

SYMBOLS AND LINETYPES	
SYMBOL	DESCRIPTION
	DETAIL REFERENCE
	MATERIALS & FINISHES SYMBOL
	SECTION SYMBOL
	TREE LABEL
	SHRUB AND ORNAMENTAL GRASSES LABEL
	GROUNDCOVER LABEL
	PERENNIAL LABEL
	EXISTING TOPOGRAPHY
	PROPOSED TOPOGRAPHY
	PROPOSED SPOT GRADES
	JUNCTION BOX
	ELECTRICAL METER
	HOME RUN
	ENLARGEMENT AREA WITH REFERENCE
	PERFORATED DRAINAGE PIPE
	SOLID DRAINAGE PIPE
	WATER FLOW OR SWALE DIRECTION

GENERAL LEGEND	
ABBREVIATIONS	
SYMBOL	DESCRIPTION
B.C.	BOTTOM OF CURB
B.P.	BOTTOM OF PIPE
B.O.C.	BACK OF CURB
L.O.C.	LIMIT OF CONSTRUCTION
B.W.	BOTTOM OF WALL
C.L.	CENTERLINE
E.J.	EXPANSION JOINT
H.P.	HIGH POINT
E.O.P.	EDGE OF PAVEMENT
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTER
O.C.E.W.	ON CENTER EACH WAY
P.A.	PLANTING AREA
ESMT.	EASEMENT
P.O.B.	POINT OF BEGINNING
P.O.T.	POINT OF TANGENCY
R.O.W.	RIGHT OF WAY
T.D.	TOP OF AREA DRAIN
F.H.	FIRE HYDRANT
T.C.	TOP OF CURB
T.F.	TOP OF FOUNDATION
SS	SANITARY SEWER LINE
T.W.	TOP OF WALL
W.D.	WATER DEPTH
W.L.	WATER LEVEL
U.N.O.	UNLESS NOTED OTHERWISE
PC	POOL COPING
THW	TOP OF HEADWALL
SG	SUBGRADE



CORAL STUDIO

LANDSCAPE ARCHITECTURE + URBAN DESIGN

1432 S ST MARY'S ST, SAN ANTONIO, TX 78210
O: (210) 963-7447
CORAL-STUDIO.COM

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1000 BROADWAY , SAN ANTONIO, TX

Client:
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WORKS DEPARTMENT

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Revisions:

Sheet Title:

MATERIALS
SCHEDULE

Sheet Number:

LC 1.1



9 DOG PARK SHADE STRUCTURES
C7 - PHOTO REFERENCE



6 MOVABLE TABLE AND CHAIRS
C3,C4 - PHOTO REFERENCE



3 EXISTING FENCE
S1 - PHOTO REFERENCE



8 BENCH TO MATCH EXISTING
C6 - PHOTO REFERENCE



5 PICKLEBALL W/ BAR SEATING
C1,C2 - PHOTO REFERENCE



2 EXISTING PAVERS AND STONES
F3, M1, M2 - PHOTO REFERENCE



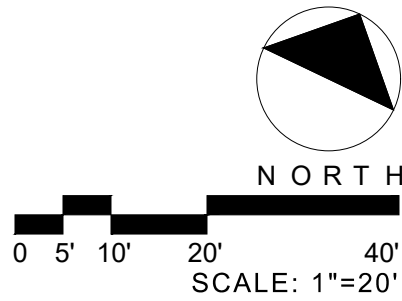
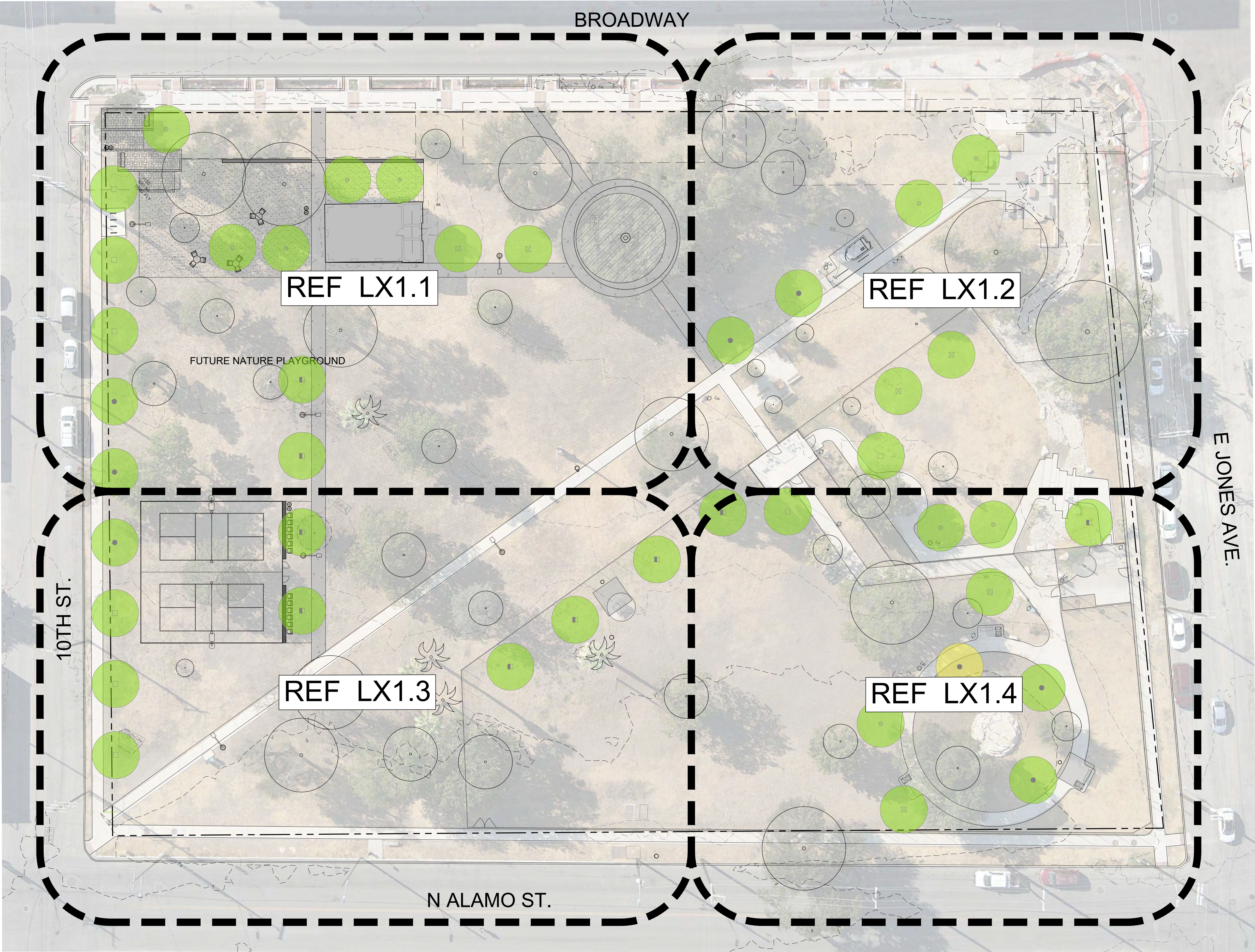
7 BAR STOOL
C5 - PHOTO REFERENCE



4 VIBE BIKE RACK
S2 - PHOTO REFERENCE



1 DECOMPOSED GRANITE
F2 - PHOTO REFERENCE



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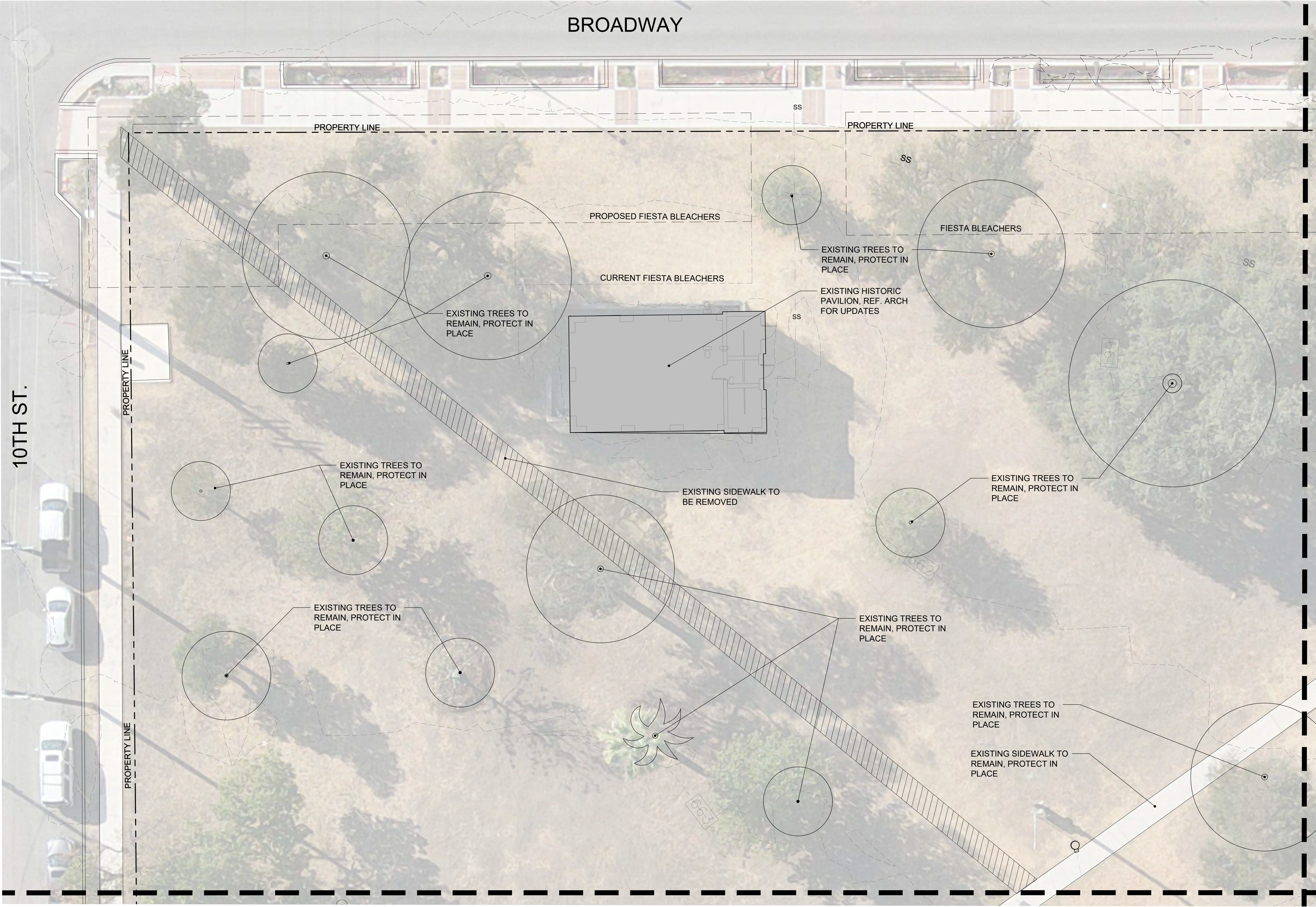
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OVERALL PLAN

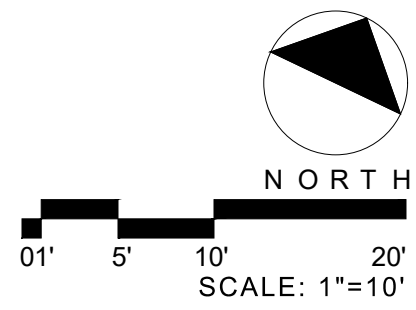
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MATCHLINE: REF. LD 1.2

MATCHLINE: REF. LD 1.3



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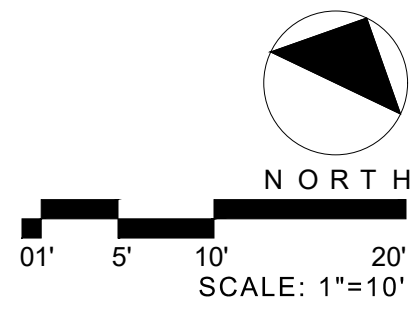
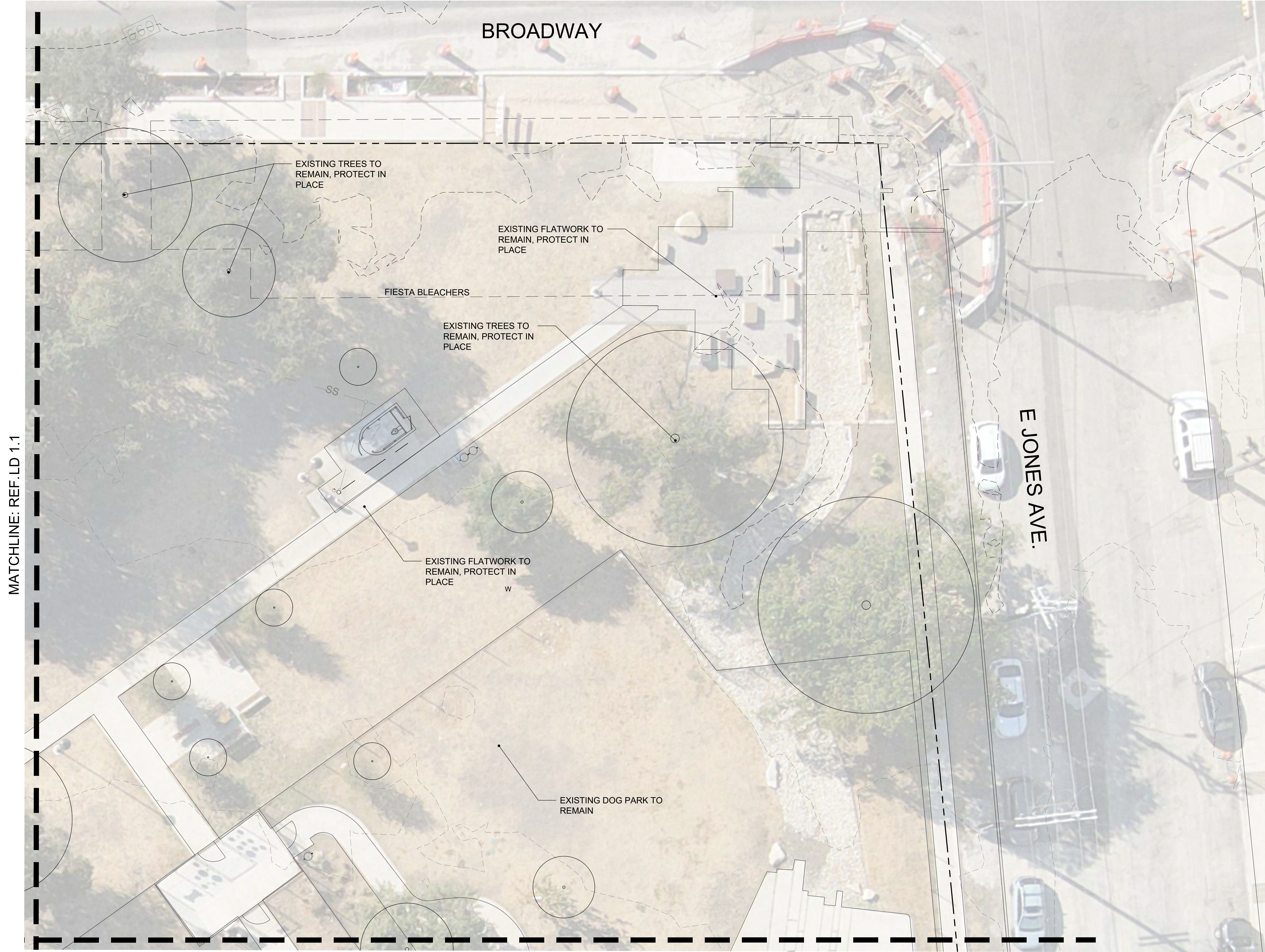
Revisions:

Sheet Title:

**LANDSCAPE
 DEMO PLAN**

Sheet Number:

LD 1.1



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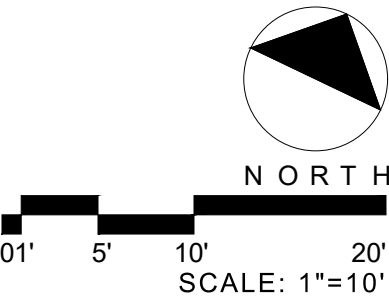
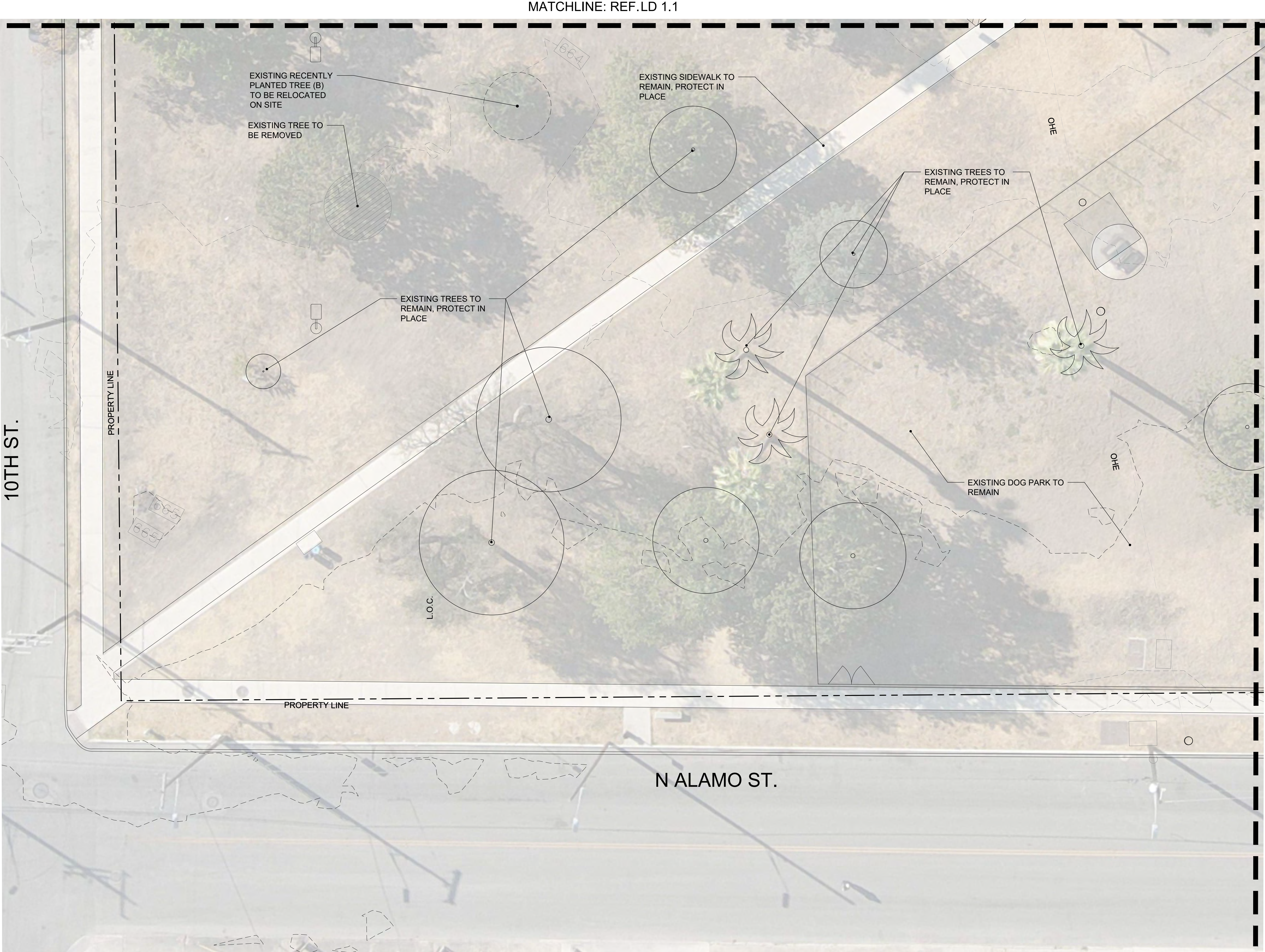
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Sheet Title:

LANDSCAPE DEMO PLAN

Sheet Number:

LD 1.2



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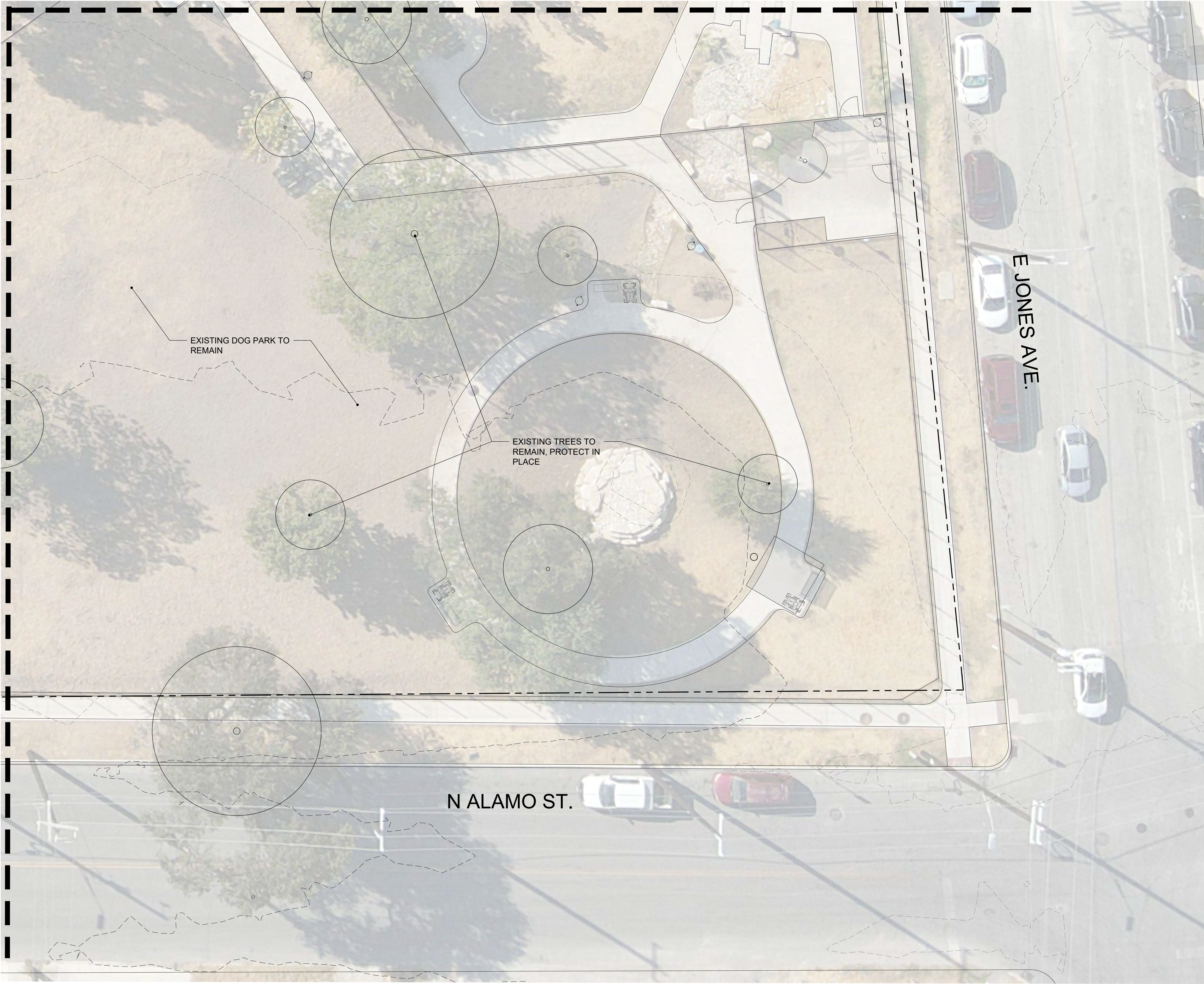
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Sheet Title:
**LANDSCAPE
DEMO PLAN**

Sheet Number:
LD 1.3



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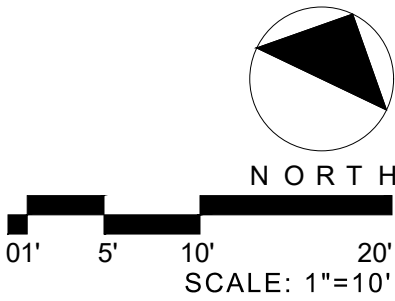
MATCHLINE: REF.LD 1.2

EXISTING DOG PARK TO REMAIN

EXISTING TREES TO REMAIN, PROTECT IN PLACE

N ALAMO ST.

E JONES AVE.



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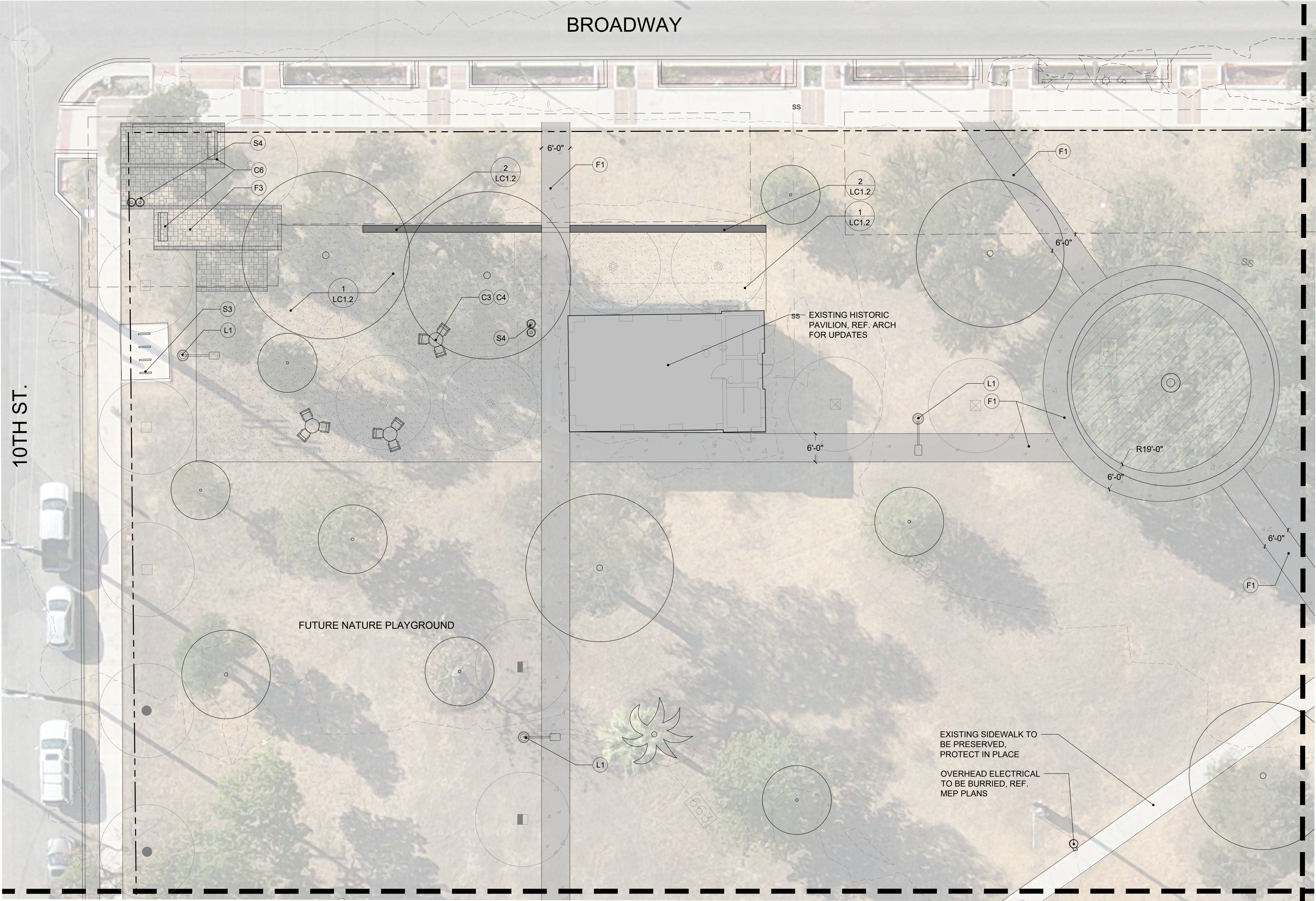
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Sheet Title:

LANDSCAPE
DEMO PLAN

Sheet Number:

LD 1.4



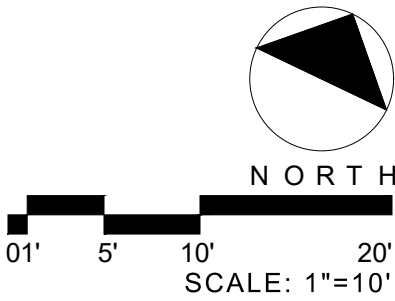
BROADWAY

10TH ST.

FUTURE NATURE PLAYGROUND

MATCHLINE: REF. LS 1.3

MATCHLINE: REF. LS 1.2



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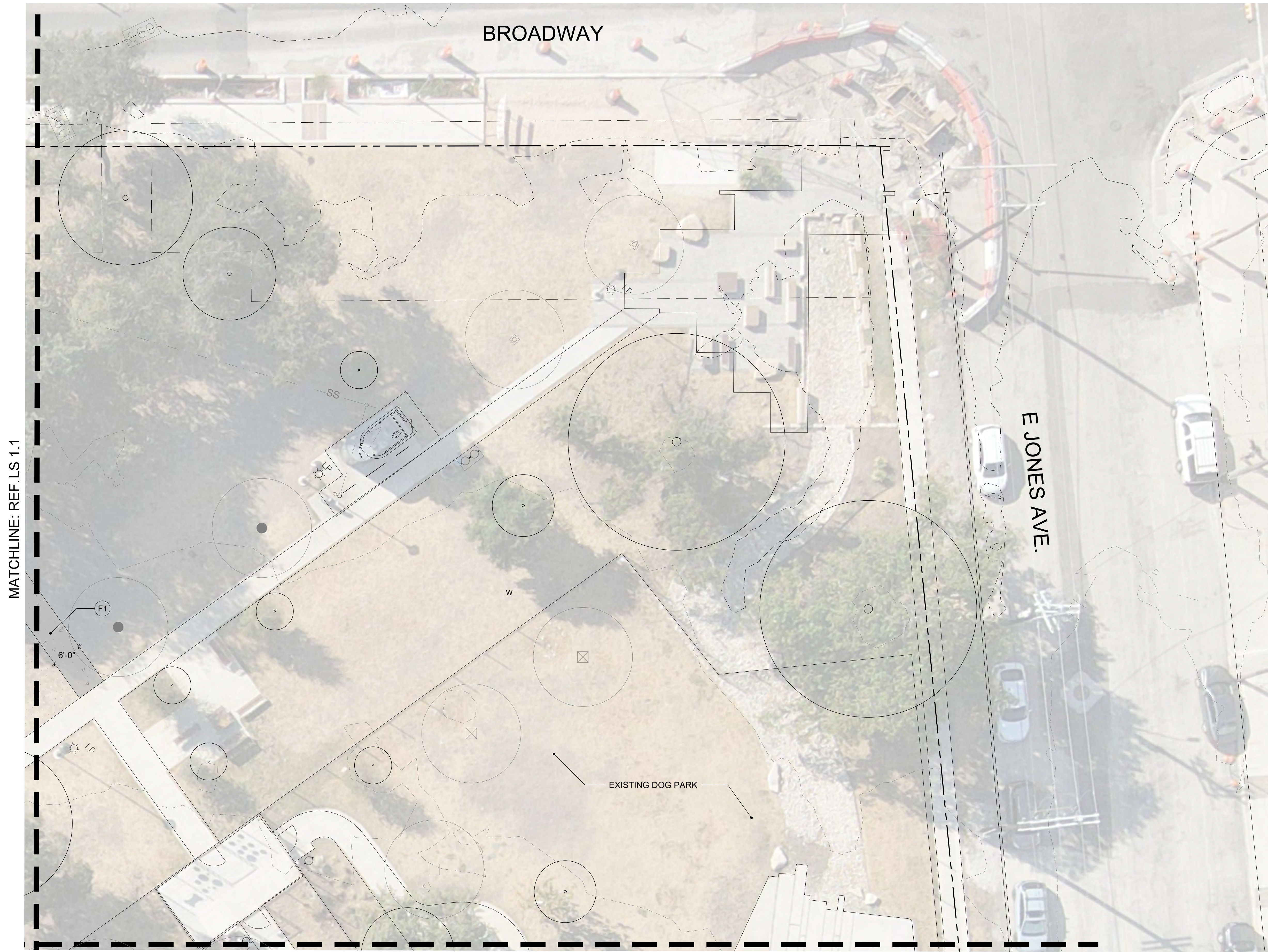
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SITework PLAN

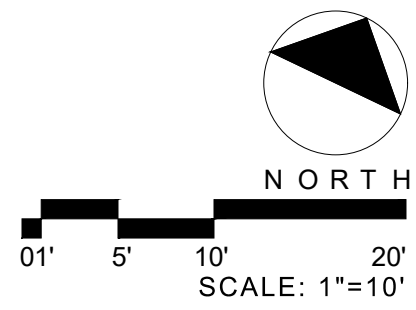
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LS 1.1



MATCHLINE: REF. LS 1.1

MATCHLINE: REF. LS 1.4



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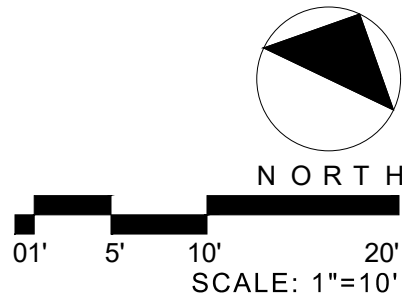
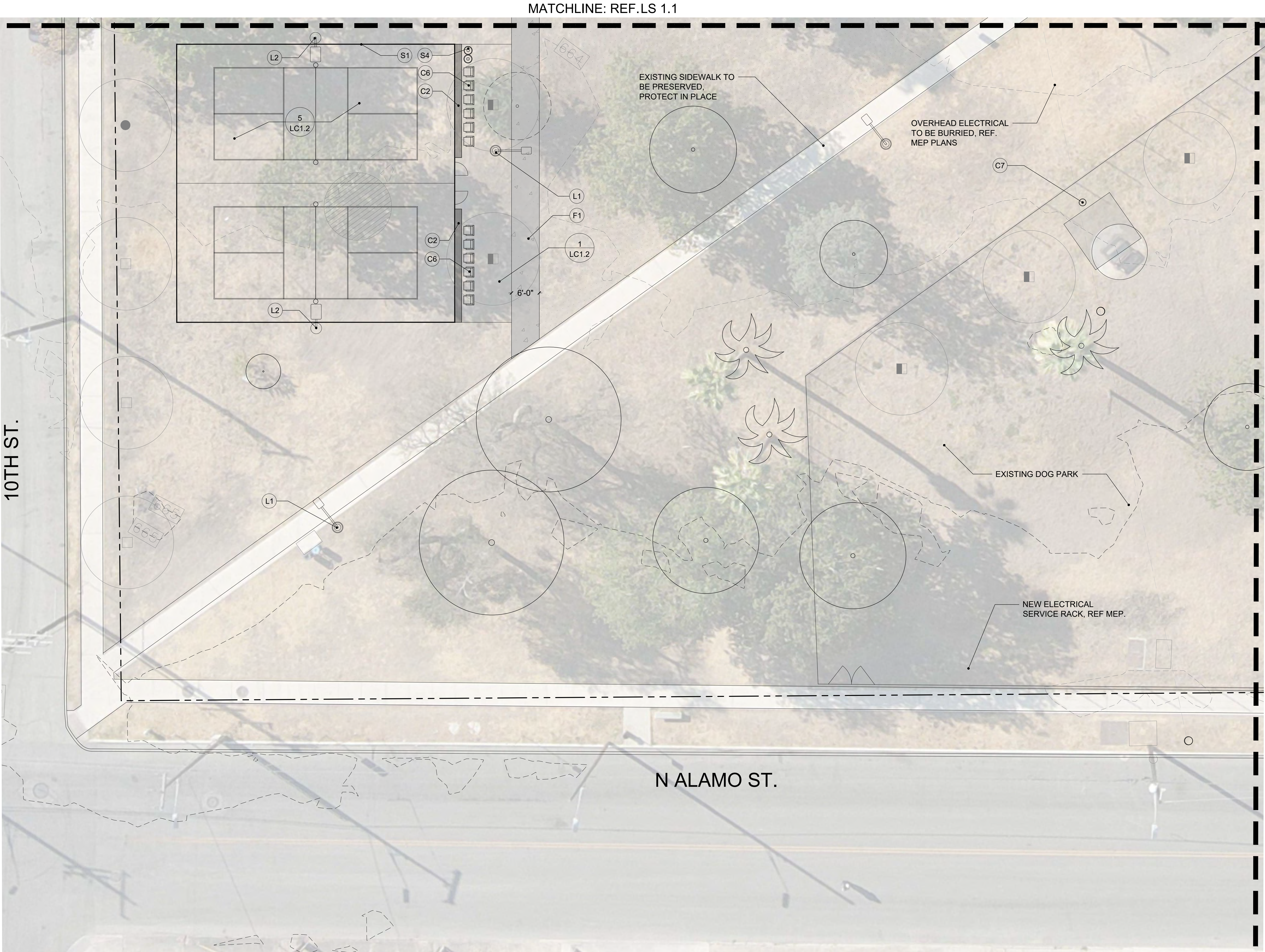
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SITework PLAN

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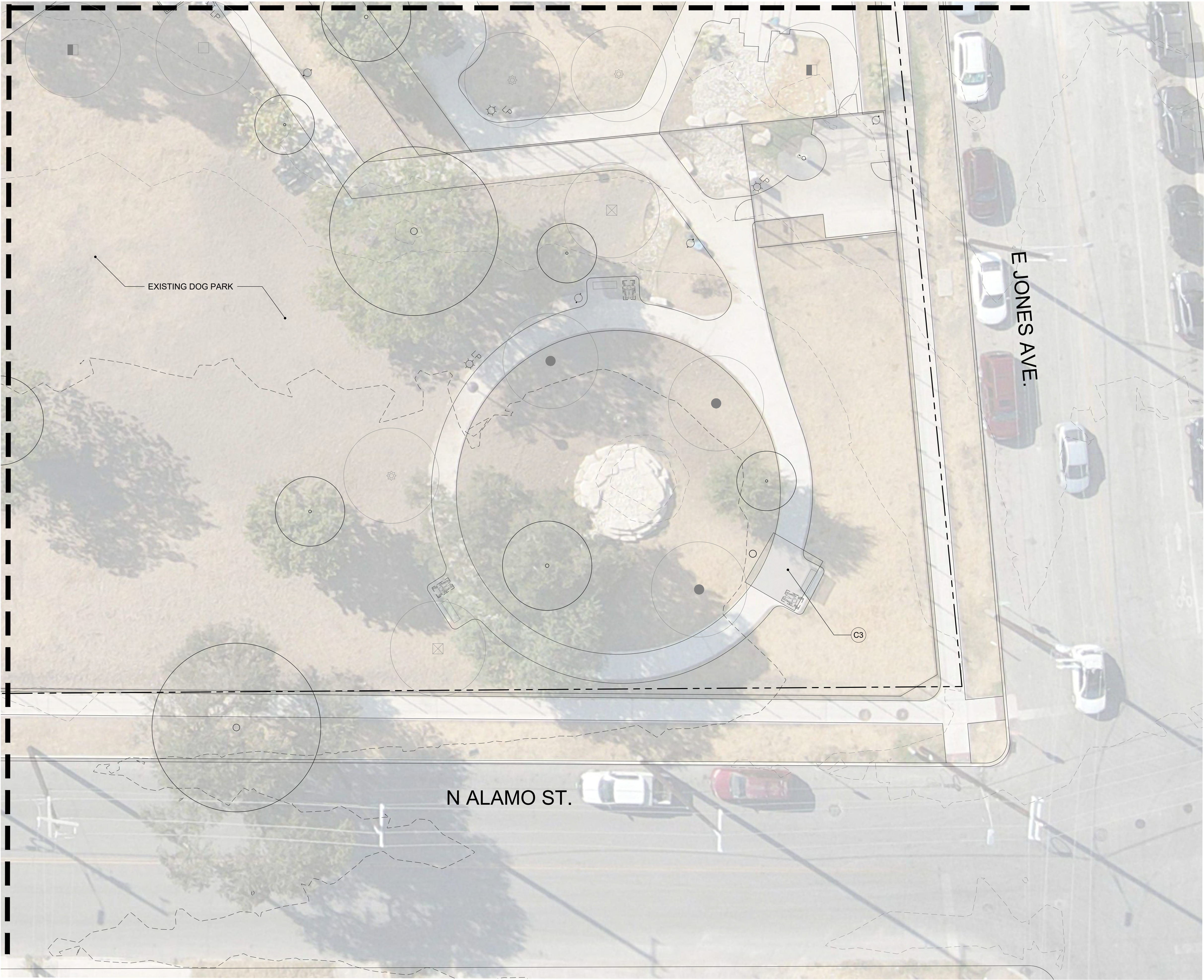
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**SITework
PLAN**

Sheet Number:

LS 1.3



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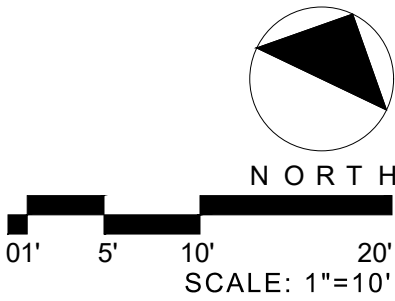
MATCHLINE: REF. LS 1.3

EXISTING DOG PARK

E JONES AVE.

N ALAMO ST.

C3



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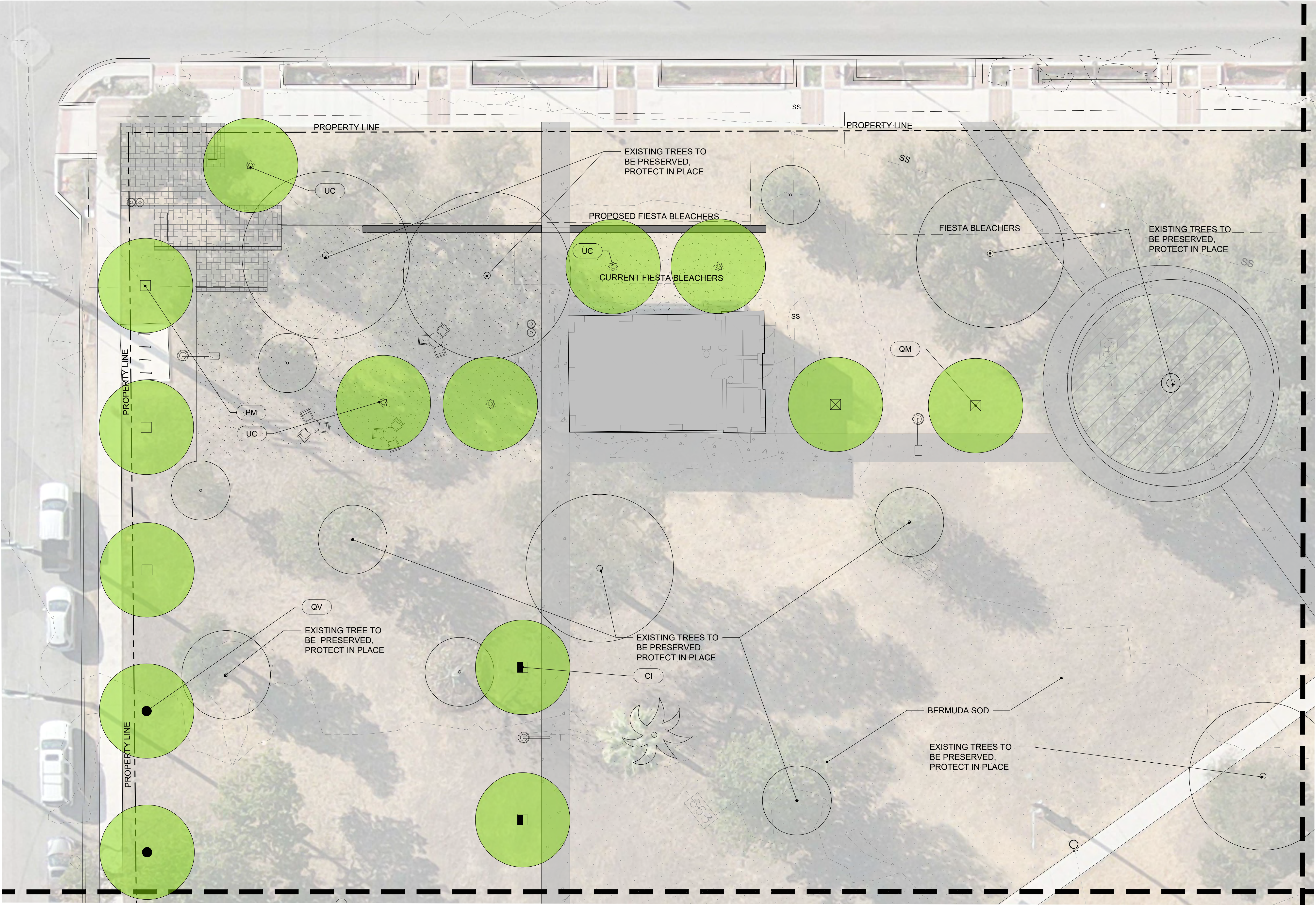
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Sheet Title:

**SITEWORK
PLAN**

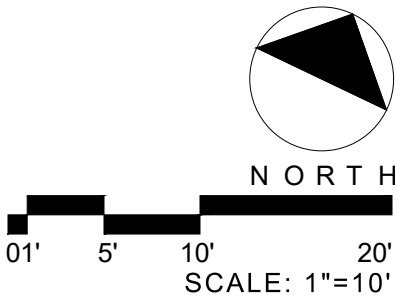
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MATCHLINE: REF.LP 1.3

MATCHLINE: REF.LP 1.2



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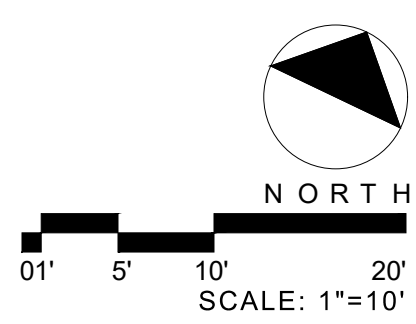
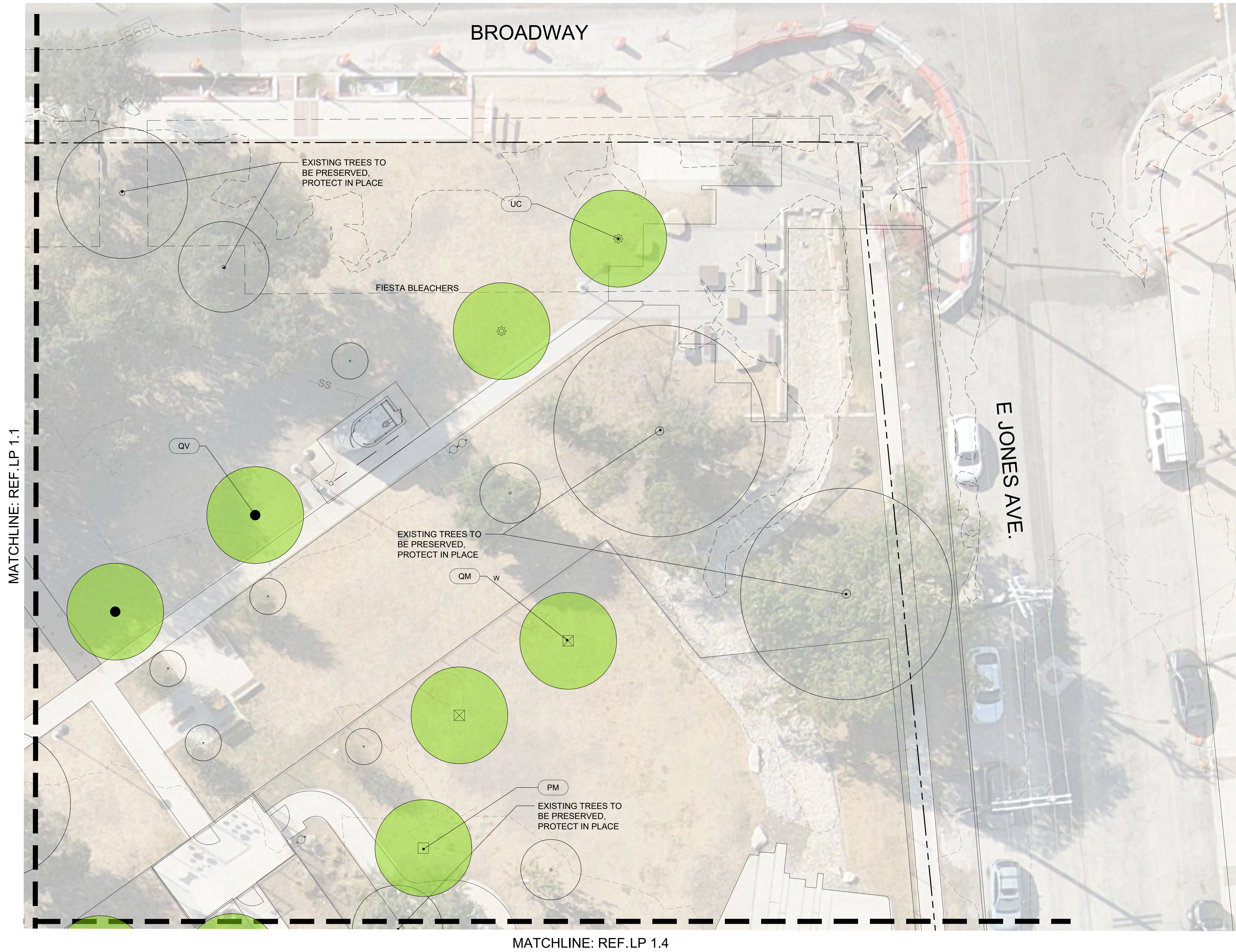
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Sheet Title:

PLANTING PLAN

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LP 1.1



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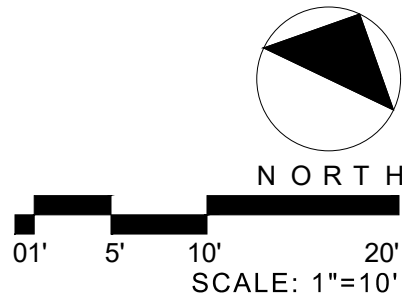
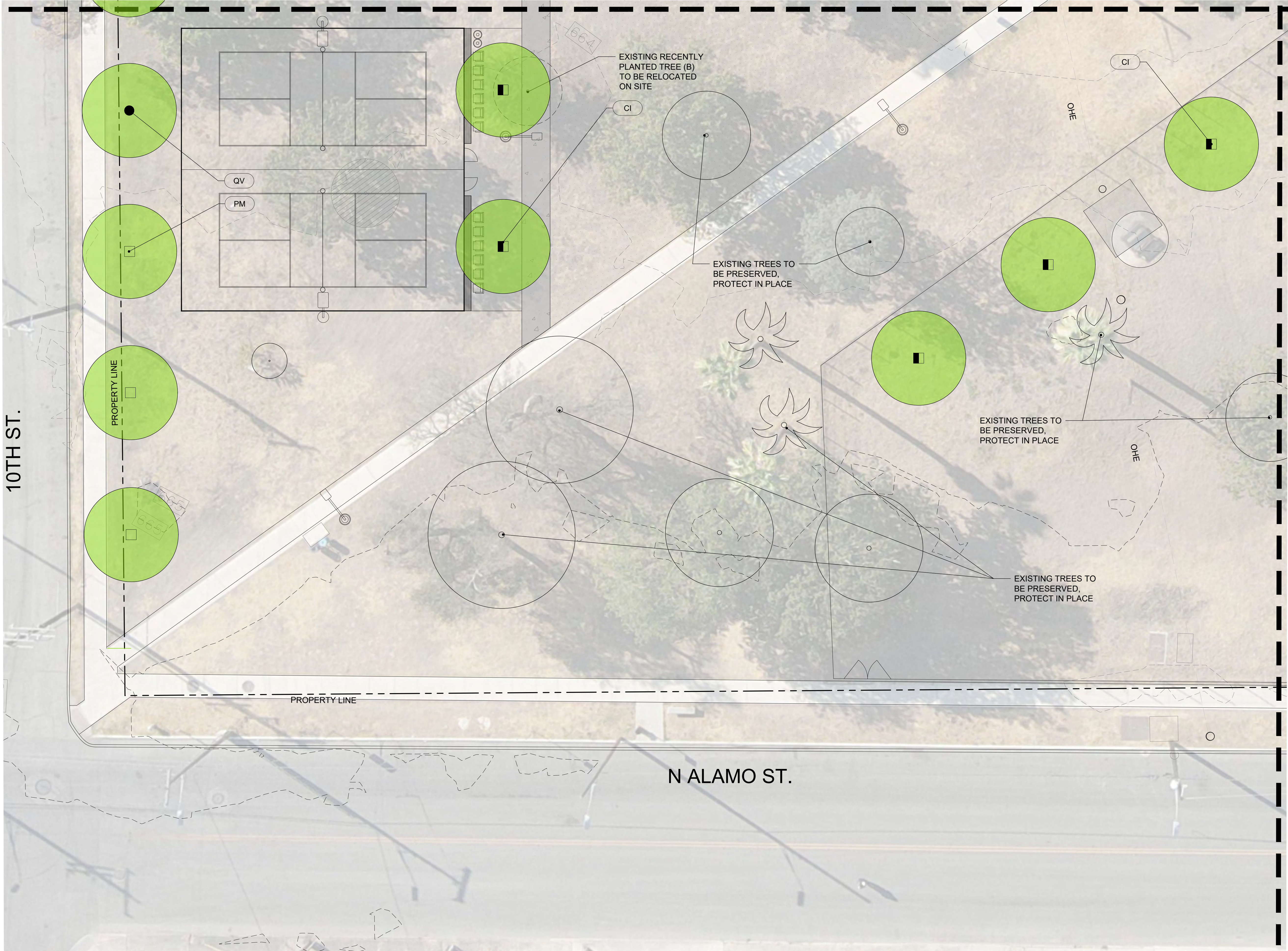
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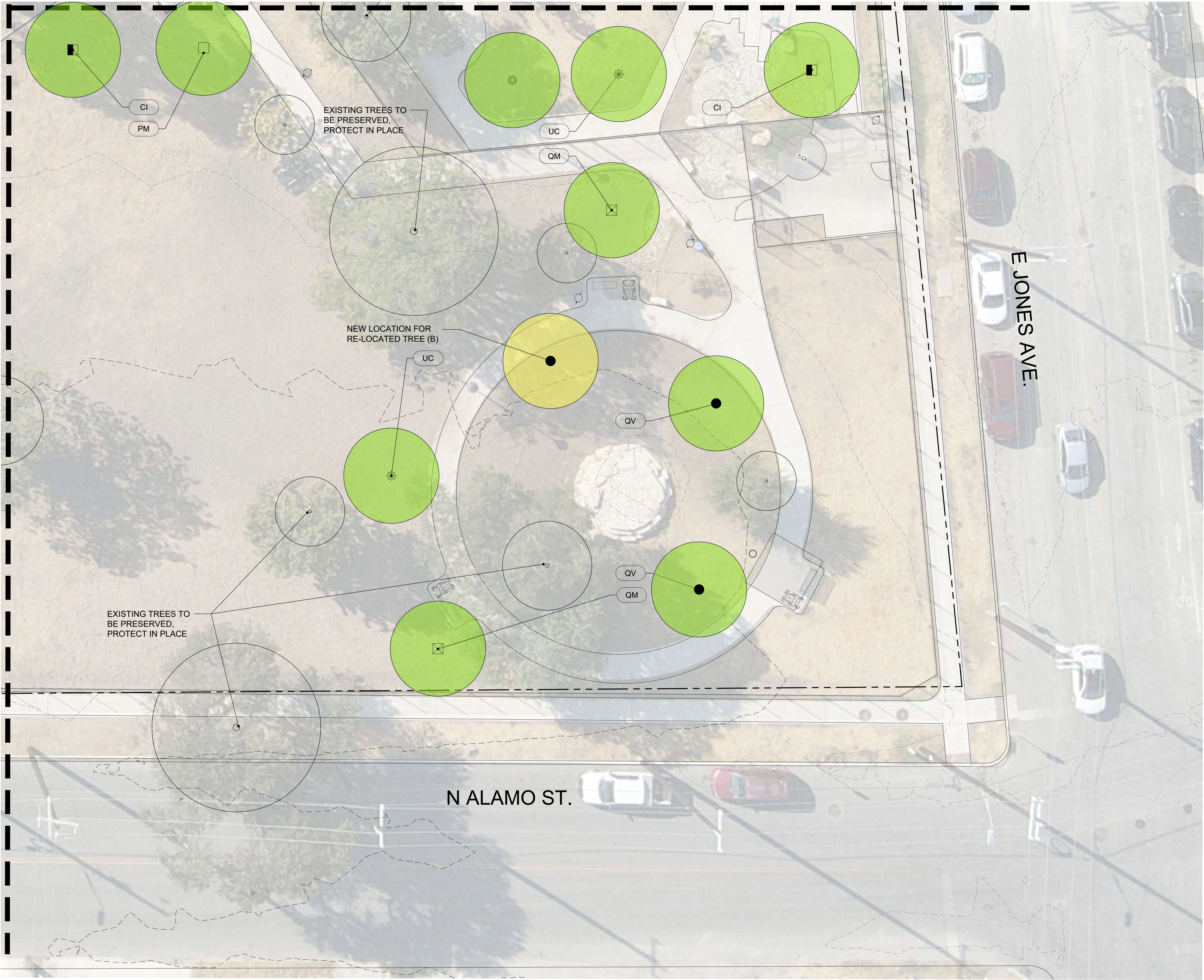
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**PLANTING
PLAN**

Sheet Number:

LP 1.3



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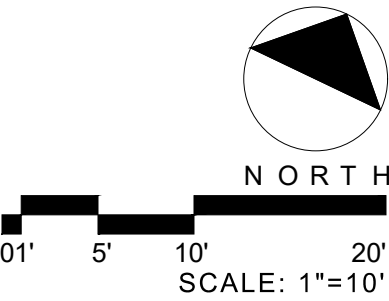
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PLANTING PLAN

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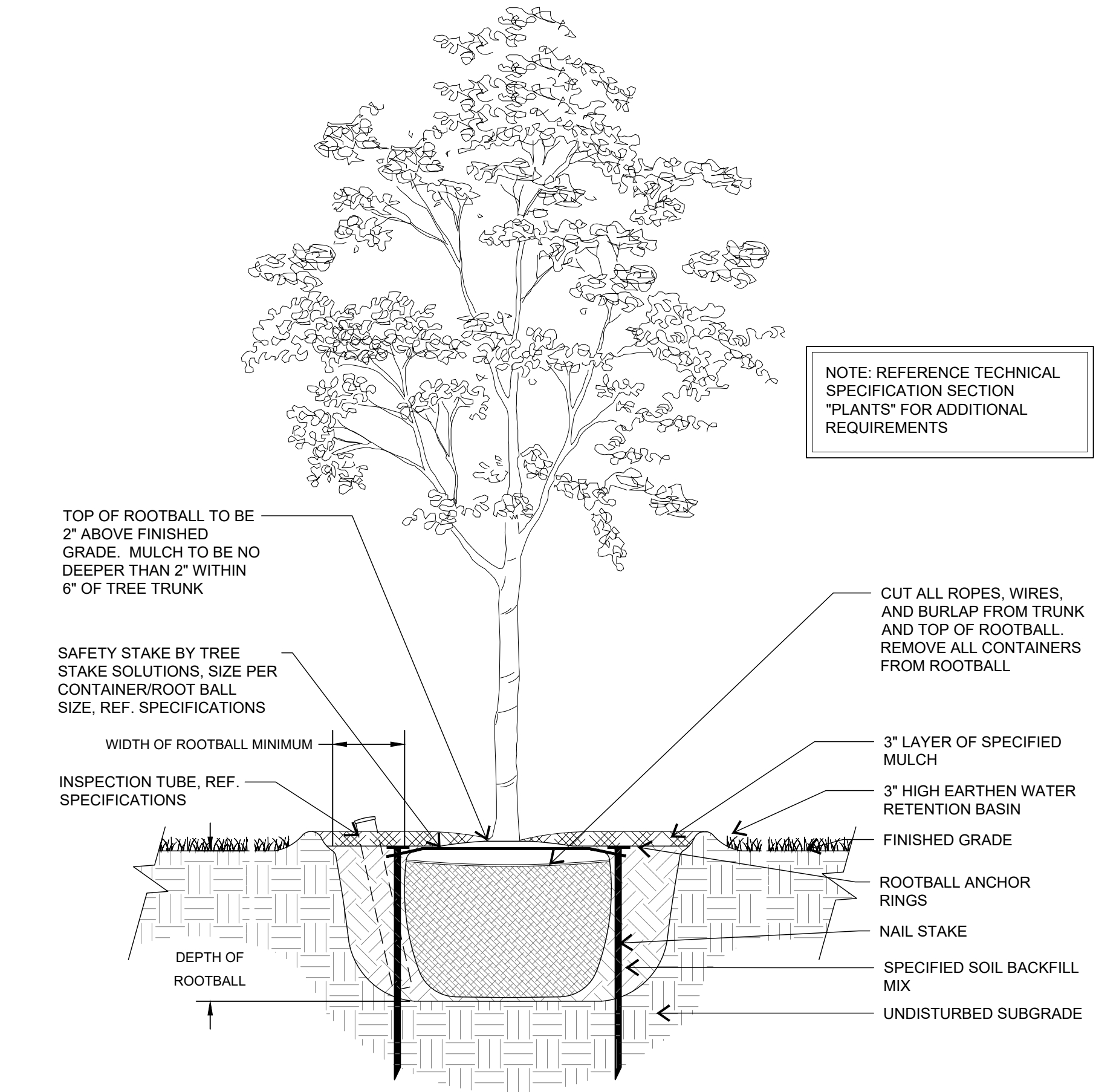
Sheet Title:

PLANTING
DETAILS

Sheet Number:

LP 2.1

PLANT LIST					
TREES					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
	CI	NATIVE PECAN	Carya illinoensis	4" CAL. 10 FT. HT. 5 FT. SPREAD	SINGLE TRUNK, STRAIGHT LEADER, UNIFORM, FULL CANOPY
	PM	MEXICAN SYCAMORE	Platanus mexicana	4" CAL. 10 FT. HT. 5 FT. SPREAD	SINGLE TRUNK, STRAIGHT LEADER, UNIFORM, FULL CANOPY
	QM	BUR OAK	Quercus macrocarpa	4" CAL. 10 FT. HT. 5 FT. SPREAD	SINGLE TRUNK, STRAIGHT LEADER, UNIFORM, FULL CANOPY
	QV	LIVE OAK	Quercus virginiana	6" CAL. 10 FT. HT. 5 FT. SPREAD	SINGLE TRUNK, STRAIGHT LEADER, UNIFORM, FULL CANOPY
		LIVE OAK	Quercus virginiana	RELOCATED FROM ON-SITE	SINGLE TRUNK, STRAIGHT LEADER, UNIFORM, FULL CANOPY
	UC	CEDAR ELM	Ulmus crassifolia	6" CAL. 10 FT. HT. 5 FT. SPREAD	SINGLE TRUNK, STRAIGHT LEADER, UNIFORM, FULL CANOPY



4 TREE PLANTING DETAIL
SECTION NOT TO SCALE

PART 1 GENERAL NOTES:
LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE IN ITS EXISTING CONDITION AND SHALL TIE NEW WORK TO EXISTING CONDITIONS AND CONTROLS (SUCH AS EXISTING GRADES AND WALK ELEVATIONS) AS NECESSARY TO MEET THE INTENT OF THE PLANS.

BEFORE PROCEEDING WITH ANY WORK IN AN AREA, LANDSCAPE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LAYOUTS AND SIZES AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS. IF ANY UTILITIES, SITE DEFECTS OR OBSTRUCTIONS ARE DISCOVERED DURING CONTRACT WHICH MAY NOT HAVE BEEN KNOWN DURING DESIGN, CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT BEFORE PRECEDING. LANDSCAPE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGE IF WORK PROCEEDS IN EITHER OF THE ABOVE SITUATIONS WITHOUT NOTIFYING LANDSCAPE ARCHITECT.
PRIOR TO ANY EXCAVATION, LANDSCAPE CONTRACTOR SHALL CONTACT APPROPRIATE AUTHORITIES INCLUDING, BUT NOT LIMITED TO, TEXAS ONE CALL SYSTEM AT 1-800-245-4545 TO LOCATE EXISTING UNDERGROUND UTILITIES.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY DAMAGE TO ANY UTILITIES OR PROPERTY THAT MAY OCCUR IN THE EXECUTION OF HIS CONTRACT WORK. WHEN WORK REQUIRES CROSSING EXISTING WALKS OR CURBS WITH EQUIPMENT, LANDSCAPE CONTRACTOR SHALL PROVIDE APPROVED BRIDGE MATERIAL SUCH AS WOOD PLANKS AND EARTH TO PREVENT DAMAGE TO FINISHED WORK. LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS THAT MAY BE WORKING ON THE SITE SIMULTANEOUSLY AND SHALL COORDINATE STAGING OF HIS WORK WITH OWNER AND LANDSCAPE ARCHITECT. ALL TRASH AND DEBRIS GENERATED FROM CONTRACT OPERATIONS SHALL BE REMOVED ON A DAILY BASIS. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY IN CONJUNCTION WITH HIS CONTRACT WORK.

REFERENCES
A.) AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z60.1 - NURSERY STOCK.
B.) TEXAS STATE DEPARTMENT OF AGRICULTURE (TDA) - NURSERY FLORAL LICENSING PROGRAM.

1.1 SUBMITTALS FOR REVIEW
A.) PRODUCT DATE: LIST OF CHEMICALS TO BE USED ON SITE.
B.) SAMPLES:
1. 1 QUART SAMPLES OF EACH SOIL AMENDMENT WITH ANALYTICAL DATA FROM A RECOGNIZED TESTING LABORATORY SHOWING MANUFACTURER'S GUARANTEED ANALYSIS.
2. 1 CUBIC FOOT SAMPLES OF PREMIXED BACKFILL MIXES.
C.) TEST RESULTS:
1. PROVIDE SOIL SAMPLE TEST RESULTS INDICATING PH, FERTILITY LEVELS, AND PERCENTAGES OF SAND, SILT, AND CLAY.
2. PROVIDE RECOMMENDATIONS FOR SOIL AMENDMENTS AND FERTILIZERS BASED ON SOIL ANALYSIS; FOR CONTRACT PURPOSES, USE MIXTURE SPECIFIED IN THIS SECTION.
D.) NURSERY QUALIFICATIONS: COMPANY SPECIALIZING IN GROWING AND CULTIVATING PLANTS SPECIFIED IN THIS SECTION WITH MINIMUM THREE YEAR DOCUMENTED EXPERIENCE, AND CERTIFIED BY THE STATE OF TEXAS.
E.) INSTALLER QUALIFICATIONS:
1. COMPANY SPECIALIZING IN LANDSCAPE INSTALLATION WITH MINIMUM THREE YEARS DOCUMENTED EXPERIENCE.
2. PROVIDE FULL-TIME SUPERINTENDENT ON-SITE DURING INSTALLATION.
F.) PLANT MATERIALS:
1. PLANT MATERIALS ARE SUBJECT TO EXAMINATION BY LANDSCAPE ARCHITECT AT PLACE OF GROWTH OR UPON DELIVERY TO PROJECT.

1.2 DELIVERY, STORAGE AND HANDLING
A.) DELIVER FERTILIZER IN WATERPROOF BAGS SHOWING WEIGHT, GUARANTEED CHEMICAL ANALYSIS, MANUFACTURER AND BRAND NAME, AND APPROVALS OF AUTHORITIES HAVING JURISDICTION.
B.) DELIVER PLANT MATERIAL WITH IDENTIFICATION TAG SHOWING BOTANICAL NAME AND PLANT SIZE.
C.) DELIVER PLANT MATERIAL IMMEDIATELY PRIOR TO INSTALLATION; PLANT MATERIALS ON SAME DAY AS DELIVERED. IF PLANTING CANNOT BE ACCOMPLISHED ON SAME DAY AS DELIVERY, PROVIDE ADDITIONAL PROTECTION TO MAINTAIN PLANTS IN HEALTHY AND VIGOROUS CONDITION.
D.) KEEP PLANT MATERIAL MOIST AND PROTECT FROM DAMAGE AND DESICCATION OF LEAVES UNTIL PLANTING.
E.) DO NOT HANDLE PLANT MATERIALS BY STEM OR TRUNK.
F.) KEEP CONTAINERS INTACT UNTIL JUST PRIOR TO PLANTING.

1.3 SEQUENCING
A.) INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWNS.

1.4 WARRANTY
A.) FURNISH WRITTEN WARRANTY THAT PLANT MATERIALS WILL BE IN HEALTHY, VIGOROUS, GROWING CONDITION ONE (1) YEAR AFTER FINAL ACCEPTANCE. DAMAGE DUE TO ACTS OF GOD, VANDALISM, OR NEGLIGENCE BY OWNER IS EXCLUDED.
B.) REPLACE DEAD, UNHEALTHY AND UNSIGHTLY PLANT MATERIALS WITHIN WARRANTY PERIOD. UPON NOTIFICATION BY OWNER OR LANDSCAPE ARCHITECT.
C.) NOTIFY OWNER AND LANDSCAPE ARCHITECT 30 DAYS PRIOR TO EXPIRATION OF WARRANTY PERIOD AND ARRANGE FINAL ACCEPTANCE INSPECTION BY ALL PARTIES.
1. REMOVE DEAD, UNHEALTHY, AND UNSIGHTLY PLANT MATERIALS.
2. REMOVE GUYING AND STAKING MATERIALS.
3. WARRANT REPLACEMENT PLANTS UNDER SAME PROVISIONS AND FOR SAME TIME PERIOD AS ORIGINAL PLANTS.

1.5 MAINTENANCE
1. MAINTAIN PLANT LIFE IMMEDIATELY AFTER PLACEMENT AND FOR NINETY (90 DAYS) AFTER FINAL ACCEPTANCE.
2. REPLACE DEAD OR DYING PLANTS WITH PLANTS OF SAME SIZE AND SPECIES SPECIFIED.
3. REMOVE TRASH, DEBRIS, AND LITTER, WATER, PRUNE, FERTILIZE, WEED, AND MOW. SPOT APPLY HERBICIDES, AND FUNGICIDE ONLY AS REQUIRED.
4. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
5. COORDINATE WITH OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM IRRIGATION SYSTEM.
6. RESET SETTLED PLANTS.
7. REAPPLY MULCH TO BARE AND THIN AREAS.

1.6 MATERIALS
A.) PLANT MATERIALS:
1. CERTIFIED IN ACCORDANCE WITH TDA REQUIREMENTS.
2. SPECIES AND SIZE AS INDICATED IN PLANT SCHEDULE. LARGER SIZE MAY BE SUBSTITUTED WITHOUT ADDITIONAL COST TOOWNER, PROVIDED ROOT BALL OR SPREAD INCREASES PROPORTIONATELY.
3. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
4. GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE AT SITE. FREE FROM DISEASE, INSECT INFESTATIONS, DEFECTS INCLUDING WEAK OR BROKEN LIMBS, CROTCHES, AND DAMAGED TRUNKS, ROOTS OR LEAVES, SUN SCALD, FRESH BARK ABRASIONS, EXCESSIVE ABRASIONS, AND OBJECTIONABLE DISFIGUREMENTS.
5. EXHIBIT NORMAL GROWTH HABITS; VIGOROUS, HEALTHY, FULL, WELL-PROPORTIONED, AND SYMMETRICAL.
6. TREE TRUNKS TO BE STURDY AND EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
7. NOT PRUNED, TRIMMED, OR TOPPED.
8. CONTAINER-GROWN STOCK: GROWN IN CONTAINERS FROM SEEDING.
B.) TOPSOIL:
TOPSOIL SHALL BE SECURED FROM AN APPROVED OFFSITE LOCATION. IT SHALL BE FERTILE, FRIABLE, NATURAL LOAM CONTAINING A LIBERAL AMOUNT OF HUMUS AND SHALL BE CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL BE FREE OF STONES, LUMPS AND CLODS OF HARD EARTH 1/2 INCH DIAMETER AND GREATER, PLANTS OR THEIR ROOTS, STICKS AND OTHER EXTRANEOUS MATTER. UNDER NO CIRCUMSTANCES WILL TOPSOIL BE ACCEPTED UNLESS IT IS FREE OF THE AFOREMENTIONED CONTAMINANTS. USE OF NON-COHESIVE SANDY LOAM SHALL NOT BE ACCEPTED.
C.) MULCH:
1. TREE BED: 3" DEPTH SHREDDED, COMPOSTED HARDWOOD BARK OF VARYING LENGTH BY NEW EARTH LLC. OR APPROVED SUBSTITUTE, PARTIALLY DECOMPOSED; FREE FROM STICKS, STONES, CLAY, AND GROWTH AND GERMINATION-INHIBITING INGREDIENTS.
2. SHRUB BED: 3" DEPTH TEXAS BLEND COBBLE BY KELLER MATERIAL OR APPROVED SUBSTITUTE.
D.) SOIL AMENDMENTS:
1. SOIL SULFUR: AGRICULTURAL GRADE SULFUR CONTAINING MINIMUM 99 PERCENT SULFUR EXPRESSED A ELEMENTAL.
2. IRON SULFATE: 20 PERCENT IRON EXPRESSED AS METALLIC IRON DERIVED FROM FERRIC AND FERROUS SULFATE AND 10 PERCENT SULFUR EXPRESSED AS ELEMENTAL. WHEN REQUIRED BY SOIL TESTS.
3. GYPSUM: AGRICULTURAL GRADE, CONTAINING MINIMUM 98 PERCENT CALCIUM SULFATE, WHEN REQUIRED BY SOIL TEST.
4. HERBICIDE: PRE-EMERGENT TYPE, SURFLAN OR APPROVED SUBSTITUTE.
5. FERTILIZER FOR TREES AT PLANTING: AGSAFE 20-10-5 PLANTING TABLETS PER LABEL INSTRUCTIONS
6. FERTILIZER FOR LAWN: PLANT HEALTH CARE GROUP "PHC FOR TURF 15-1-6" OR APPROVED EQUAL ORGANIC FERTILIZER APPLIED AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET.
7. FERTILIZER FOR PLANTER BED MIX: MEDINA 4-2-3 GRANULAR ORGANIC FERTILIZER APPLIED PER LABEL INSTRUCTIONS
H.) TURF:
1. ALL SEED USED SHALL BE HIGH QUALITY, EXTRA FANCY, TREATED LAWN TYPE SEED AT 98% PURITY AND 85% GERMINATION, AND SHALL BE FURNISHED IN SEALED STANDARD CONTAINERS WITH SIGNED COPIES OF A STATEMENT FROM THE VENDOR CERTIFYING THAT EACH CONTAINER OF SEED DELIVERED IS FULLY LABELED IN ACCORDANCE WITH THE TEXAS STATE AGRICULTURAL CODE AND IS EQUAL TO OR BETTER THAN THE REQUIREMENT OF THESE SPECIFICATIONS. LAWN SEED TO BE FREE OF WEEDS OR NOXIOUS GRASS SEEDS.
2. SEED WHICH HAS BECOME WET, MOLDY OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE WILL NOT BE ACCEPTED.
3. GRASS SEED SCHEDULE:
A. BERMUDA 419 SEED:
B. APRIL 15- SEPTEMBER 15 SHALL BE BERMUDA.
C. SEPTEMBER 15- APRIL 15 SHALL BE ANNUAL RYE GRASS.
4. "HYDRO-MULCH" AS MANUFACTURED BY CONWED, OR APPROVAL EQUAL. THE HYDO-MULCH SHALL BE COMPOSED OF WOOD CELLULOSE FIBER AND CONTAIN NO GERMINATION OR GROWTH-INHIBITING FACTORS.
5. HYRO-SEEDING ADDITIVE (BINDER): ECOLOGY 'CONTROL-M BINDER' ORGANIC SEEDING ADDITIVE.
6. SOD: PROVIDE FULL, DARK GREEN, UNIFORM, STRONGLY ROOTED SOD IN 16" X 24" STRIPS FREE FROM WEEDS, UNDESIRABLE GRASSES, DISEASES AND PESTS. SOD SHALL BE CUT FROM THE FIELD NO LONGER THAN 48 HOURS BEFORE PLANTING. ROOTS OF SOD SHALL BE KEPT MOIST.
7. BRACING: TREE ANCHORS SHALL BE AS PER DETAILS.
8. TREE PAINT: MORRISON TREE SEAL, CABORT TREE PAINT, OR OTHER PRODUCT APPROVED BE LANDSCAPE ARCHITECT.
9. PLANTER BED EDGING SHALL BE AS PER PLANS
10. PLANTER BED EDGING SHALL BE AS PER PLANS
F.) MIXES:
1. PLANT BED MIX:
PLANT BED MIX SHALL BE NEW EARTH 4 WAY MIX AS PRODUCED BY NEW EARTH LLC PH. 210-661-5180, SECOND NATURE 4 WAY MIX, 210-960-6440, URBAN SOIL 4 WAY MIX, 210-440-1049. DOCUMENTATION OF PURCHASE OF ONE OF THESE SPECIFIC MIXES SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT. IF EQUAL IS PROPOSED, CONTRACTOR SHALL SUBMIT SAMPLE AND COMPLETE ANALYSIS WITH TEST RESULTS AND METHOD OF PRODUCTION FOR EVALUATION AS AN EQUAL SUBSTITUTE.
6" DEPTH SHALL BE MINIMUM APPLICATION IN ALL BED AREAS AND 8" MIN. IN ALL SHRUB PIT PLANTING AREAS.
2. SOD/HYDROMULCH AREAS:
4" MIN. OF ENRICHED TOPSOIL FROM SECOND NATURE, NEW EARTH, OR APPROVED EQUAL, IF HYDROMULCHING ON UNDISTURBED NATIVE SOIL 2" MIN. ENRICHED TOPSOIL IS ACCEPTED.

PART 2 EXECUTION:

2.1 PREPARATION
UNLESS SHOWN OTHERWISE ON THE PLANS LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE AT APPROXIMATELY FINISH GRADE LESS ANY SETTLEMENT THAT MAY HAVE OCCURRED SINCE SITE CONSTRUCTION AND BACKFILLING. THIS GRADE SHALL BE RAKED TO REMOVE ALL DEBRIS INCLUDING STICKS, CLODS, AND STONES AND SHALL BE FINE GRADED TO ELIMINATE ALL HUMPS, RUTS, DEPRESSIONS AND ABRUPT CHANGES IN GRADE AND ANY AREA THAT COULD CAUSE WATER TO POND.
A.) PRIOR TO PLANTING IF VEGETATION IS GROWING IN PLANTING/LAWN AREA, APPLY HERBICIDE AT RATES RECOMMENDED BY MANUFACTURER. ALLOW TO DIE, AND THEN GRUB OUT ROOTS TO MINIMUM 1/2 INCH DEPTH.
B.) MARK LOCATION OF TREES AND OUTLINES OF PLANT BEDS USING COLORED WOOD STAKES OR FLAGS PRIOR TO BEGINNING PLANTING; OBTAIN LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PROCEEDING.

2.2 PLANTING TREES AND SHRUBS
A.) REMOVE CONTAINERS WITHOUT DAMAGE TO ROOTS.
B.) REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS; REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING. PREVENT DAMAGE TO ROOTS.
C.) REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAP TREES AFTER PLACEMENT.
D.) PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. PULL ANY WEEDS GROWING IN TREE BALL AND EXPOSE ROOT FLARE (THIS WILL BE THE TOP MOST IDENTIFIABLE ROOT). REMOVE ANY GIRDLING ROOTS AND SET PLANT SO THAT ROOT FLARE IS 1" ABOVE FINISH GRADE. ORIENT PLANTS FOR BEST APPEARANCE. BACKFILL THE BOTTOM 1/3 OF THE EXCAVATION WITH SOIL CUT FROM EXCAVATION OF PIT AND THOROUGHLY WATER THIS SOIL TO SETTLE IN. BACKFILL THE REMAINDER OF THE EXCAVATION WITH A 50/50 MIX OF PLANT BED MIX AND NATIVE SOIL EXCAVATED FROM THE PIT. IN BACKFILL MANUFACTURERS DIRECTION AND APPLICATION RATES. LIGHTLY TAMP AND WATER SOIL TO REMOVE ALL AIR POCKETS. FOR PLANTS OUTSIDE OF PLANTING BEDS, CONSTRUCT 3 INCH HIGH WATER CONTAINMENT RING AROUND PLANT. SPREAD MULCH TO MINIMUM 4 INCH DEPTH OVER PLANT BASIN.
E.) ADJUST PLANT HEIGHT IF SETTLEMENT OCCURS AFTER BACKFILL AND STAKE AS DETAILED.
1. TWO TO THREE WEEKS FOLLOWING PLANTING, INJECT PLANT HEALTH CARE INJECTABLE INOCULATE AROUND ROOT BALL FOLLOWING MANUFACTURER'S DIRECTIONS AND APPLICATION RATES. CONTACT LANDSCAPE ARCHITECT TO OBSERVE THIS OPERATION.
F.) TRIM PLANTS TO REMOVE DEAD AND INJURED BRANCHES ONLY. TREAT CUTS OVER 3/4 INCH DIAMETER WITH TREE PAINT.
G.) BRACE PLANTS OVER 65 GALLONS SIZE IMMEDIATELY AFTER PAINTING:
1. FOR TREES 2" CAL. AND GREATER PROVIDE STAKING AS DETAILED. POSITION TO PREVENT HAZARDS TO PEDESTRIANS.
2. DO NOT RESTRICT PLANT MOVEMENT UNDER LIGHT WIND LOADS OR DAMAGE BARK.

2.3 PLANT BEDS (PLANTING MASS SHRUBS, GROUNDCOVERS), AND ANNUALS (SEE DETAILS)
A.) EXCAVATE PLANT BED TO DEPTH AS DETAILED ON PLANS.
B.) BACKFILL WITH SPECIFIED 4-WAY MIX AND FERTILIZER AS SPECIFIED FOLLOWING MANUFACTURERS INSTRUCTIONS.
C.) INSTALL METAL EDGINGS TO SEPARATE ALL PLANTER BEDS FROM TURF AND AT LOCATIONS INDICATED ON PLANS.
D.) PLACE PLANTS IN STRAIGHT, EVENLY SPACED ROWS AT SPACING INDICATED ON DRAWINGS, TO UNIFORMLY FILL BEDS. USE TRIANGULAR SPACING METHOD UNLESS OTHERWISE INDICATED.
E.) WATER PLANTS THOROUGHLY IMMEDIATELY AFTER PLANTING. REPAIR SETTLED AREAS.
F.) ADJUST FINAL GRADES TO 1/2 INCH BELOW ADJACENT PAVING CURBS.
G.) SPREAD MULCH TO MINIMUM 4 INCH DEPTH OVER PLANT BEDS AS DETAILED.

2.4 CLEANING AND ADJUSTING
A.) REMOVE PLANT CONTAINERS, TRASH, RUBBISH, AND EXCESS SOILS FROM SITE DAILY AND AT COMPLETION OF TREE, SHRUBS AND GROUNDCOVER PLANTING.
B.) REPAIR RUTS, HOLES AND SCARS IN GROWING SURFACE.

2.4 LAWN APPLICATION (AT COMPLETION OF TREE, SHRUB AND GROUNDCOVER PLANTINGS)
A.) COORDINATION:
1. HYDROMULCH AND SOD AFTER TREE, SHRUB AND GROUNDCOVER INSTALLATION IS COMPLETE.
1. CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR TO INSURE FUNCTIONAL IRRIGATION SYSTEM PRIOR TO ANY LAWN INSTALLATION.
B.) PREPARATION:
1. PRE-PLANT WEED CONTROL:
IF WEEDS EXIST WITHIN PROPOSED LANDSCAPE AREAS AT THE BEGINNING OF WORK, SPRAY WITH VINEGAR AND ORANGE OIL SOLUTION, AS RECOMMENDED AND APPLIED BY AN APPROVED LICENSED APPLICATOR. CLEAR AND REMOVE THESE EXISTING WEEDS UPON SOLUTION'S COMPLETED ACTION BY GRUBBING OFF ALL PLANTS AT LEAST 1/2"-1" BELOW THE SURFACE OF THE SOIL. CONTRACTOR TO SCARIFY GROUND SURFACE TO A MINIMUM 2" DEPTH FOR ALL GRASSES AND REMOVE ALL STICKS, TRASH, ROCKS AND OTHER DEBRIS AND DISPOSE OFF SITE.
IF EXISTING SOIL IN AN AREA IS FOUND TO BE CONTAMINATED OR OTHERWISE UNSUITABLE, CONTRACTOR SHALL PROVIDE COST PER CUBIC YARD TO REPLACE WITH SOIL SUITABLE FOR TURF.
CONTRACTOR TO RAKE ENTIRE AREA, LEVELING ANY IMPERFECTIONS IN THE GRADE. LANDSCAPE CONTRACTOR TO ENSURE THAT THERE WILL BE POSITIVE DRAINAGE AND NO PONDING ON SITE. FINISHED GRADE OF LAWN AREAS TO BE 1/2" BELOW TOP OF CURBS, SIDEWALKS AND OTHER PAVEMENTS. REMOVE ANY LARGE (GREATER THAN 1") DIRT CLODS, ROCKS, AND TRASH AND PREPARE A SMOOTH, LEVEL, LOOSE AND COARSE SURFACE. LANDSCAPE ARCHITECT TO APPROVE FINE GRADING PRIOR TO ANY LAWN INSTALLATION. LAWN BED SHALL BE MOIST (BUT NOT MUDDY) TO RECEIVE SEED AND SOD.
C.) HYDROMULCH APPLICATION:
1. FOR ALL HYDROMULCH AREAS, INSTALL SOD STRIPS OF TURF ADJACENT TO FINISH PAVING AND CURBS AND AS SHOWN ON PLANS. LAWN AREAS TO BE SEEDED IMMEDIATELY AFTER PREPARATION OF THE BED. APPLY A UNIFORM COAT OF HYDROMULCH AT THE RATES SPECIFIED BELOW:
SEED:
1). REFERENCE PLANS
2). ANNUAL RYE GRASS -8 LBS./1,000 S.F.
B. WOOD CELLULOSE FIBER MULCH - 60 LBS./1,000 S.F.
C. FERTILIZER: "PHC FOR TURF" AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET.
D. INCORPORATE A TACKIFIER WITH MULCH CAP. DELAY IRRIGATION 8 HOURS TO PERMIT TACKIFIER TO SET.
3. SEED AREAS WITHIN SEEDING LIMITS INDICATED ON THE PLAN AND AREAS DISTURBED BY CONSTRUCTION OPERATIONS. PROTECT EXISTING UTILITIES (INCLUDING IRRIGATION SYSTEM), PLANTING, PAVING, FENCING, AND OTHER SITE AMENITIES FROM DAMAGE CAUSED BY HYDROMULCHING OPERATION.
4. IMMEDIATELY FOLLOWING APPLICATION OF HYDROMULCH, THE CONTRACTOR SHALL WASH EXCESS HYDROMULCHING MATERIAL FROM PREVIOUSLY PLANTED MATERIAL, ARCHITECTURAL FEATURES, ETC.. CARE SHALL BE EXERCISED TO AVOID WASHING OR ERODING MULCH MATERIALS FROM LAWN AREA.
5. UPON ESTABLISHMENT OF LAWN, APPLY A POST EMERGENT HERBICIDE FOR CONTROL OF NUT GRASS AND WEEDS. FERTILIZE AT 45 DAY INTERVALS WITH SPECIFIED PLANT HEALTH GROUP'S FERTILIZER AT A RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET DURING AT 45 DAY INTERVALS DURING THE 90 DAY MAINTENANCE PERIOD.
6. SHOULD LAWN AREAS BE SEEDED WITH ANNUAL RYE GRASS THE CONTRACTOR SHALL RETURN TO THE SITE BETWEEN APRIL 15 AND MAY 15 TO RE-PREPARE SEED BED AND HYDROMULCH WITH BERMUDA SEED IN ORDER TO ESTABLISH A PERMANENT TURF COVER IN ALL LAWN AREAS.
D.) SOD INSTALLATION:
1. INCORPORATE SPECIFIED LAWN FERTILIZER AT SEVEN (7) POUNDS PER 1000 SQUARE FEET OF LAWN AREA FOR SOD.
2. IF WEEDS EXIST WITHIN PROPOSED LANDSCAPE AREAS AT THE BEGINNING OF WORK, SPRAY WITH VINEGAR AND ORANGE OIL SOLUTION, AS RECOMMENDED AND APPLIED BY AN APPROVED LICENSED APPLICATOR. CLEAR AND REMOVE THESE EXISTING WEEDS UPON SOLUTION'S COMPLETED ACTION BY GRUBBING OFF ALL PLANTS AT LEAST 1/2"-1" BELOW THE SURFACE OF THE SOIL. LAY SOD WITHIN 24 HOURS FROM TIME OF STRIPPING.
3. LAY SOD TO FORM SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD; REMOVE EXCESS SOD TO AVOID SMOTHERING ADJACENT GRASS.
4. SOD PADS SHALL BE OF FULLEST SIZE POSSIBLE-NO SOD SLIVERS WILL BE PERMITTED.
5. FINISHED GRADE OF NEW SOD SHALL BE FLUSH WITH ADJACENT LAWN AND PAVEMENT. ENSURE POSITIVE DRAINAGE.
6. ROLL ENTIRE SODDED AREA WITH SOD ROLLER. WATER SOD THOROUGHLY.

2.5 ACCEPTANCE
A.) PRIOR TO SCHEDULING A SUBSTANTIAL COMPLETION INSPECTION LANDSCAPE CONTRACTOR SHALL THOROUGHLY CLEAN SITE OF ALL DEBRIS AND TRASH AND REPAIR ANY DAMAGE TO FINISH GRADE. WHEN LANDSCAPE WORK IS COMPLETE A SUBSTANTIAL COMPLETION INSPECTION WILL BE HELD. FOLLOWING COMPLETION OF ANY PUNCH LIST ITEMS GENERATED FROM THE SUBSTANTIAL COMPLETION INSPECTION A FINAL INSPECTION WILL BE HELD AND IF FOUND ACCEPTABLE A CERTIFICATE OF FINAL ACCEPTANCE WILL BE ISSUED.
B.) LANDSCAPE CONTRACTOR SHALL CONTINUE MAINTENANCE UNTIL FINAL ACCEPTANCE AT WHICH TIME THE SPECIFIED MAINTENANCE PERIOD WILL BEGIN.

END OF SPECIFICATIONS
REV 5/8/19



Project Number:
23007

MAVERICK PARK
1000 BROADWAY , SAN ANTONIO, TX

Client:
CITY OF SAN ANTONIO PUBLIC WORKS DEPARTMENT

50% CD SET

Date Issued:
OCTOBER 18, 2024

Revisions:

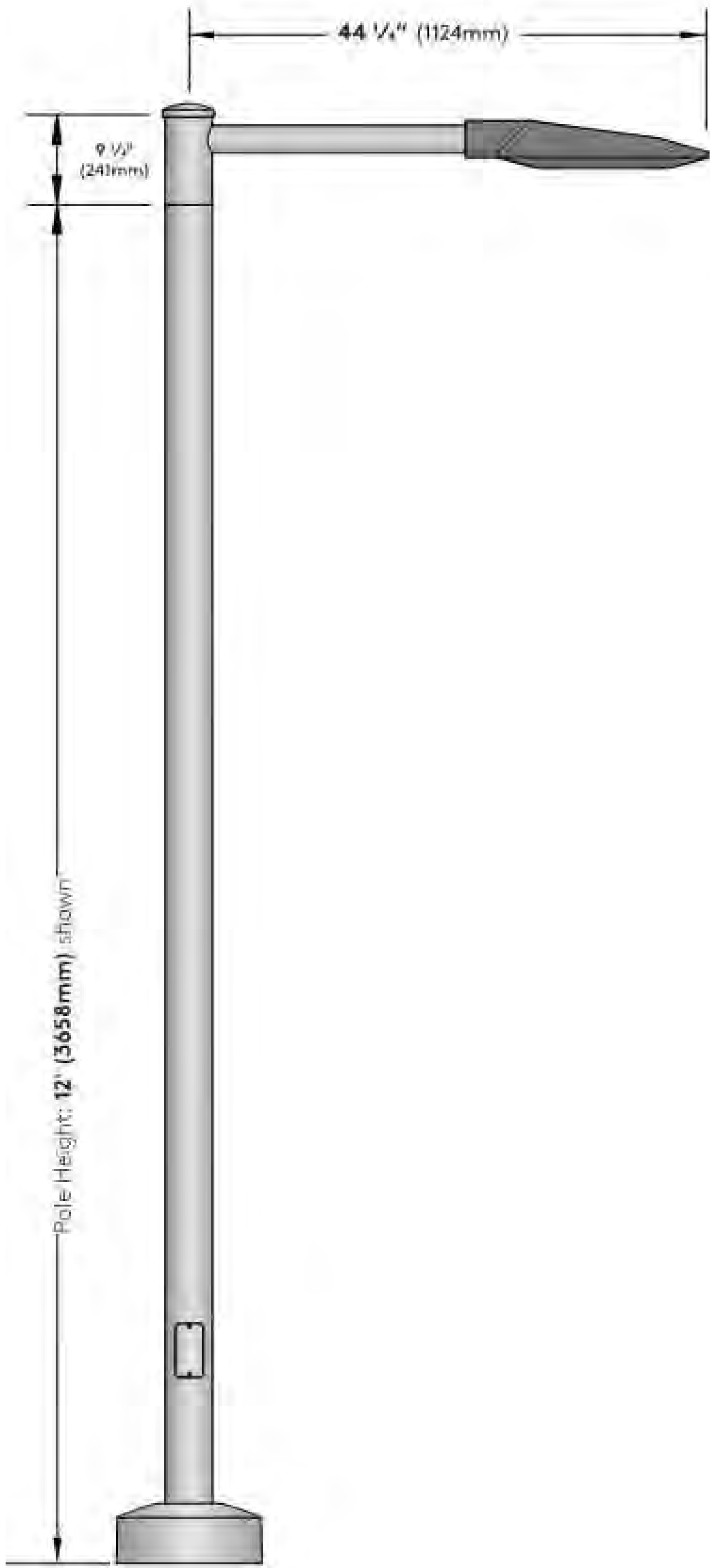
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PLANTING
DETAILS

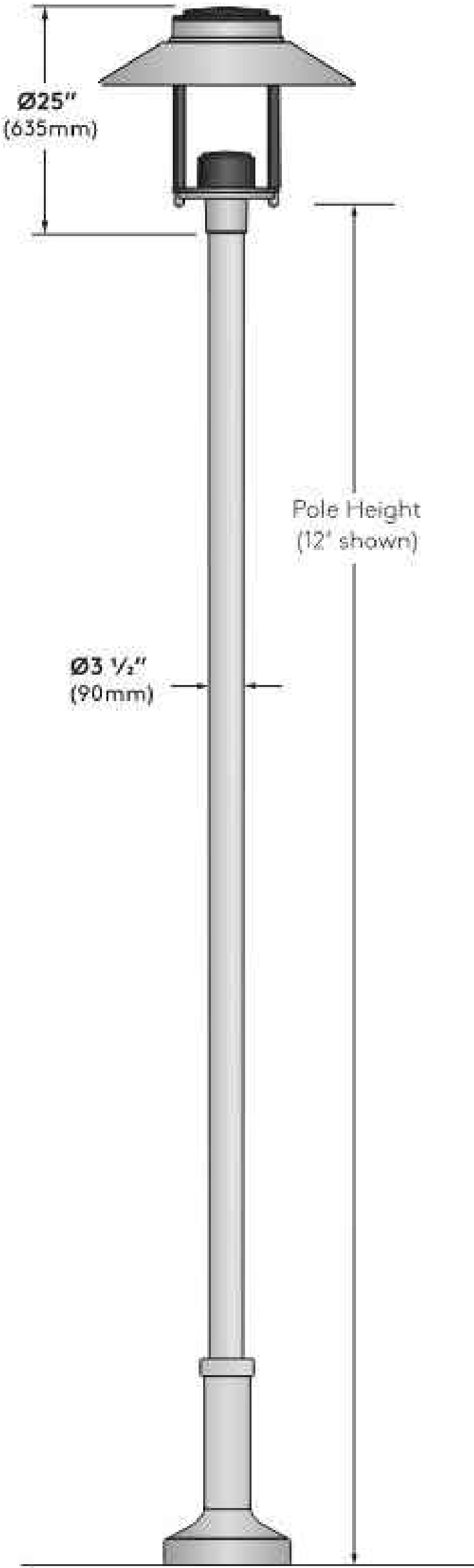
Sheet Number:

LP 2.1

- LANDSCAPE LIGHTING NOTES:
- 1.) ALL LANDSCAPE LIGHTS SHALL OPERATE AT 120V.
 - 2.) LOCATION OF JUNCTION BOXES, TRANSFORMERS, AND CONTROL PANELS SHALL BE COORDINATED WITH THE POWER PROVIDER, CLIENT, AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - 3.) LOCATION OF LANDSCAPE LIGHT FIXTURES INDICATED ON PLANS. REFER TO ELECTRICAL PLANS FOR LOCATION OF CONDUIT, JUNCTION BOXES, CIRCUITS, CONTROL PANELS, GROUND FAULT INTERRUPTERS, AND OTHER SYSTEM COMPONENTS REQUIRED.
 - 4.) THE OWNER SHALL PROVIDE AN ON-SITE POWER SOURCE FOR CONTRACTOR'S ELECTRICAL CONNECTION. THE POWER SOURCE SHALL BE LOCATED WITHIN THE UTILITY EASEMENT NO FURTHER THAN 100' FROM THE NEAREST LIGHT FIXTURE OR JUNCTION BOX TO BE INSTALLED BY THE CONTRACTOR.
 - 5.) THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND SHALL CONFORM WITH LOCAL, STATE, AND FEDERAL BUILDING CODES.
 - 6.) TREE UPLIGHTS SHALL BE LOCATED 3' MIN. FROM THE TRUNK AND WITHIN THE TREE MULCH RING OR PLANTING BED. FIXTURES SHALL NOT BE AIMED TOWARD ONCOMING TRAFFIC. CONTRACTOR SHALL FLAG LIGHT LOCATIONS FOR APPROVAL PRIOR TO INSTALLATION.
 - 7.) CONTRACTOR SHALL ADJUST LIGHT BEAM ANGLE, SPREAD, AND SPOT LOCATIONS AS REQUIRED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL APPROVAL.
 - 8.) ONE DUAL OUTLET, GROUND FAULT INTERRUPTER RECEPTACLE WITH WEATHERPROOF COVER AND U.L. LISTED FOR WET LOCATIONS WITH COVER OPEN OR CLOSED (WITH PLUG INSERTED) SHALL BE LOCATED AT SIGN WALL, AND AT THE TREE UPLIGHTS.
 - 9.) CONTRACTOR TO PROVIDE SERVICE AND METER TO NEAREST AVAILABLE POWER SOURCE. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND RISER DIAGRAM TO LOCAL BUILDING DEPARTMENT TO OBTAIN PERMIT PRIOR TO CONSTRUCTION.



2 PICKLEBALL LIGHT
L2 - PHOTO REFERENCE



1 POLE LIGHT
L1 - PHOTO REFERENCE

LIGHTING					
KEY	DESCRIPTION/MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
L1	PEDESTRIAN POLE LIGHT: SELUX SATURN CUTOFF 2 LED - SAC 2L-1-XX-DS SINGLE MOUNT (1) ROUND STRAIGHT ALUMINUM 18" POLE (A35) STANDARD BASE COVER (BC5) MOTION SENSOR WITH OPTIONAL PHOTOCELL (MS)	BRONZE	N/A	COMPANY: SPECTRUM LIGHTING CONTACT: DENNIS GOLSCH PHONE: (210)-930-7533 EMAIL: DGOLSCH@SPECTRUMSA.COM	• CONTRACTOR TO SUBMIT PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION COORDINATE LOCATION OF LIGHTS IN TREE WITH LANDSCAPE ARCHITECT
L2	PICKLEBALL LIGHT: SELUX AVANZA 450 SINGLE POLE ADAPTER (SA) MOTION SENSOR WITH OPTIONAL PHOTOCELL (MS)	BRONZE	N/A	COMPANY: SPECTRUM LIGHTING CONTACT: DENNIS GOLSCH PHONE: (210)-930-7533 EMAIL: DGOLSCH@SPECTRUMSA.COM	• CONTRACTOR TO SUBMIT PRODUCT DATA FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION

FOR REVIEW ONLY.
Not for regulatory approval,
permitting or construction.

OCTOBER 18, 2024

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MAVERICK PARK
1000 BROADWAY, SAN ANTONIO, TX

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CITY OF SAN ANTONIO PUBLIC
WORKS DEPARTMENT

50% CD SET

Date Issued:
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Revisions:

Sheet Title:
**LIGHTING
SCHEDULE**

Sheet Number:
LL 1.1

MAVERICK PARK
BOND IMPROVEMENTS
HDRC - CONCEPTUAL APPROVAL
NOVEMBER 6th, 2024



CITY OF SAN ANTONIO
**PUBLIC WORKS
DEPARTMENT**





low impact development bioswale and entry plaza



park signage



portland loo



dog park



pavilion

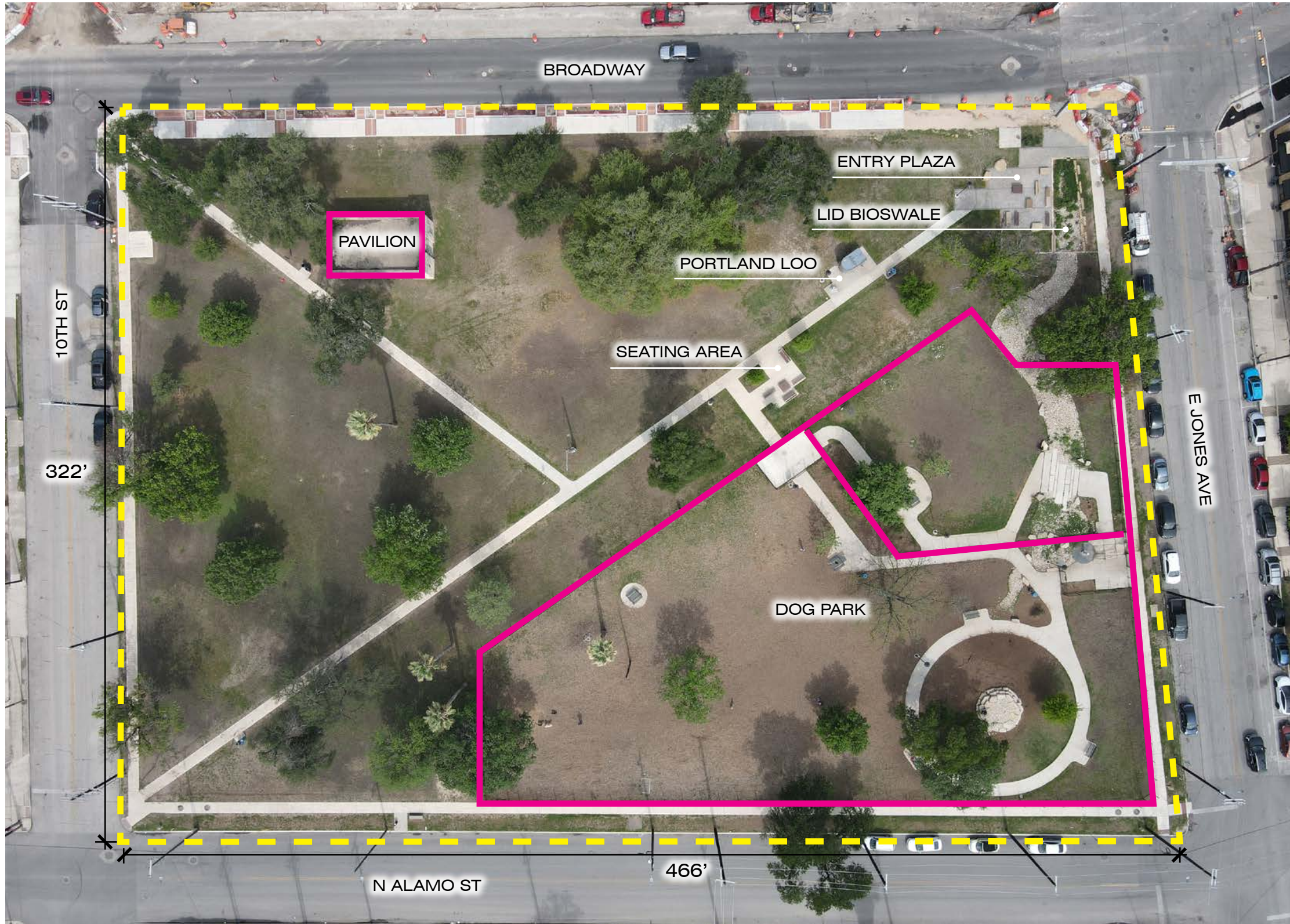


broadway streetscape



seating area

MAVERICK PARK: EXISTING SITE PHOTOS



- Total Area: 3.44 Acres (322 ft x 466 ft)
- dog park; picnic tables; pavilion;portland loo; trash and recycle bins; low impact development landscaping

MAVERICK PARK: EXISTING AERIAL

San Antonio, Texas

COSA Public Works Department

November 6TH, 2024

025'50'

HDRC Conceptual Approval



South Facade



(1) canale scupper missing and capped, needs repair, re-open, re-pointing joints and fill in cavities on stone.



Clean stonework, repair (1) canale scupper to function properly.



Repair pits and cavities on stone arch (typical condition).



Trim tree limbs back from south façade parapet.

MAVERICK PARK: PAVILION EXISTING CONDITIONS



East Facade



Clean stonework, (3) canales scuppers missing and capped, needs repair, re-open, re-point mortar joints.



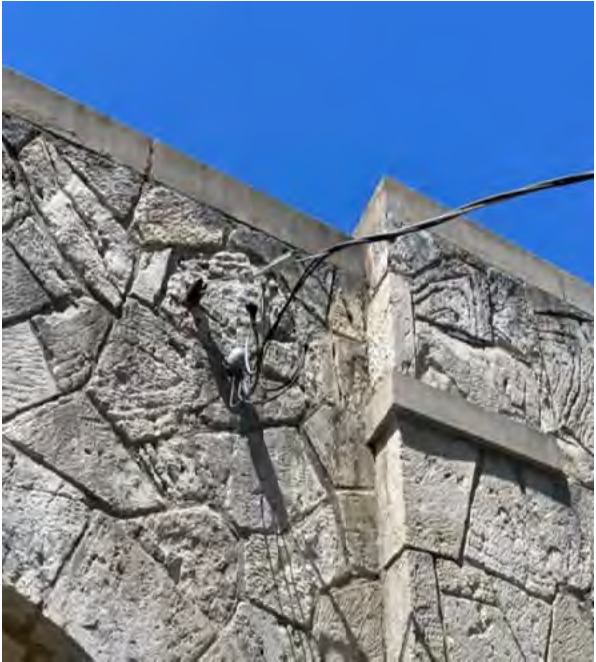
Door, door frame and hardware replacement.



Re-open (1) circular ventway and install new wood grille and mesh backer.



Repair cast stone bands where eroded or damaged.



Clean stonework typ. Remove electrical wiring. re-point mortar joints.



Clean stonework typ. Re-point mortar joints. Rust deposits left from previous iron gates (typical inside archways).

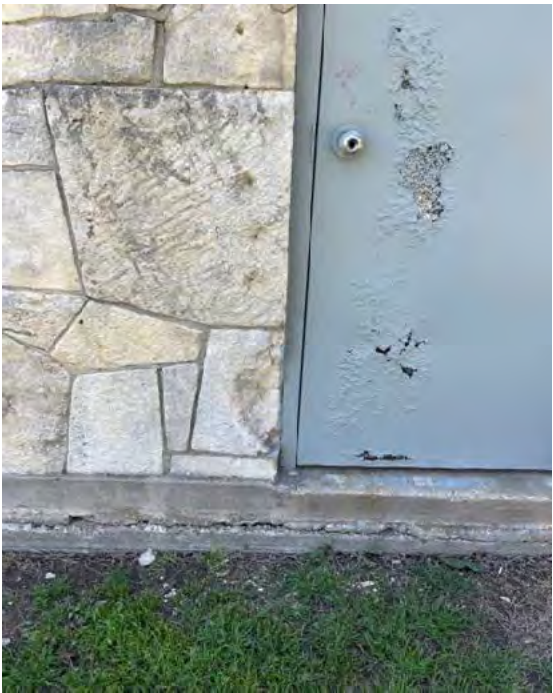
MAVERICK PARK: PAVILION EXISTING CONDITIONS



North Facade



Clean stonework, remove rusted scupper box and downspout, re-point mortar joints & patch stone at scupper opening.



(2) Door, door frame and hardware replacement.



Remove CMU screen and rusted steel lintel, replace with new terra cotta breeze block infill and steel lintel.



Clean stonework typ. Re-point mortar joints. Re-open circular ventway and install new wood vent cover. Patch cast stone banding above window opening.



Clean stonework typ. Re-point mortar joints. Re-open (2) circular ventway and install new wood grille and mesh backer.

MAVERICK PARK: PAVILION EXISTING CONDITIONS



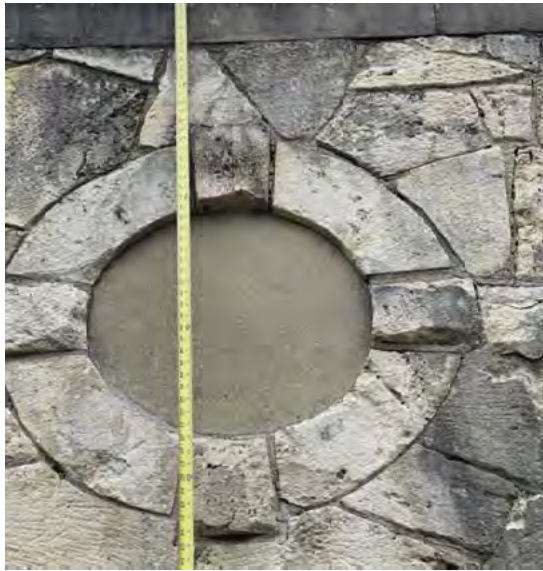
West Facade



Clean stonework, re-point mortar joints.



Protect dedication plaque during construction phase.



Re-open (1) circular ventway and install new wood grille and mesh backer.



Remove CMU screen and rusted steel lintel, replace with new terracotta breeze block infill and steel lintel.

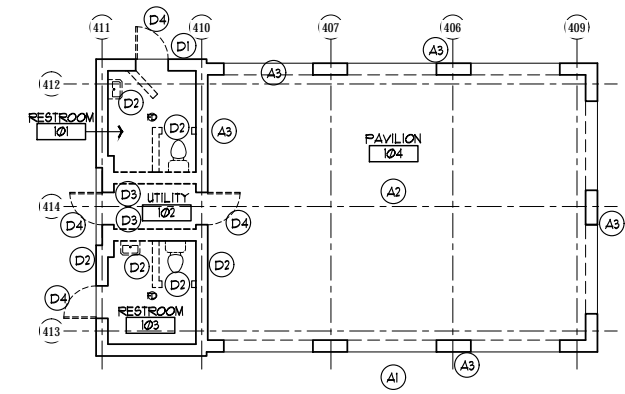


(2) canales scuppers missing and capped, needs repair, re-open, re-point mortar joints.

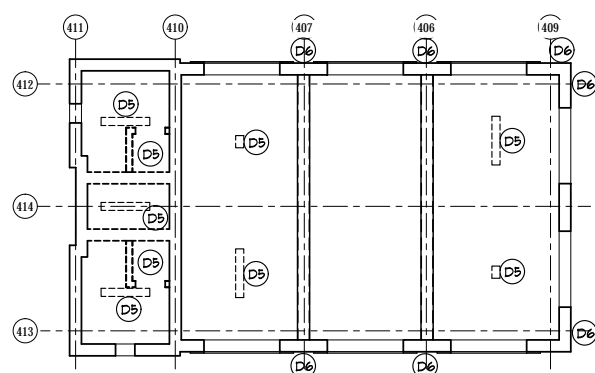


Repair and clean damaged cast stone bands.

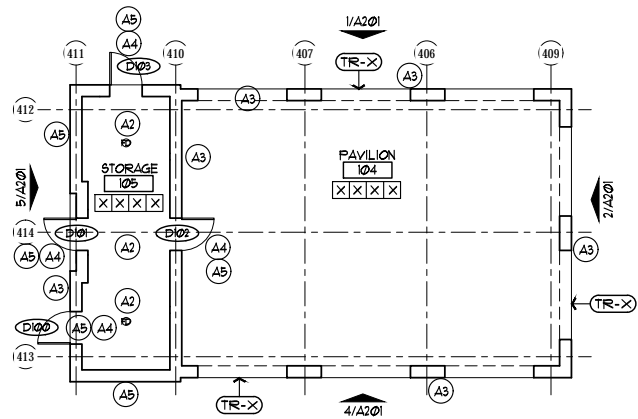
MAVERICK PARK: PAVILION EXISTING CONDITIONS



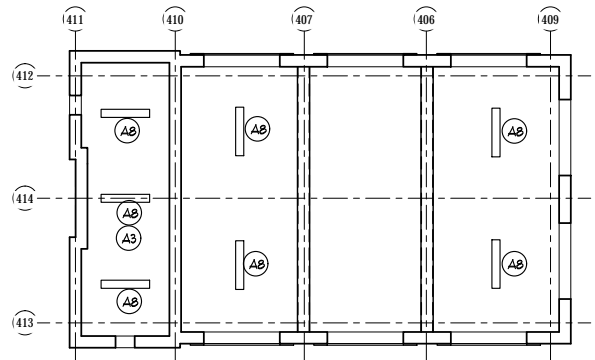
2 DEMO FLOOR PLAN - PAVILION
SCALE: 1/8" = 1'-0"



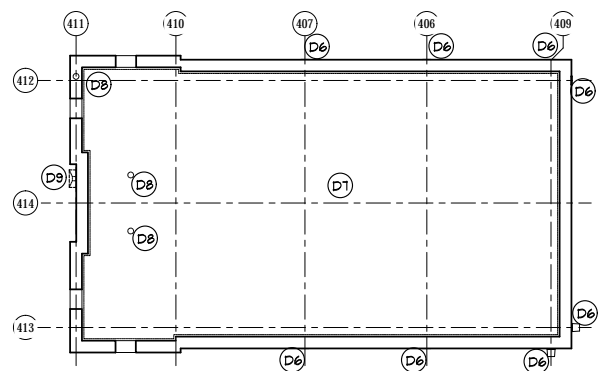
3 DEMO RCP - PAVILION
SCALE: 1/8" = 1'-0"



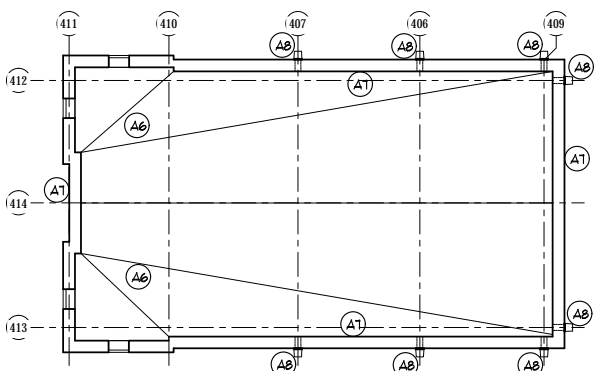
4 FLOOR PLAN NEW WORK - PAVILION
SCALE: 1/8" = 1'-0"



5 RCP NEW WORK - PAVILION
SCALE: 1/8" = 1'-0"



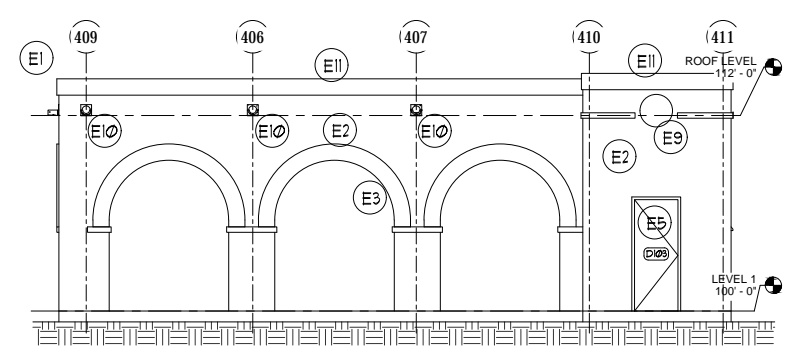
6 ROOF PLAN DEMO WORK - PAVILION
SCALE: 1/8" = 1'-0"



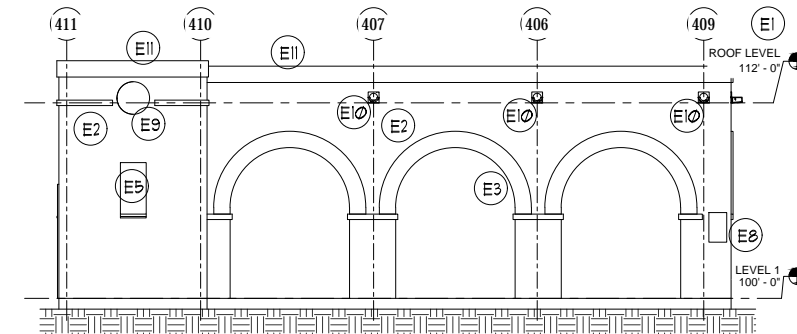
7 ROOF PLAN NEW WORK - PAVILION
SCALE: 1/8" = 1'-0"

- KEY NOTES - FLOOR PLAN, RCP & ROOF DEMOLITION
- (D1) EXISTING OVERHEAD ELECTRICAL SERVICE TO BE REMOVED. CONDUITS, STUB UPS & ALL OTHER COMPONENTS TO THE ELECTRICAL SYSTEM ARE TO REMAIN.
 - (D2) PLUMBING FIXTURES & ALL ASSOCIATED PIPING TO BE REMOVED. REFER TO PLUMBING DRAWINGS. REMOVE GRAB BARS & ALL PLUMBING ACCESSORIES.
 - (D3) TAKE CARE NOT TO DAMAGE ADJACENT MASONRY WALL DURING REMOVAL OF PARTITION.
 - (D4) DEMOLISH HM DOOR & FRAME INCLUDING ASSOCIATED HARDWARE.
 - (D5) DEMOLISH WALLS OR LIGHT FIXTURES SHOWN AS DASHED LINES. WHERE DEMO LEAVES FLOOR OR CEILINGS WITH IMPERFECTIONS, PATCH & LEVEL TO MATCH ADJACENT CONSTRUCTION.
 - (D6) DEMOLISH INFILL BLOCKING THE EXISTING ROOF SCUPPERS & SALVAGE EXISTING CANALES.
 - (D7) REMOVE EXISTING BUILT UP ROOFING SYSTEM & ALL ASSOCIATED FLASHING. PROTECT EXISTING STONE PARAPET CAP & EXISTING STONE FINISH TO REMAIN.
 - (D8) REMOVE EXISTING ROOF TOP VENTS & PATCH RESULTING DEMOLITION.
 - (D9) REMOVE METAL CONDUCTOR HEAD & PATCH & INSTALL MASONRY INFILL AT RESULTING DEMOLITION.

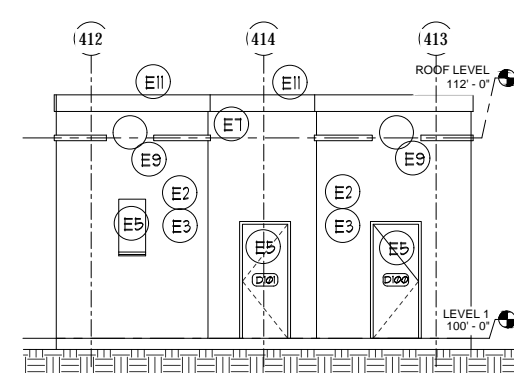
- KEY NOTES - FLOOR PLAN, RCP & ROOF NEW WORK
- (A1) AREA TO BE PREPARED FOR NEW C.I.P. CONCRETE PATIO. PROVIDE A LEVEL TRANSITION (1/4" & 3/4"). REFER TO LANDSCAPE DRAWINGS FOR FULL SCOPE.
 - (A2) EXISTING FLOORING & FLOOR DRAIN TO REMAIN. PROTECT IN PLACE. CLEAN FLOOR AND SCOPE & CLEAR OUT THE EXISTING DRAIN LINES.
 - (A3) CLEAN, PREP & REPOINT EXISTING MASONRY. TYPICAL. REMOVE ANY PROTRUDING OBJECTS FROM THE FACE OF EXISTING MASONRY & PATCH RESULTING HOLES. REMOVE ALL RUSTED, EXPOSED METAL.
 - (A4) INSTALL NEW H.M. DOOR & FRAME. MAINTAIN EXISTING FRAME INSET DEPTH.
 - (A5) REPAIR OR REPLACE RUSTED STEEL LINTELS AT DOORS & WINDOWS AS NEEDED.
 - (A6) INSTALL NEW BUILT UP ROOF WITH TAPERED INSULATION. SLOPE TO EXISTING ROOF DRAINS. (NOTE FOR NEW FLASHING?)
 - (A7) REPAIR & REPLACE EXISTING STONE PARAPET CAP ALONG ENTIRE LENGTH OF THE BUILDING.
 - (A8) NEW ROOF SCUPPERS - MATCH EXISTING
 - (A9) NEW LINEAR LIGHTING



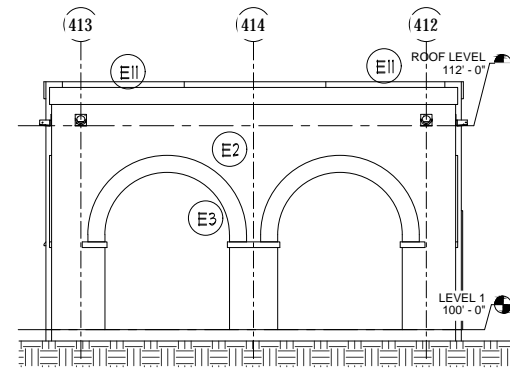
1 ELEVATION - EAST FACADE
SCALE: 1/4" = 1'-0"



4 ELEVATION - WEST FACADE
SCALE: 1/4" = 1'-0"



5 ELEVATION - NORTH FACADE
SCALE: 1/4" = 1'-0"



2 ELEVATION - SOUTH FACADE
SCALE: 1/4" = 1'-0"

- KEY NOTES - ELEVATION DEMOLITION & NEW WORK
- (E1) TRIM BACK EXISTING TREE TO BE A MINIMUM OF ONE FOOT FROM THE FACE OF BUILDING.
 - (E2) AT EACH FACADE ALL MASONRY AND MORTAR IS TO BE CLEANED & REPOINTED. CLEAN ALL DEBRIS & BIOLOGICAL GROWTH FROM THE FACE OF THE BUILDING.
 - (E3) INSPECT MASONRY FOR BUG HOLES AND HOLES LEFT DURING DEMOLITION OPERATIONS. CLEAN OUT AND PATCH FILL WITH APPROPRIATE PATCHING COMPOUND AND SMOOTH OFF TO MATCH SURFACE OF STONE OR BRICK BEING RESTORED.
 - (E4) REMOVE ALL METAL ANCHORAGE DEVICES AND UNNECESSARY METAL DEVICES ON THE BUILDING MASONRY EXTERIOR. INSTALL NEW STAINLESS STEEL ANCHORAGE DEVICES TO RE-ATTACH NECESSARY ATTACHMENTS AT THE EXTERIOR LOCATIONS, ETC. ISOLATE DISSIMILAR METALS (GALVANIC ACTION).
 - (E5) REPAIR OR REPLACE RUSTED STEEL LINTELS AT DOORS & WINDOWS AS NEEDED.
 - (E6) REMOVE SURFACE COATINGS & PAINTS AT RESTROOM INTERIOR. ALL REMOVAL SHALL BE NON-ABRASIVE.
 - (E7) REMOVE METAL CONDUCTOR HEAD & PATCH & INSTALL MASONRY INFILL AT RESULTING DEMOLITION.
 - (E8) BUILDING PLAQUE TO REMAIN, PROTECT IN PLACE.
 - (E9) ATTIC LOUVER TO REMAIN, RECONSTRUCT USING WOOD-PLASTIC COMPOSITE COMPONENTS.

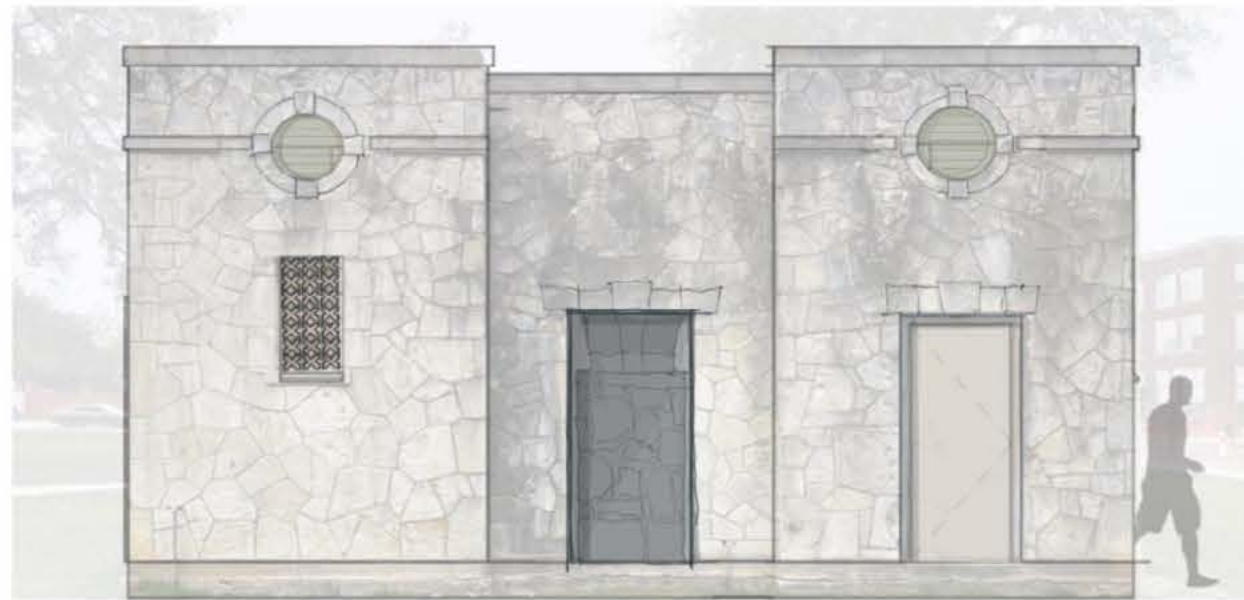
MAVERICK PARK: PAVILION PROPOSED SCOPE



SOUTH FACADE



WEST FACADE



NORTH FACADE



EAST FACADE

MAVERICK PARK: PROPOSED PAVILION ELEVATIONS

**THANK YOU FOR
YOUR CONSIDERATION!**



**CITY OF SAN ANTONIO
PUBLIC WORKS
DEPARTMENT**

